



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/053576

PROPOSAL: Dwelling, Secondary Residence & Outbuilding

LOCATION: 185 Acton Road, Acton Park

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 01 September 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 01 September 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 01 September 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **NEW DWELLING, SECONDARY DWELLING, SHED**

Location: **185 ACTON ROAD, ACTON PARK**

Personal Information Removed

Estimated cost of development: **\$1,400,000**



Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **vacant**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Applicant's signature:

**Personal Information
Removed**

Date: 1/7/25

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 187149	FOLIO 1
EDITION 2	DATE OF ISSUE 19-Mar-2025

SEARCH DATE : 01-Jul-2025

SEARCH TIME : 02.28 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Sealed Plan 187149

Derivation : Part of 700 Acres Located to E S P Bedford

Prior CT 5020/12

SCHEDULE 1

N238096 TRANSFER to SHAUN RODNEY PIERCE and EMILY HANNAH
PIERCE Registered 19-Mar-2025 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP187149 EASEMENTS in Schedule of Easements

SP187149 FENCING PROVISION in Schedule of Easements

SP 5020 FENCING COVENANT in Schedule of Easements

N240170 BURDENING EASEMENT: a Right of carriage way
(appurtenant to Lot 2 on Sealed Plan 187149) over the
land marked Right of Way 4.00 Wide on Sealed Plan
187149

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER: ROBERT GLADE-WRIGHT PETER ROYSTON WORRALL</p> <p>FOLIO REFERENCE: CT.5020-12</p> <p>GRANTEE: PART OF 700-0-0 LOCATED TO EDWARD SAMUEL PICKARD BEDFORD</p>	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR TIMOTHY LEIGH GOWLLAND ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966</p> <p>CITY OF CLARENCE</p> <p>SCALE 1:1250 LENGTHS IN METRES</p>	<p>REGISTERED NUMBER SP187149</p> <p>APPROVED EFFECTIVE FROM 18 NOV 2024</p> <p><i>Renner</i> Recorder of Titles</p>
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ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

PRIORITY FINAL PLAN

Timothy Leigh Gowlland
Registered Land Surveyor 17-5-24 Date

Conner
Council Delegate 05.11.2024 Date

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP187149

PAGE 1 OF 3 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
 - (2) any easements or profits a prendre described hereunder.
- Each lot on the plan is subject to:-
- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
 - (2) any easements or profits a prendre described hereunder.
- The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 1 is subject to a right of carriageway (appurtenant to the balance of land remaining in Conveyance No 29-0383 at the date of acceptance of Sealed Plan 5020) over the land marked RIGHT OF WAY (PRIVATE) 5.00 WIDE passing through that lot on the plan

Lots 1 & 2 are each subject to a pipeline easement created by and more fully set forth in Grant of Easement No 41-1870 (in favour of ~~TasWater incorporating the former~~ Metropolitan Water Board) over the land marked PIPELINE EASEMENT passing through such lot on the plan

[Signature] 18th / 11 / 2024
for the Executors.

Lots 1 & 2 are each subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT 6.00 WIDE ("the Easement Land") passing through such lot on the plan

FENCING PROVISION

In respect to the lots on the plan the vendor (Robert Glade-Wright and Peter Royston Worrall) shall not be required to fence

INTERPRETATION

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: R GLADE-WRIGHT & PR WORRALL	PLAN SEALED BY: CLARENCE CITY COUNCIL
FOLIO REF: 5020-12	DATE: 5 th November 2024
SOLICITOR: PETER WORRALL	2024-041762 REF NO.
Council Delegate <i>[Signature]</i> Clare Shea	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 3 PAGES	Registered Number SP1 8 7 1 4 9
SUBDIVIDER: R GLADE-WRIGHT & PR WORRALL FOLIO REFERENCE: 5020-12	

"Pipeline and Services Easement" means-

FIRSTLY, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or

R Glade-Wright: 

PR Worrall: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES	Registered Number SP 187 149
SUBDIVIDER: R GLADE-WRIGHT & PR WORRALL FOLIO REFERENCE: 5020-12	

restrictions with respect to the Easement Land or any other Infrastructure;

(f) anything reasonably required to support, protect or cover any other Infrastructure;

(g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and

(h) where the context permits, any part of the Infrastructure.

Signed by ROBERT GLADE-WRIGHT as personal representative of Mary Patricia)
 Harvey being the registered proprietor of Folio 5020-12 in the presence of-)
 Witness signature: *[Signature]*)

Print Full Name: Allison Michelle Nairn
 Postal Address: Level 3, 85 Macquarie Street
 Hobart Tasmania 7000

[Signature]

Signed by PETER ROYSTON WORRALL as personal representative of Mary Patricia)
 Harvey being the registered proprietor of Folio 5020-12 in the presence of-)
 Witness signature: *[Signature]*)

Print Full Name: Allison Michelle Nairn
 Postal Address: Level 3, 85 Macquarie Street
 Hobart Tasmania 7000

[Signature]

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Sarah Bomford - Building Designer - Licence No.689377489

DRAWING LIST

Page No.	Name
0.01	COVER PAGE
1.01	LOCATION PLAN
1.02	SITE PLAN
1.03	SITE DRAINAGE PLAN
1.04	FLOOR PLAN
1.05	ELEVATIONS 01
1.06	ELEVATIONS 02
1.07	ELEVATIONS 03
1.08	SECONDARY DWELLING
1.09	SHED - FLOOR PLAN
1.10	SHED - ELEVATIONS
1.11	ARTISTIC IMPRESSION IMAGES
1.12	SOLAR STUDY
1.13	SITE COVERAGE STUDY

SITE ADDRESS:

CLIENT/S:

PROJECT NUMBER:

BUILDING CLASSIFICATION:

185 ACTON ROAD, ACTON PARK 7170

E & S PIERCE

25-01

1a, 10a

TOTAL FOOTPRINT AREA:

DWELLING:

SECONDARY DWELLING:

SHED:

690m²

378m²

60m²

252m²

LAND SIZE:

TITLE REFERENCE:

SITE HAZARDS:

ZONING:

WIND SPEED CLASSIFICATION:

SOIL CLASSIFICATION:

CLIMATE ZONE:

CORROSION ENVIRONMENT:

BUSHFIRE ATTACK LEVEL:

1.601ha

187149/1

Safeguarding of Airports code, Flood-prone areas code, Road & railway assets code

GENERAL RESIDENTIAL

TBC

TBC

7

MEDIUM

TBC

REVISION:

DA 04



Sarah Bomford

Building Designer
Licence No. 689377489

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Revision Schedule

Revision No.	Description	Date
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185 ACTON ROAD,
ACTON PARK 7170

Client/s:

E & S PIERCE

Project Description:

NEW DWELLING

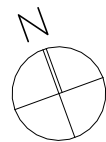
Project No:

25-01

LOCATION PLAN

Scale: 1 : 1000 at A3

DO NOT SCALE FROM PLANS

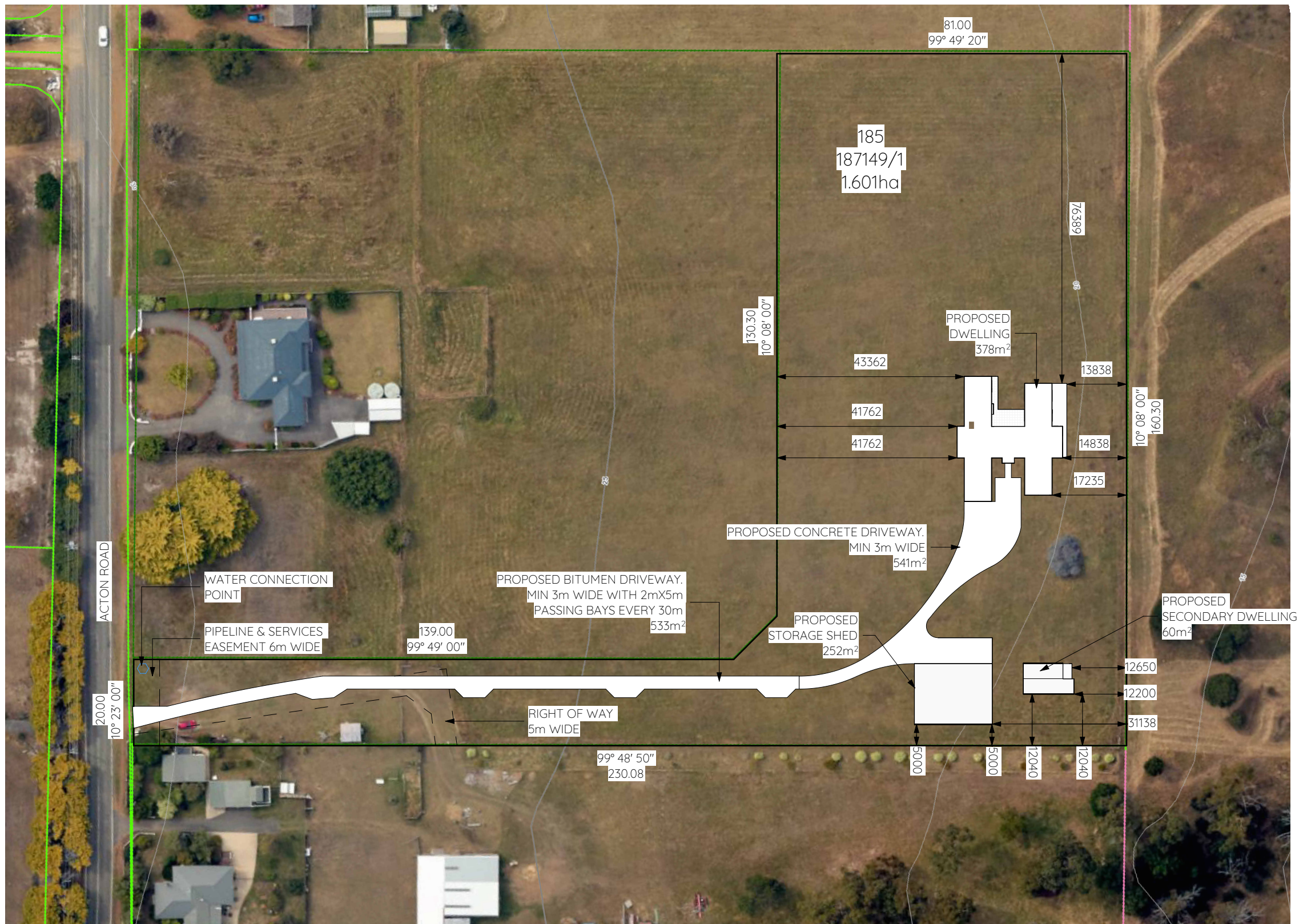


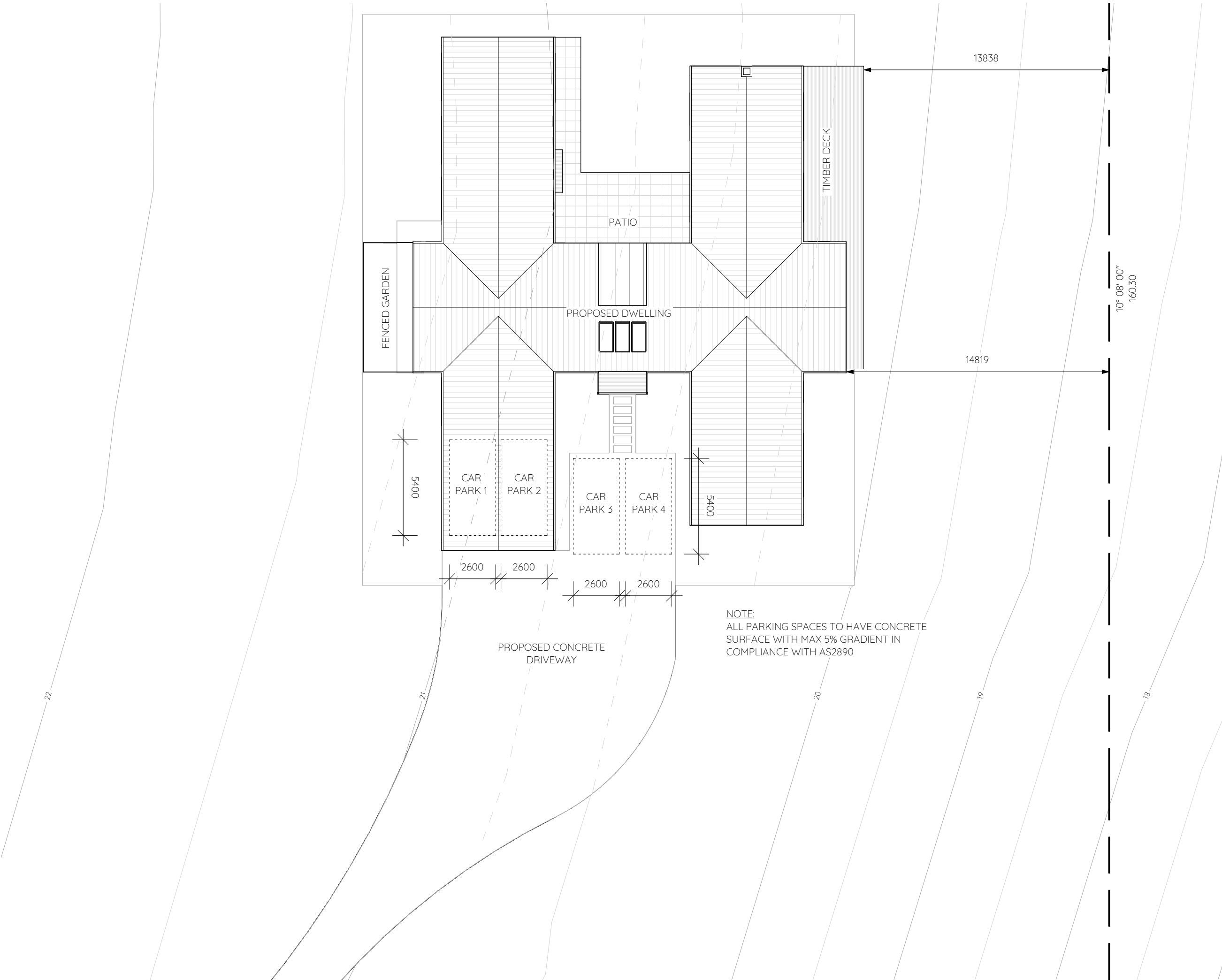
Date: 08/08/25

Revision Page ID

DA 04

1.01







S. BOMFORD
DESIGNS

Sarah Bomford
Building Designer
Licence No. 689377489

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Revision Schedule

Revision No.	Description	Date
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185 ACTON ROAD,
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Client/s:

E & S PIERCE

Project Description:

NEW DWELLING

Project No:

25-01

SITE PLAN

Scale: 1 : 200 at A3

DO NOT SCALE FROM PLANS



Date: 08/08/25

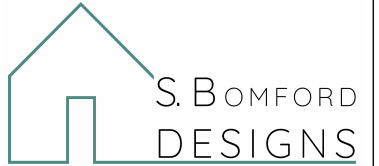
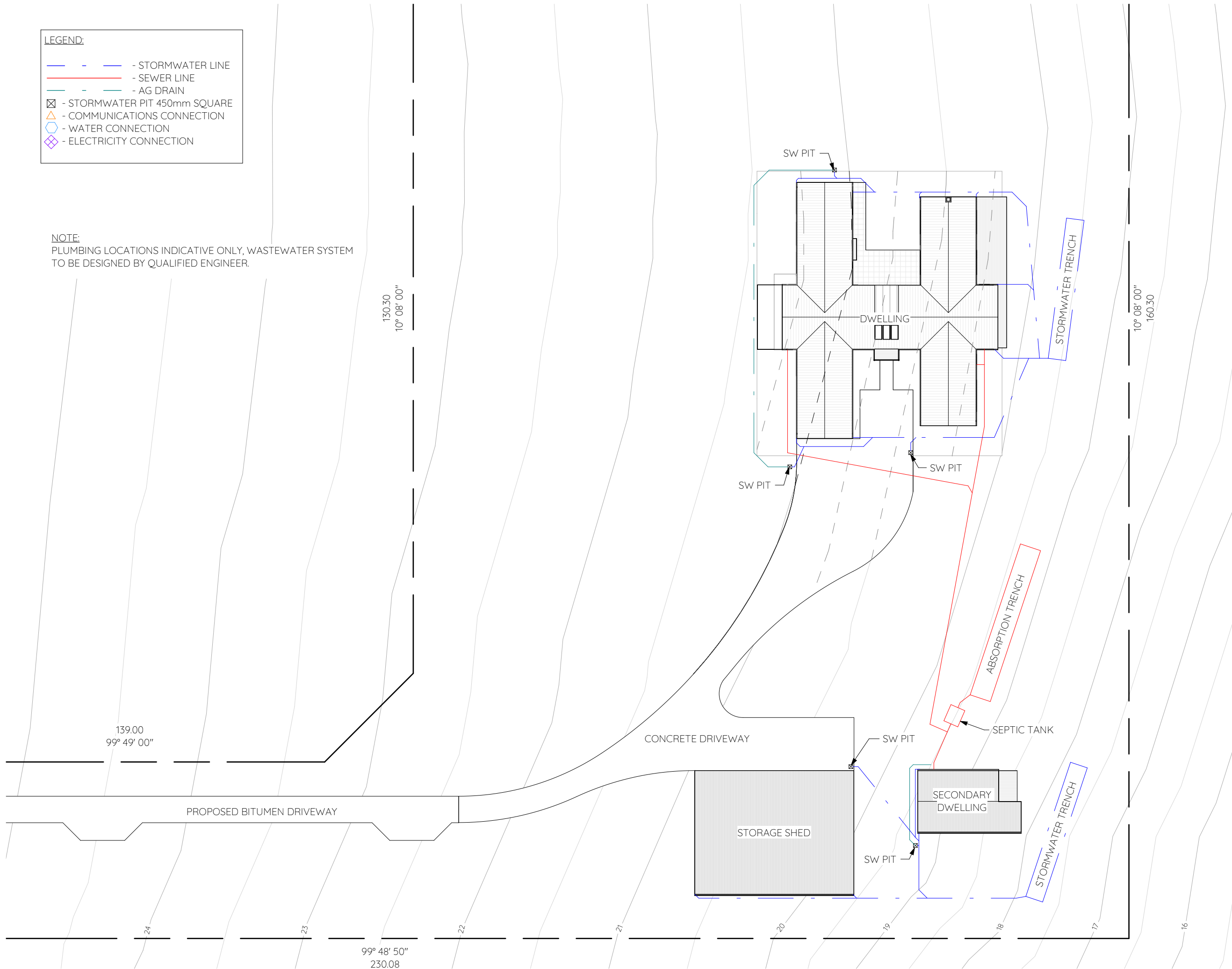
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DA 04	1.02

LEGEND:

- STORMWATER LINE
- SEWER LINE
- AG DRAIN
- STORMWATER PIT 450mm SQUARE
- COMMUNICATIONS CONNECTION
- WATER CONNECTION
- ELECTRICITY CONNECTION

NOTE:

PLUMBING LOCATIONS INDICATIVE ONLY, WASTEWATER SYSTEM TO BE DESIGNED BY QUALIFIED ENGINEER.



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185 ACTON ROAD,
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Client/s:

E & S PIERCE

Project Description:

NEW DWELLING

Project No:

25-01

SITE DRAINAGE PLAN

Scale: As indicated at A3
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Date: 08/08/25

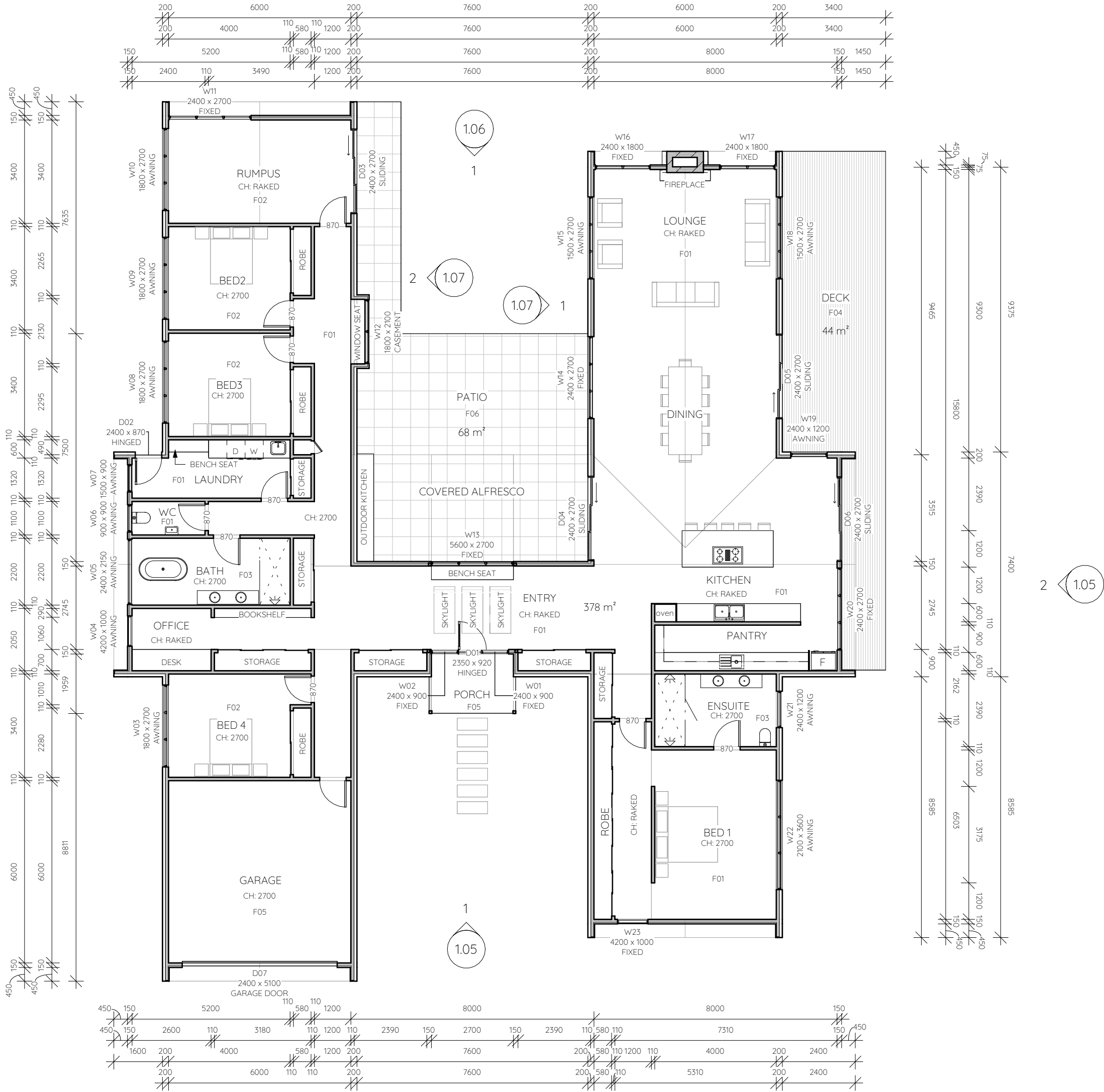
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DA 04

1.03

FLOOR AREAS
GROUND FLOOR: 378m²
PATIO: 68m²
DECK: 44m²

FLOOR FINISHES
F01 - POLISHED CONCRETE
F02 - CARPET
F03 - TILES
F04 - TIMBER DECKING
F05 - CONCRETE
F06 - PAVING



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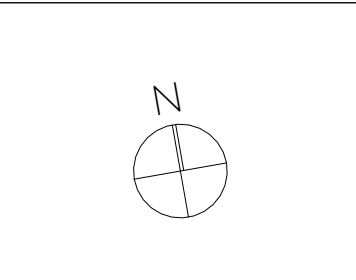
Client/s:
E & S PIERCE

Project Description:
NEW DWELLING

Project No:
25-01

FLOOR PLAN

Scale: As indicated at A3
DO NOT SCALE FROM PLANS



Date: 08/08/25

Revision	Page ID
DA 04	1.04

CLADDING FINISHES

C01
SHEETMETAL CLADDING (STRUCTUUR 'NAILSTRIP' OR SIMILAR) - CB SURFMIST

C02
VERTICAL LIGHTWEIGHT CLADDING (SILVERED HARDWOOD OR SIMILAR) - NON-PIGMENTED CLEAR COATING

NOTES
- CONTROLLED FILL TO BE COMPLIANT WITH N.C.C PART 3.1.1.1, AS2870 & AS3798
- ALL CLADDING PRODUCTS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS



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185 ACTON ROAD,
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Client/s:

E & S PIERCE

Project Description:

NEW DWELLING

Project No:

25-01

ELEVATIONS 01

Scale: 1 : 100 at A3

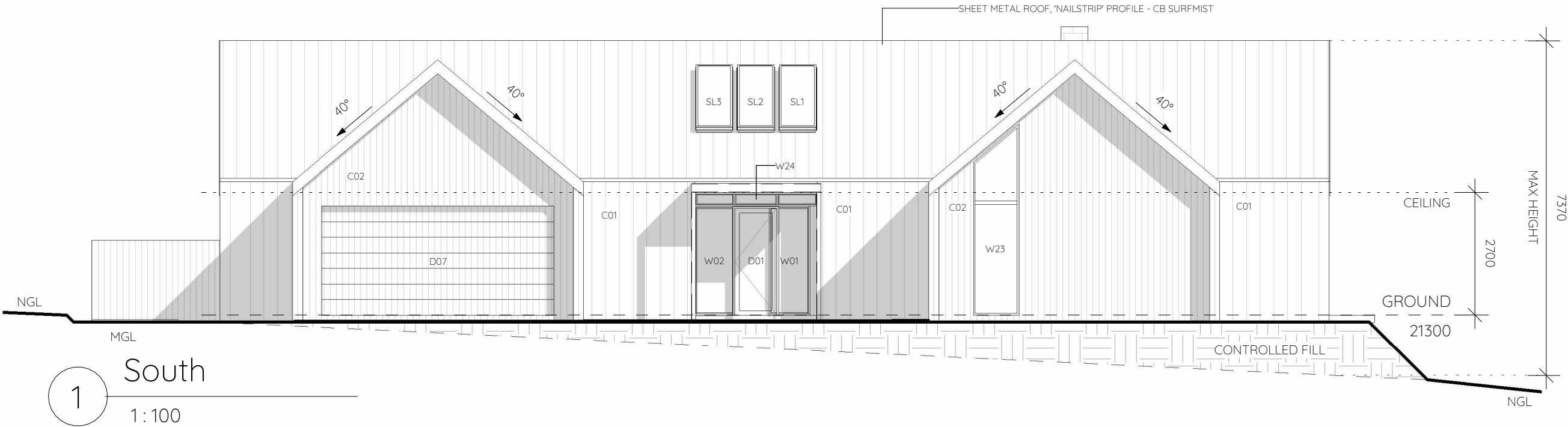
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Date: 08/08/25

RevisionPage ID

DA 04

1.05



CLADDING FINISHES

C01
SHEETMETAL CLADDING (STRUCTUUR 'NAILSTRIP' OR SIMILAR) - CB SURFMIST

C02
VERTICAL LIGHTWEIGHT CLADDING (SILVERED HARDWOOD OR SIMILAR) - NON-PIGMENTED CLEAR COATING

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185 ACTON ROAD,
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Client/s:

E & S PIERCE

Project Description:

NEW DWELLING

Project No:

25-01

ELEVATIONS 02

Scale: 1 : 100 at A3

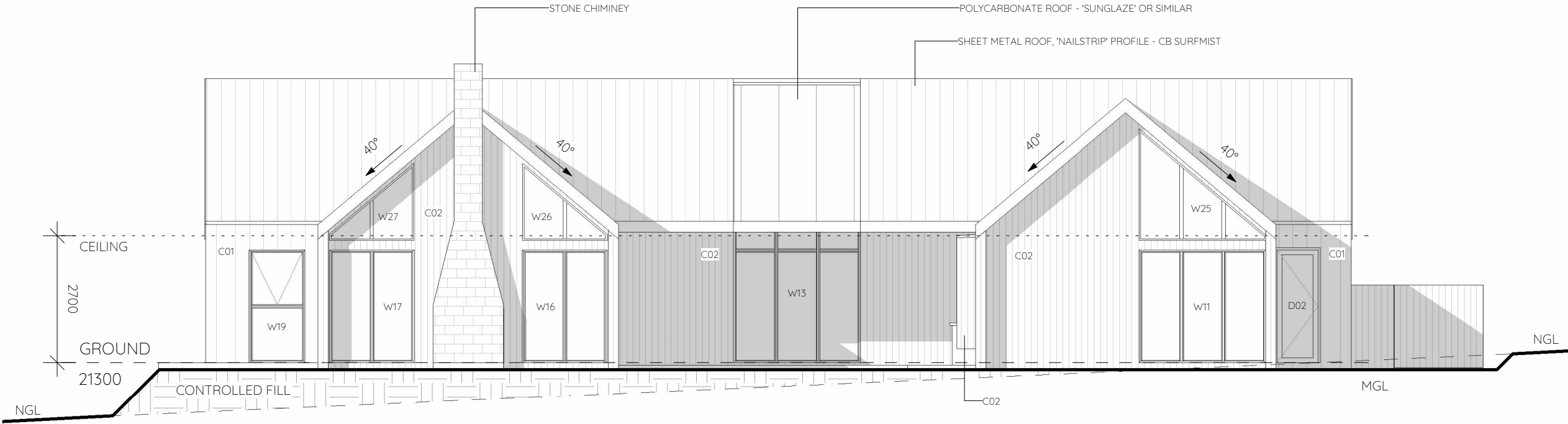
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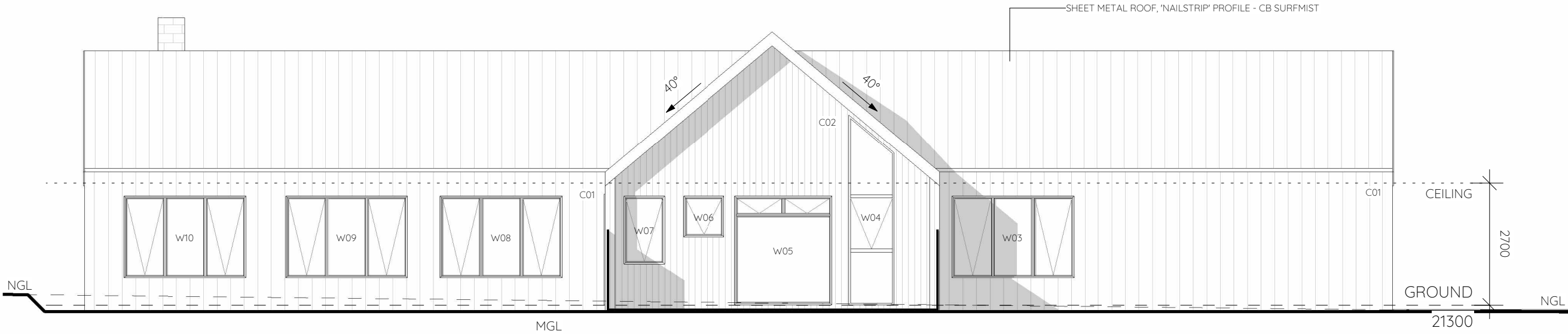
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North

1

1 : 100



West

2

1 : 100

CLADDING FINISHES

C01
SHEETMETAL CLADDING (STRUCTUUR 'NAILSTRIP' OR SIMILAR) - CB SURFMIST

C02
VERTICAL LIGHTWEIGHT CLADDING (SILVERED HARDWOOD OR SIMILAR) - NON-PIGMENTED CLEAR COATING

NOTES
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NEW DWELLING

Project No:

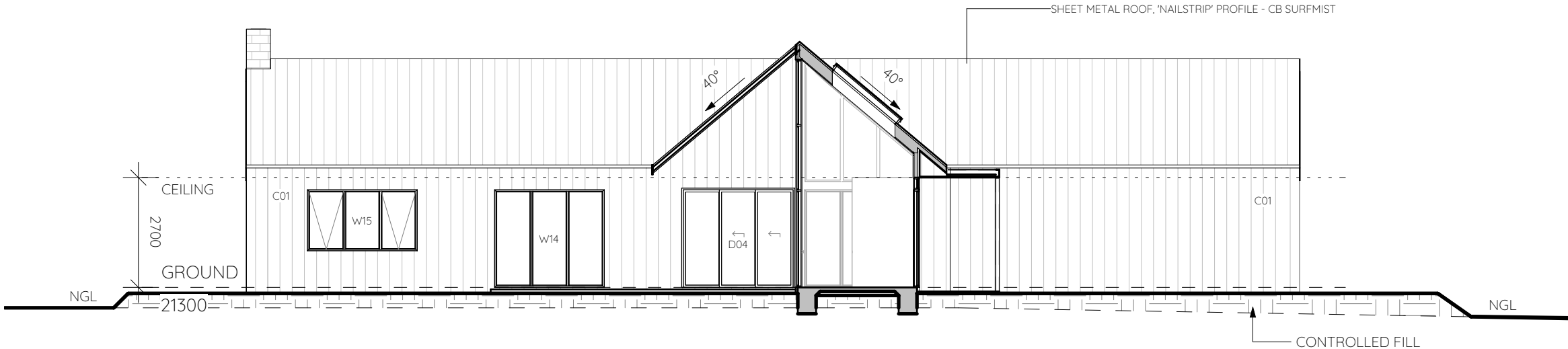
25-01

ELEVATIONS 03

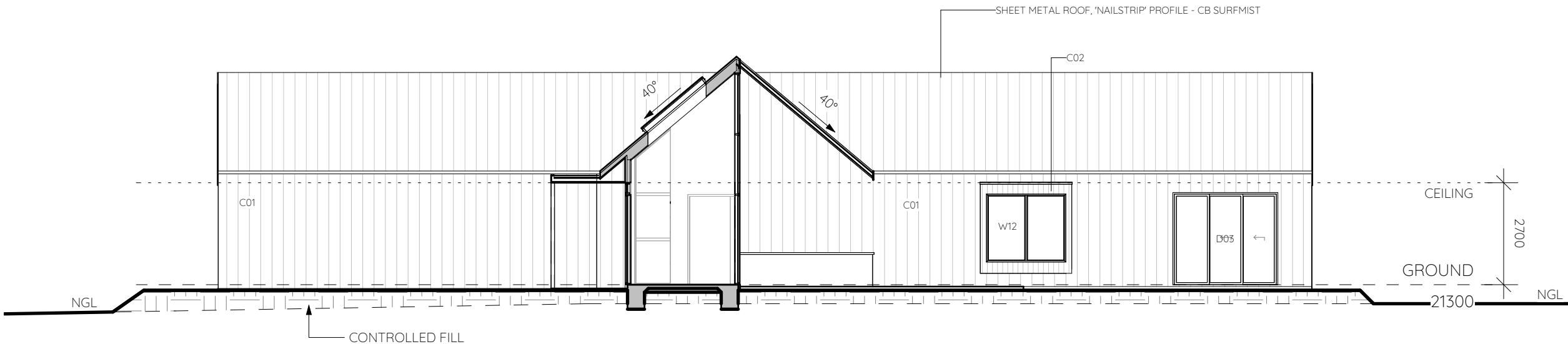
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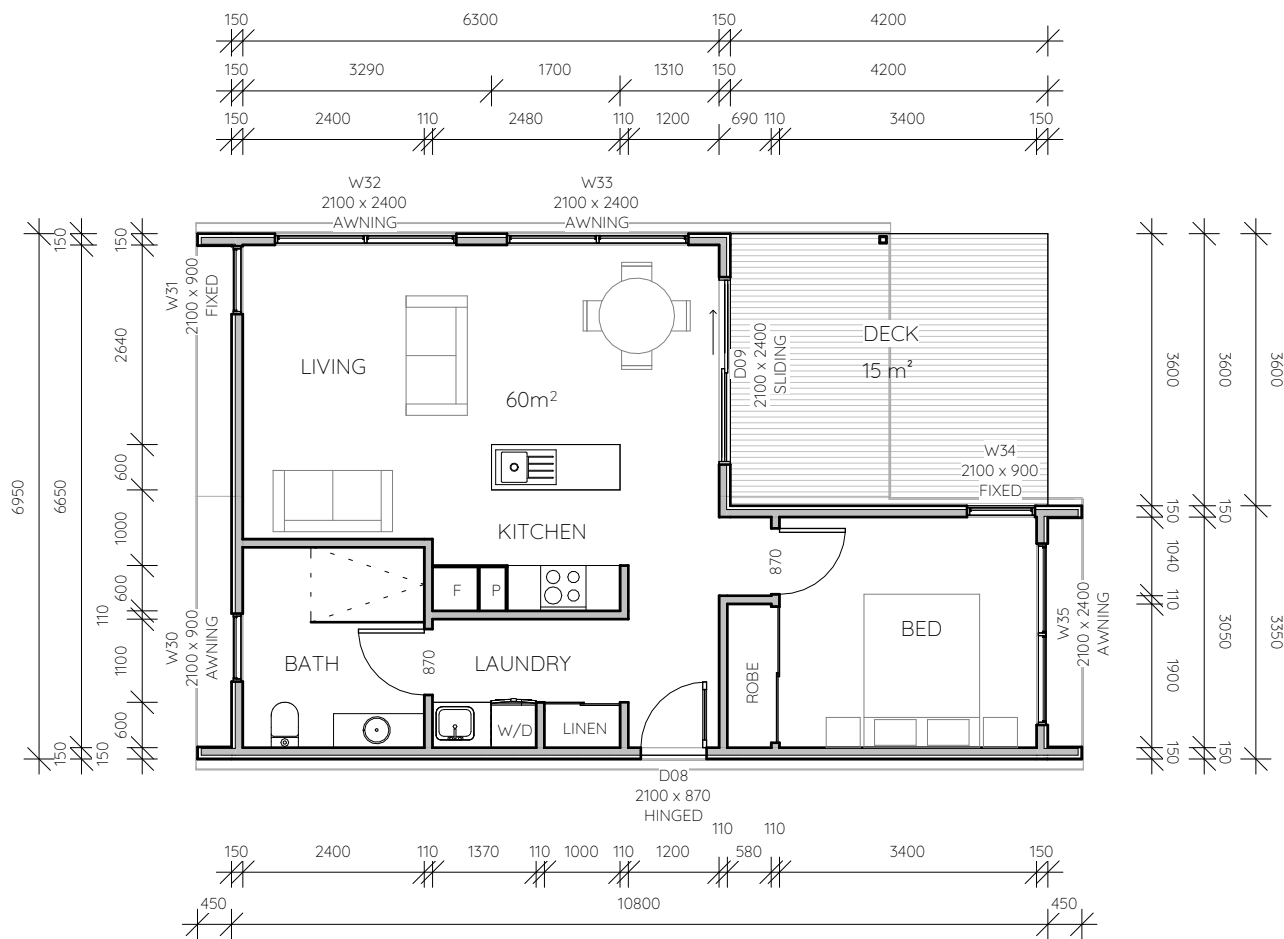
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DA 04	1.07



1 COURTYARD WEST
1:125



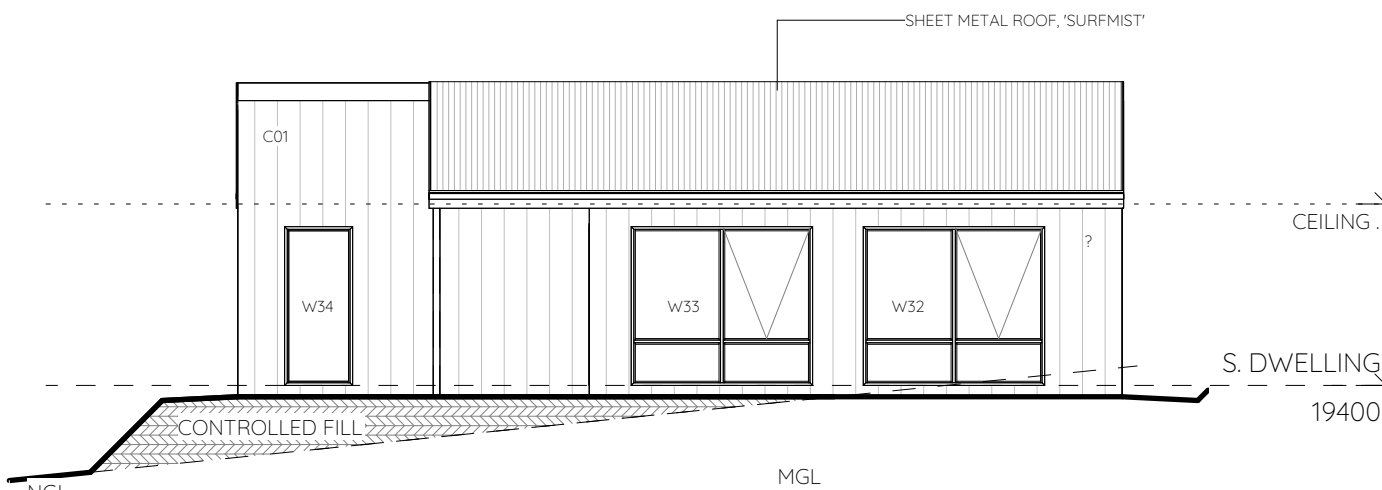
2 COURTYARD EAST
1:125



FLOOR PLAN

1

1:100



NORTH

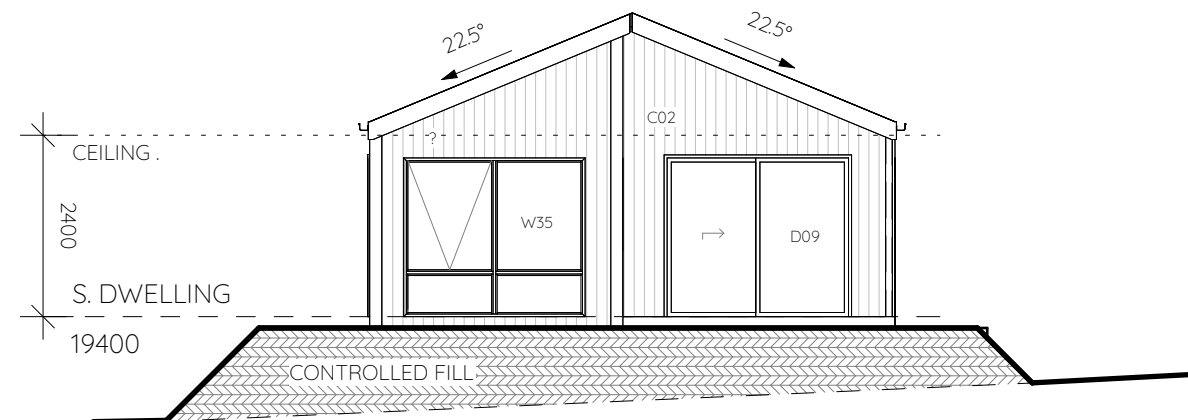
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1:100

CLADDING FINISHES

C01
SHEETMETAL CLADDING (STRUCTUUR 'NAILSTRIP' OR SIMILAR) - CB SURFMIST

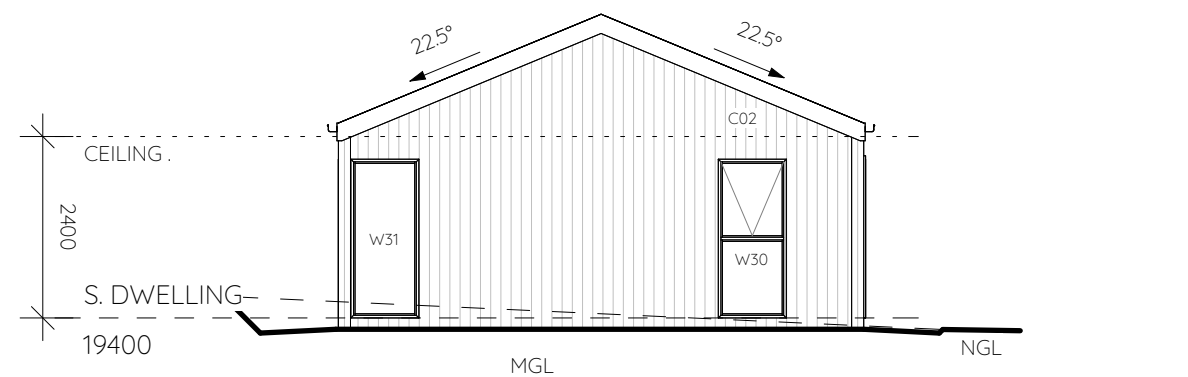
C02
VERTICAL LIGHTWEIGHT CLADDING (SILVERED HARDWOOD OR SIMILAR) - NON-PIGMENTED CLEAR COATING



EAST

3

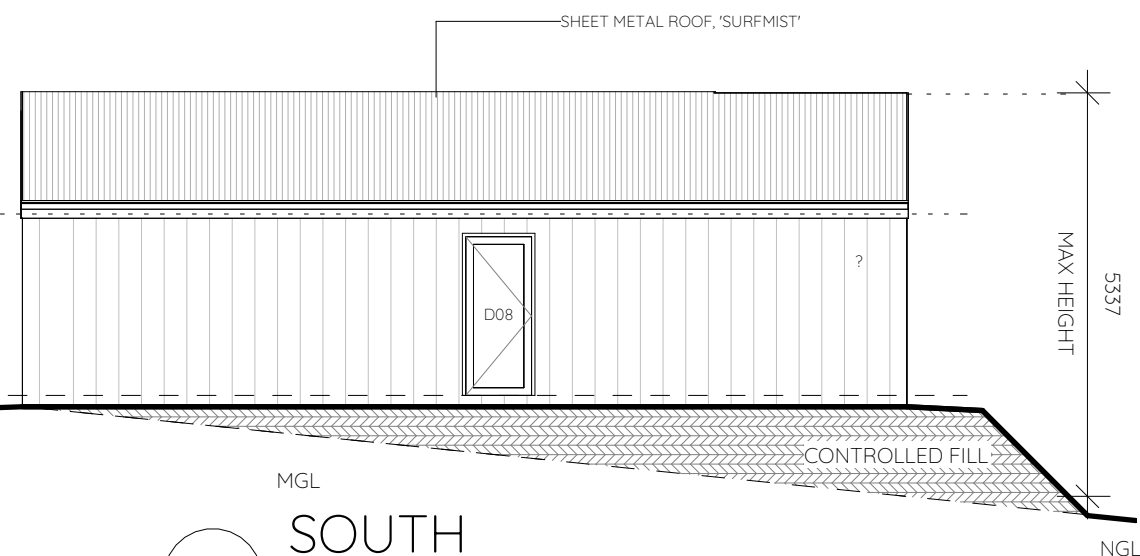
1:100



WEST

4

1:100



SOUTH

5

1:100

NOTES

- CONTROLLED FILL TO BE COMPLIANT WITH N.C.C PART 3.11.1, AS2870 & AS3798
- ALL CLADDING PRODUCTS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS



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Revision Schedule

Revision No.	Description	Date
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185 ACTON ROAD,
ACTON PARK 7170

Client/s:
E & S PIERCE

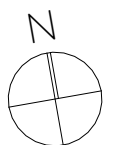
Project Description:
NEW DWELLING

Project No:
25-01

SECONDARY DWELLING

Scale: 1:100 at A3

DO NOT SCALE FROM PLANS

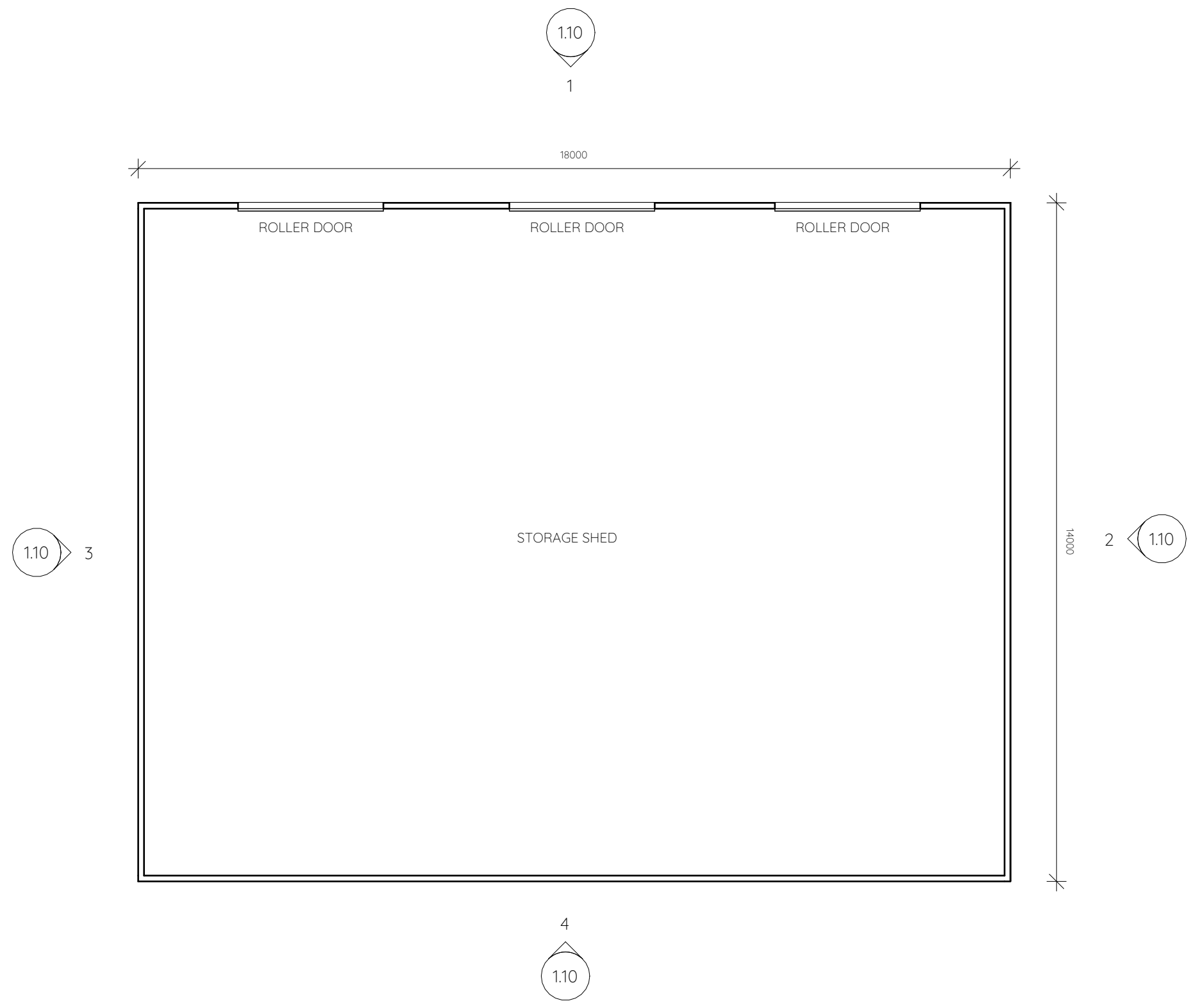


Date: 08/08/25

Revision Page ID

DA 04

1.08





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185 ACTON ROAD,
ACTON PARK 7170

Client/s:

E & S PIERCE

Project Description:

NEW DWELLING

Project No:

25-01

SHED - FLOOR PLAN

Scale: 1 : 100 at A3

DO NOT SCALE FROM PLANS

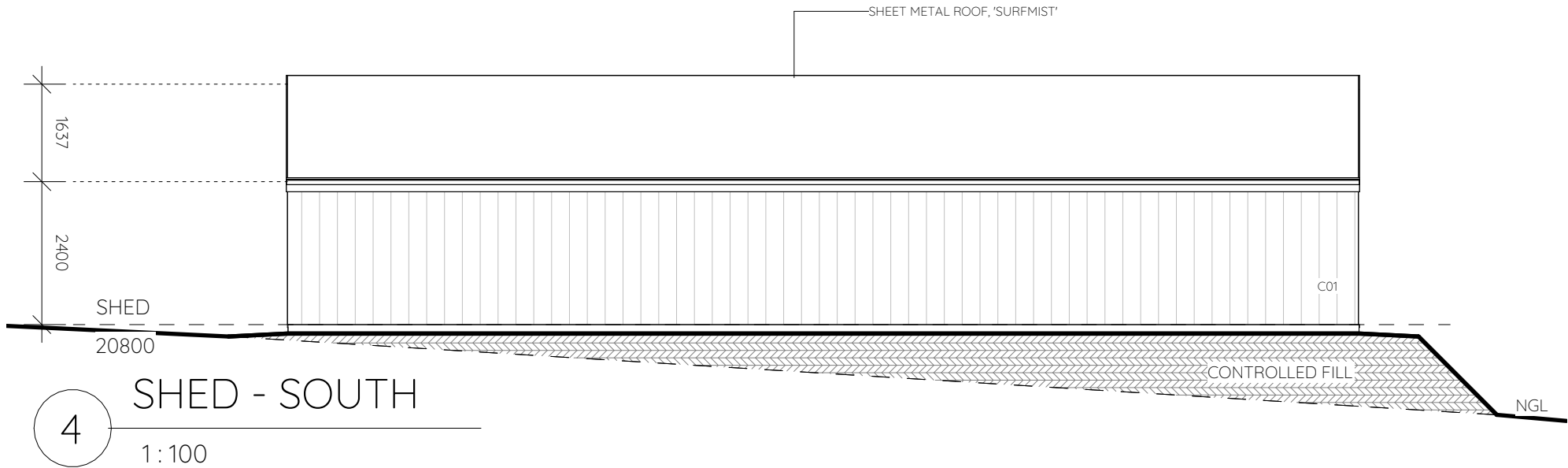
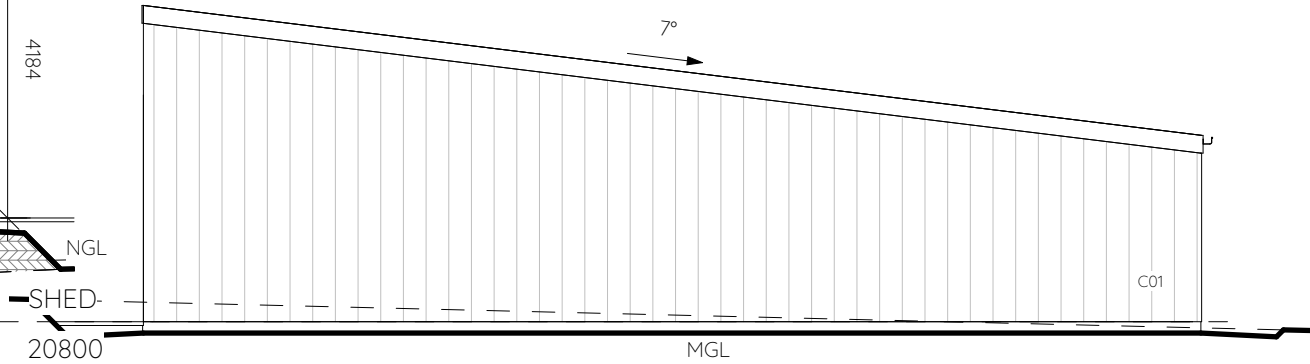
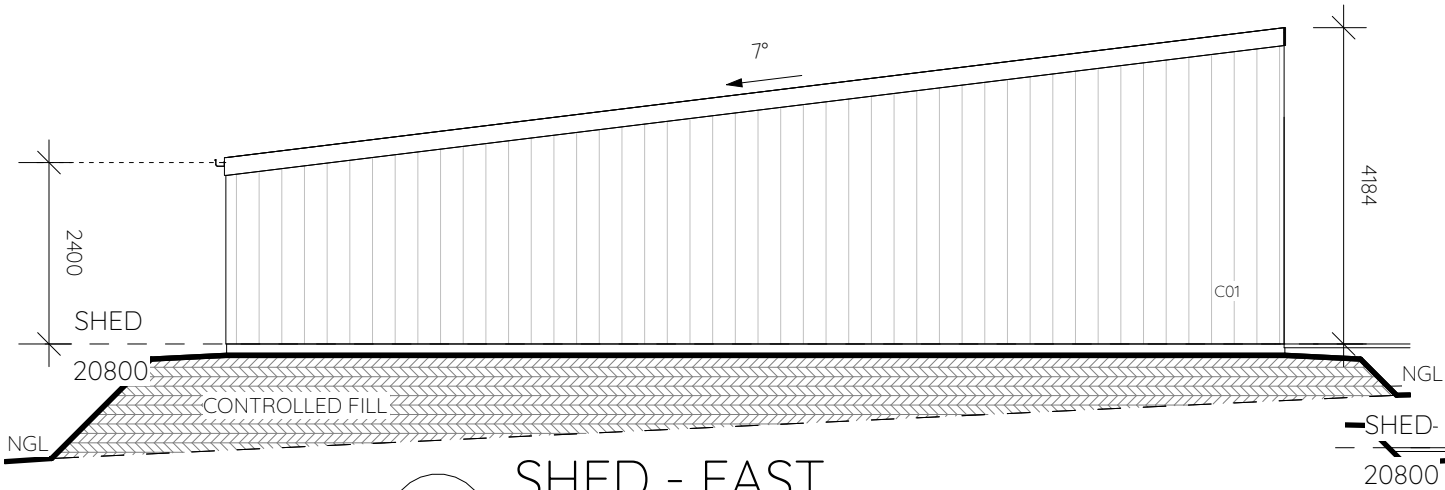
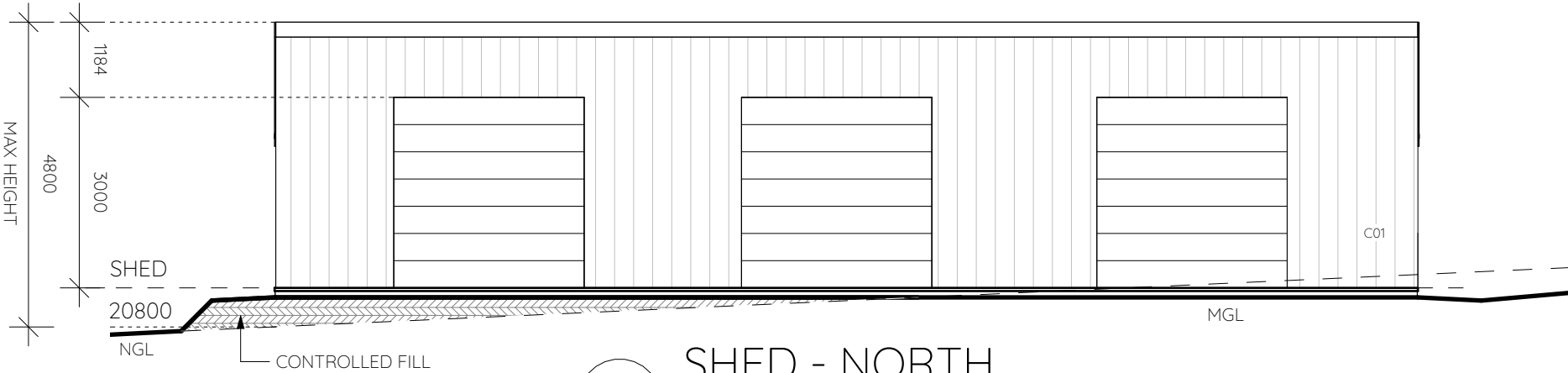
Date: 08/08/25

Revision	Page ID.
DA 04	1.09

CLADDING FINISHES

C01
SHEETMETAL CLADDING (LYSAGHT 'TRIMWALL' OR SIMILAR) - CB SURFMIST

NOTES
- CONTROLLED FILL TO BE COMPLIANT WITH N.C.C PART 3.11.1, AS2870 & AS3798
- ALL CLADDING PRODUCTS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS



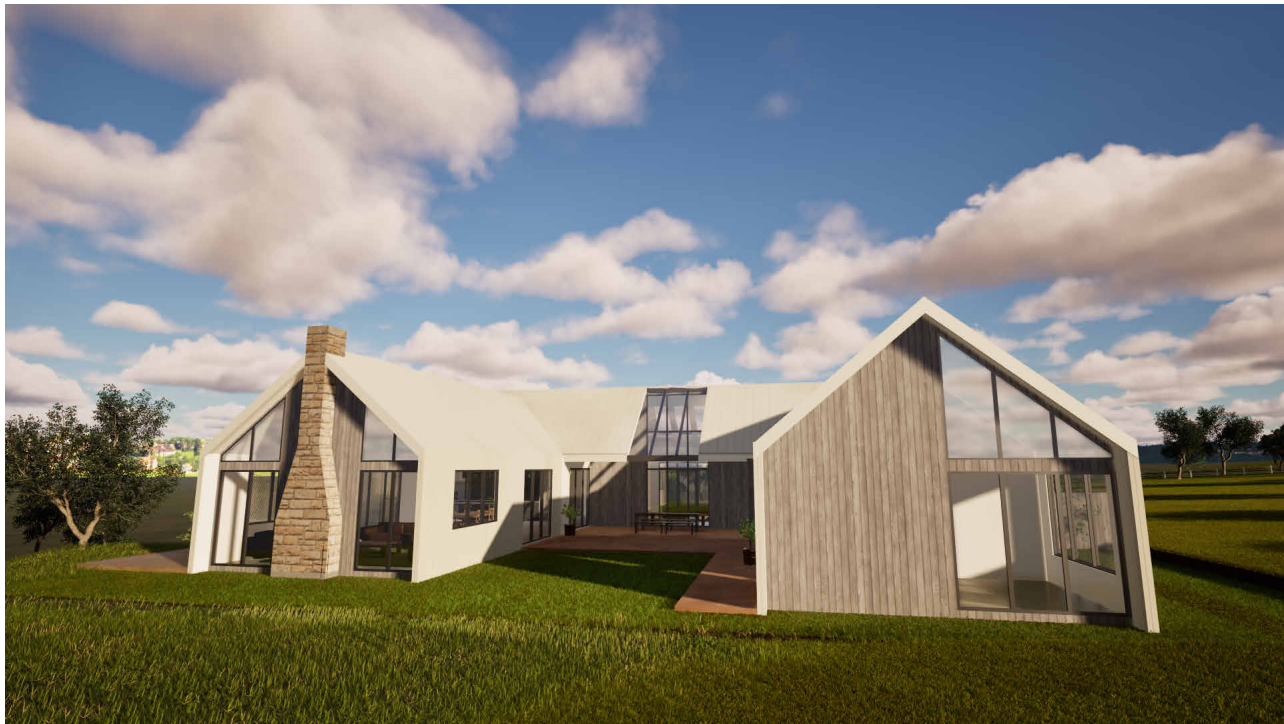
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Revision Schedule		
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185 ACTON ROAD, ACTON PARK 7170		
Client/s: E & S PIERCE		
Project Description: NEW DWELLING		
Project No: 25-01		
SHED - ELEVATIONS		
Scale: 1:100 at A3 DO NOT SCALE FROM PLANS		
Date: 08/08/25		
Revision	Page ID	
DA 04	1.10	



SOUTH ELEVATION



NORTH ELEVATION



COURTYARD



SECONDARY DWELLING



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Revision Schedule		
Revision No.	Description	Date

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185 ACTON ROAD,
ACTON PARK 7170

Client/s:
E & S PIERCE

Project Description:
NEW DWELLING

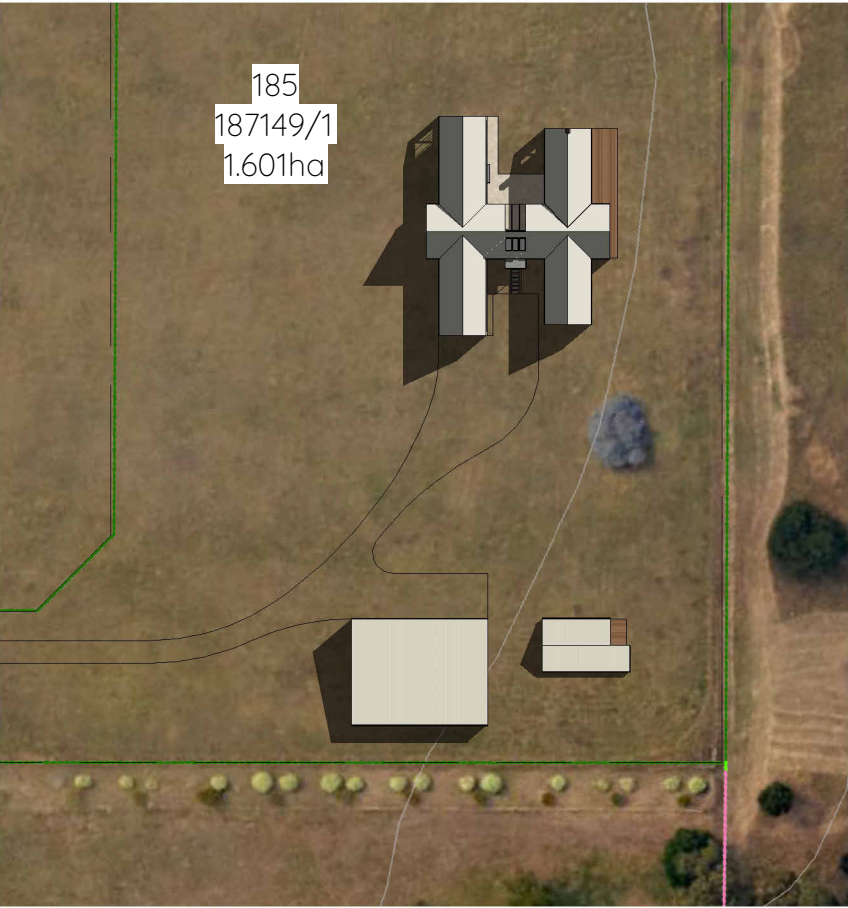
Project No:
25-01

ARTISTIC IMPRESSION
IMAGES

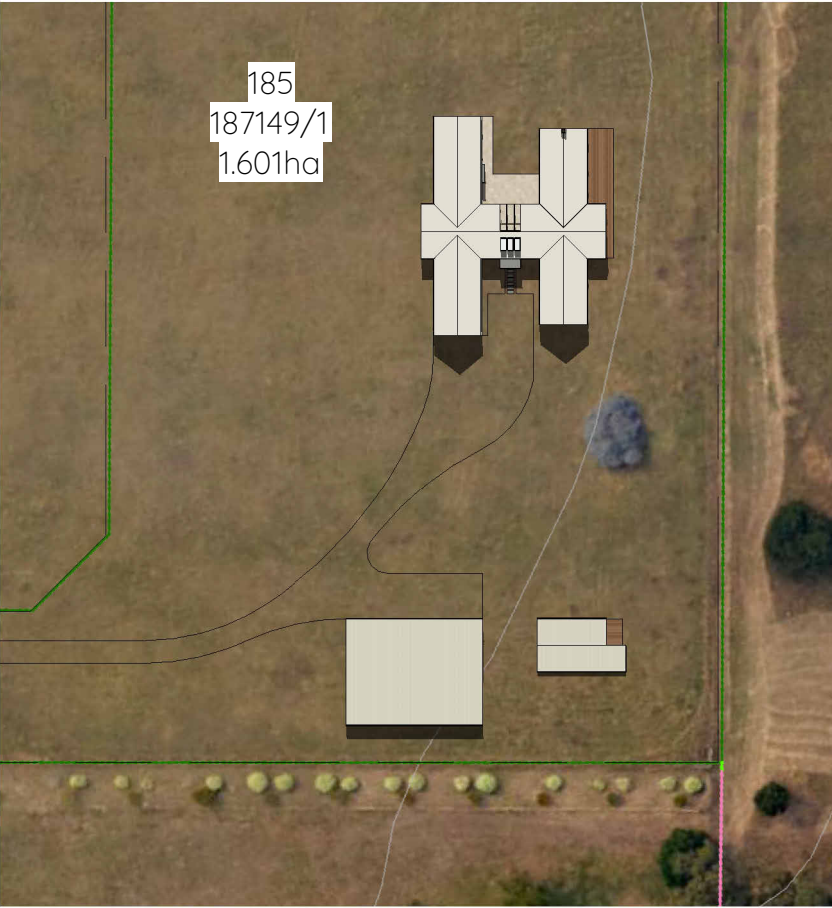
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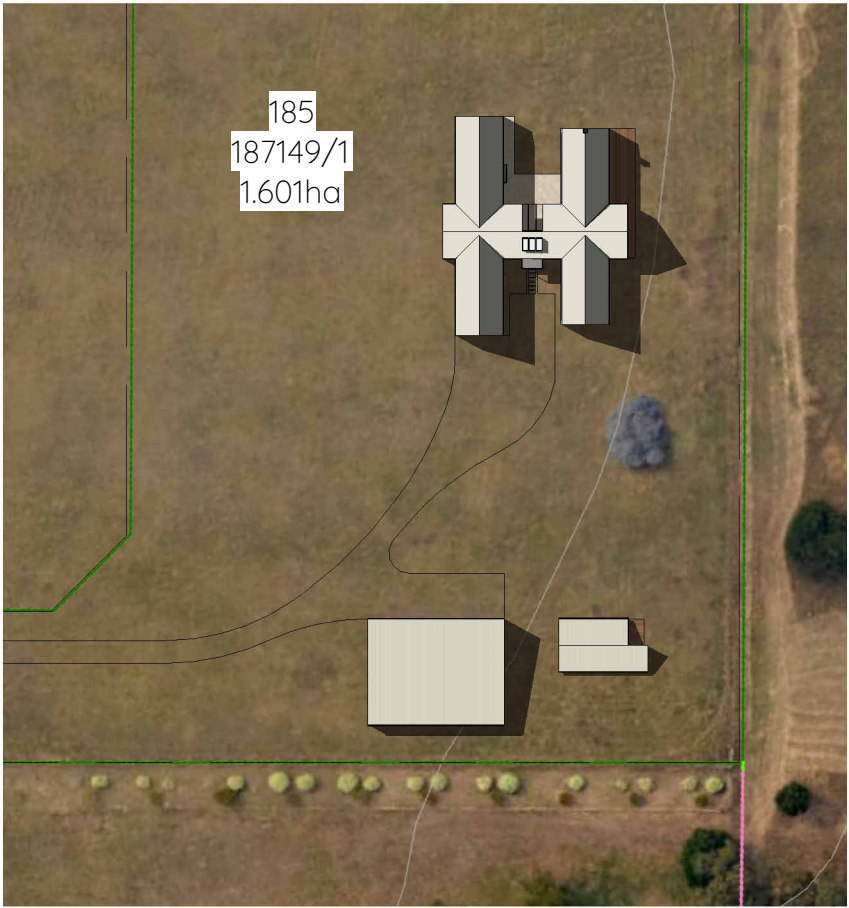
Date: 08/08/25	
<u>Revision</u>	<u>Page ID</u>
DA 04	1.11



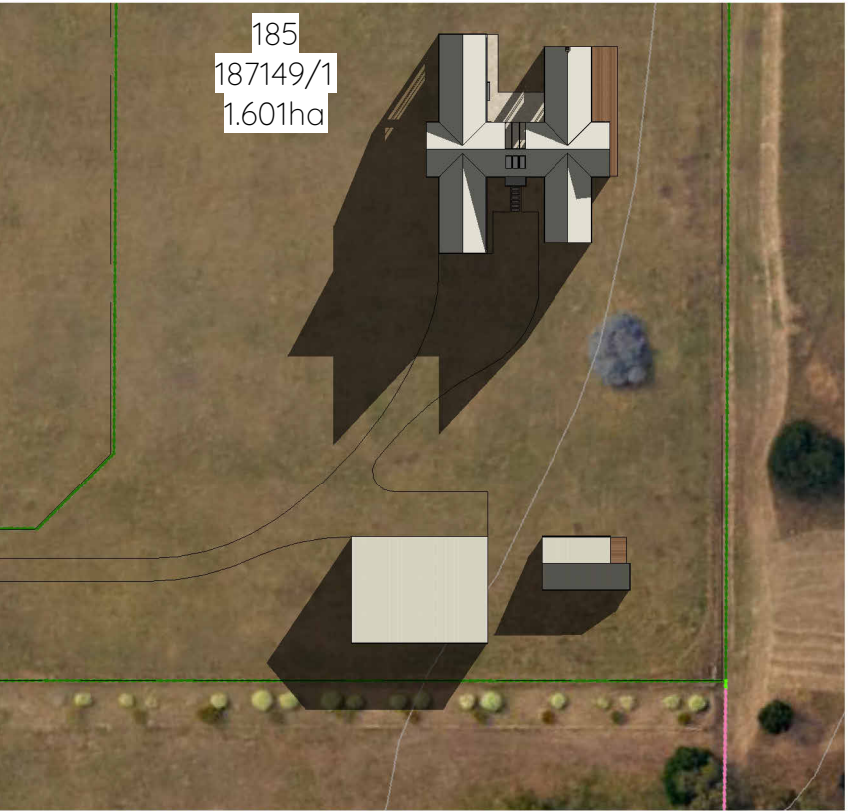
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2 MARCH 21 12:00
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3 MARCH 21 15:00
1:1000



4 JUNE 21 9:00
1:1000



5 JUNE 21 12:00
1:1000



6 JUNE 21 15:00
1:1000



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Revision Schedule		
Revision No.	Description	Date

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ACTON PARK 7170

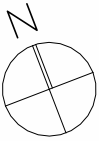
Client/s:
E & S PIERCE

Project Description:
NEW DWELLING

Project No:
25-01

SOLAR STUDY

Scale: 1:1000 at A3
DO NOT SCALE FROM PLANS



Date: 08/08/25

Revision	Page ID.
DA 04	1.12





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DESIGNS

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Revision Schedule		
Revision No.	Description	Date

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185 ACTON ROAD,
ACTON PARK 7170

Client/s:
E & S PIERCE

Project Description:
NEW DWELLING

Project No:
25-01

SITE COVERAGE STUDY

Scale: 1 : 2000 at A3
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Date: 08/08/25

Revision	Page ID.
DA 04	1.13

7 August 2025

City of Clarence
38 Bligh Street
PO Box 96
Rosny Park TAS, 7018

Re: 185 Acton Road, Acton Park (PDPLANPMTD-2025/053576)

Please see attached amended plans and below response to the items raised in the Request for Further Information letter for the above planning application.

<p>6.1 Application Requirements Please confirm the use of the outbuilding. Is it for a residential use? Please provide a services plan, to allow us to confirm that that the secondary residence meets the definition for secondary residences. Please confirm the size of the secondary residence.</p>	<p>The outbuilding is for residential use, specifically workshop space, vehicle and equipment storage.</p> <p>Please see amended plans showing services shared by dwelling and secondary dwelling (p 1.03).</p> <p>Please see amended secondary dwelling floor plan with reduced floor area, now 59.94m² to the outside of external walls.</p>
<p>11.4.1 Site coverage You may wish to address the performance criteria for this clause.</p>	<p>The size of dwelling and percentage of site coverage is consistent with nearby established properties. The site coverage study of neighbouring properties on page 1.13 of the attached plans demonstrates several other nearby properties with site coverage over 400m², and many comparable to the coverage of the proposed development.</p> <p>No vegetation will be removed, and the proposal of a large single-story house with multiple outbuildings is consistent with the character of other existing properties in Acton Park.</p>
<p>11.4.2 Building height, setback and siting Please address the performance criteria for 11.4.2 P3 to allow for assessment against this clause.</p>	<p>Being a single story house and outbuildings in keeping with the scale and style of existing houses in the area, the proposed development will not cause unreasonable loss of amenity to adjoining properties.</p> <p>Please see amended plans showing the reduced height and scale of the proposed storage shed, and a solar study on page 1.12 showing the proposal does not cause unreasonable overshadowing of adjoining properties or public spaces.</p>
<p>C2.6.1 Construction of parking areas The proposed plans do not meet the Acceptable solution for this clause as the driveway is proposed as gravel. Please address the Performance Criteria C2.6.1 P1.</p>	<p>See amended plans specifying a combination of bitumen and concrete to be used for all driveway and parking areas.</p>

Please feel free to contact me if any further information is required.

Kind Regards,



Sarah Bomford B.EnvD (Arch)

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