



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/054114

PROPOSAL: Outbuilding (Single Dwelling)

LOCATION: 253 Rifle Range Road, Sandford

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 18 August 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 18 August 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 18 August 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **New Outbuilding (domestic storage & workshop)**

Location: **253 Rifle range Road, Sandford, 7020**

Personal Information Removed



Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: Residential

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☒ Details of the location of the proposed use or development.
- ☒ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☒ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☒ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 119237	FOLIO 1
EDITION 7	DATE OF ISSUE 20-Feb-2017

SEARCH DATE : 04-Jul-2025

SEARCH TIME : 09.37 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Sealed Plan 119237

Derivation : Part of 99 Acres Gtd. to J. Easy.

Prior CT 10356/2

SCHEDULE 1

M612290 TRANSFER to BRODIE DERRICK BIRD and TELETHA JOY BIRD
Registered 20-Feb-2017 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 10356 COUNCIL NOTIFICATION under Section 468(12) of the
Local Government Act 1962

SP119237 EASEMENTS in Schedule of Easements

SP119237 COUNCIL NOTIFICATION under Section 83(5) of the Local
Government (Building and Miscellaneous Provisions)
Act 1993.

SP10356,SP119237 COVENANTS in Schedule of Easements

SP10356,SP119237 FENCING COVENANT in Schedule of Easements

E84520 MORTGAGE to Commonwealth Bank of Australia

Registered 20-Feb-2017 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER ASSENT TO DENIS PAUL FOSTER & MARY ALICE FOSTER.</p> <p>FOLIO REFERENCE CT 10356/2.</p> <p>GRANTEE PART OF 99Ac. GTD. TO SA EASY. JOHN</p>	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR JOHN L. CERUTTY <small>CROWER & CERUTTY 7 BAYFIELD STREET, ROSNY PARK A DIVISION OF CO&R PTY. LTD. ACN 009521984</small></p> <p>LOCATION</p> <p>CITY OF CLARENCE</p> <p>SCALE 1:2500 LENGTHS IN METRES</p>	<p>REGISTERED NUMBER</p> <p style="font-size: 24pt;">SP 119237</p> <p>APPROVED EFFECTIVE FROM 21 SEP 1995</p> <p><i>[Signature]</i> Recorder of Titles</p>	
MAPSHEET MUNICIPAL CODE No. 107	LAST UPI No. 1400629	LAST PLAN No. SP 10356	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

LOT 2 IS COMPILED FROM CT 10356/2 & THIS SURVEY.

SCHEDULE OF EASEMENTS

PAGE 2 OF 2 PAGES

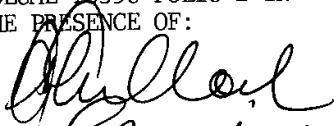

Registered Number

SP 119237

COVENANTS

Lots 1 and 2 on the Plan, which together formerly comprised Lot 2 on Sealed Plan No. 10356 are affected by restrictive covenants set forth in Sealed Plan No. 10356.

SIGNED BY DENIS
PAUL FOSTER AND
MARY ALICE FOSTER
THE REGISTERED PROPRIETORS
OF THE LAND COMPRISED
IN FOLIO OF THE REGISTER
VOLUME 10356 FOLIO 2 IN
THE PRESENCE OF:



D. Foster.

M. Foster.
D. Foster

NEW OUTBUILDING
253 RIFLE RANGE ROAD, SANDFORD, 7020
FOR B. & T. BIRD

CERTIFICATE OF TITLE: VOLUME - 119237 FOLIO - 1
PID: 1655690
LAND AREA: 2.018ha

PLANNING SCHEME: TASMANIAN PLANNING SCHEME
CLARENCE LOCAL PROVISIONS SCHEDULE

ZONE: 11. RURAL LIVING

OVERLAYS: BUSHFIRE PRONE AREAS
AIRPORT OBSTACLE LIMITATION AREA
FLOOD PRONE AREAS
ROAD OR RAILWAY ATTENUATION AREA

SOIL CLASSIFICATION: ASSUMED M

WIND REGION: A

TERRAIN CATEGORY: TC 2.8

IMPORTANCE LEVEL: 2 (DOMESTIC)

SHIELDING: 1

TOPOGRAPHY: 1

BAL: NOT REQUIRED (CLASS 1 OA STRUCTURE NOT WITHIN 6m OF DWELLING)

INDEX OF DRAWINGS - BY ADRIAN BROWN CC6003R

PAGE 1 - SITE PLAN 1:1500

PAGE 2 - LOCATION PLAN 1:500

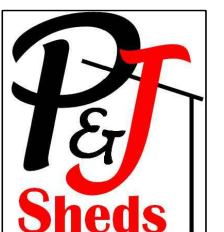
PAGE 3 - ELEVATIONS 1:100

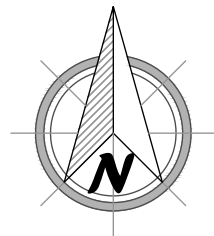
PAGE 4 - FLOOR PLAN 1:100

PAGE 5 - PLUMBING PLAN 1:100

ADDITIONAL DRAWINGS / ENGINEERING
BY NORTHERN CONSULTING ENGINEERS

JOB NO - 100334

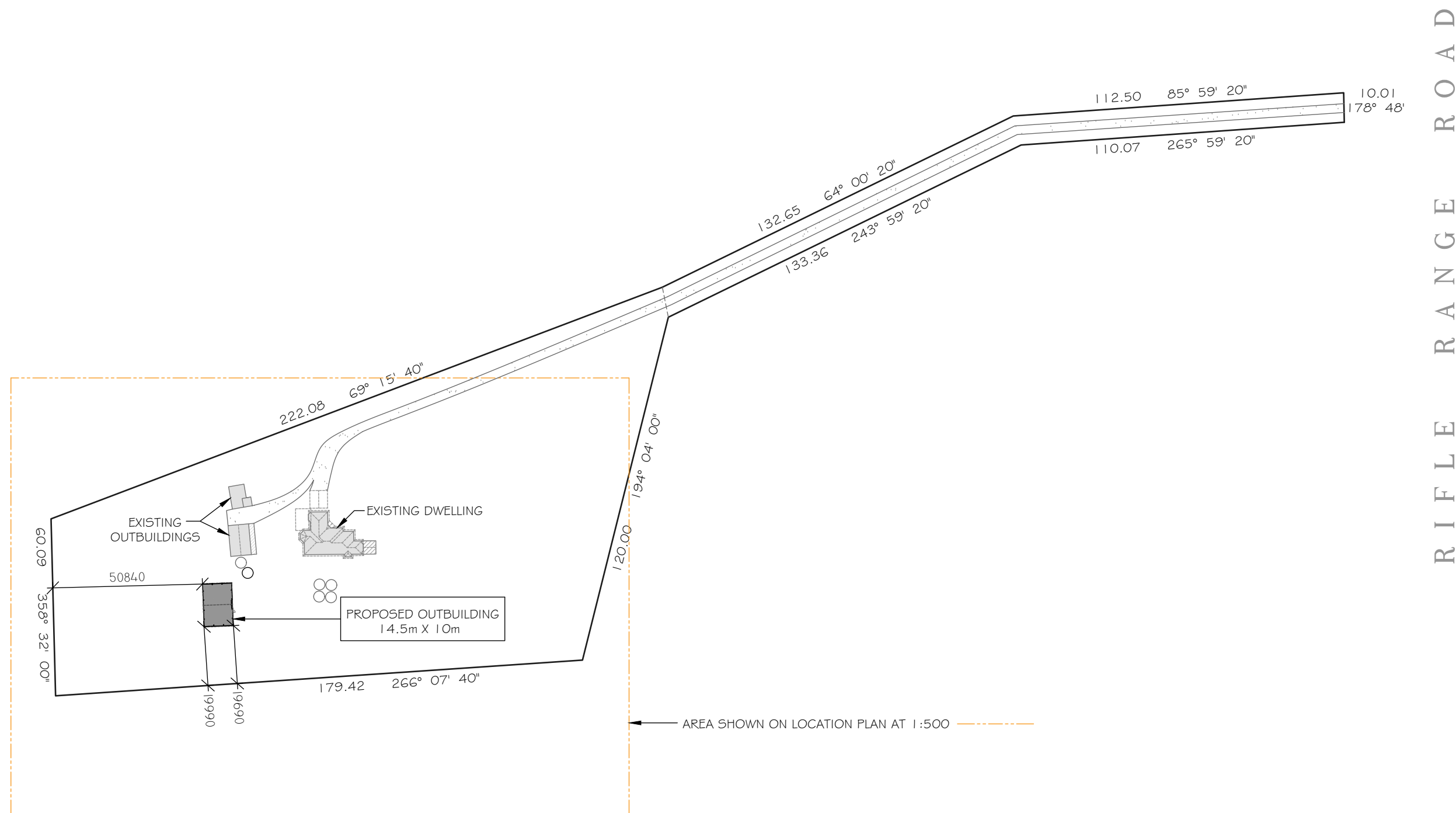




LOT AREA: 2.018ha

EXISTING DWELLING AREA: 199.7m²
" PERGOLA AREA: 38m²
" DECK AREA: 20m²
" CARPORT AREA: 36m²
" OUTBUILDINGS AREAS: 137.9m²

PROPOSED OUTBUILDING / GARAGE AREA: 145m²



SITE PLAN PREPARED FROM CERTIFICATE OF TITLE INFORMATION AND MEASUREMENTS TAKEN ON SITE. CONFIRMATION OF BOUNDARY LOCATION BY REGISTERED SURVEYOR IS ALWAYS RECOMMENDED PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

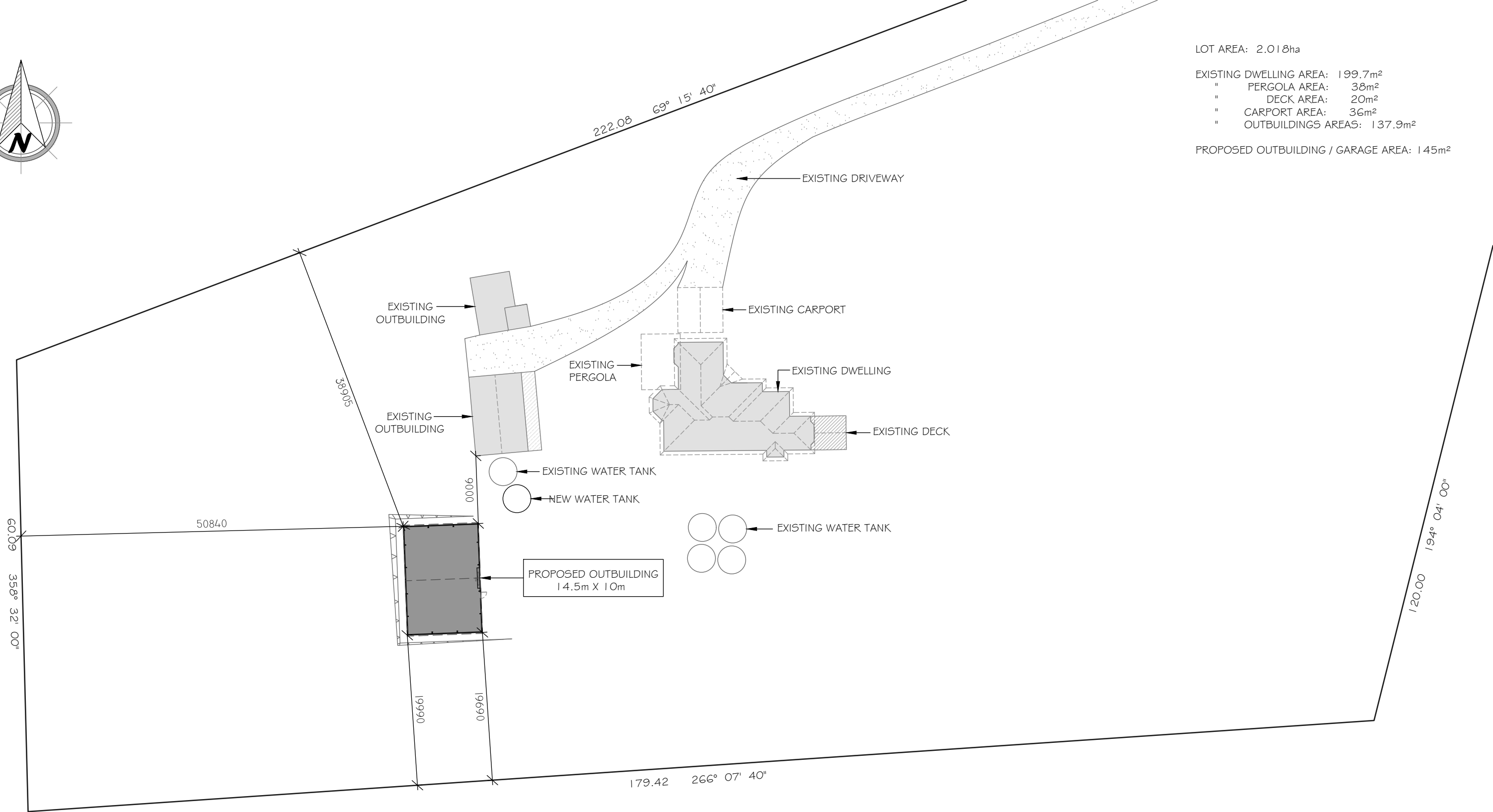
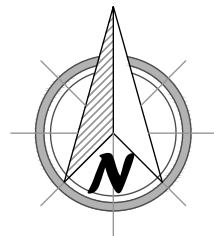
SITE PLAN 1:1500

P&J SHEDS PTY LTD. 38 McIntyre Street, Mornington, TAS, 7018. P: (03) 62 44 4300 F: (03) 6244 4355 E: admin@fairdinkumhobart.com.au ABN: 45109681263 THIS DRAWING IS THE PROPERTY OF P&J SHEDS. © 2025

VOL : 119237
FOLIO: 1
2.018ha

PROPOSAL : NEW OUTBUILDING
OWNER : B. & T. BIRD
ADDRESS: 253 RIFLE RANGE ROAD, SANDFORD, 7020
SCALE: 1:1500
DATE: 11th JULY 2025
AMENDED:
DRAWN BY: A. BROWN CC6003R
PAGE: 01/05
JOB NO : 100334





LOT AREA: 2.018ha

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VOL : 119237
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2.018ha

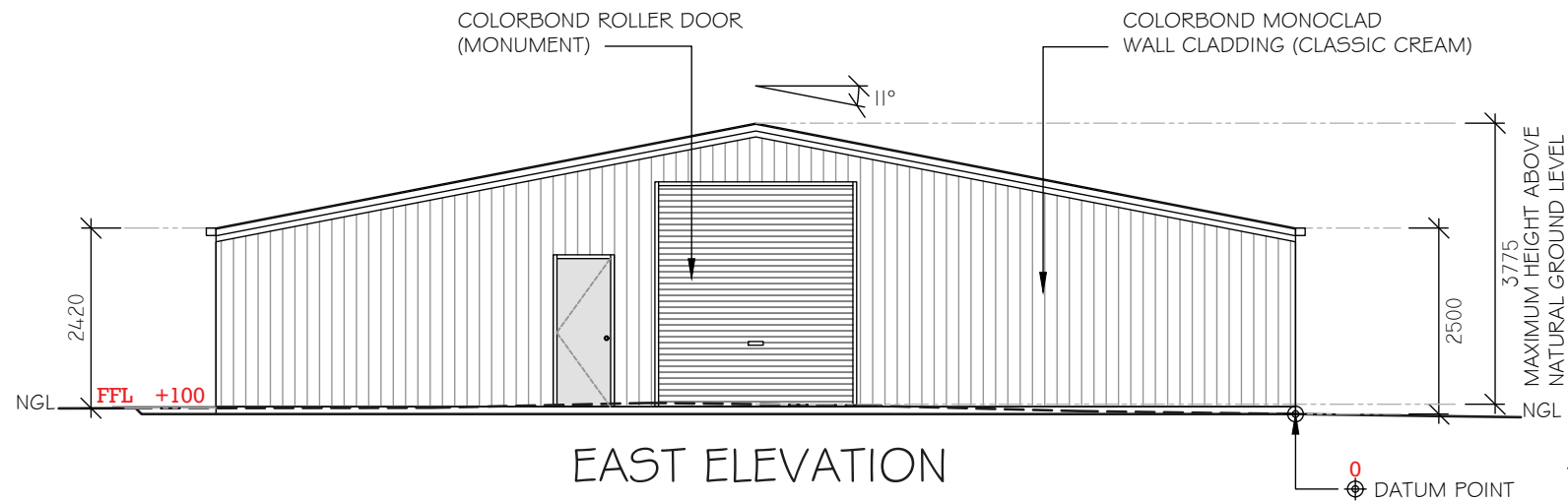
SITE PLAN PREPARED FROM CERTIFICATE OF TITLE
INFORMATION AND MEASUREMENTS TAKEN ON SITE.
CONFIRMATION OF BOUNDARY LOCATION BY
REGISTERED SURVEYOR IS ALWAYS RECOMMENDED
PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY
OF THE PROPERTY OWNER.

LOCATION PLAN 1:500

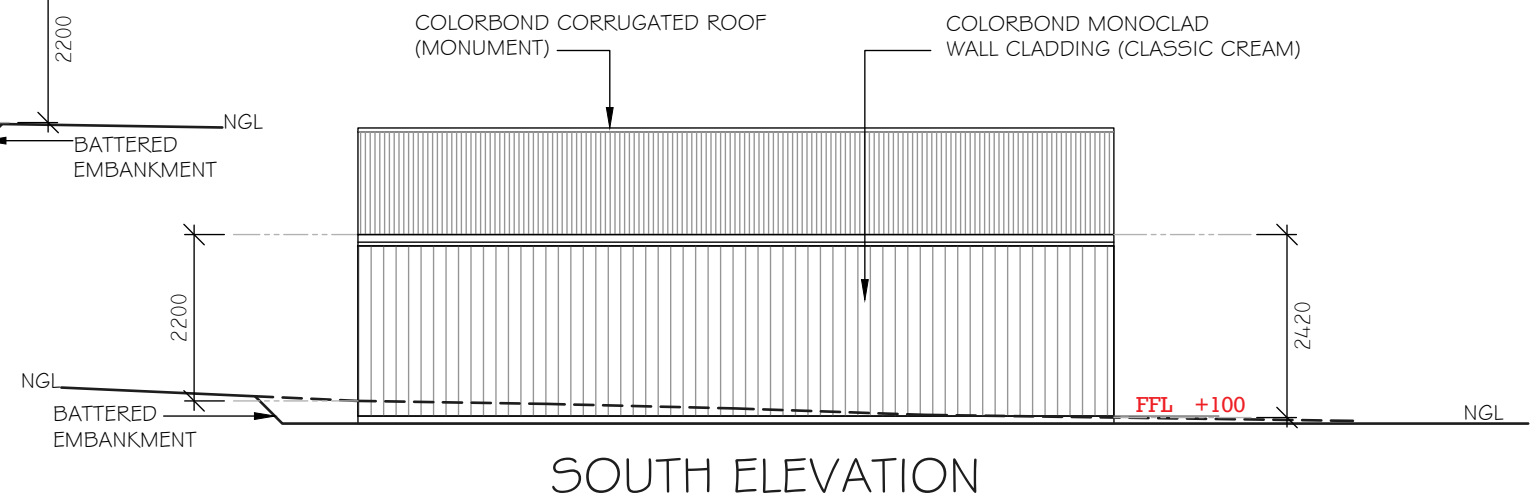
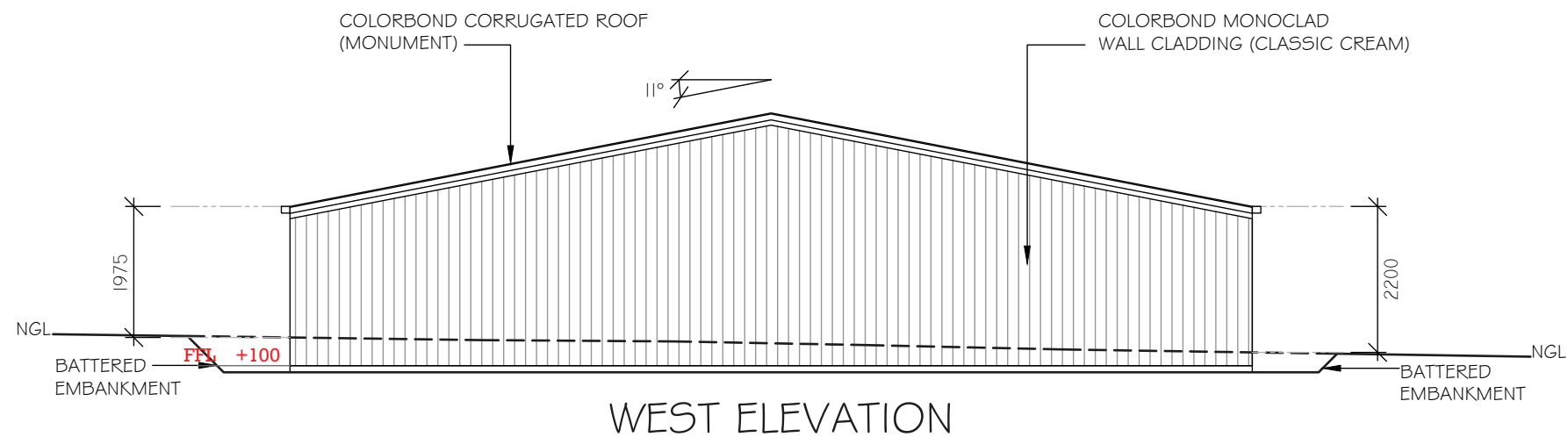
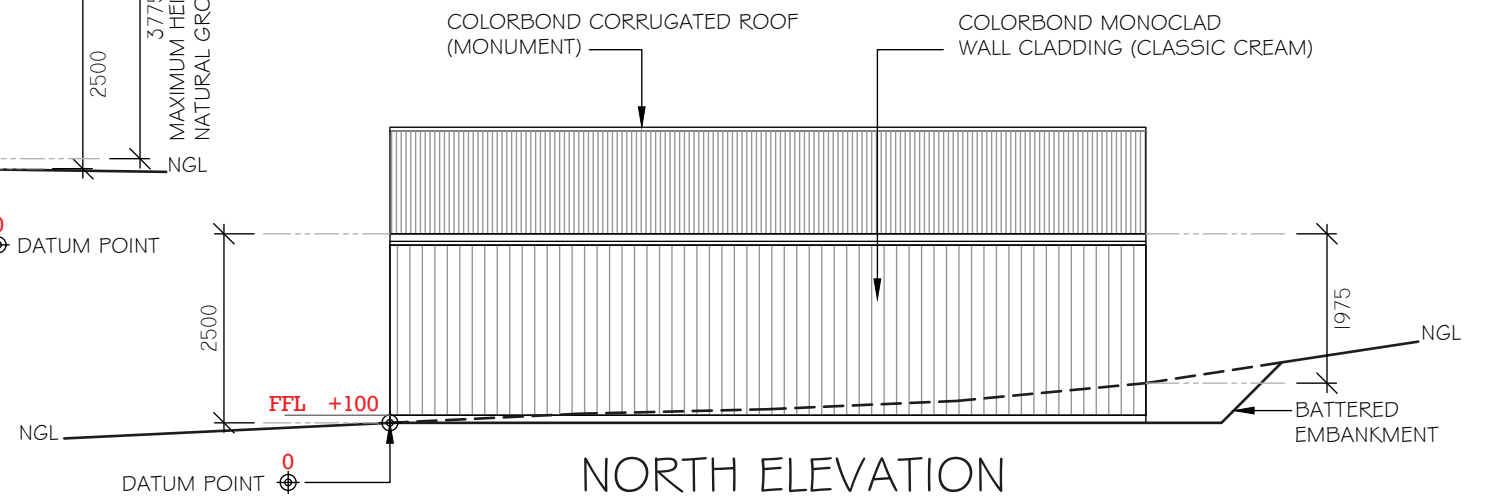
P&J SHEDS PTY LTD. 38 McIntyre Street, Mornington, TAS, 7018. P: (03) 62 44 4300 F: (03) 6244 4355 E: admin@fairdinkumhobart.com.au ABN: 45109681263 THIS DRAWING IS THE PROPERTY OF P&J SHEDS. © 2025

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DRAWN BY: A. BROWN CC6003R
PAGE: 02/05
JOB NO : 100334





COLOUR'S (COLORBOND®):
 EXT. WALLS - CLASSIC CREAM
 ROOF - MONUMENT
 ROLLER DOOR - MONUMENT
 PA DOOR - MONUMENT
 GUTTER - MONUMENT
 CORNER FLASH - CLASSIC CREAM
 BARGE FLASHING - MONUMENT
 OPENING FLASH - MONUMENT



REFER TO DRAWINGS BY NORTHERN CONSULTING ENGINEERS FOR ALL MEMBER AND MATERIAL DETAILS AS WELL AS FOOTING DESIGN AND SPECIFICATIONS.

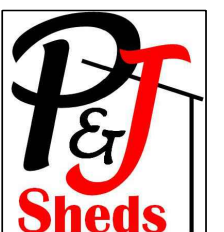
ALL HEIGHTS SHOWN ARE ABOVE NATURAL GROUND LEVEL.

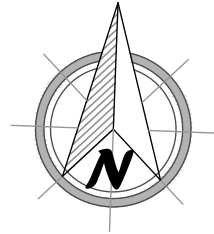
ACTUAL HEIGHTS OF WALLS ABOVE CONCRETE SLAB ARE:
 SIDE WALL HEIGHT - 2400mm
 END WALL HEIGHT TO APEX - 3809mm

ELEVATIONS 1:100

P&J SHEDS PTY LTD. 38 McIntyre Street, Mornington, TAS, 7018. P: (03) 62 44 4300 F: (03) 6244 4355 E: admin@fairdinkumhobart.com.au ABN: 45109681263 THIS DRAWING IS THE PROPERTY OF P&J SHEDS. © 2025

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 OWNER : B. & T. BIRD
 ADDRESS: 253 RIFLE RANGE ROAD, SANDFORD, 7020
 SCALE: 1:100
 DATE: 11th JULY 2025
 AMENDED:
 DRAWN BY: A. BROWN CC6003R
 PAGE: 03/05
 JOB NO : 100334





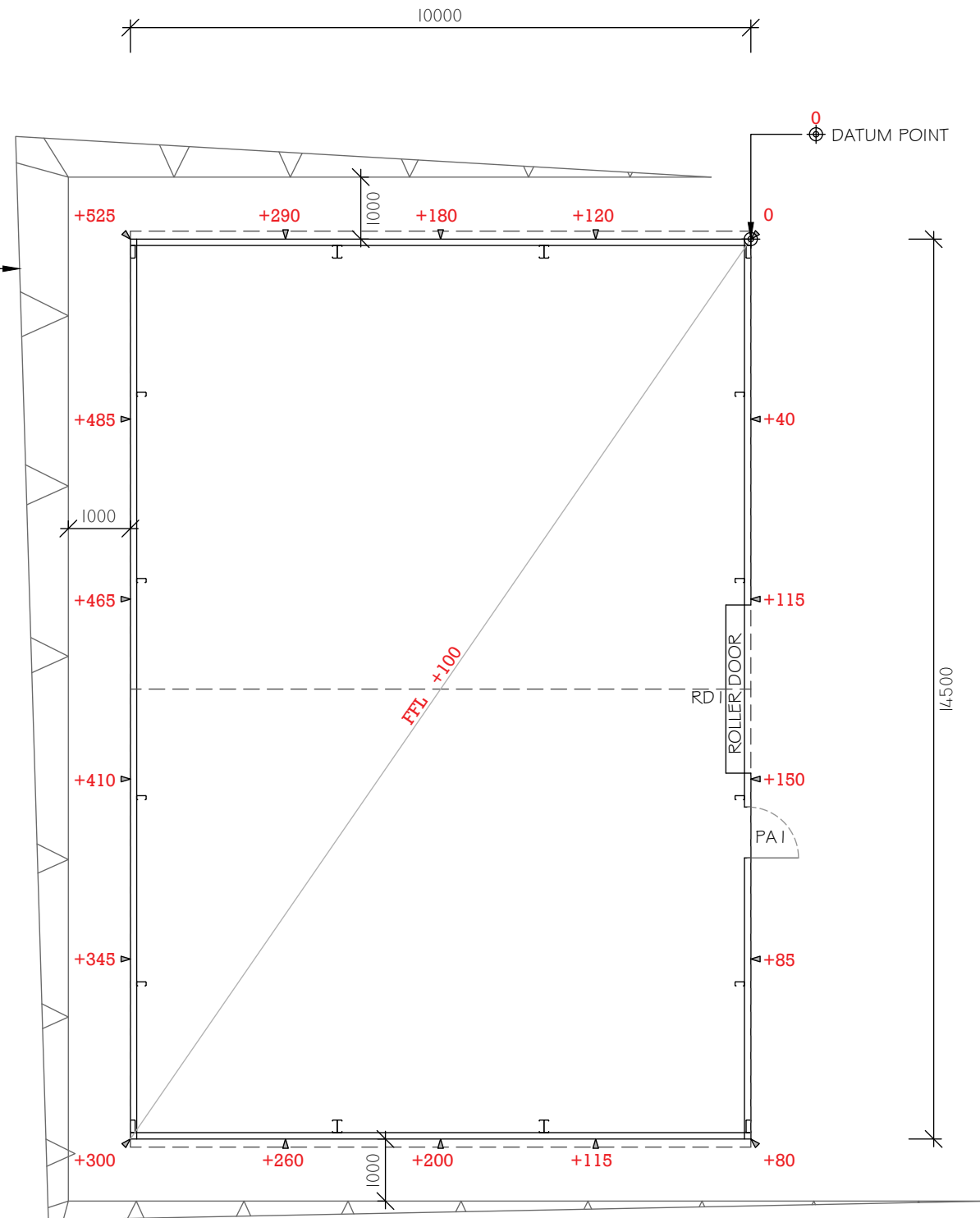
WINDOW & DOOR SCHEDULE

	ID	HEIGHT	WIDTH
ACCESS DOOR	PA I	2040mm	820mm
ROLLER DOOR	RD I	3020mm	2710mm

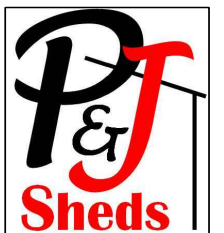
BATTERED EMBANKMENT

ALL EARTHWORKS & EXCAVATION
TO BE IN ACCORDANCE WITH
PART 3.2 OF NCC 2022.

UN-RETAINED EMBANKMENT SLOPES (CUT / FILL)
TO BE IN ACCORDANCE WITH TABLE 3.2.1
OF NCC 2022

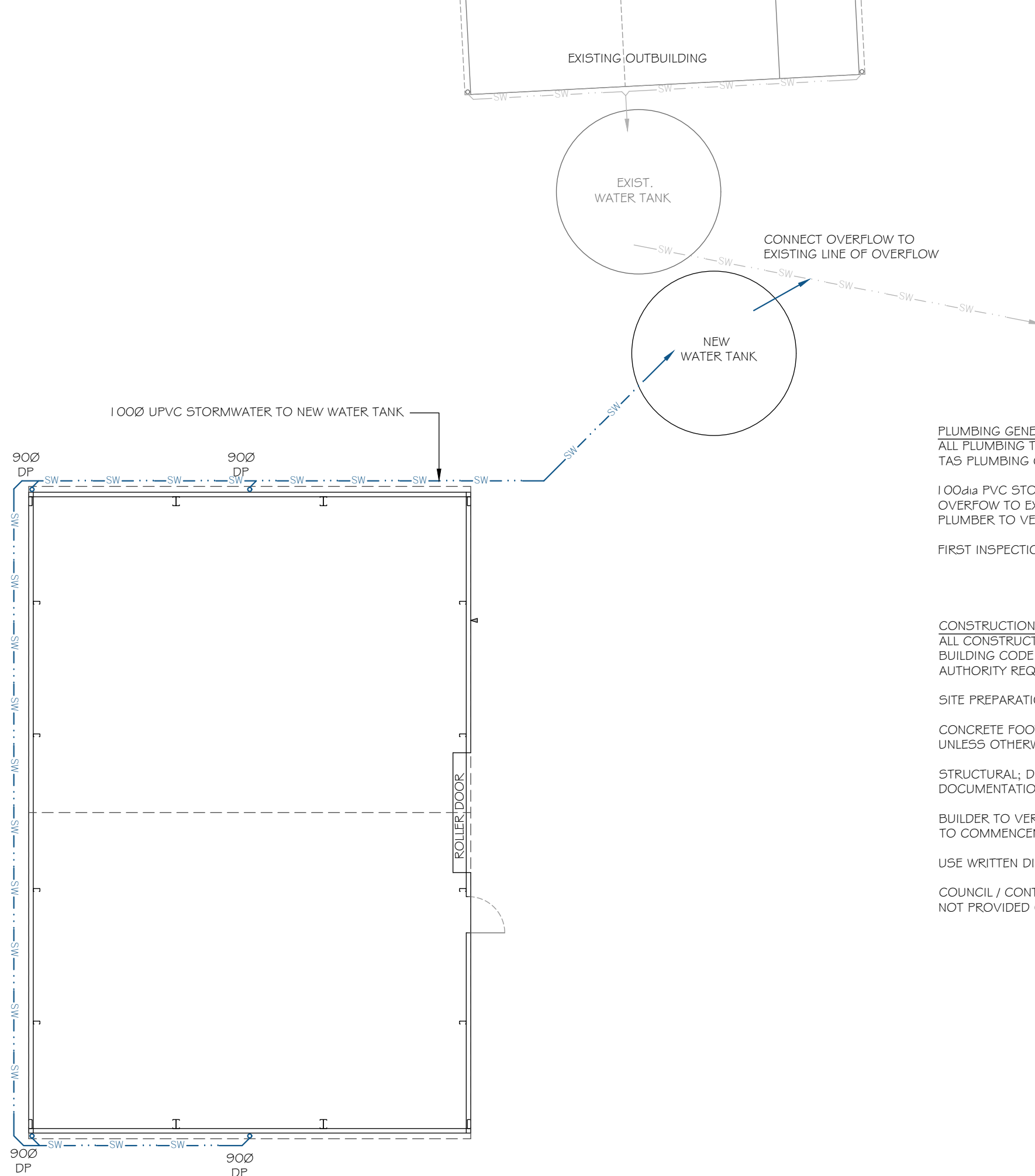
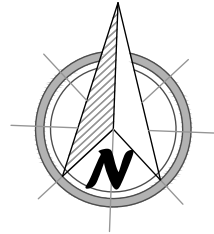


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SCALE: 1:100
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FLOOR PLAN 1:100

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PLUMBING GENERALLY:
ALL PLUMBING TO BE IN ACCORDANCE WITH AS 3500.
TAS PLUMBING CODE AND LOCAL AUTHORITY REQUIREMENTS.

100dia PVC STORM WATER TO NEW WATER TANK.
OVERFLOW TO EXISTING LINE OF STORMWATER OVERFLOW FROM EXISTING WATER TANK.
PLUMBER TO VERIFY CONNECTION LOCATION WITH OWNER.

FIRST INSPECTION OPENING TO BE RAISED TO FINISHED GROUND LEVEL.

CONSTRUCTION GENERALLY:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS,
BUILDING CODE OF AUSTRALIA (B.C.A.), RELEVANT AUSTRALIAN STANDARDS AND LOCAL
AUTHORITY REQUIREMENTS.

SITE PREPARATION AND EXCAVATION TO COUNCIL AND B.C.A REQUIREMENTS.

CONCRETE FOOTINGS TO AS 2870.1 AND ENGINEER SPECIFICATIONS.
UNLESS OTHERWISE SPECIFIED, FOOTINGS 20MPA / SLAB 25MPA.

STRUCTURAL; DETAILS AND CERTIFICATION AS PER 'FAIR DINKUM' BUILDS'
DOCUMENTATION.

BUILDER TO VERIFY ALL DIMENSIONS AND DETAILS ON THIS SET OF PLANS PRIOR
TO COMMENCEMENT OF WORK ON SITE.

USE WRITTEN DIMENSIONS IN PREFERENCE TO MEASURING OFF THE PLAN.

COUNCIL / CONTRACTOR TO CONTACT P&J SHEDS IF NECESSARY INFORMATION IS
NOT PROVIDED ON THIS SET OF PLANS.

PROPOSAL : NEW OUTBUILDING

OWNER : B. & T. BIRD

ADDRESS: 253 RIFLE RANGE ROAD, SANDFORD, 7020

SCALE: 1:100

DATE: 11th JULY 2025

AMENDED:

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PAGE: 05/05

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PLUMBING PLAN 1:100

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