



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/054004

PROPOSAL: Carport

LOCATION: 43 Karoola Road, Lindisfarne

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 01 September 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 01 September 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 01 September 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **Proposed New Carport**

Location: **43 Karoola Rd, Lindisfarne, TAS, 7015.**

Personal Information Removed

Estimated cost of development: **\$82,000**



Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Memory Hatendi

Current use of site:

Single Dwelling

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Applicant's signature:

Personal Information Removed

Date: **15/07/25**

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 13224	FOLIO 27
EDITION 4	DATE OF ISSUE 21-Jan-2014

SEARCH DATE : 26-May-2016

SEARCH TIME : 08.34 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 27 on Diagram 13224

Derivation : Part of 970 Acres Gtd. to E.P. Wilson & Ors.

Prior CT 3813/83

SCHEDULE 1

M450505 TRANSFER to WILLIAM MONTGOMERY MACRAE Registered
21-Jan-2014 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

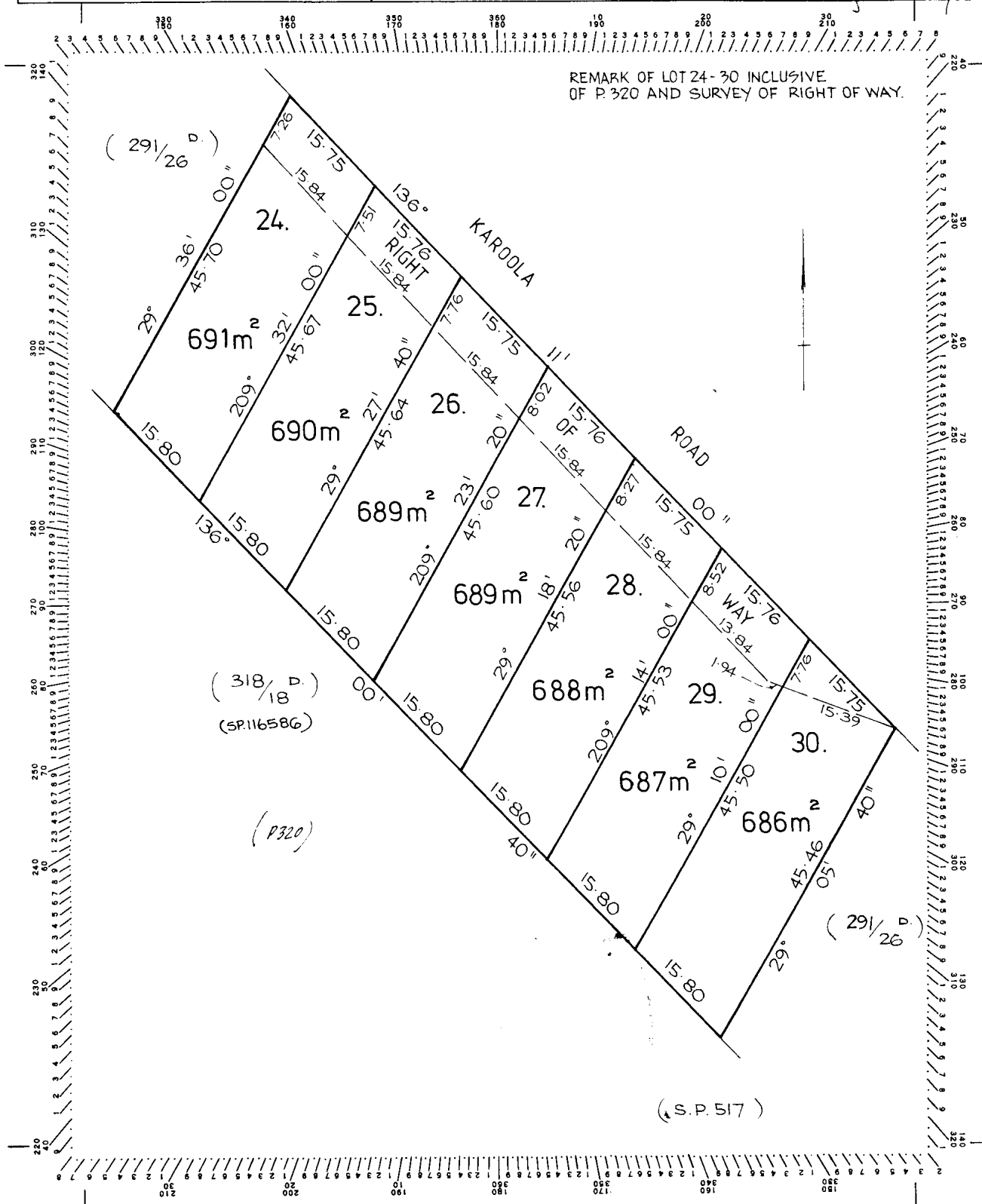
EASEMENTS in Order No. A665693

D102259 MORTGAGE to Perpetual Limited Registered
21-Jan-2014 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Owner: C. C. Bollen and M. E. Triffett	PLAN OF SURVEY by Surveyor <u>D. J. McAvoy</u> of land situated in the TOWN OF LINDISFARNE	Registered Number: D13224 Approved <u>18</u> <u>Recorder of Titles</u>
Title Reference: C.T. 3176-80	Scale 1:500 MEASUREMENTS IN METRES	
Grantee: Part of 970A ^c Gtd to E. P. Wilson & Ors.		



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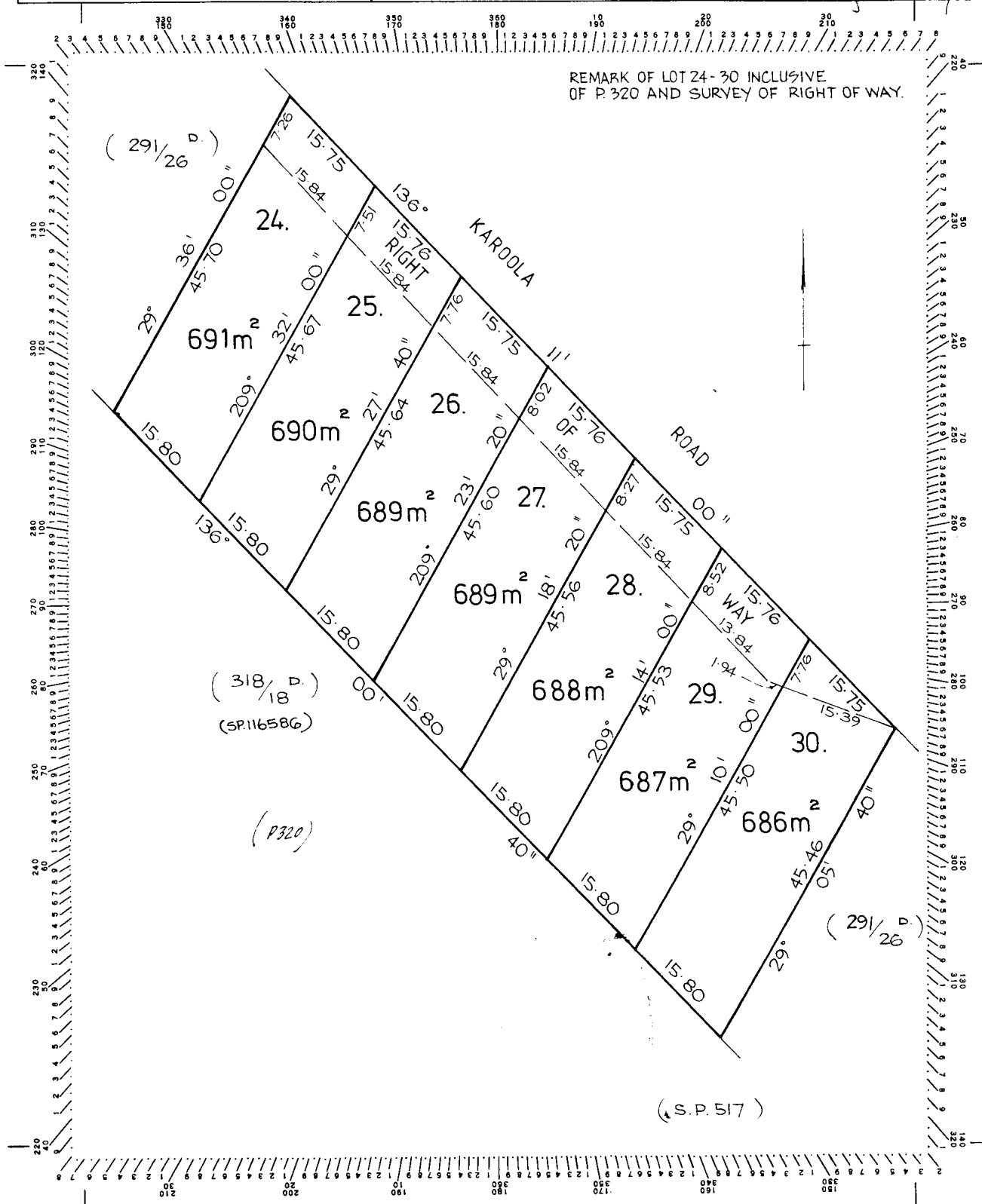
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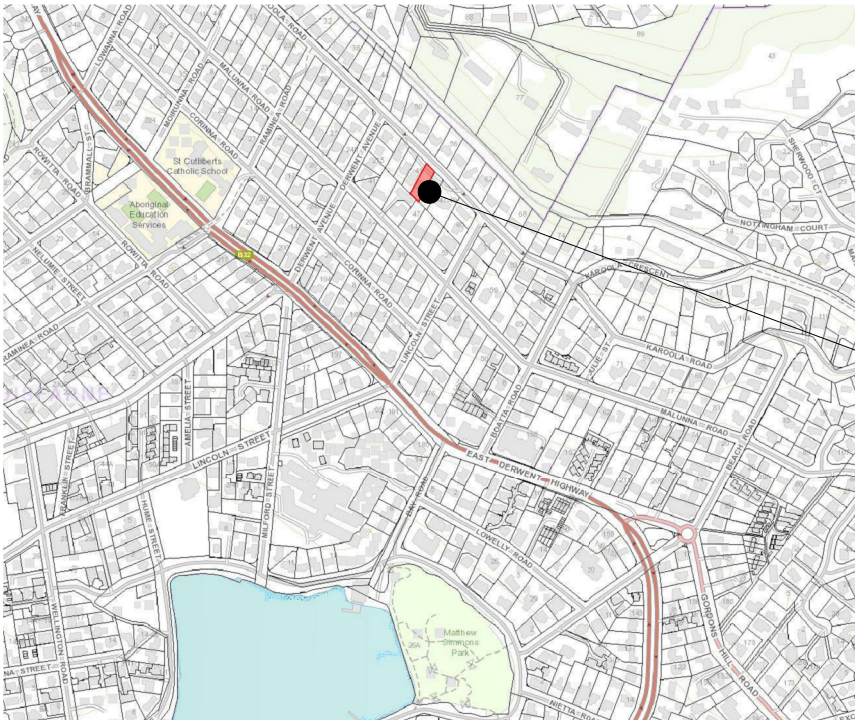
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ADDRESS: 43 KAROOLA RD
PID: 5129348
TITLE REF: 13224/27

DEVELOPMENT APPLICATION

PROPOSED NEW CARPORT

43 KAROOLA RD, LINDISFARNE
WILLIAM MACRAE

LOCALITY GUIDE

NTS
(SOURCE: THE LIST)

GENERAL NOTES

- THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSE OF OBTAINING APPROVAL FROM RELEVANT STATUTORY AUTHORITIES AND ARE SUBJECT TO THAT APPROVAL.
- LEVEL DATUM IS ARBITRARY.
- ALL BOUNDARIES & ADJACENT OFFSETS ARE SUBJECT TO ON-SITE CONFIRMATION BY A LICENSED SURVEYOR.
- DO NOT SCALE. WRITTEN DIMENSIONS HAVE PRECEDENCE.
- ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT BUILDING CODE OF AUSTRALIA (NCC), AUSTRALIAN STANDARDS AND ANY BY-LAWS AND REGULATIONS THAT MAY APPLY.
 - ALL SLABS & FOOTING TO COMPLY WITH CURRENT AS2870.
 - ALL TIMBER FRAMING TO COMPLY WITH CURRENT AS1684.
 - ALL GLAZING TO COMPLY WITH CURRENT AS1288.
 - ALL SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH CURRENT NCC 3.7.2
 - ALL STAIRS & BALUSTRADES TO COMPLY WITH CURRENT NCC 3.9
 - ALL EXTERNAL DOORS, WINDOWS & BUILDING PENETRATIONS GENERALLY TO BE SEALED IN ACCORDANCE WITH CURRENT NCC 3.12.3.3
 - ALL WET AREAS TO BE WATERPROOFED IN ACCORDANCE NCC 3.8.1 & CURRENT AS3740.
 - ALL WORK TO COMPLY WITH CURRENT AS3959.
- CONTRACTORS TO CONFIRM ALL AREAS, DIMENSIONS & LEVELS WITH DESIGNER PRIOR TO COMMENCING ANY WORK.
- CONTRACTORS TO CHECK ALL OPENINGS BEFORE ORDERING WINDOWS & DOORS.
- ALL PROPRIETARY ITEMS ARE TO BE INSTALLED TO MANUFACTURERS INSTRUCTION.



SHEET

NUMBER REVISION SHEET NAME

A-00		TITLE
A-01		SITE PLAN
A-S1.01		PROPOSED GARAGE FLOORPLAN
A-S1.02		PROPOSED CARPORT ELEVATIONS
SK-01		SKETCHES 1

THE LOCATION OF UNDERGROUND SERVICES SHOWN IS APPROXIMATE ONLY.
ALL SERVICES MAY NOT BE SHOWN. EXACT LOCATION OF ALL SERVICES SHOULD
BE POSITIVELY ESTABLISHED PRIOR TO COMMENCEMENT OF ANY WORKS.



THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATION, CERTIFICATE OF LIKELY COMPLIANCE AND ASSOCIATED DOCUMENTATION

DRAWINGS TO BE PRINTED & READ IN FULL COLOUR

No.	Description	Date
PS D V1-4		30/05/25
PAE		23/06/25
PS D V1-5		16/07/25
DA		15/07/25

MICHAEL KINSELLA
INTEGRAL DESIGN & DRAFTING SERVICES
ACCREDITED BUILDING PRACTITIONER
ACCREDITATION: CC5699V
ACCREDITED BUSHFIRE PRACTITIONER
ACCREDITATION: BFP-133



WILLIAM MACRAE
ALTERATIONS AND ADDITIONS
43 KAROOLA RD, LINDISFARNE, 7015

TITLE

Project number	MACR-W-01	A-00
Date	1/09/24	
Designed by	Michael Kinsella	
Drawn by	MK	Scale
		1 : 100 @ A3

LOT AREA: 689m²
EXISTING HOUSE AREA: 129.41m²
PROPOSED CARPORT AREA: 42.65m²
SITE COVERAGE: 172.06m²
PLOT RATIO: 24.97%

DRAINAGE

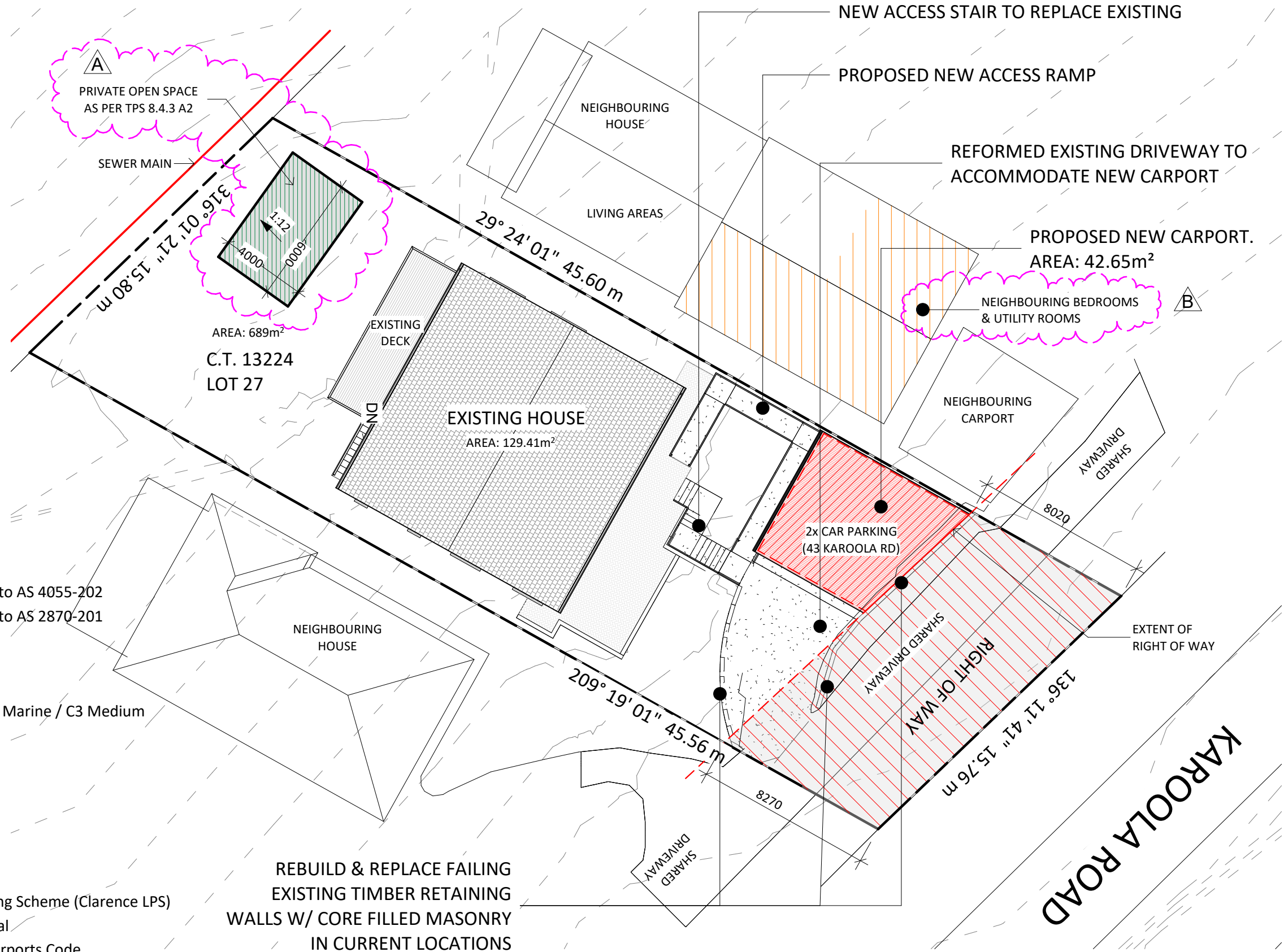
ALL STORMWATER FROM NEW SURFACES TO GRAVITY
FEED TO EXISTING SITE STORMWATER SYSTEM AND
EXISTING COUNCIL APPROVED STORMWATER KERB OUTLET

NOMINAL SITE INFORMATION

Title Reference Number: 13224/27
Wind Classification: NOM N3
Soil Classification: NOM H
Climate Zone: 7
BAL RATING: N/A
Alpine Area: N/A
Corrosion Environment: Moderate
Other Hazards: Nil Observed
Energy Efficiency: N/A
Geo - Tech Report: F55 CoQP
Structural Form 55: F55 CoQP
Site Classification to AS 4055-202
Site Classification to AS 2870-201
>200m from Calm Marine / C3 Medium

PLANNING INFORMATION

Title Reference Number: 13224/27
Planning Scheme: TPS
Zone: 8
Overlays: CLA-C16.0
Tasmanian Planning Scheme (Clarence LPS)
General Residential
Safeguarding of Airports Code



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	DA	15/07/25
A	PDPLANMTD-2025/054004 FIR#1	30/07/25
B	PDPLANMTD-2025-054004	08/08/25

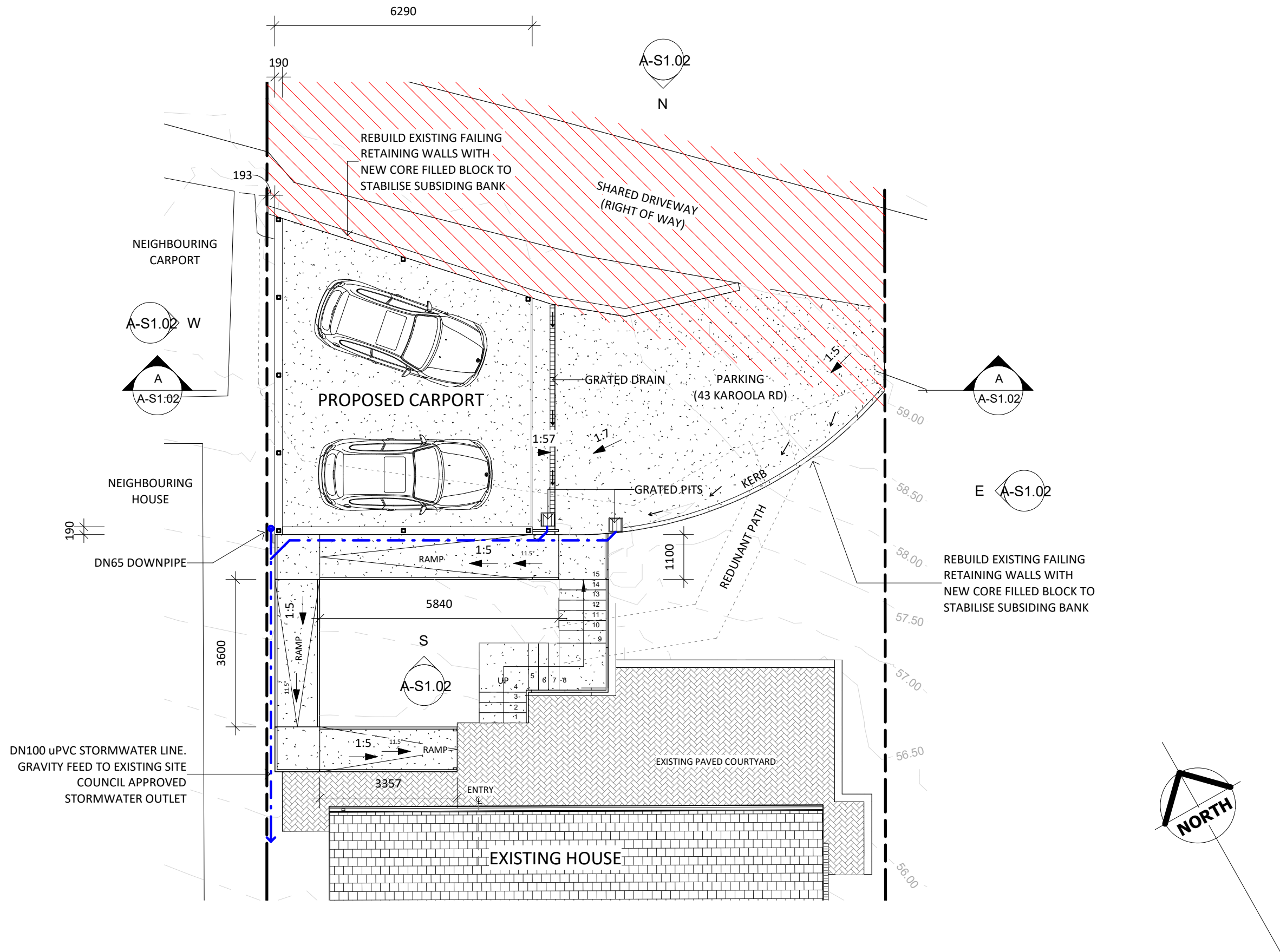
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bda
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

CHARTERED
BUILDING DESIGNER

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43 KAROOLA RD, LINDISFARNE, 7015

SITE PLAN		
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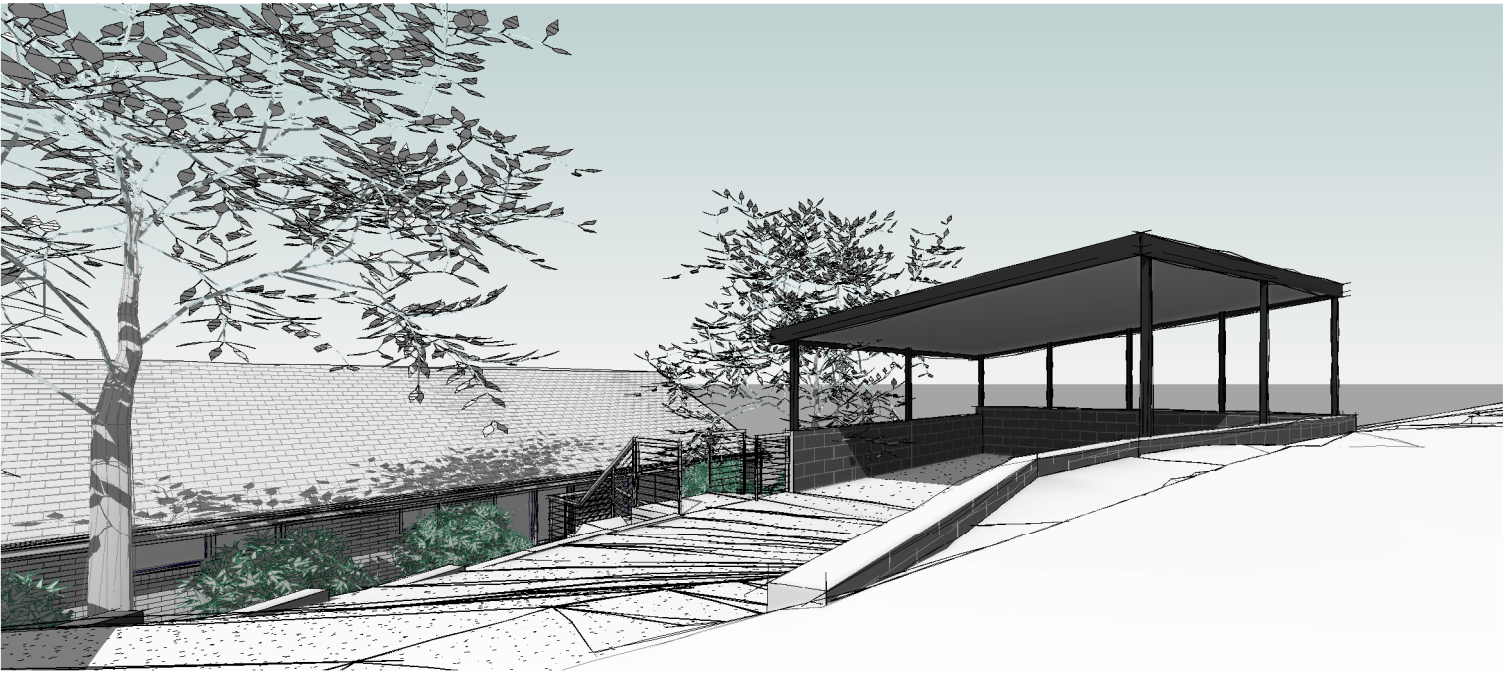
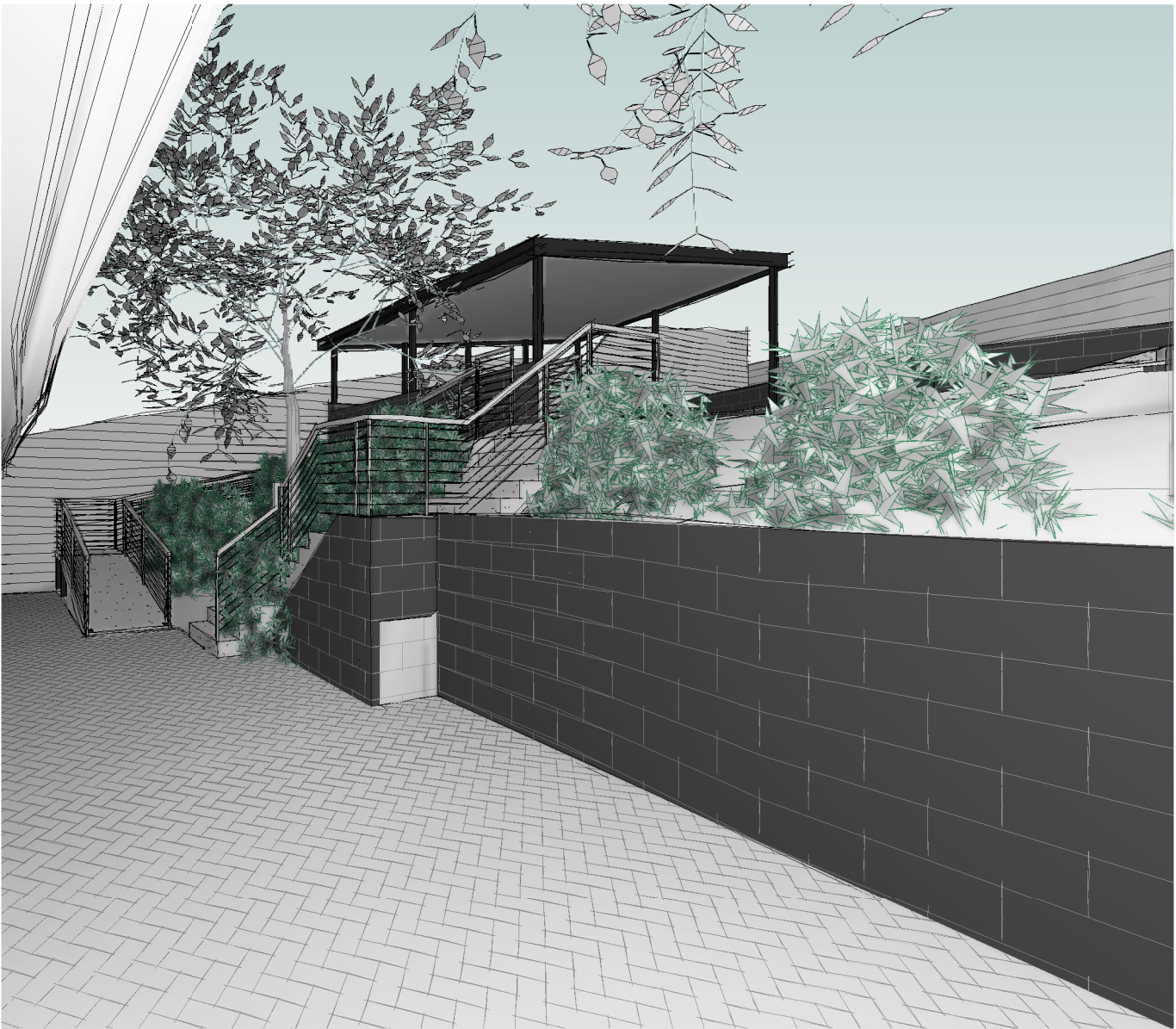
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43 KAROOOLA RD, LINDISFARNE, 7015

PROPOSED GARAGE FLOORPLAN

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WILLIAM MACRAE
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43 KARoola RD, LINDISFARNE, 7015

SKETCHES 1

Project number	MACR-W-01	SK-01
Date	1/09/24	
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