



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/053920

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 60 Bangalee Street, Lauderdale

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 18 August 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 18 August 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 18 August 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.



Clarence City Council

APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

Proposed additions to dwelling.

Location:

Address 60 Bangalee Street

Suburb/Town Lauderdale

Postcode 7021

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Single dwelling & outbuilding.

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:

- Existing and proposed use(s) on site.
- Boundaries and dimensions of the site.
- Topography, including contours showing AHD levels and major site features.
- Natural drainage lines, watercourses and wetlands on or adjacent to the site.
- Soil type.
- Vegetation types and distribution, and trees and vegetation to be removed.
- Location and capacity of any existing services or easements on/to the site.
- Existing pedestrian and vehicle access to the site.
- Location of existing and proposed buildings on the site.
- Location of existing adjoining properties, adjacent buildings and their uses.
- Any natural hazards that may affect use or development on the site.
- Proposed roads, driveways, car parking areas and footpaths within the site.
- Any proposed open space, communal space, or facilities on the site.
- Main utility service connection points and easements.
- Proposed subdivision lot boundaries.

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 16322	FOLIO 141
EDITION 8	DATE OF ISSUE 14-Nov-2014

SEARCH DATE : 14-Jul-2025

SEARCH TIME : 09.37 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 141 on Plan 16322

Being the land described in Conveyance No. 65/9152

Derivation : Part of 700 Acres Located to E.S.P. Bedford.

Prior CT 4635/10

SCHEDULE 1

C674177 TRANSFER to SAMUEL DAVID BULLOCK Registered
11-Oct-2005 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
65/9152 CONVEYANCE - Benefiting Easement: Right of
Carriageway over the Roadways shown on Plan No. 16322
D144950 MORTGAGE to Australia and New Zealand Banking Group
Limited Registered 14-Nov-2014 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

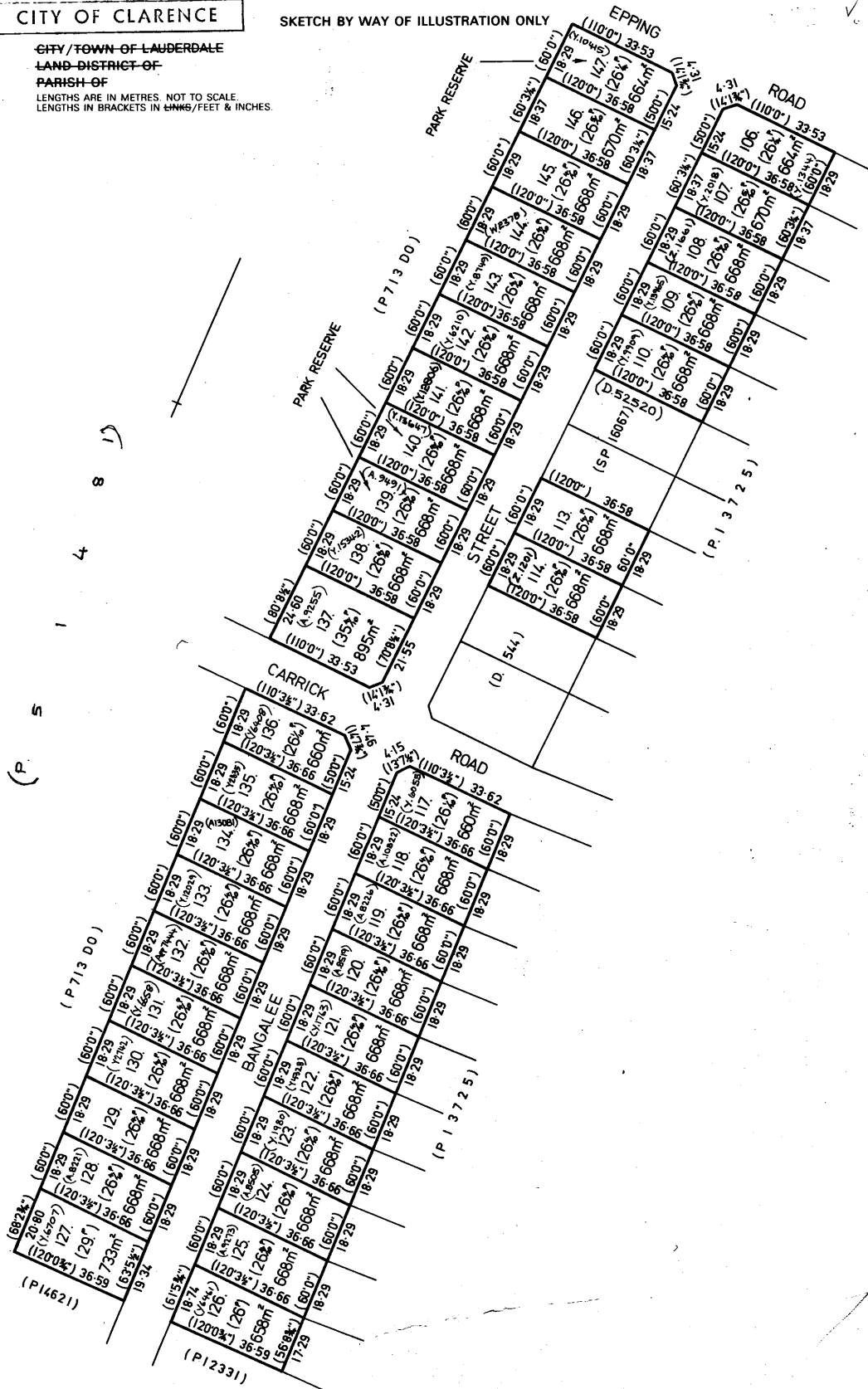
No unregistered dealings or other notations

APPROVED FROM 2.2 SEP 1981 ACTING DEPUTY RECORDER OF TITLES	CONVERSION PLAN	REGISTERED NUMBER P.16322
FILE NUMBER Z.1201 (LOT 114)	GRANTEE: PART OF 700AC LOC. TO E.S.P. BEDFORD	3/7/81

CITY OF CLARENCE

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF LAUDERDALE
LAND DISTRICT OF
PARISH OF
LENGTHS ARE IN METRES. NOT TO SCALE.
LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.



IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY THE DESIGNER, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF IN DOUBT:- ASK!! CONTACT THE BUILDING DESIGNER AND/OR RELEVANT CONSULTANT.

SITE IS LOCATED WITHIN THE FOLLOWING ZONES & AREAS OF THE TASMANIAN PLANNING SCHEME (CLARENCE): -

- 8.0 GENERAL RESIDENTIAL ZONE.
- LOW COASTAL INUNDATION HAZARD BAND.
- AIRPORT OBSTACLE LIMITATION AREA.

SITE COVERAGE

(external building FOOTPRINT as per the Tasmanian Planning Scheme - Clarence)

EXISTING RESIDENCE - 70.91m²

EXISTING COLORBOND GARAGE - 54.00m²

PROPOSED GROUND FLOOR LEVEL ADDITIONS - 120.45m²

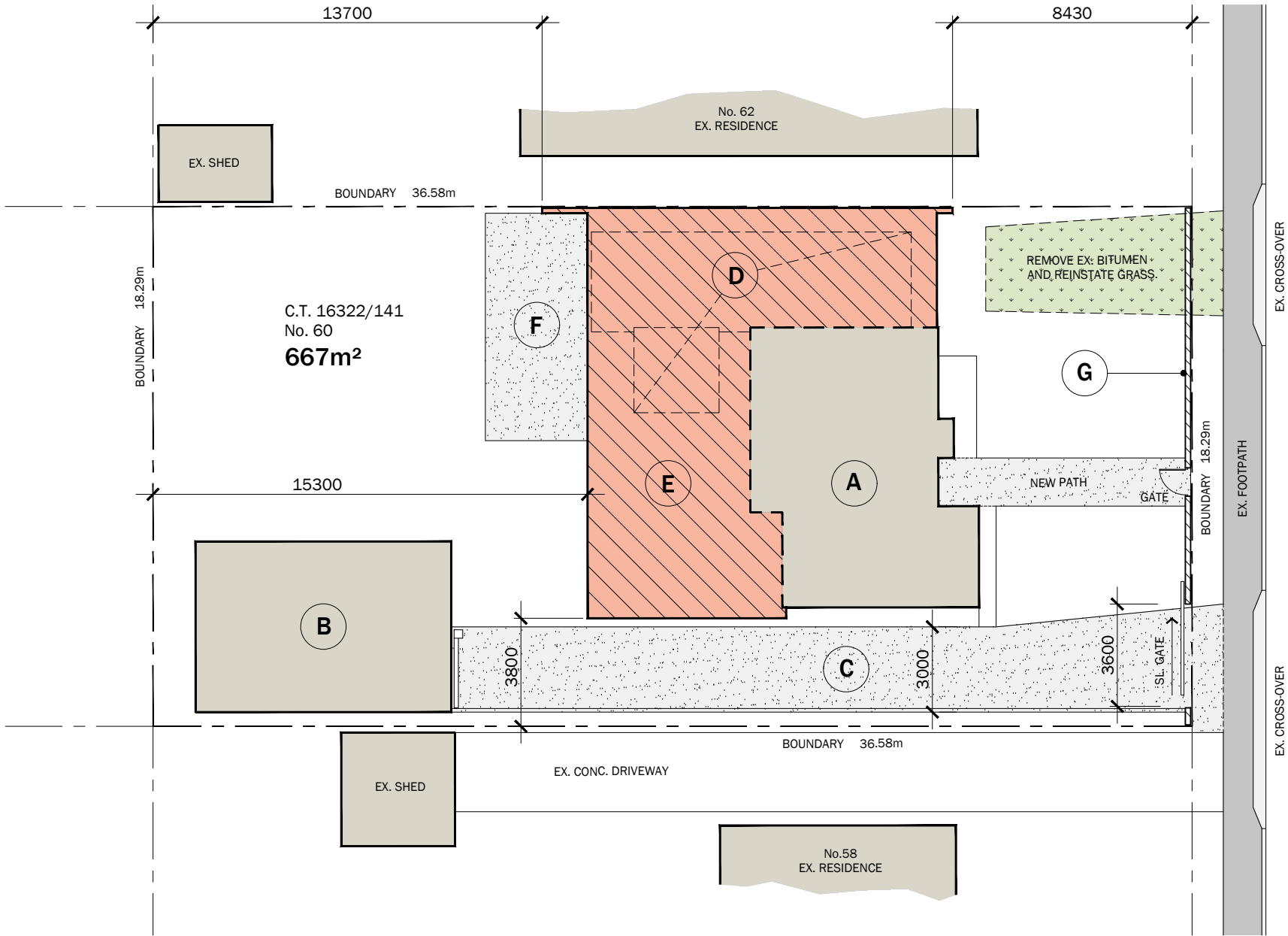
TOTAL ROOFED AREA - 245.36m²

SITE AREA - 667m²

TOTAL SITE COVERAGE - 36.79%

SITE KEY

- A** EXISTING TWO-STOREY WEATHERBOARD RESIDENCE.
- B** EXISTING COLORBOND GARAGE.
- C** PROPOSED CONCRETE DRIVEWAY. MINIMUM 3.00m WIDE.
- D** DEMOLISH EXISTING CARPORT & LAUNDRY.
- E** PROPOSED ADDITIONS:- (family room, bedrooms, bathroom & laundry).
- F** PROPOSED CONCRETE PATIO AREA.
- G** PROPOSED SLIDING GATE + FRONT BOUNDARY FENCE:- 1200mm HIGH SOLID BLOCKWORK plus 600mm HIGH HORIZ. SCREENING (max. 25% transparency).



SITE PLAN 1:200

PO BOX 224 LINDISFARNE
TASMANIA 7015

matt.gilley@bigpond.com
0437 499 238

LICENCE No. CC5666C

PROJECT:

ADDITONS

**No. 60 BANGALEE STREET
LAUDERDALE**

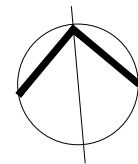
S. BULLOCK

DATE: **JUN 2025**

PROJECT No. 1315

ISSUE/REV:

A. PLANNING ISSUE. 18.6.25



TITLE:

SITE PLAN

SCALE: **1:200 (A3)**

DRAWING No:

A01

SHEET: **1** OF 10

WALL KEY

- EXISTING TIMBER STUD WALLS TO REMAIN.
- EXISTING BUILDING COMPONENT TO BE DEMOLISHED.

DEMOLITION NOTES

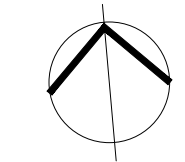
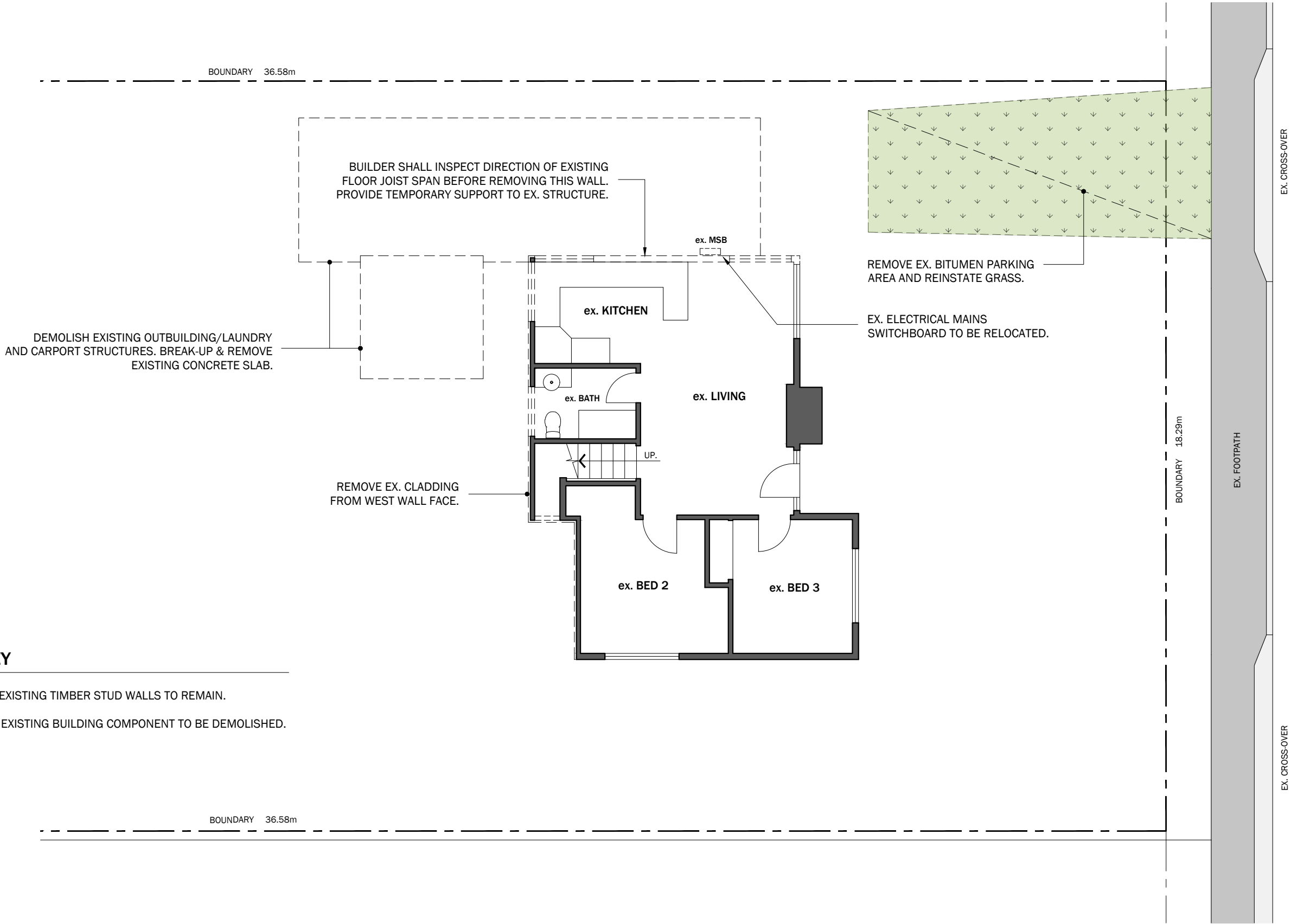
GENERALLY, ALL BUILDING DEMOLITON WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING REGULATIONS 2016 & ALL OTHER RELEVANT CODES/REGS.

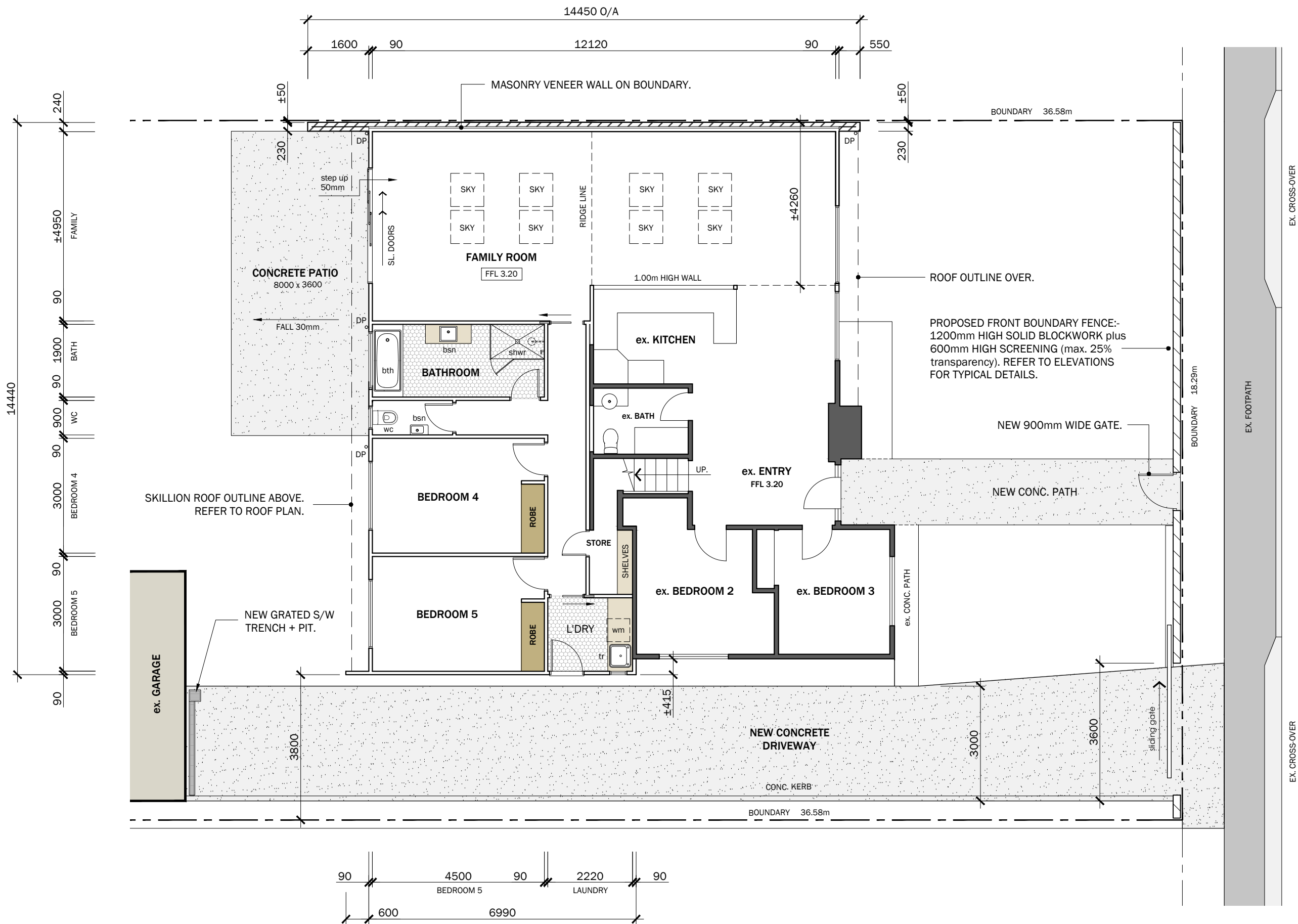
THE PRESENCE OF ANY EXISTING ASBESTOS MUST BE DETERMINED AND SAFELY REMOVED BY A LICENSED ASBESTOS REMOVALIST, BEFORE COMMENCING ANY DEMOLITION OR BUILDING WORK.

BUILDER SHALL PROVIDE & INSTALL ALL TEMPORARY WORKS TO SAFELY SUPPORT THE EXISTING STRUCTURE.

DEMOLITION PLAN 1:100

EXISTING GROUND FLOOR LEVEL





GROUND FLOOR PLAN 1:100

PROPOSED BUILDING AREA (additions) - 107.63m²
CONCRETE PATIO - 29.67m²

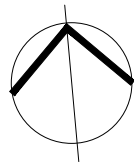
BANGALEE STREET

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDISFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 499 238
LICENCE No. CC5666C

PROJECT:
ADDITONS
No. 60 BANGALEE STREET
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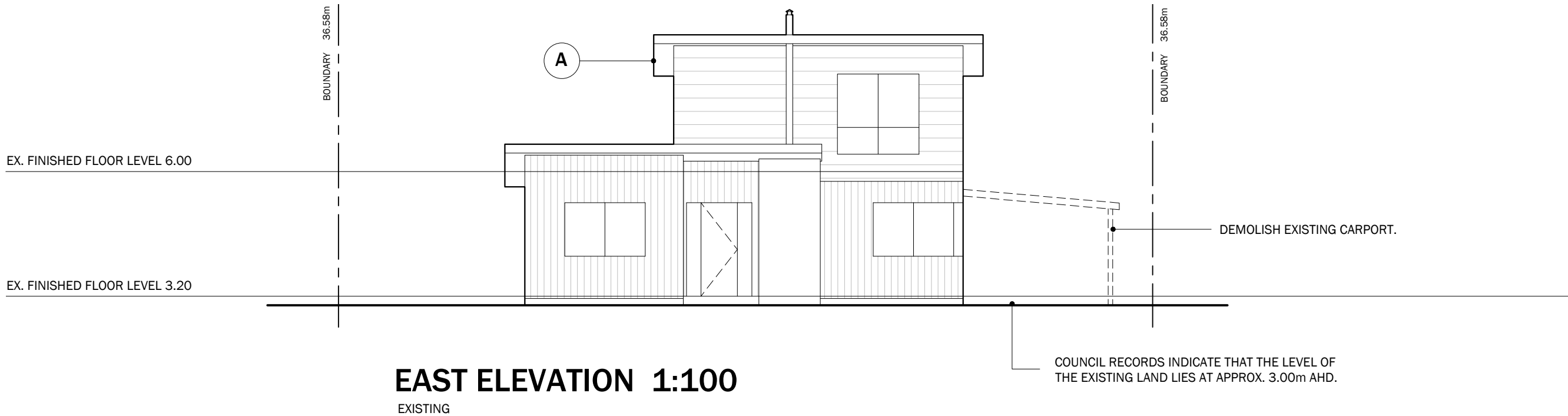


TITLE:
**GROUND
FLOOR PLAN**

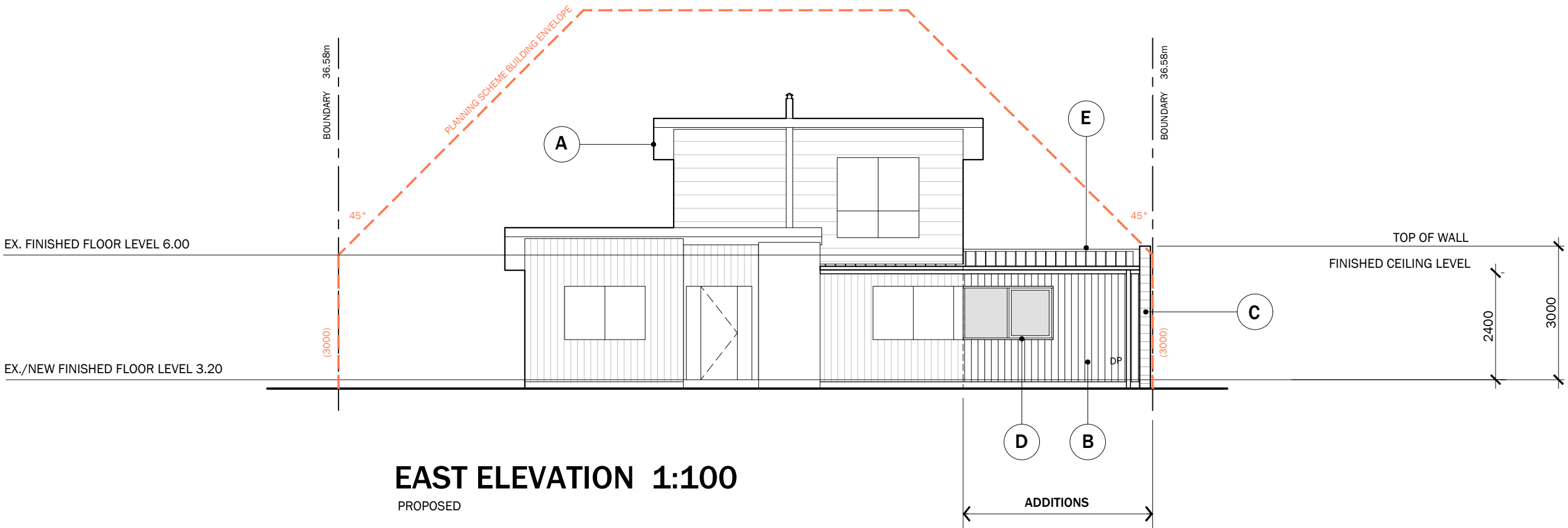
SCALE: 1:100 (A3)
DRAWING No:

A03

SHEET: 3 OF 10



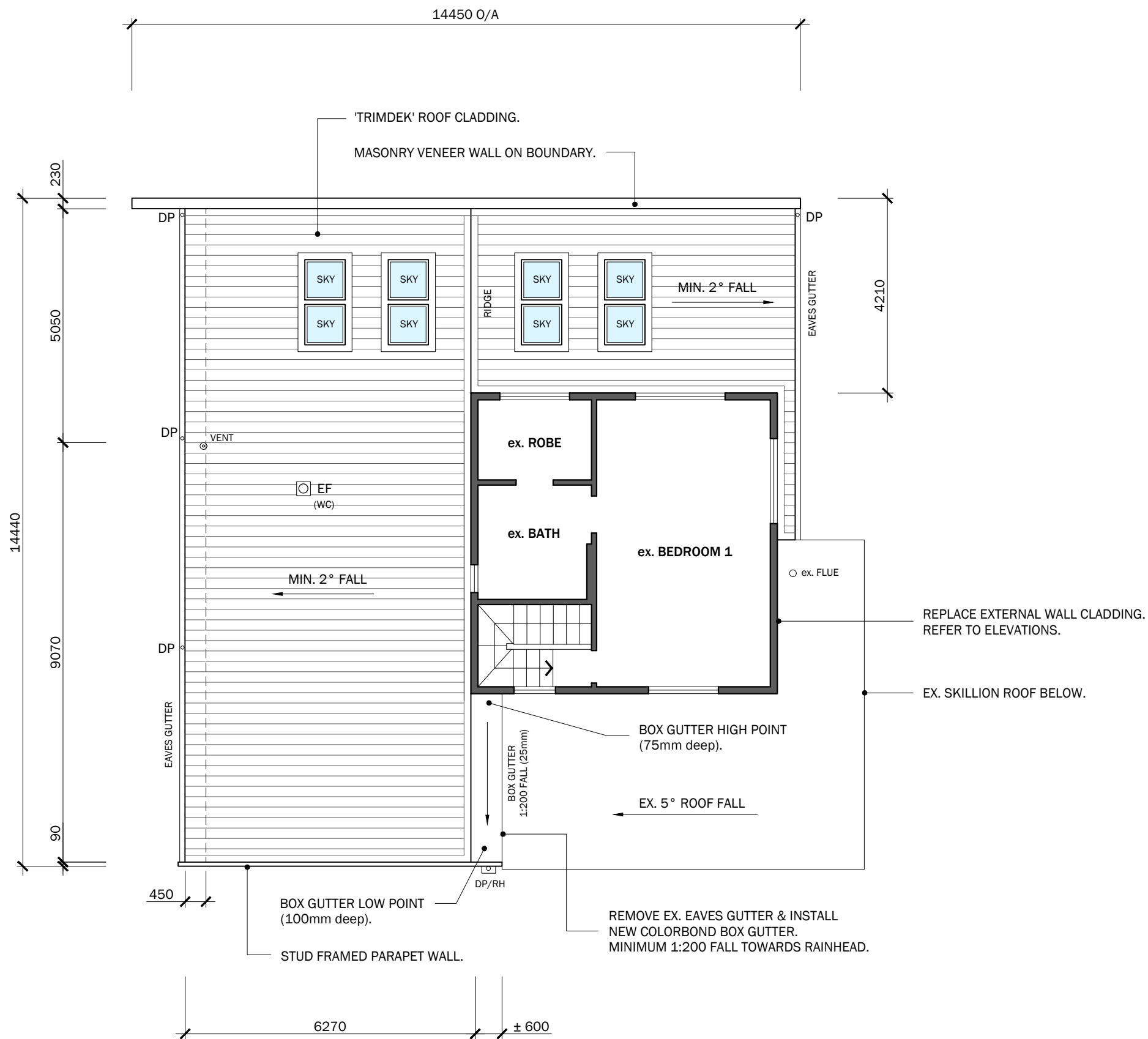
EAST ELEVATION 1:100
EXISTING



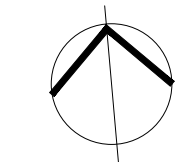
EAST ELEVATION 1:100
PROPOSED

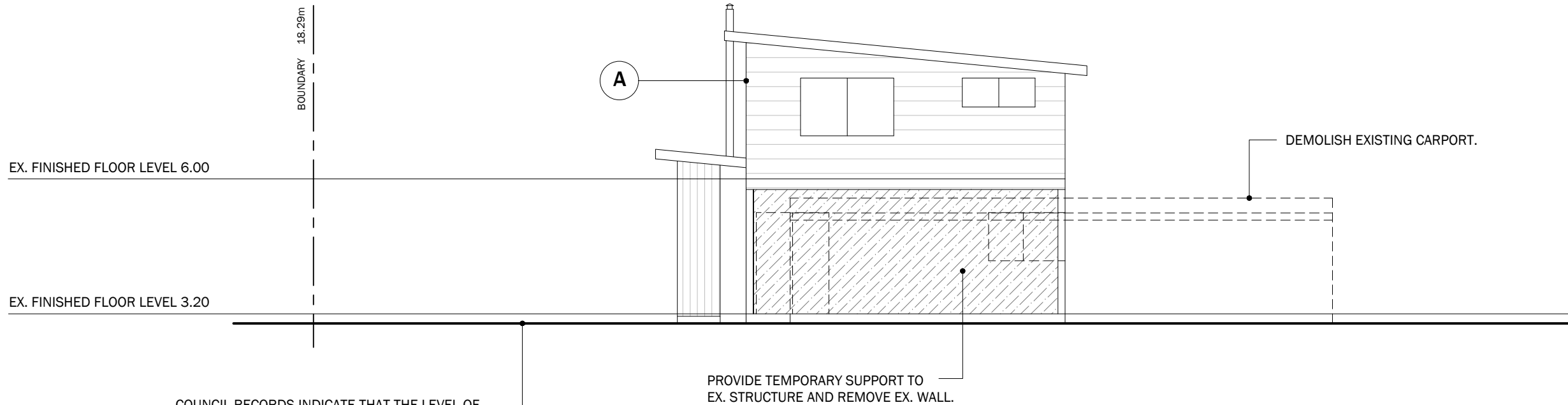
EXTERNAL MATERIALS & FINISHES

- A** OUTLINE OF EXISTING TWO STOREY RESIDENCE.
- B** 'HARDIE SCYON STRIA' SHEET CLADDING. PAINT FINISH.
- C** MASONRY VENEER WALL ON BOUNDARY. FACE FINISH. COLOUR AS SELECTED.
- D** ALUMINIUM WINDOW + SLIDING DOOR FRAMES. DOUBLE GLAZED. POWDERCOATED.
- E** 'TRIMDEK' ROOF SHEETING - MINIMUM 2° PITCH. COLORBOND FINISH.

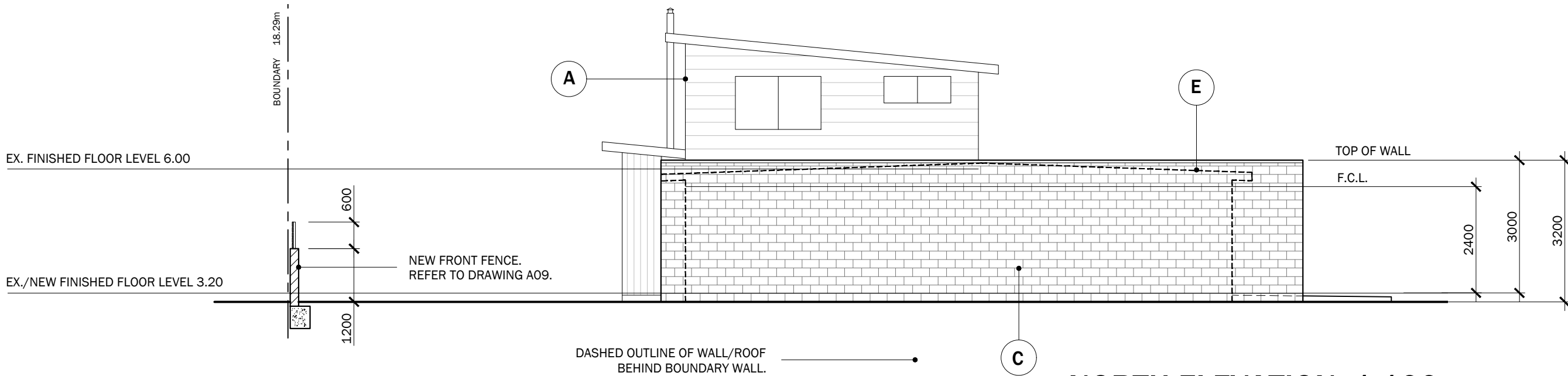


FIRST FLOOR + ROOF PLAN 1:100





NORTH ELEVATION 1:100
EXISTING



NORTH ELEVATION 1:100
PROPOSED

EXTERNAL MATERIALS & FINISHES

- | | | | | | |
|----------|--|----------|--|----------|---|
| A | OUTLINE OF EXISTING TWO STOREY RESIDENCE. | C | MASONRY VENEER WALL ON BOUNDARY. FACE FINISH. COLOUR AS SELECTED. | E | 'TRIMDEK' ROOF SHEETING - MINIMUM 2° PITCH. COLORBOND FINISH. |
| B | 'HARDIE SCYON STRIA' SHEET CLADDING. PAINT FINISH. | D | ALUMINIUM WINDOW + SLIDING DOOR FRAMES. DOUBLE GLAZED. POWDERCOATED. | | |

ADDITONS

**No. 60 BANGALEE STREET
LAUDERDALE**

S. BULLOCK

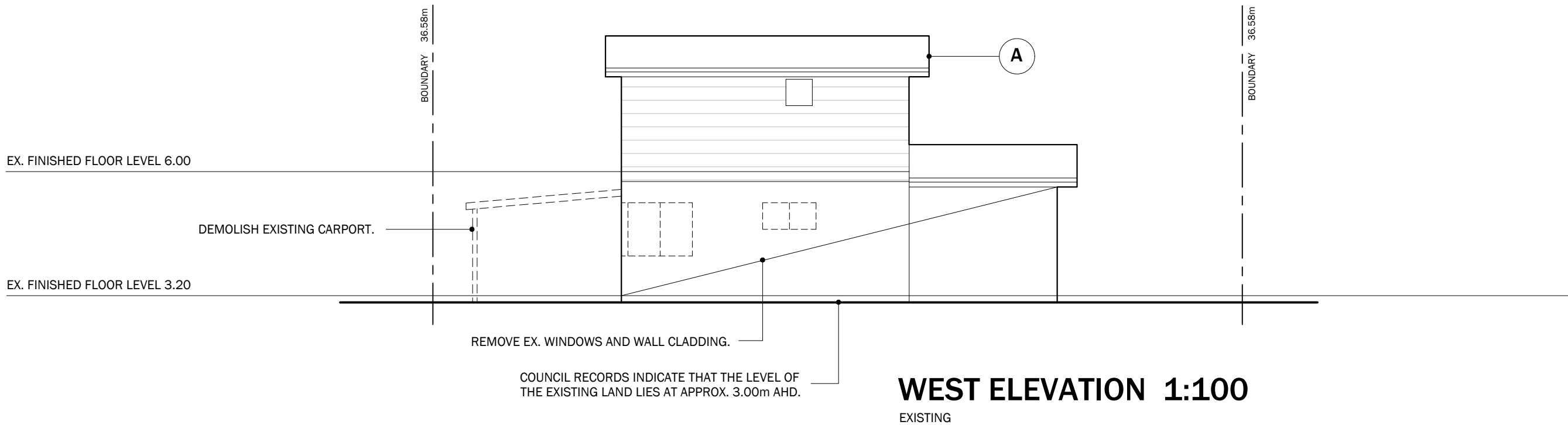
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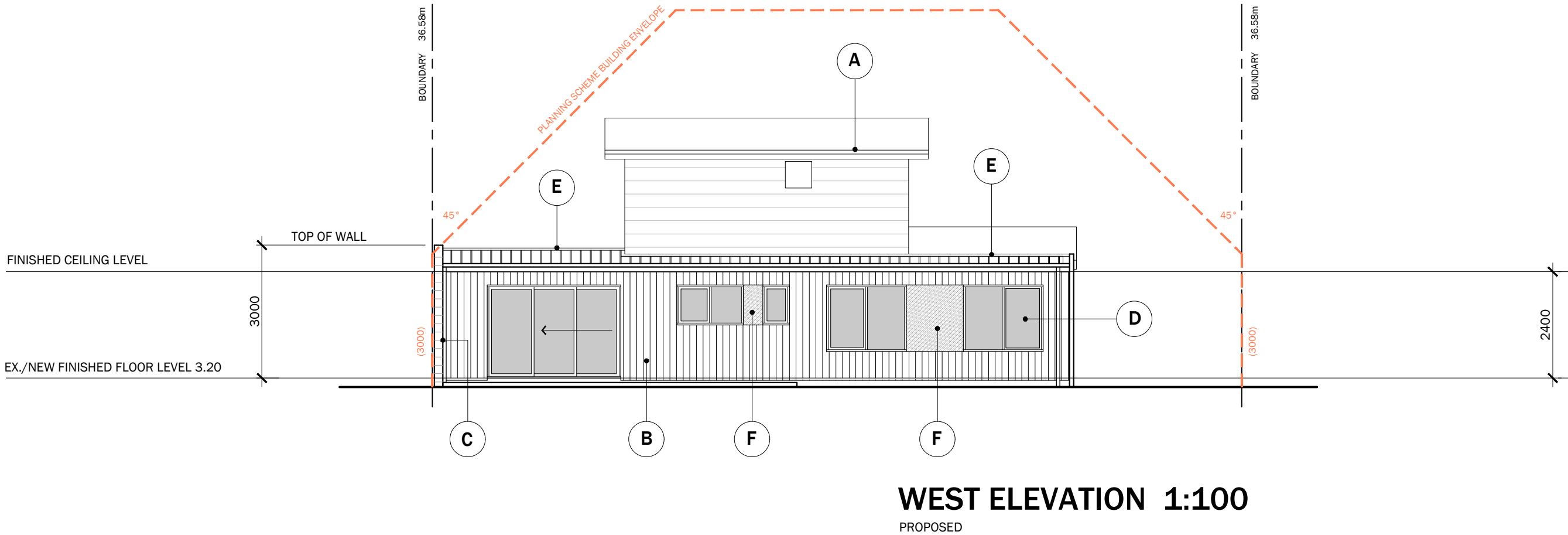
EXTERIOR ELEVATIONS - NORTH

SCALE: **1:100 (A3)**
DRAWING No:

A06



WEST ELEVATION 1:100
EXISTING



WEST ELEVATION 1:100
PROPOSED

EXTERNAL MATERIALS & FINISHES

- A** OUTLINE OF EXISTING TWO STOREY RESIDENCE.
- B** 'HARDIE SCYON STRIA' SHEET CLADDING. PAINT FINISH.
- C** MASONRY VENEER WALL ON BOUNDARY. FACE FINISH. COLOUR AS SELECTED.
- D** ALUMINIUM WINDOW + SLIDING DOOR FRAMES. DOUBLE GLAZED. POWDERCOATED.
- E** 'TRIMDEK' ROOF SHEETING - MINIMUM 2° PITCH. COLORBOND FINISH.
- F** 'HARDIES EASYLAP' CEMENT SHEET. PAINT FINISH.

ADDITONS

No. 60 BANGALEE STREET
LAUDERDALE

S. BULLOCK

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ISSUE/REV:

A. PLANNING ISSUE. 18.6.25

TITLE:

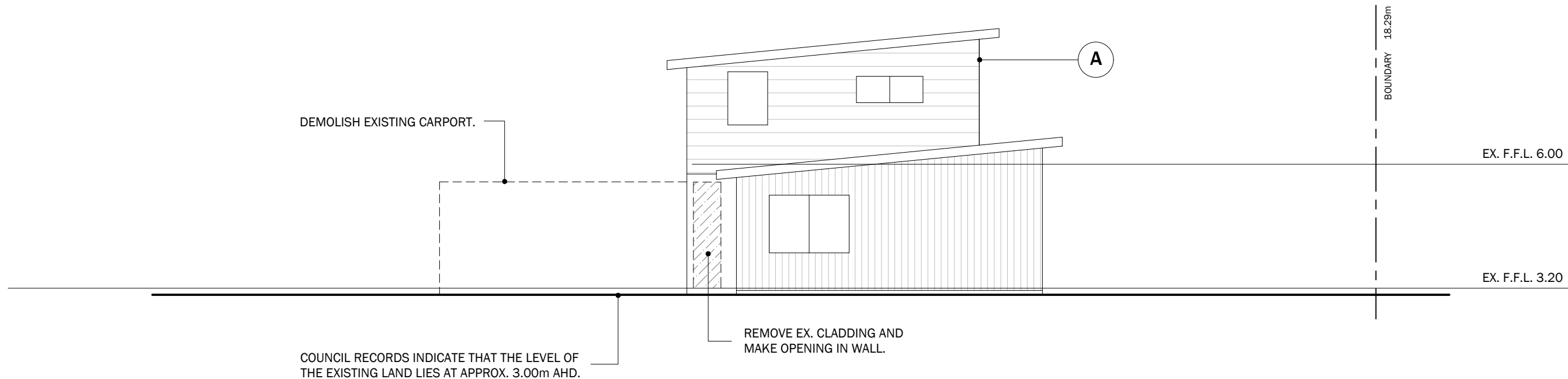
EXTERIOR ELEVATIONS - WEST

SCALE: 1:100 (A3)

DRAWING No:

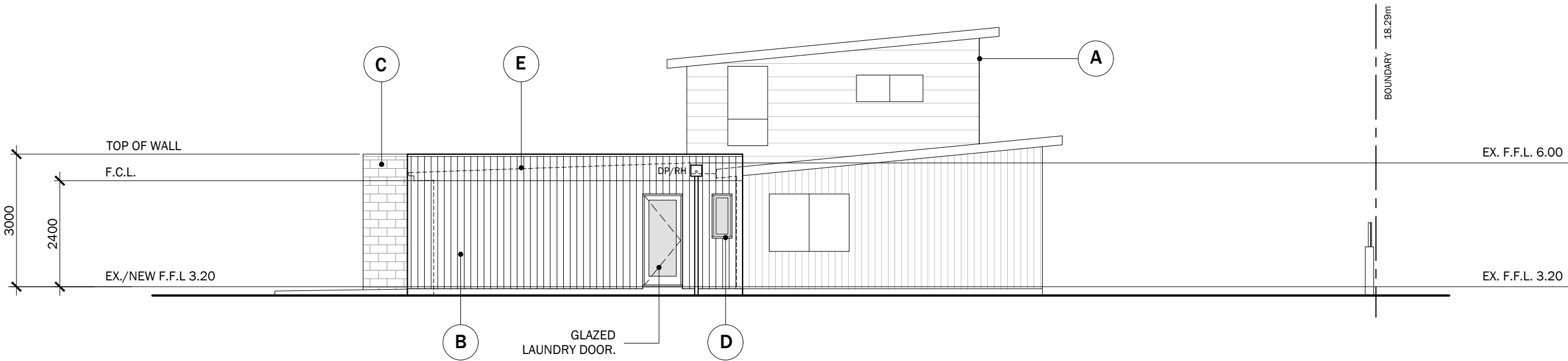
A07

SHEET: 7 OF 10



SOUTH ELEVATION 1:100

EXISTING



SOUTH ELEVATION 1:100

PROPOSED

EXTERNAL MATERIALS & FINISHES

- A** OUTLINE OF EXISTING TWO STOREY RESIDENCE.
- B** 'HARDIE SCYON STRIA' SHEET CLADDING. PAINT FINISH.
- C** MASONRY VENEER WALL ON BOUNDARY. FACE FINISH. COLOUR AS SELECTED.
- D** ALUMINIUM WINDOW + SLIDING DOOR FRAMES. DOUBLE GLAZED. POWDERCOATED.
- E** 'TRIMDEK' ROOF SHEETING - MINIMUM 2° PITCH. COLORBOND FINISH.

ADDITONS

**No. 60 BANGALEE STREET
LAUDERDALE**

S. BULLOCK

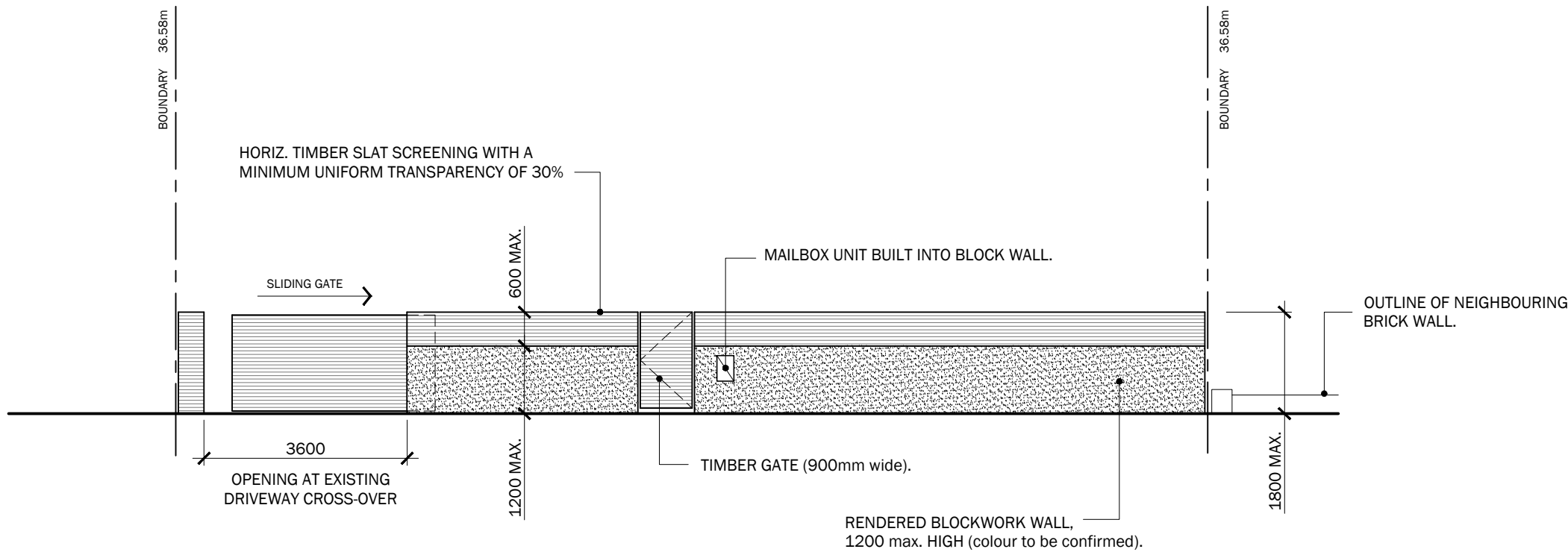
DATE: **JUN 2025**
PROJECT No. 1315

A. PLANNING ISSUE. 18.6.25

EXTERIOR ELEVATIONS - SOUTH

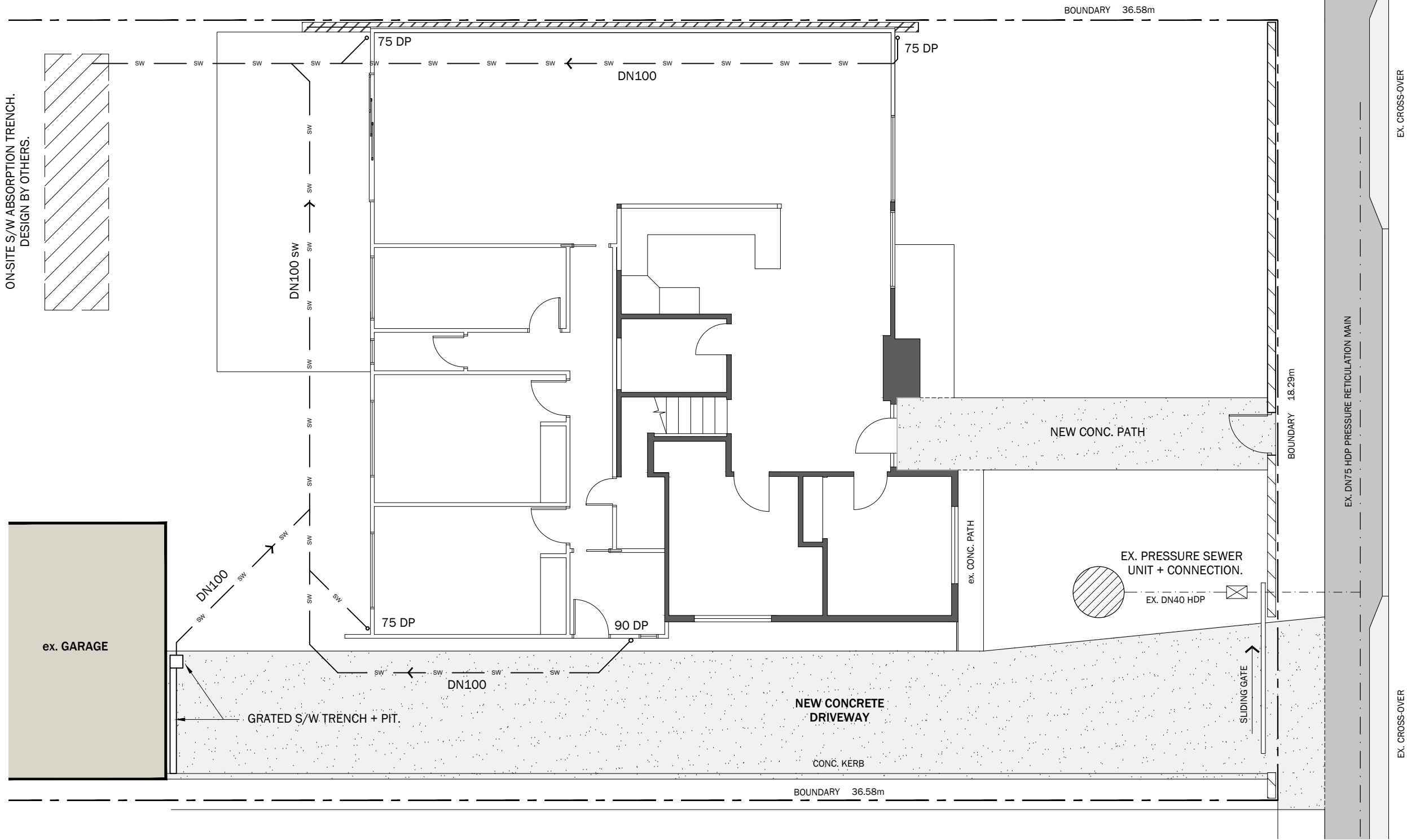
SCALE: **1:100 (A3)**
DRAWING No:

A08



EAST ELEVATION 1:100

PROPOSED BOUNDARY WALL/FENCE - FACING BANGALEE STREET



STORMWATER PLAN 1:100

CONCEPT

BANGALEE STREET

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDISFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 499 238
LICENCE No. CC5666C

PROJECT:
ADDITONS
No. 60 BANGALEE STREET
LAUDERDALE
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ISSUE/REV:
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TITLE:
PLUMBING PLAN

SCALE: **1:100 (A3)**
DRAWING No:

A10

SHEET: **10** OF 10