



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/054213

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 28 Sirocco Court, Acton Park

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 20 August 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 20 August 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 20 August 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Additions & Alterations to Existing Dwelling & Garage

Location: 28 Sirocco Court, Acton Park. 7170

Personal Information Removed

Estimated cost of development: **\$230,000**



Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Ryan Peterson

Current use of site:

Residential

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Applicant's signature:

Date:

**Personal
Information
Removed**

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 10610	FOLIO 10
EDITION 4	DATE OF ISSUE 28-Jul-2014

SEARCH DATE : 22-Jul-2025

SEARCH TIME : 04.26 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 10 on Sealed Plan 10610

Derivation : Part of 1000 Acres Located to J. Jewell

Prior CT 3684/49

SCHEDULE 1

D136453 TRANSFER to SHARON MICHELLE WEST Registered
28-Jul-2014 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 10610 COVENANTS in Schedule of Easements

SP 10610 FENCING COVENANT in Schedule of Easements

SP 10610 COUNCIL NOTIFICATION under Section 468(12) of the
Local Government Act 1962

D136451 MORTGAGE to Australia and New Zealand Banking Group
Limited Registered 28-Jul-2014 at 12.02 PM

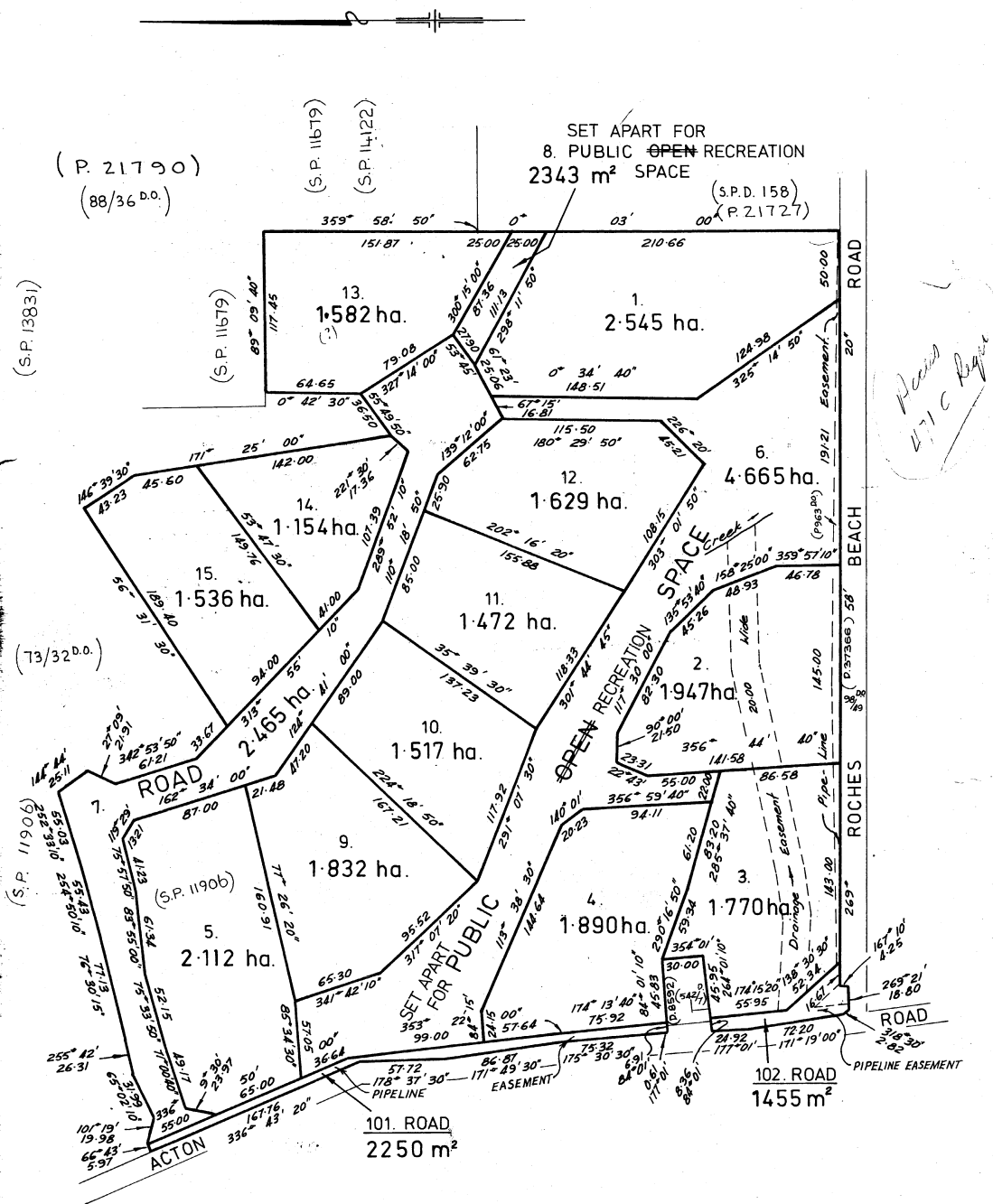
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Owner: <i>Toronto Pastoral Company.</i>	PLAN OF SURVEY by Surveyor <i>D.J. M'Avoy</i> of land situated in the	Registered Number: S.P. 10610
Title Reference: <i>Conv. 43-8938</i>	LAND DISTRICT OF MONMOUTH PARISH OF CLARENCE	Effective from -5 MAY 1978
Grantee: <i>Part of 1000 Acres located to John Jewell.</i>	SCALE 1:2500	<i>M. Martin</i> Recorder of Titles

U/R. F.N. 5 2/2/78 MEMO 11.4.78

NOTE LENGTHS IN METRES





SCHEDULE OF EASEMENTS

Plan No.

10610

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

No profits a prendre are created to benefit or burden any of the lots shown on the plan.

DRAINAGE EASEMENT

Lots 2, 3 & 6 are each subject to a right of drainage for the Warden Councillors and Electors of the Municipality of Clarence over the drainage easement 20.00 wide shown passing through those lots.

PIPELINE EASEMENT

Lots 1, 2, 3, 6, 101 & 102 are each subject to a pipeline easement * in favour of the Metropolitan Water Board over the pipeline easement shown passing through those lots.

* "A PIPELINE EASEMENT" shall mean -

All that the right (as created by Indenture No. 41/9466 made between The Perpetual Trustees and National Executors of Tasmania Limited (hereinafter called "the Vendor") and The Metropolitan Water Board (hereinafter called "the Board") to lay and maintain in the pipeline easements shown hereon water pipes valves and fittings for the purposes of the Metropolitan Water Act 1961 (hereinafter called "the said Act") whether above or below the ground as the Board may decide and the right to enter at all times and do all necessary works and things in connection therewith or as may be authorised by the said act TO HOLD the said easements unto and to the use of the Board and its assigns forever for the purposes of the said Act SUBJECT TO the following conditions:

1. The Vendor and its successors in title shall not without the written consent of the Board first had and obtained erect any building or structure on the said pipeline easements nor shall it or they do or permit to be done thereon any manner of thing which shall damage or be likely to cause damage to the water pipes valves and fittings now or hereafter laid or constructed therein or thereon and shall not in anywise prevent or interfere with the proper exercise and benefit of the said easement by the Board or its workmen servants contractors and agents and all other persons duly authorised by it.
2. The Board shall not be required to fence any part of the said pipeline easements.
3. The Board shall repair all damage caused by it or its servants, workmen to the fences of the Vendor who shall be at liberty to erect any fence across the said pipeline easements wherever it may reasonably require the same.

- 2 -

4. The Board shall be liable to the Vendor for all actual damage to crops of the Vendor occasioned by the construction or repairing of the water pipes valves and fittings provided that the Vendor presents a written claim therefor to the Board within thirty days after the actual causing of such damage.
5. The Board agrees that it will make good all damage caused to the surface of the said pipeline easement and to gates buildings or other structures on the said pipeline easement or the adjoining land of the Vendor resulting from the construction and maintenance of the works.

COVENANTS

The owner or owners of each lot shown on the plan covenants with the owners for the time being of each of the other lots shown on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulations -

- a) Not to erect or permit to be erected on the said lot any dwelling or other building constructed in whole or part of unpainted galvanised iron or any other materials which will contrast with the rural environment nor unless and until -
 - (i) the exterior design plans and finish of such buildings or structure (including colour paint and materials intended to be used therein) and
 - (ii) its location and or placement on the said lot have been approved in writing by the Municipality of Clarence or its duly authorised officer.
- b) Not to install a septic tank on the said lot without the location thereof first being approved by the Municipality of Clarence.
- c) The said lot to be used as the site for a single residence for one (1) family only.
- d) Not without the consent in writing of the Municipality of Clarence to erect or permit to be erected on the said lot any dwelling or other building closer than one-sixth of the depth of the said lot from any public road or public recreation area under the control of the Council of the Municipality of Clarence.
- e) That the said lot (with the exception of Lots 5, 6, 7 & 8) is not to be re-subdivided at any time without first obtaining the consent of the Municipality of Clarence.

FENCING COVENANT

The owners of each lot on the plan covenants with the Vendor, Toronto Pastoral Co. Pty. Ltd. that the Company, as Vendor, shall not be required to fence.

- 3 -

THE COMMON SEAL of
TORONTO PASTORAL COMPANY PTY. LTD.
as Beneficial Owner of the land in
Conveyance Registered No. 43/8938
was hereto affixed in the presence
of:



Director

Secretary

THE COMMON SEAL of PERPETUAL
TRUSTEES & NATIONAL EXECUTORS OF
TASMANIA LIMITED as Mortgagee
under Mortgage Registered No.
43/8939 was hereto affixed in
the presence of:

Director

Manager

SIGNED by GENERAL CREDITS
LIMITED by ERIC WILLIAM
GILBERT State Manager for
Tasmania its Attorney under
Power No. 22357 who hereby
declares that he has received
no notice of revocation of the
said power in the presence of:

GENERAL CREDITS LIMITED
By its Attorney:

A. W. Sauer
c/o G.C.L.

Certified correct for the purposes of the Real Property Act 1862, as amended.

.....
Subdivider/Solicitor for the Subdivider

This is the schedule of easements attached to the plan of TORONTO PASTORAL CO. PTY. LTD.
(Insert Subdivider's Full Name)

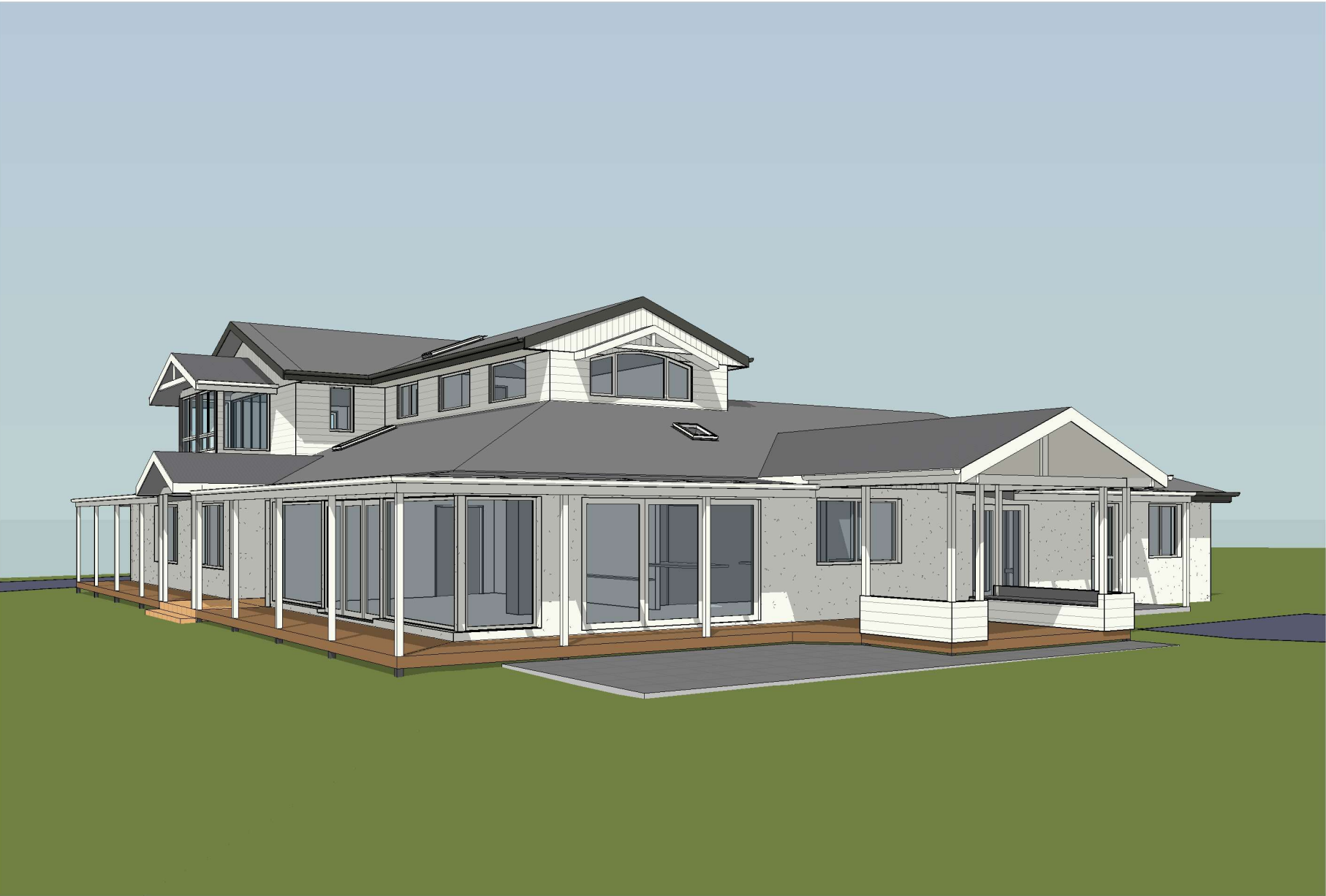
..... affecting land in

.....
Indenture of Conveyance No. 43/8938
(Insert Title Reference)

Sealed by Municipality of Clarence on 19. 78

.....
Council Clerk/Town Clerk

10364

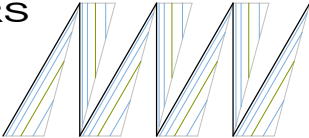


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MARCUS WALTERS
BUILDING DESIGNER

Phone: 0406 745 368
Email: mwaltersbdesigner@gmail.com
Licence No. : Licence pending
ABN : 91 130 586 770



ALTERATIONS & ADDITIONS TO EXISTING DWELLING
AT 28 SIROCCO COURT, ACTON PARK, TAS 7170
FOR ANDREW & SHARON WEST

Drawing Title.	COVER SHEET		
DATE:	18-07-2025	Issue.	PLANNING
Project Ref.	WEST	Sheet No.	000

SITE CONTOURS NOTE:

SITE CONTOURS GENERATED BY A COMBINATION OF LEVELS MEASURED AROUND DWELLING AND CONTOUR MAPPING AVAILABLE ON THELIST MAP.

SITE DATA:

LAND TITLE REFERENCE : LOT 10610 ON SEALED PLAN 10
CLIMATE ZONE : ZONE 7
WIND CLASSIFICATION : ASSUMED 'N2'
REFER TO REPORT

SOIL CLASSIFICATION : ASSUMED 'H2'
REFER TO REPORT

BAL RATING : BAL-LOW
(SITE IS NOT LOCATED WITHIN 'BUSHFIRE PRONE AREAS' PLANNING OVERLAY OR WITHIN 100m OF BUSHFIRE PRONE VEGETATION)

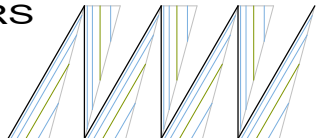
ALPINE AREA : NO
CORROSION ENVIRONMENT : LOW
OTHER HAZARDS : N/A
PLANNING SCHEME & ZONE : CLARENCE TPS - RURAL LIVING (ZONE B)
PLANNING OVERLAYS : C7.0 WATERWAY & COASTAL PROTECTION AREA
C12.0 FLOOD PRONE AREAS (FRONT BOUNDARY)
C16.0 AIRPORT OBSTACLE LIMITATION AREA

SITE AREAS:

LOT SIZE : APPROX. 15200.0 m² (1.52 Ha)
TOTAL FOOTPRINT : 577.5 m² (DWELLING 284.8 m²)
SITE COVERAGE : 3.8 %

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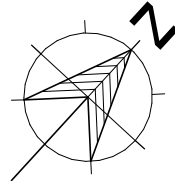
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1	12-06-2025	COUNCIL	PRELIMINARY PLANNING APPLICATION SUBMISSION
2	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL

DRAWING INDEX

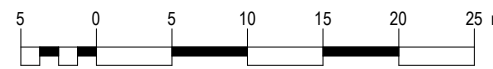
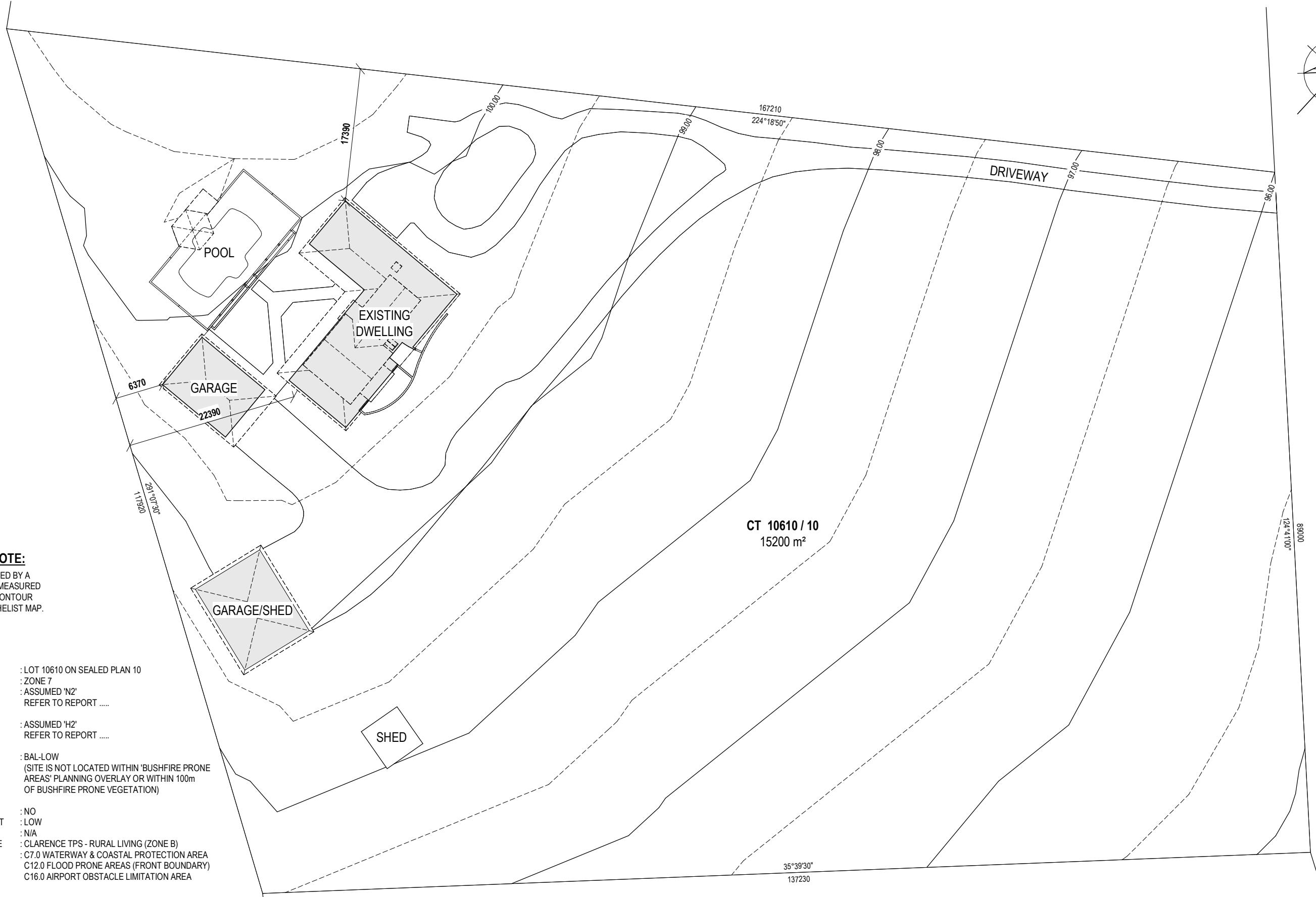
REFER TO COVER SHEET 000

CLIENT:	ANDREW & SHARON WEST		
PROJECT:	ALTERATIONS & ADDITIONS TO EXISTING DWELLING 28 SIROCCO COURT, ACTON PARK, TAS 7170		
© Drawing not to be reproduced without written consent. Dimensions in millimetres unless noted otherwise. DO NOT SCALE DRAWINGS: ONLY USE WRITTEN DIMENSIONS.	DESIGNED	DRAWN	CHECKED
	MW	MW	MW
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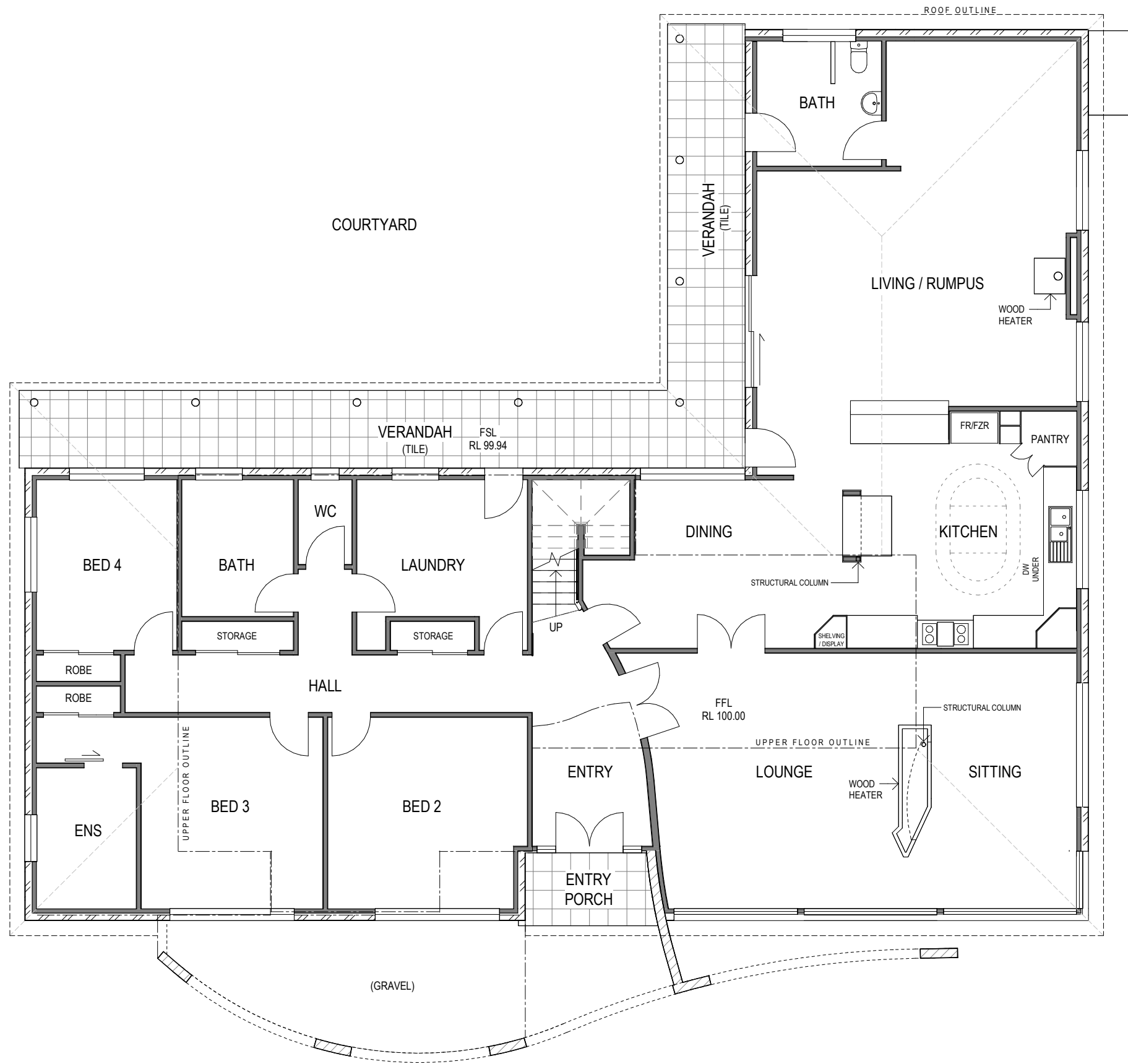
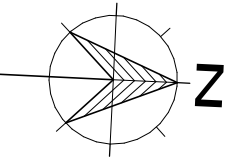
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EXISTING SITE PLAN		
DATE:	Issue.	Sheet No.
18-07-2025	PLANNING	001
Project Ref. WEST		



SIROCCO COURT

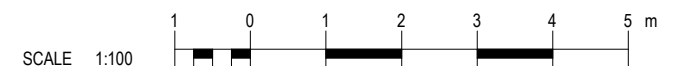


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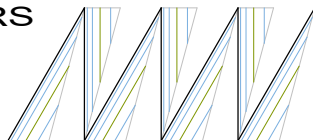
EXISTING GROUND FLOOR PLAN

SCALE 1 : 100



MARCUS WALTERS
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Licence No. : Licence pending
ABN : 91 130 586 770



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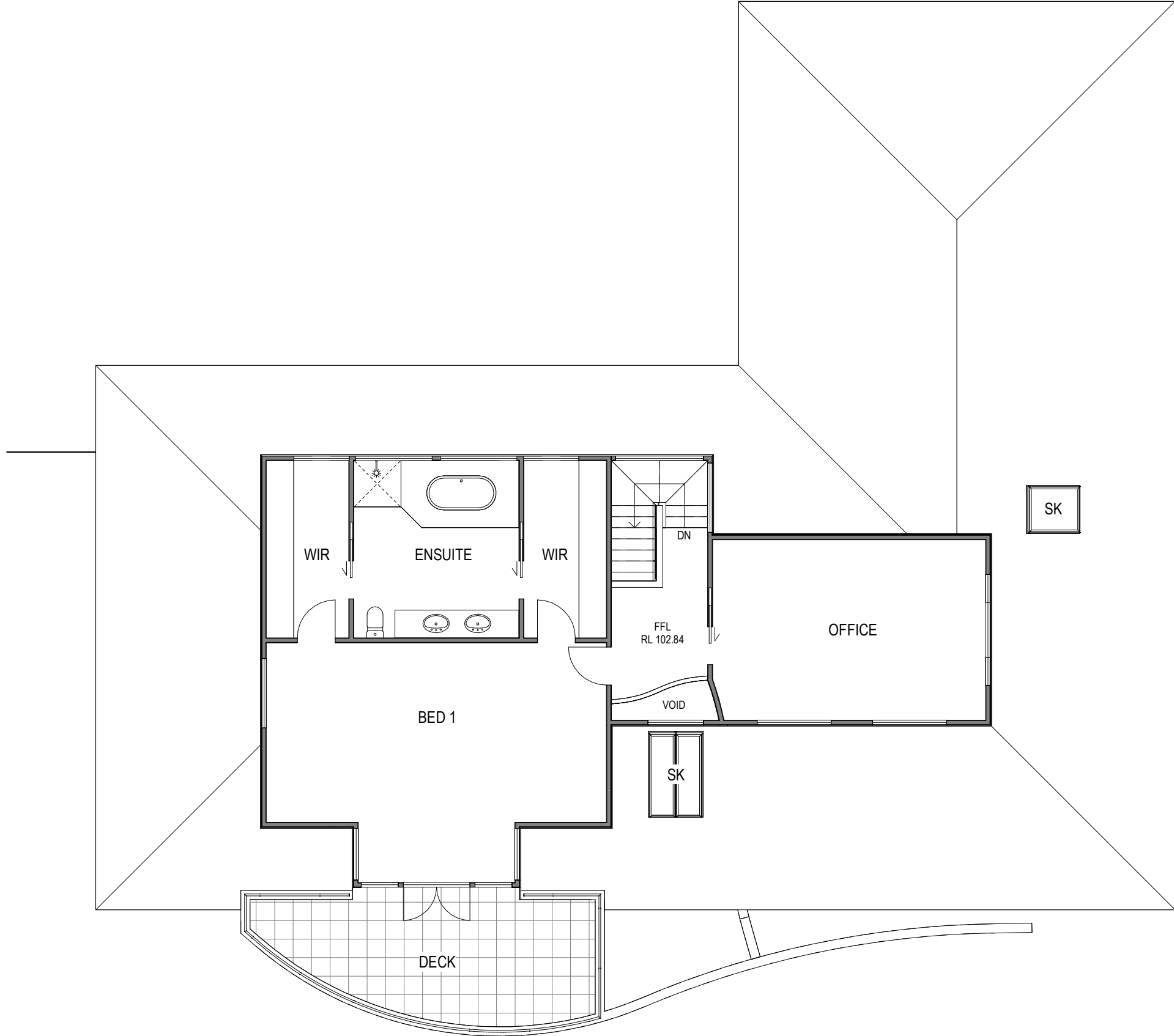
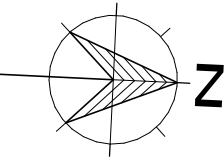
CLIENT: ANDREW & SHARON WEST
PROJECT:
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
28 SIROCCO COURT, ACTON PARK, TAS 7170

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DESIGNED	DRAWN	CHECKED
MW	MW	MW

SCALE:
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DATE: 18-07-2025	Issue: PLANNING	Sheet No. 002
Project Ref. WEST		

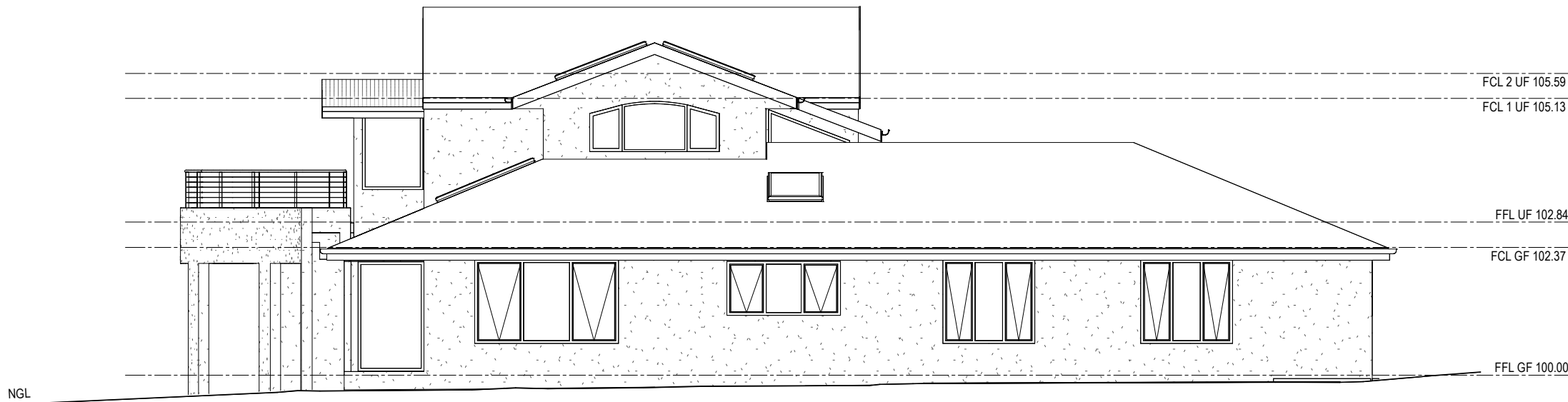


EXISTING UPPER FLOOR PLAN

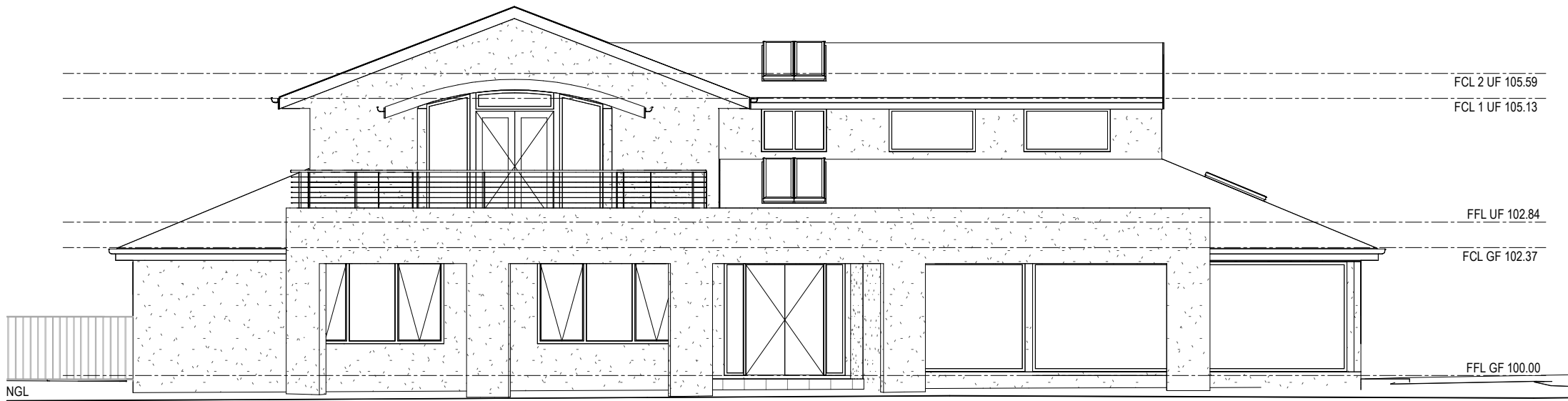
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	2	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL									
							DESIGNED MW	DRAWN MW	CHECKED MW				

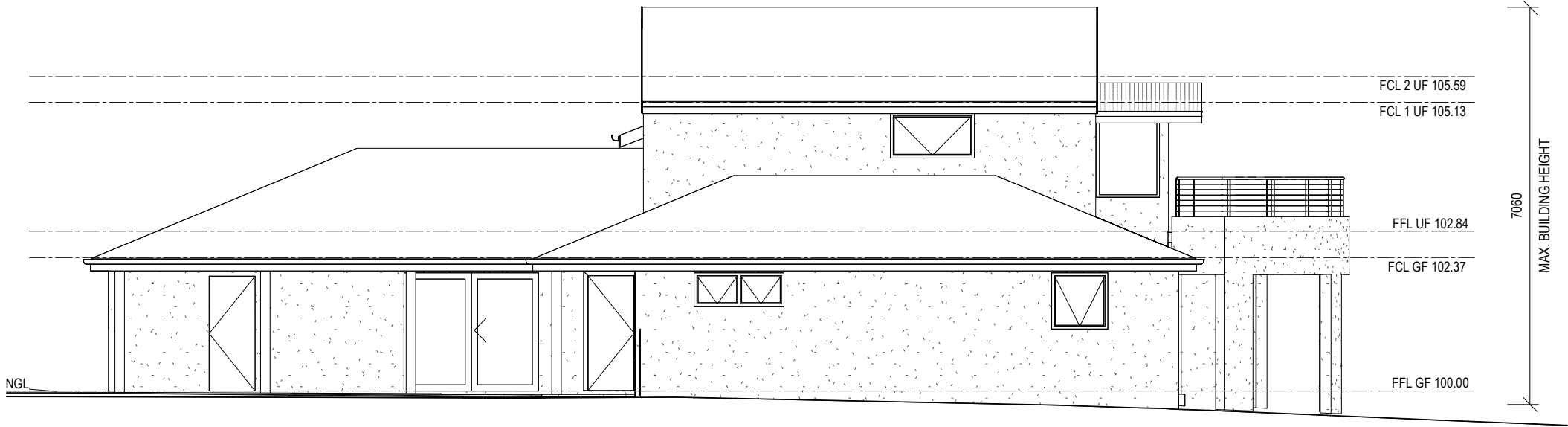


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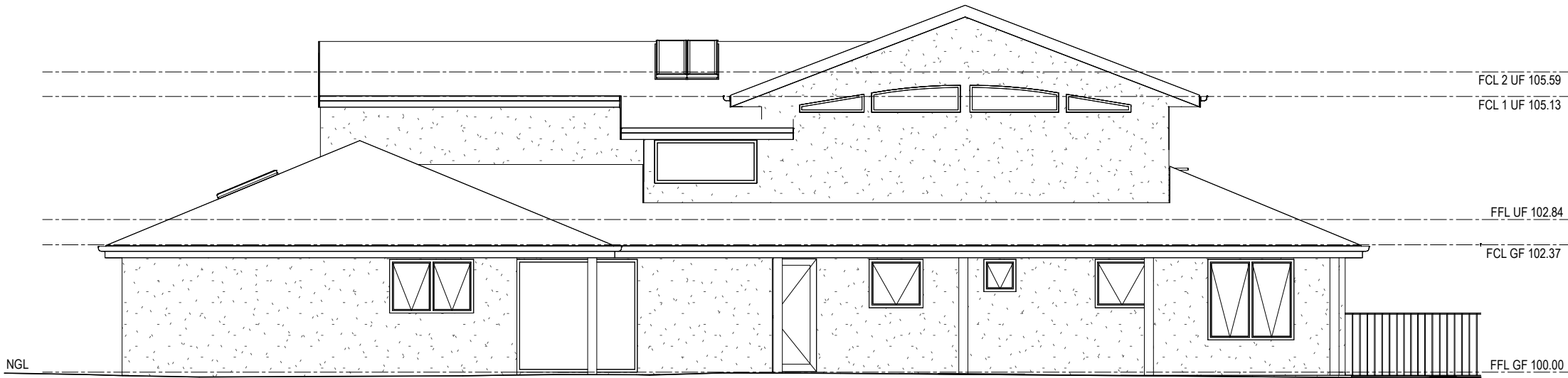


EXISTING EAST ELEVATION
SCALE 1 : 100

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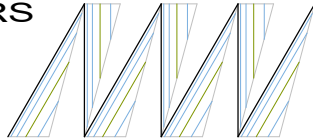
EXISTING SOUTH ELEVATION
SCALE 1 : 100



EXISTING WEST ELEVATION
SCALE 1 : 100

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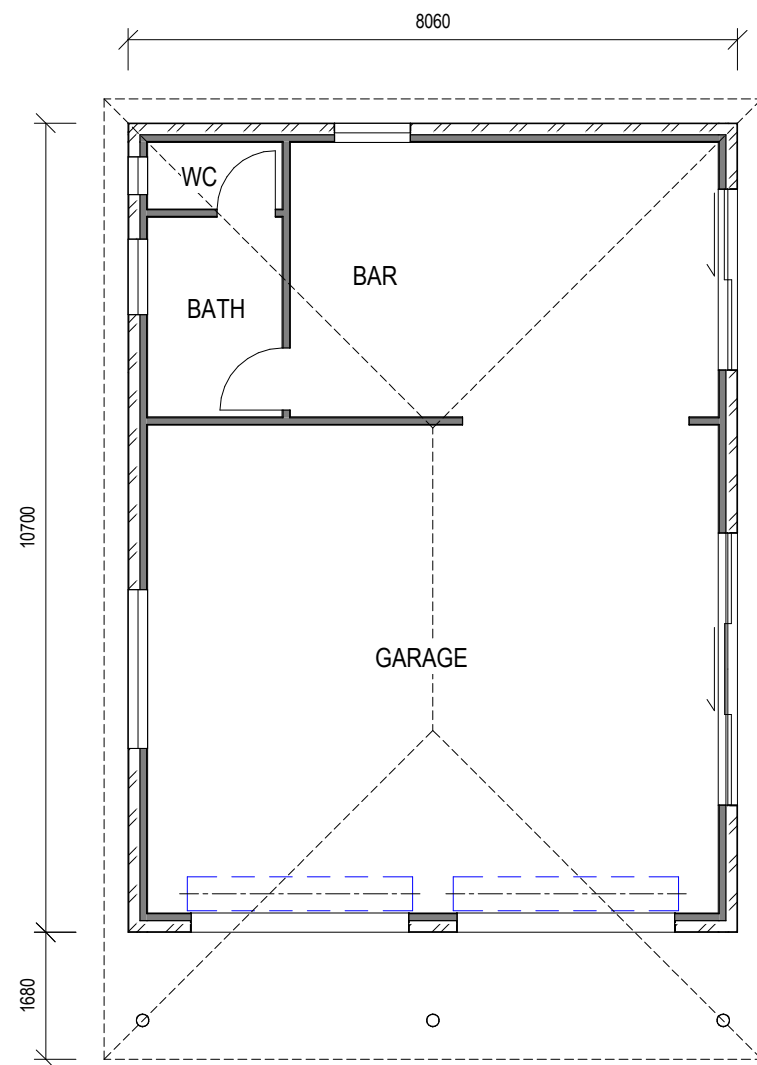
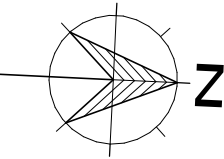
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DESIGNED	DRAWN	CHECKED
MW	MW	MW

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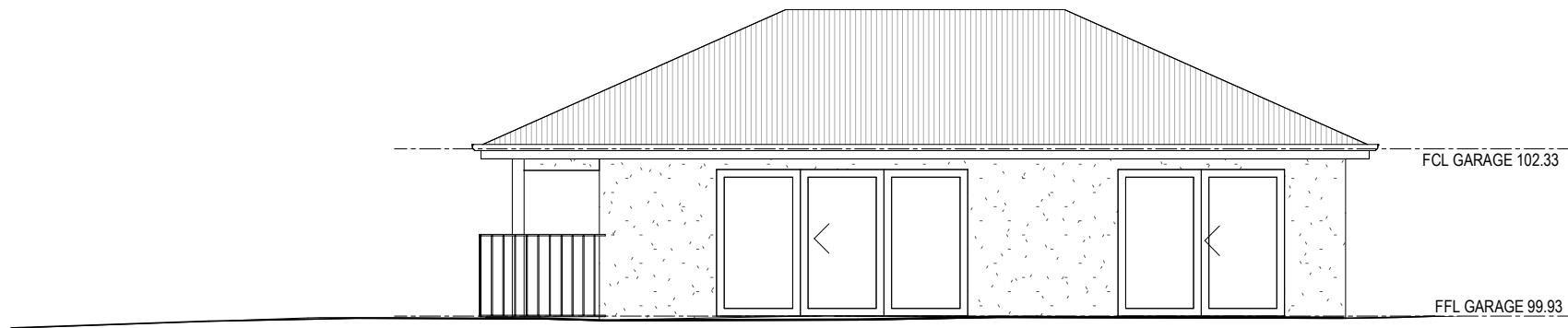
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Project Ref. WEST		



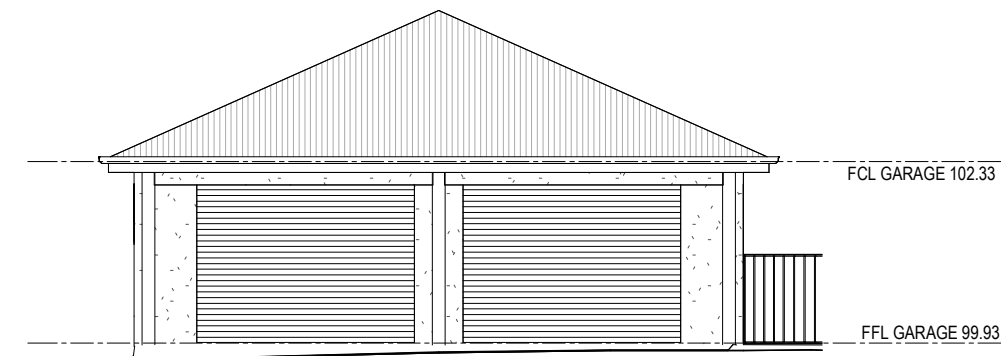
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SCALE 1 : 100



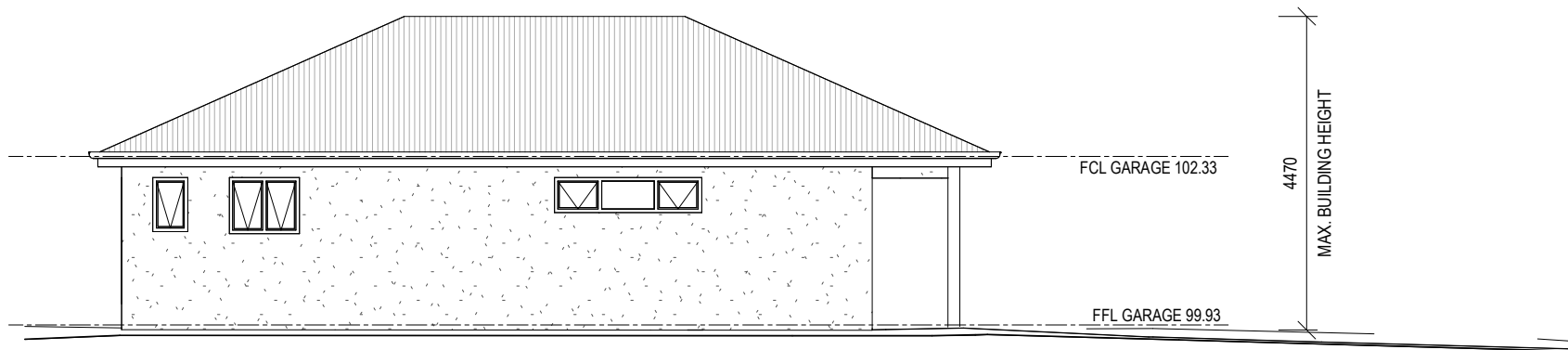
<div>MARCUS WALTERS BUILDING DESIGNER</div> <div>Phone: 0406 745 368 Email: mwaltersbdesigner@gmail.com Licence No. : Licence pending ABN : 91 130 586 770</div> <div></div>	REV.	DATE	ISSUED TO	DESCRIPTION	DRAWING INDEX	CLIENT: ANDREW & SHARON WEST				Drawing Title. EXISTING GARAGE FLOOR PLAN		
	0	12-02-2025	CLIENT	FOR REVIEW	REFER TO COVER SHEET 000	PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING				DATE:	Issue.	Sheet No.
	1	12-06-2025	COUNCIL	PRELIMINARY PLANNING APPLICATION SUBMISSION		28 SIROCCO COURT, ACTON PARK, TAS 7170				18-07-2025	PLANNING	006
	2	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL		© Drawing not to be reproduced without written consent. Dimensions in millimetres unless noted otherwise. DO NOT SCALE DRAWINGS. ONLY USE WRITTEN DIMENSIONS.				Project Ref. WEST		
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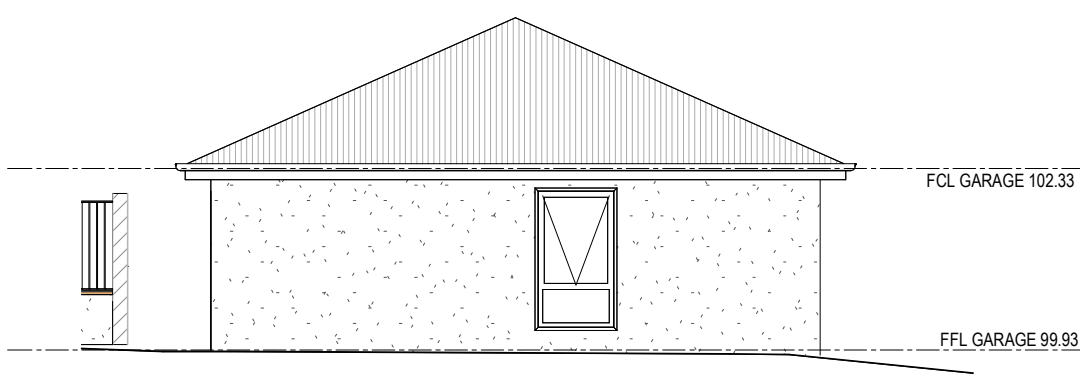
EXISTING GARAGE NORTH ELEVATION
SCALE 1 : 100



EXISTING GARAGE EAST ELEVATION
SCALE 1 : 100



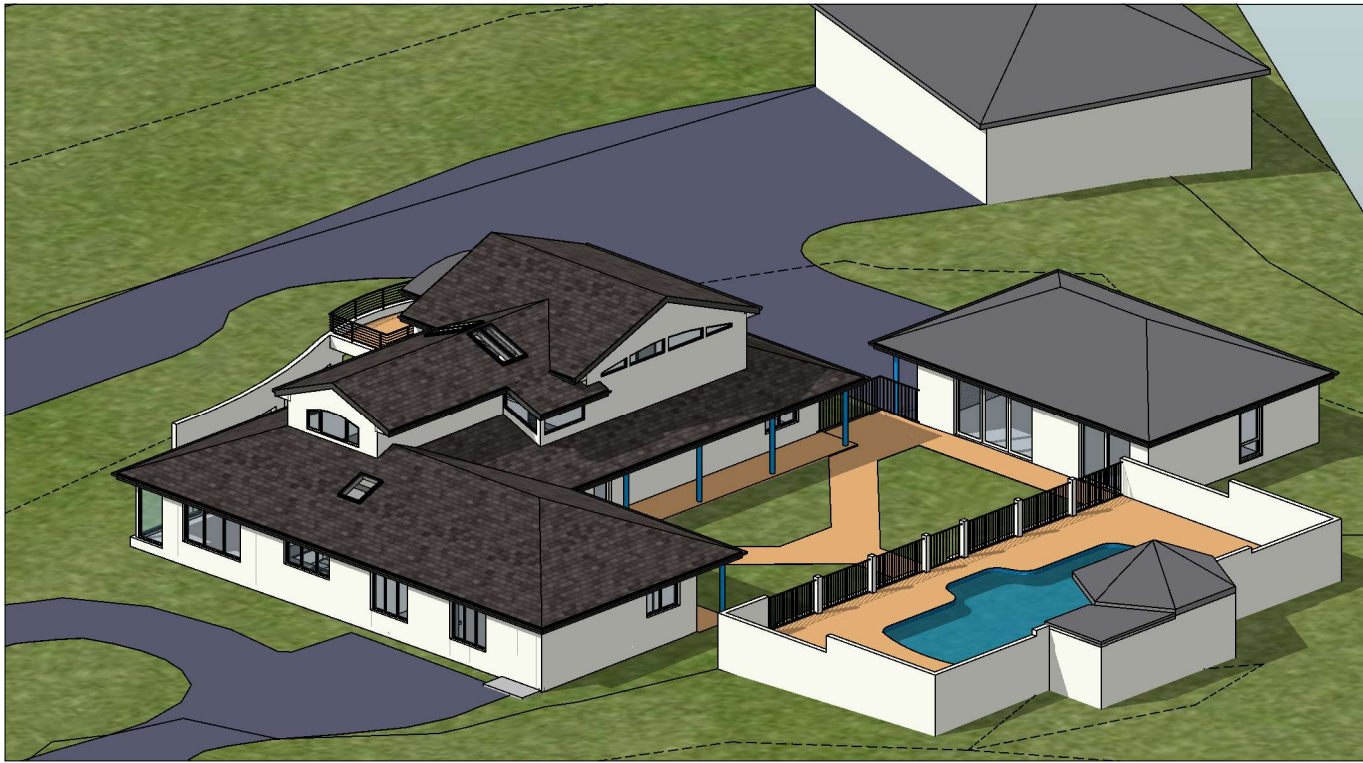
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SCALE 1 : 100



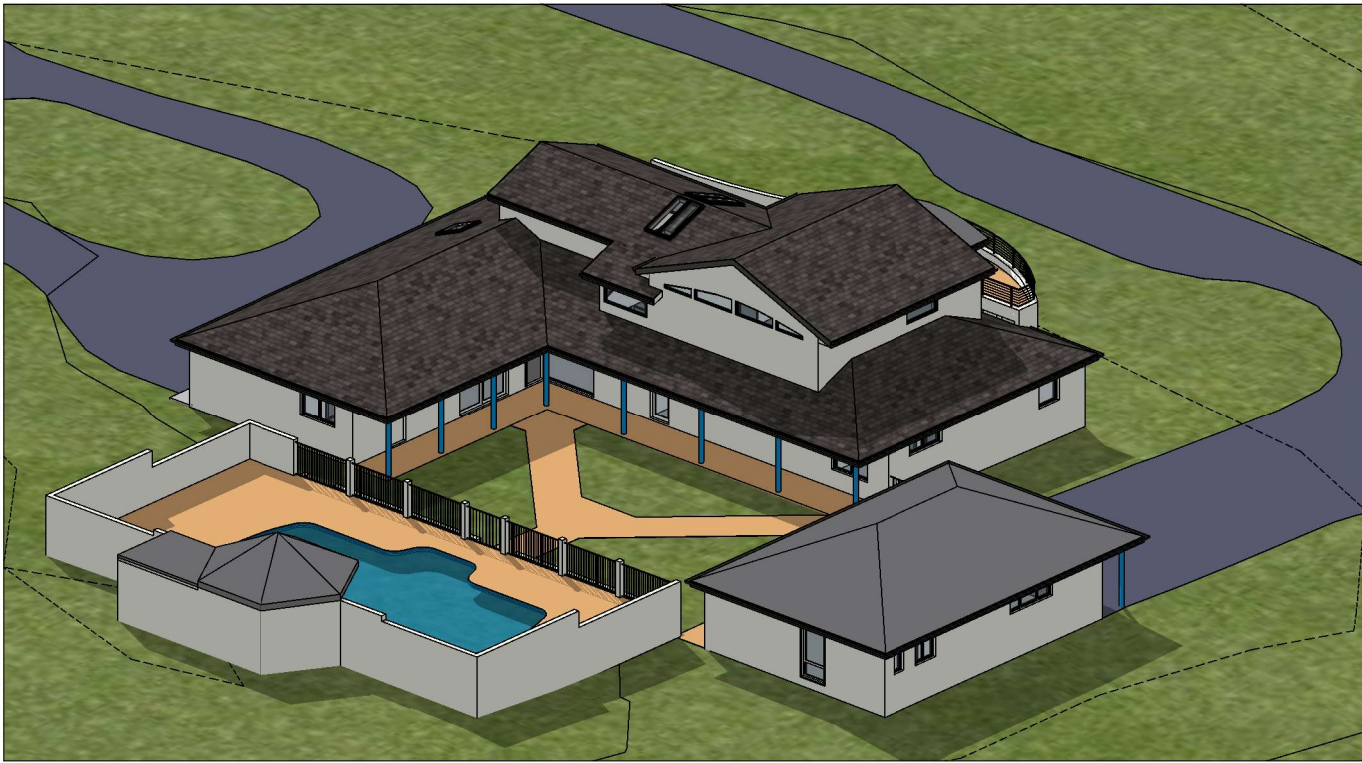
EXISTING GARAGE WEST ELEVATION
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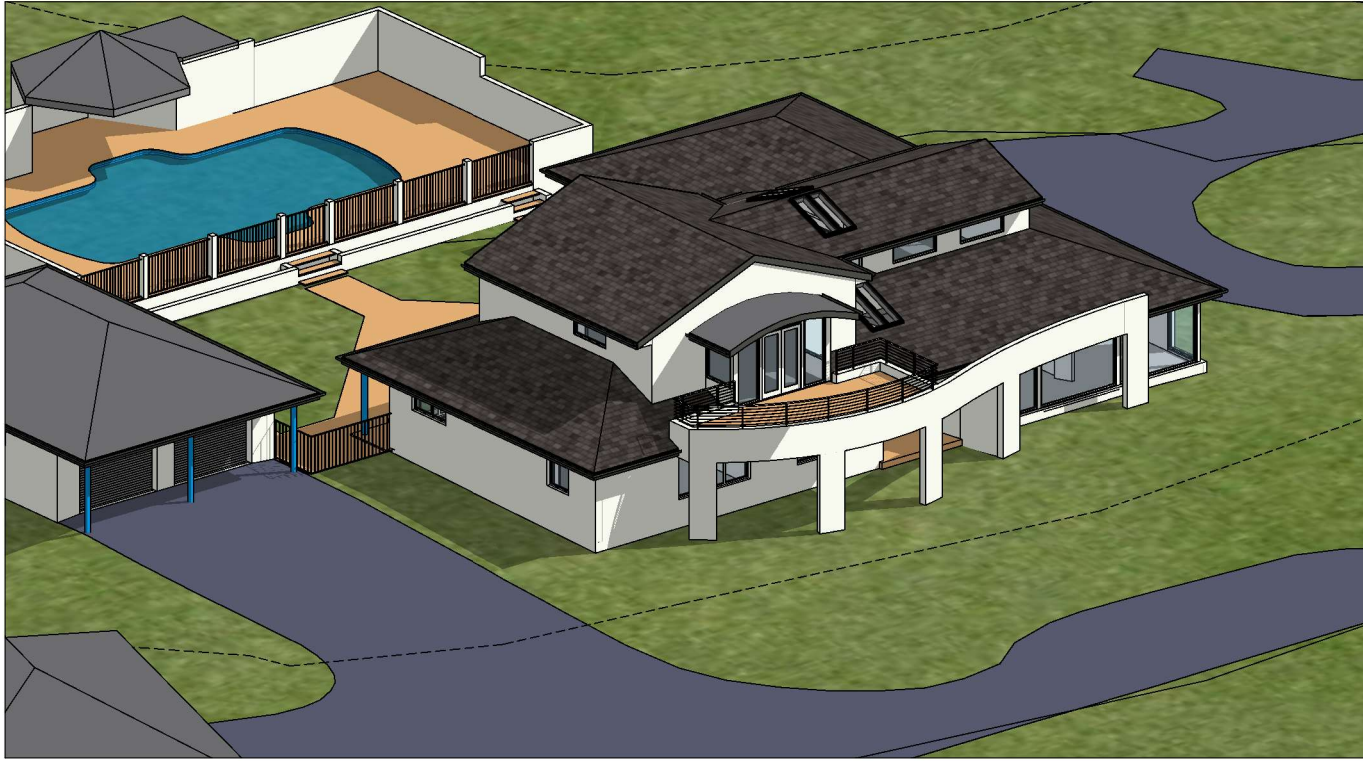
<div>MARCUS WALTERS BUILDING DESIGNER</div> <div>Phone: 0406 745 368 Email: mwalterbdesigner@gmail.com Licence No. : Licence pending ABN : 91 130 586 770</div> <div></div>	REV.	DATE	ISSUED TO	DESCRIPTION	DRAWING INDEX	CLIENT: ANDREW & SHARON WEST				Drawing Title: EXISTING GARAGE ELEVATIONS			
	0	12-02-2025	CLIENT	FOR REVIEW	REFER TO COVER SHEET 000	PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING 28 SIROCCO COURT, ACTON PARK, TAS 7170				DATE:		Issue.	Sheet No.
	1	12-06-2025	COUNCIL	PRELIMINARY PLANNING APPLICATION SUBMISSION						18-07-2025		PLANNING	007
	2	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL									
	© Drawing not to be reproduced without written consent. Dimensions in millimetres unless noted otherwise. DO NOT SCALE DRAWINGS. ONLY USE WRITTEN DIMENSIONS.						DESIGNED MW	DRAWN MW	CHECKED MW	SCALE: 1 : 100 @ A3			
						Project Ref. WEST							



EXISTING ORTHO VIEW 1
SUN - 12 NOON SEPT 22



EXISTING ORTHO VIEW 2
SUN - 12 NOON SEPT 22

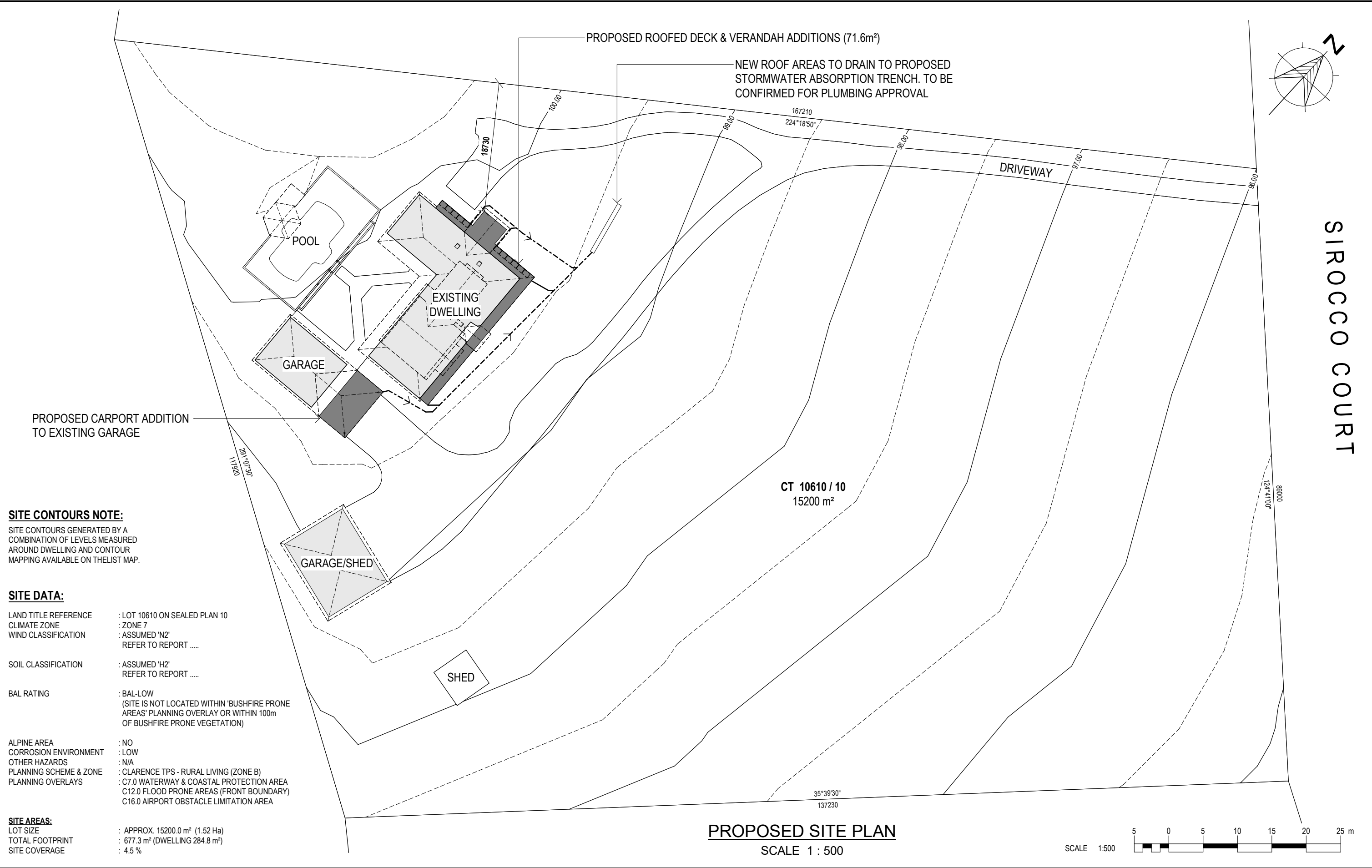


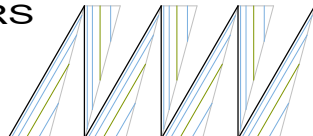
EXISTING ORTHO VIEW 3
SUN - 12 NOON SEPT 22

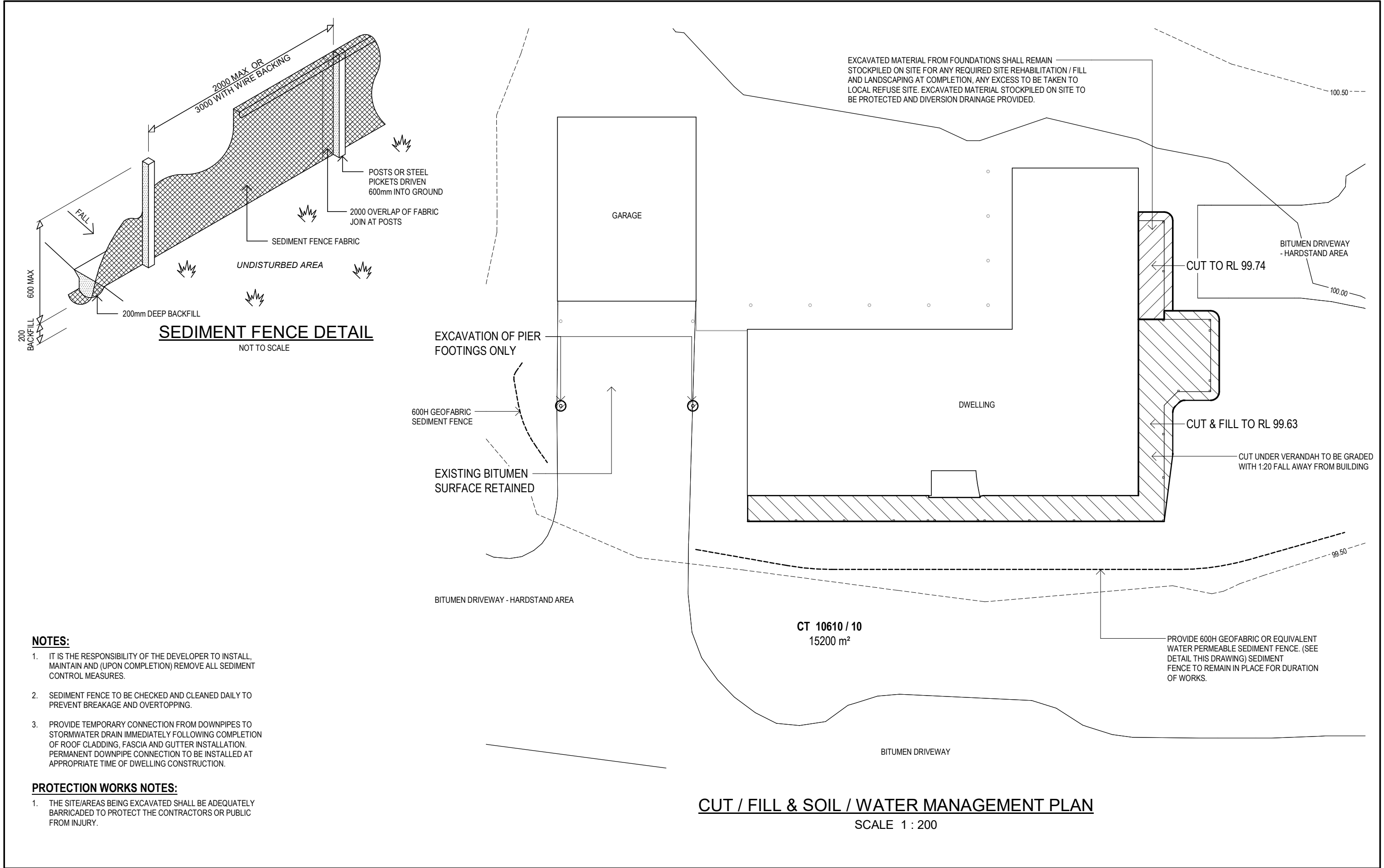


EXISTING ORTHO VIEW 4
SUN - 12 NOON SEPT 22

<div>MARCUS WALTERS BUILDING DESIGNER</div> <div>Phone: 0406 745 368 Email: mwaltersbdesigner@gmail.com Licence No. : Licence pending ABN : 91 130 586 770</div> <div></div>	REV.	DATE	ISSUED TO	DESCRIPTION	DRAWING INDEX	CLIENT: ANDREW & SHARON WEST				Drawing Title.		
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	2	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL		28 SIROCCO COURT, ACTON PARK, TAS 7170				18-07-2025	PLANNING	008
							© Drawing not to be reproduced without written consent. Dimensions in millimetres unless noted otherwise. DO NOT SCALE DRAWINGS. ONLY USE WRITTEN DIMENSIONS.		DESIGNED MW	DRAWN MW	CHECKED MW	SCALE. NTS A3



<div>MARCUS WALTERS BUILDING DESIGNER</div> <div>Phone: 0406 745 368 Email: mwalterbdesigner@gmail.com Licence No. : Licence pending ABN : 91 130 586 770</div> <div></div>	REV.	DATE	ISSUED TO	DESCRIPTION	DRAWING INDEX	CLIENT: ANDREW & SHARON WEST				Drawing Title.		
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	1	12-06-2025	COUNCIL	PRELIMINARY PLANNING APPLICATION SUBMISSION		ALTERATIONS & ADDITIONS TO EXISTING DWELLING				DATE:	Issue.	Sheet No.
	2	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL		28 SIROCCO COURT, ACTON PARK, TAS 7170				18-07-2025	PLANNING	009
	© Drawing not to be reproduced without written consent. Dimensions in millimetres unless noted otherwise. DO NOT SCALE DRAWINGS. ONLY USE WRITTEN DIMENSIONS.						DESIGNED	DRAWN	CHECKED	SCALE.	Project Ref. WEST	
						MW	MW	MW	As indicated @ A3			



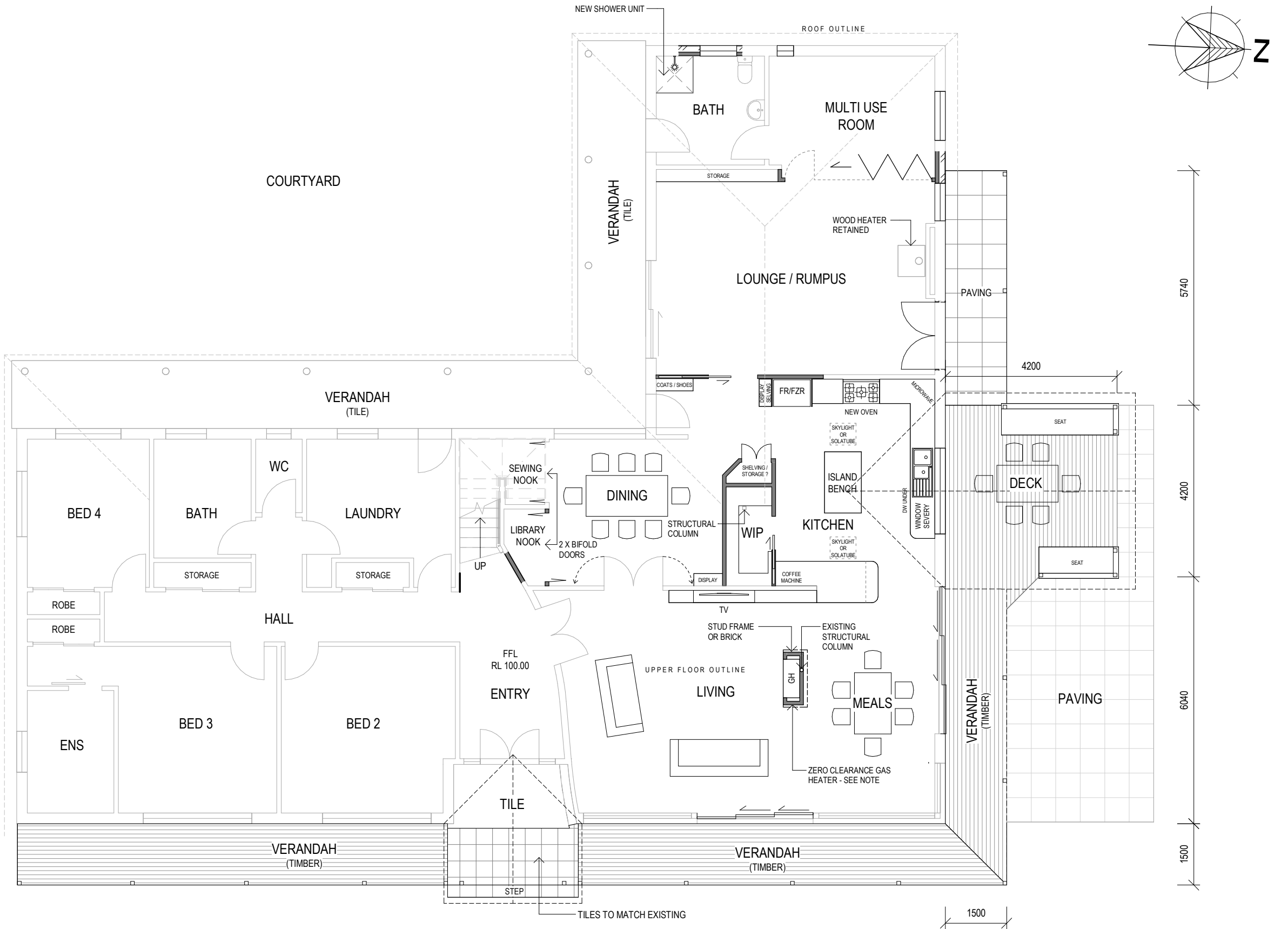
<div>MARCUS WALTERS BUILDING DESIGNER</div> <div>Phone: 0406 745 368 Email: mwaltersbdesigner@gmail.com Licence No. : Licence pending ABN : 91 130 586 770</div> <div></div>	REV.	DATE	ISSUED TO	DESCRIPTION	DRAWING INDEX	CLIENT: ANDREW & SHARON WEST				Drawing Title. CUT/FILL MANAGEMENT PLAN			
	0	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL	REFER TO COVER SHEET 000	PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING 28 SIROCCO COURT, ACTON PARK, TAS 7170				DATE: 18-07-2025	Issue. PLANNING	Sheet No. 010	
						© Drawing not to be reproduced without written consent. Dimensions in millimetres unless noted otherwise. DO NOT SCALE DRAWINGS. ONLY USE WRITTEN DIMENSIONS.	DESIGNED MW	DRAWN MW	CHECKED MW	SCALE. As indicated @ A3	Project Ref. WEST		

WALL LEGEND:

EXISTING
PROPOSED

GAS HEATER NOTE:

ZERO CLEARANCE GAS HEATER
BASED ON LOPI PROBUILDER 36
CLEAN FACE WITH DIRECT VENT
- EXACT POSITION DEPENDANT
ON PRECISE LOCATION OF
STRUCTURAL COLUMN.



PROPOSED GROUND FLOOR PLAN

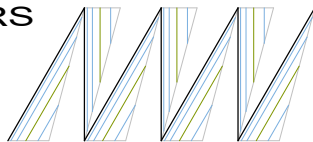
SCALE 1 : 100

SCALE 1:100



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BUILDING DESIGNER

Phone: 0406 745 368
Email: mwalterdesigner@gmail.com
Licence No. : Licence pending
ABN : 91 130 586 770



REV.	DATE	ISSUED TO	DESCRIPTION
0	12-02-2025	CLIENT	FOR REVIEW
1	12-06-2025	COUNCIL	PRELIMINARY PLANNING APPLICATION SUBMISSION
2	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL

DRAWING INDEX
REFER TO COVER SHEET 000

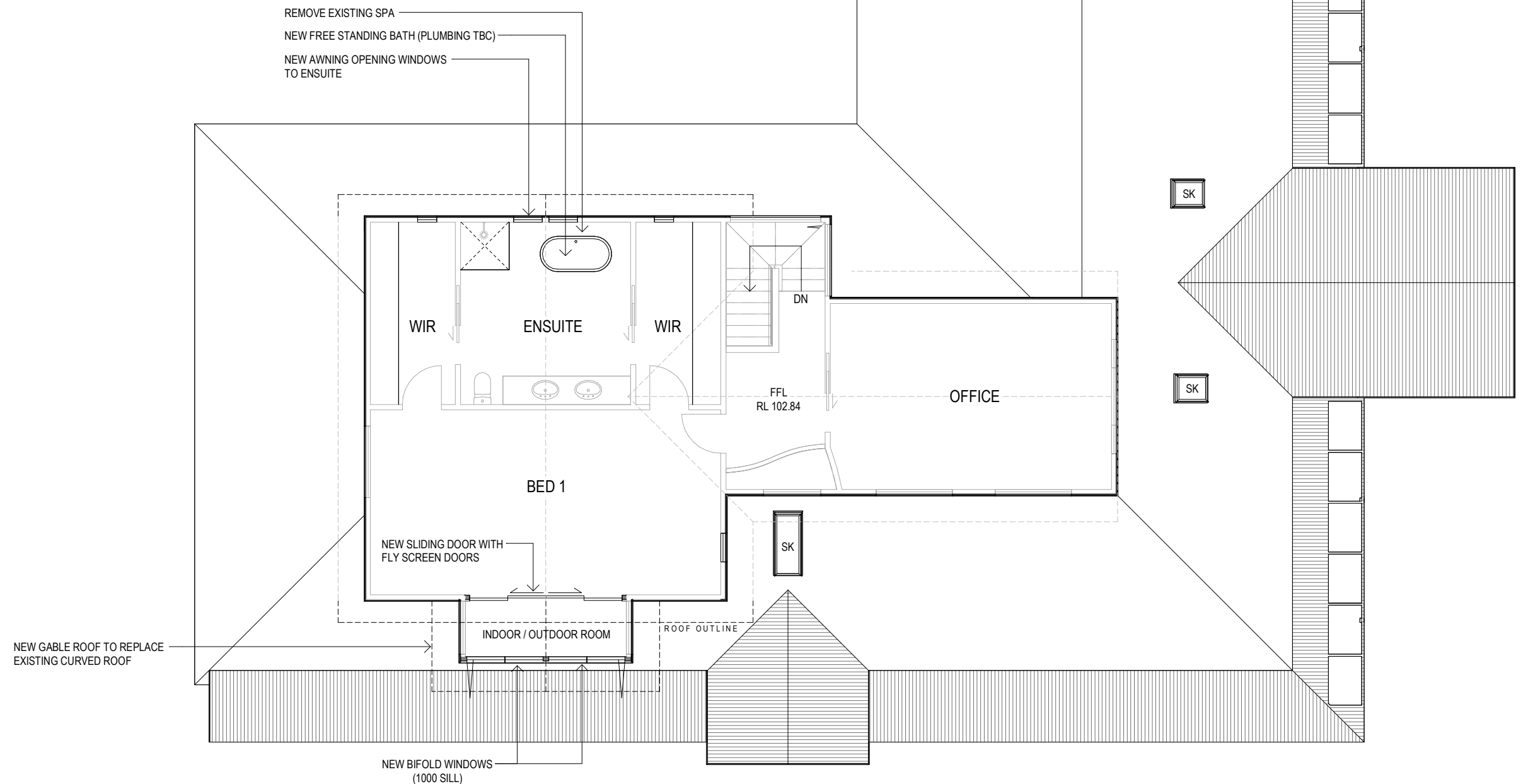
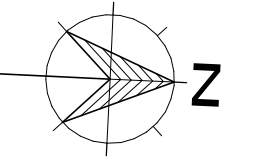
CLIENT: ANDREW & SHARON WEST

PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING
28 SIROCCO COURT, ACTON PARK, TAS 7170

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Dimensions in millimetres unless noted otherwise. DO NOT
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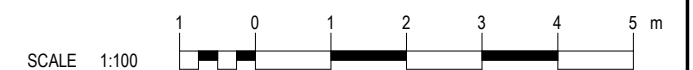
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MW	MW	MW	1:

Drawing Title.			
PROPOSED GROUND FLOOR PLAN			
DATE:	Issue.	Sheet No.	011
18-07-2025	PLANNING		
Project Ref.		WEST	



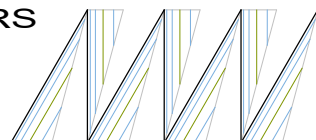
PROPOSED UPPER FLOOR PLAN

SCALE 1 : 100



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BUILDING DESIGNER

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Email: mwaltersbdesigner@gmail.com
Licence No. : Licence pending
ABN : 91 130 586 770

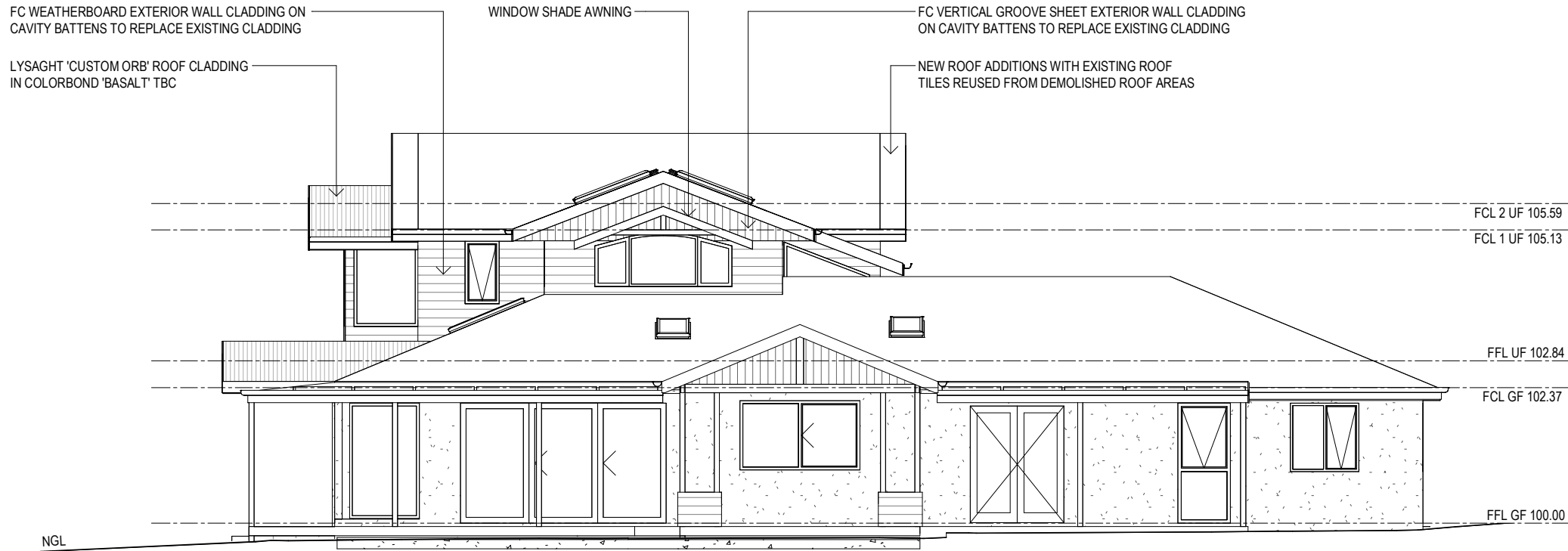


REV.	DATE	ISSUED TO	DESCRIPTION
0	12-02-2025	CLIENT	FOR REVIEW
1	12-06-2025	COUNCIL	PRELIMINARY PLANNING APPLICATION SUBMISSION
2	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL

DRAWING INDEX
REFER TO COVER SHEET 000

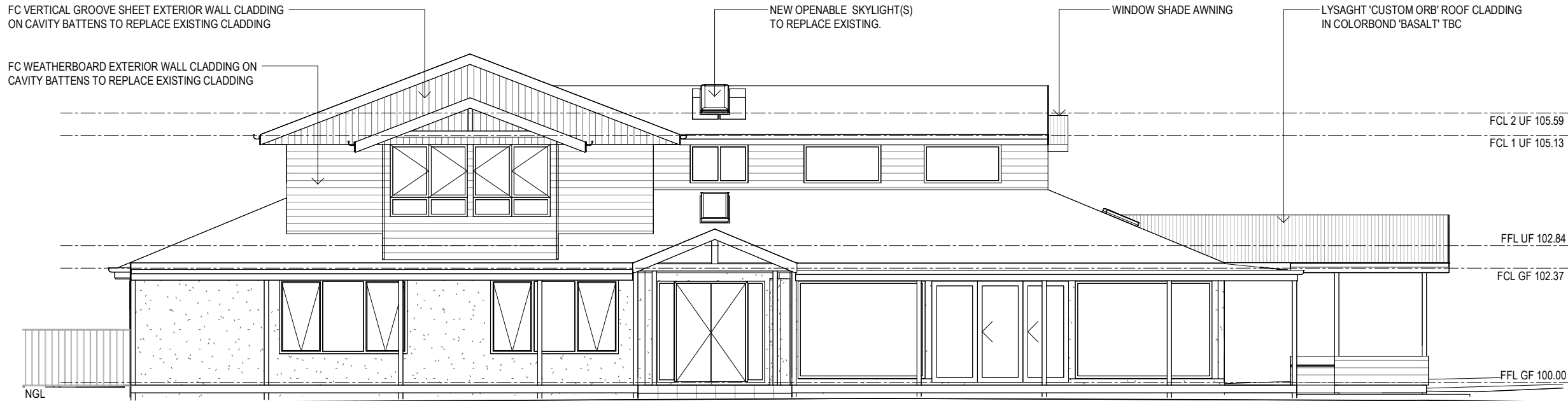
CLIENT:	ANDREW & SHARON WEST		
PROJECT:	ALTERATIONS & ADDITIONS TO EXISTING DWELLING 28 SIROCCO COURT, ACTON PARK, TAS 7170		
© Drawing not to be reproduced without written consent. Dimensions in millimetres unless noted otherwise. DO NOT SCALE DRAWINGS. ONLY USE WRITTEN DIMENSIONS.	DESIGNED	DRAWN	CHECKED
	MW	MW	MW
SCALE:	1:100 @ A3		

Drawing Title.		
PROPOSED UPPER FLOOR PLAN		
DATE:	Issue.	Sheet No.
18-07-2025	PLANNING	012
Project Ref. WEST		



PROPOSED NORTH ELEVATION

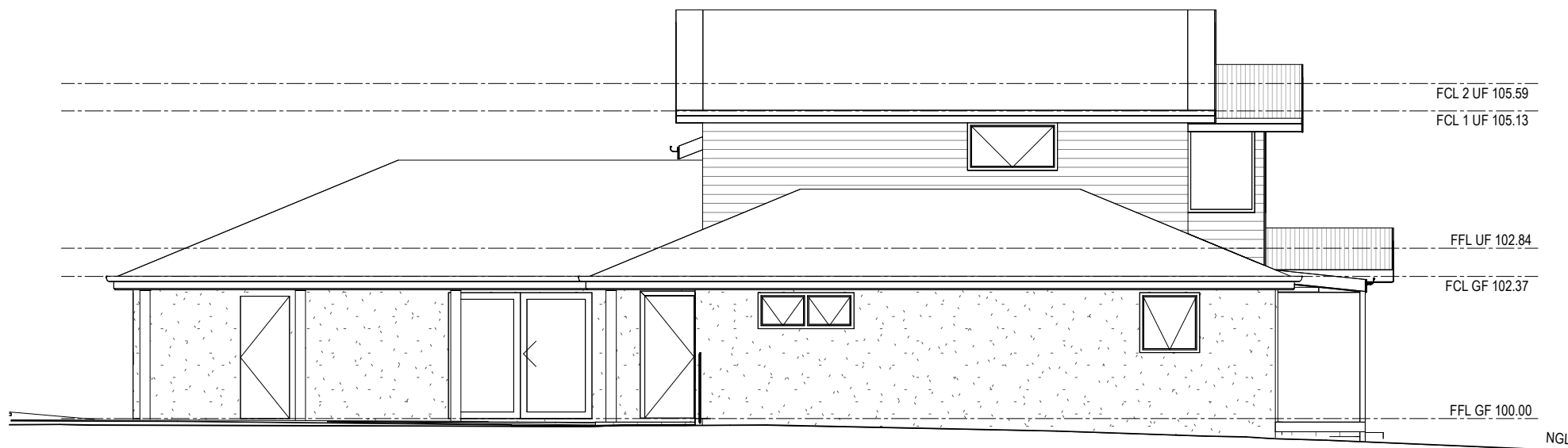
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PROPOSED EAST ELEVATION

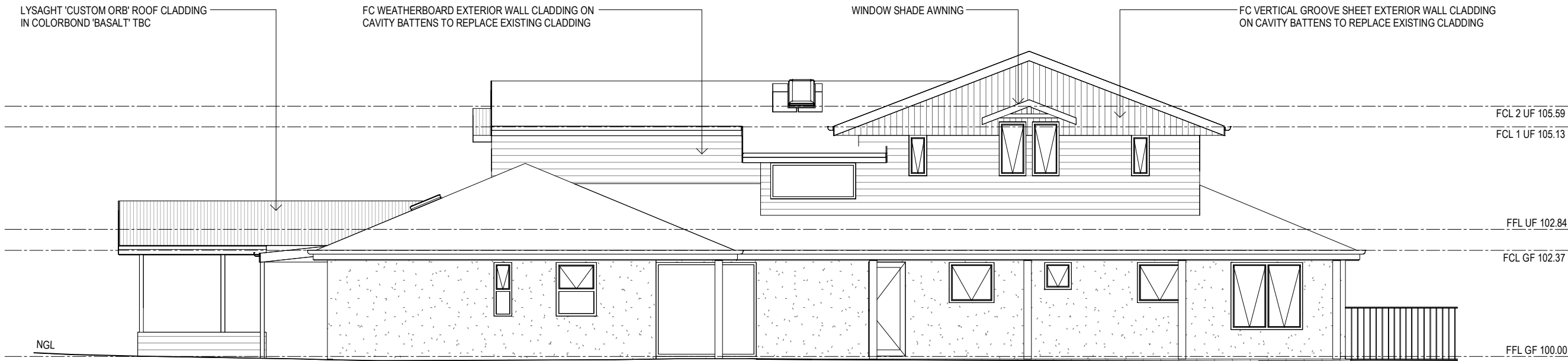
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<div>MARCUS WALTERS BUILDING DESIGNER</div> <div>Phone: 0406 745 368 Email: mwaltersbdesigner@gmail.com Licence No. : Licence pending ABN : 91 130 586 770</div> <div></div>	REV.	DATE	ISSUED TO	DESCRIPTION	DRAWING INDEX	CLIENT: ANDREW & SHARON WEST				Drawing Title.		
	0	12-06-2025	COUNCIL	PRELIMINARY PLANNING APPLICATION SUBMISSION AMENDED & SUBMITTED FOR PLANNING APPROVAL	REFER TO COVER SHEET 000	PROJECT:				PROPOSED ELEVATIONS 1 OF 2		
	1	22-07-2025	COUNCIL			ALTERATIONS & ADDITIONS TO EXISTING DWELLING 28 SIROCCO COURT, ACTON PARK, TAS 7170				DATE:	Issue.	Sheet No.
										18-07-2025	PLANNING	013
	© Drawing not to be reproduced without written consent. Dimensions in millimetres unless noted otherwise. DO NOT SCALE DRAWINGS. ONLY USE WRITTEN DIMENSIONS.					DESIGNED MW	DRAWN MW	CHECKED MW	SCALE. 1 : 100 @ A3	Project Ref. WEST		



PROPOSED SOUTH ELEVATION

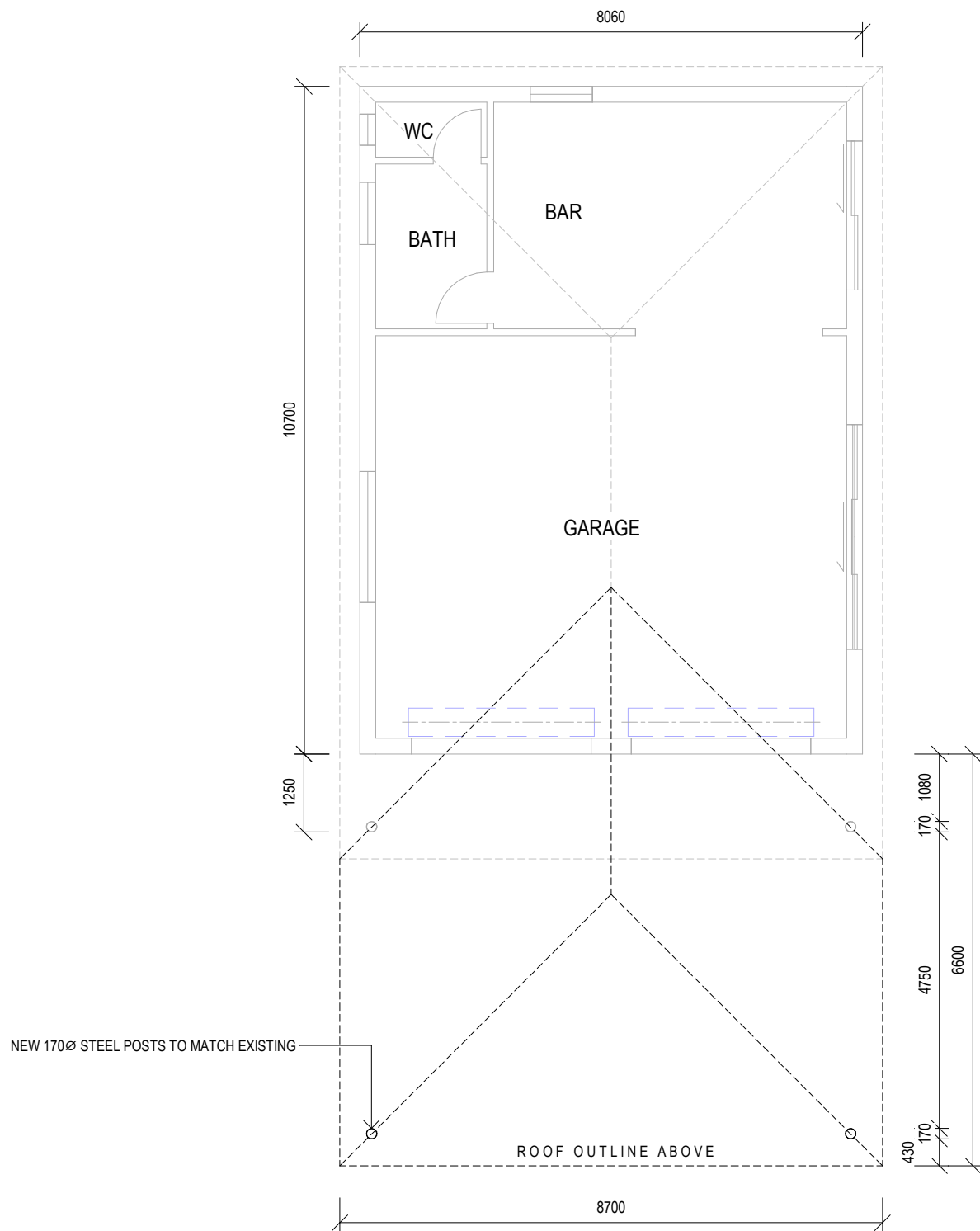
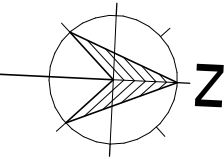
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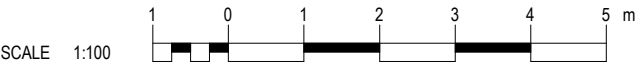
PROPOSED WEST ELEVATION

SCALE 1 : 100

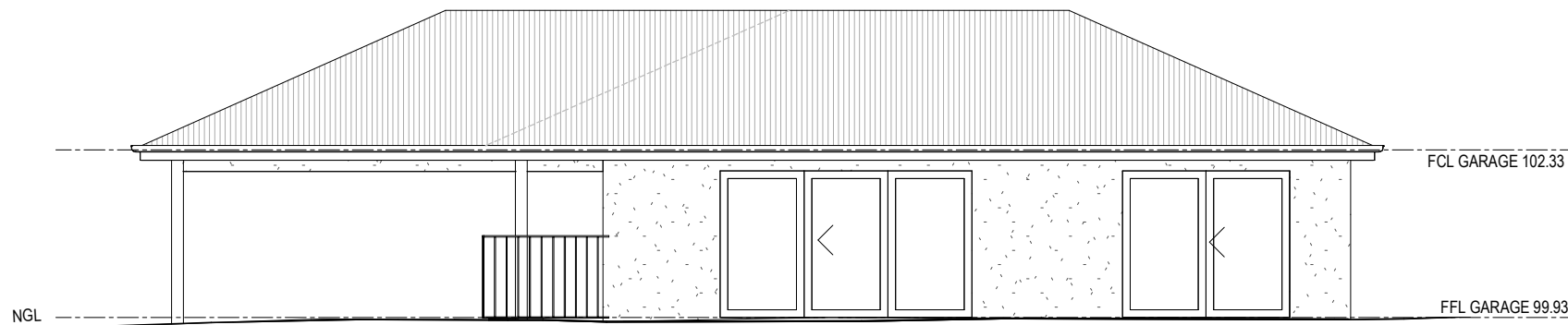
<div>MARCUS WALTERS</div> <div>BUILDING DESIGNER</div> <div>Phone: 0406 745 368</div> <div>Email: mwaltersbdesigner@gmail.com</div> <div>Licence No. : Licence pending</div> <div>ABN : 91 130 586 770</div> <div></div>	REV.	DATE	ISSUED TO	DESCRIPTION	DRAWING INDEX	CLIENT: ANDREW & SHARON WEST				Drawing Title.					
	0	12-06-2025	COUNCIL	PRELIMINARY PLANNING APPLICATION SUBMISSION	REFER TO COVER SHEET 000	PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING 28 SIROCCO COURT, ACTON PARK, TAS 7170				PROPOSED ELEVATIONS 2 OF 2					
	1	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL						DATE: 18-07-2025			Issue: PLANNING	Sheet No. 014	
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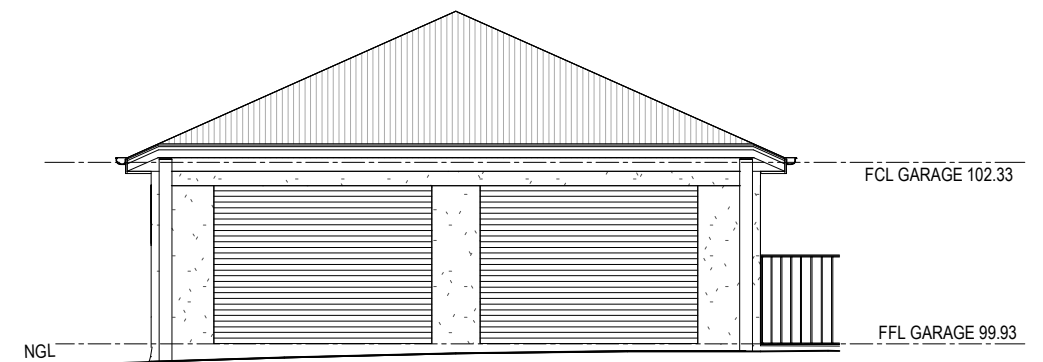
PROPOSED GARAGE FLOOR PLAN
SCALE 1 : 100



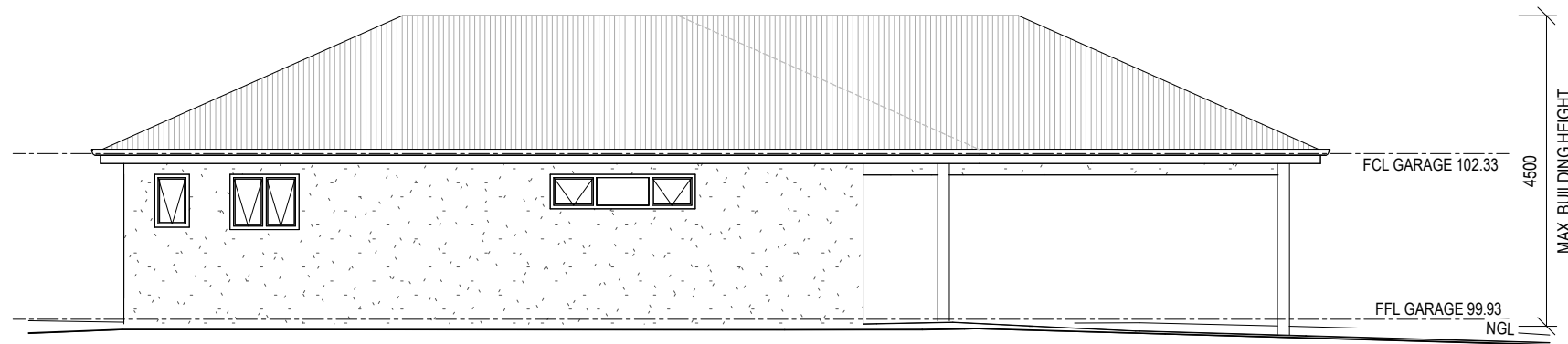
<div>MARCUS WALTERS</div> <div>BUILDING DESIGNER</div> <div>Phone: 0406 745 368</div> <div>Email: mwalterbdesigner@gmail.com</div> <div>Licence No. : Licence pending</div> <div>ABN : 91 130 586 770</div> <div></div>	REV.	DATE	ISSUED TO	DESCRIPTION	DRAWING INDEX	CLIENT: ANDREW & SHARON WEST				Drawing Title.		
	0	12-06-2025	COUNCIL	PRELIMINARY PLANNING APPLICATION SUBMISSION	REFER TO COVER SHEET 000	PROJECT:				PROPOSED GARAGE FLOOR PLAN		
	1	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL		ALTERATIONS & ADDITIONS TO EXISTING DWELLING 28 SIROCCO COURT, ACTON PARK, TAS 7170				DATE:	Issue.	Sheet No.
						© Drawing not to be reproduced without written consent. Dimensions in millimetres unless noted otherwise. DO NOT SCALE DRAWINGS. ONLY USE WRITTEN DIMENSIONS.				18-07-2025	PLANNING	015
						DESIGNED	DRAWN	CHECKED	SCALE.	Project Ref.		
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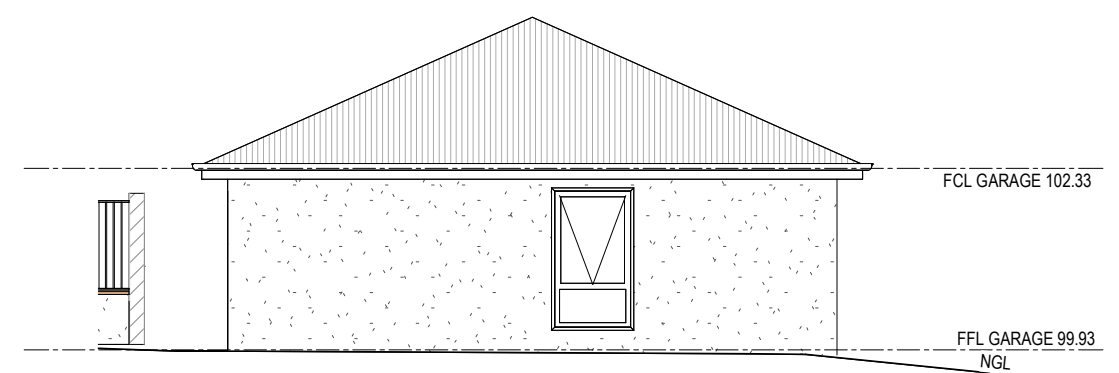
PROPOSED GARAGE NORTH ELEVATION
SCALE 1 : 100



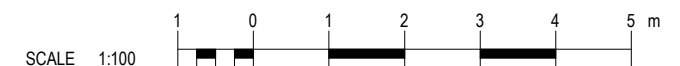
PROPOSED GARAGE EAST ELEVATION
SCALE 1 : 100



PROPOSED GARAGE SOUTH ELEVATION
SCALE 1 : 100

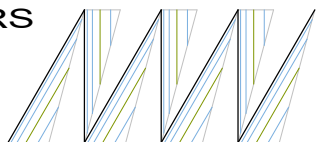


PROPOSED GARAGE WEST ELEVATION
SCALE 1 : 100



MARCUS WALTERS
BUILDING DESIGNER

Phone: 0406 745 368
Email: mwalterdesigner@gmail.com
Licence No. : Licence pending
ABN : 91 130 586 770



REV.	DATE	ISSUED TO	DESCRIPTION
0	12-06-2025	COUNCIL	PRELIMINARY PLANNING APPLICATION SUBMISSION
1	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL

DRAWING INDEX
REFER TO COVER SHEET 000

CLIENT: **ANDREW & SHARON WEST**

PROJECT:
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
28 SIROCCO COURT, ACTON PARK, TAS 7170

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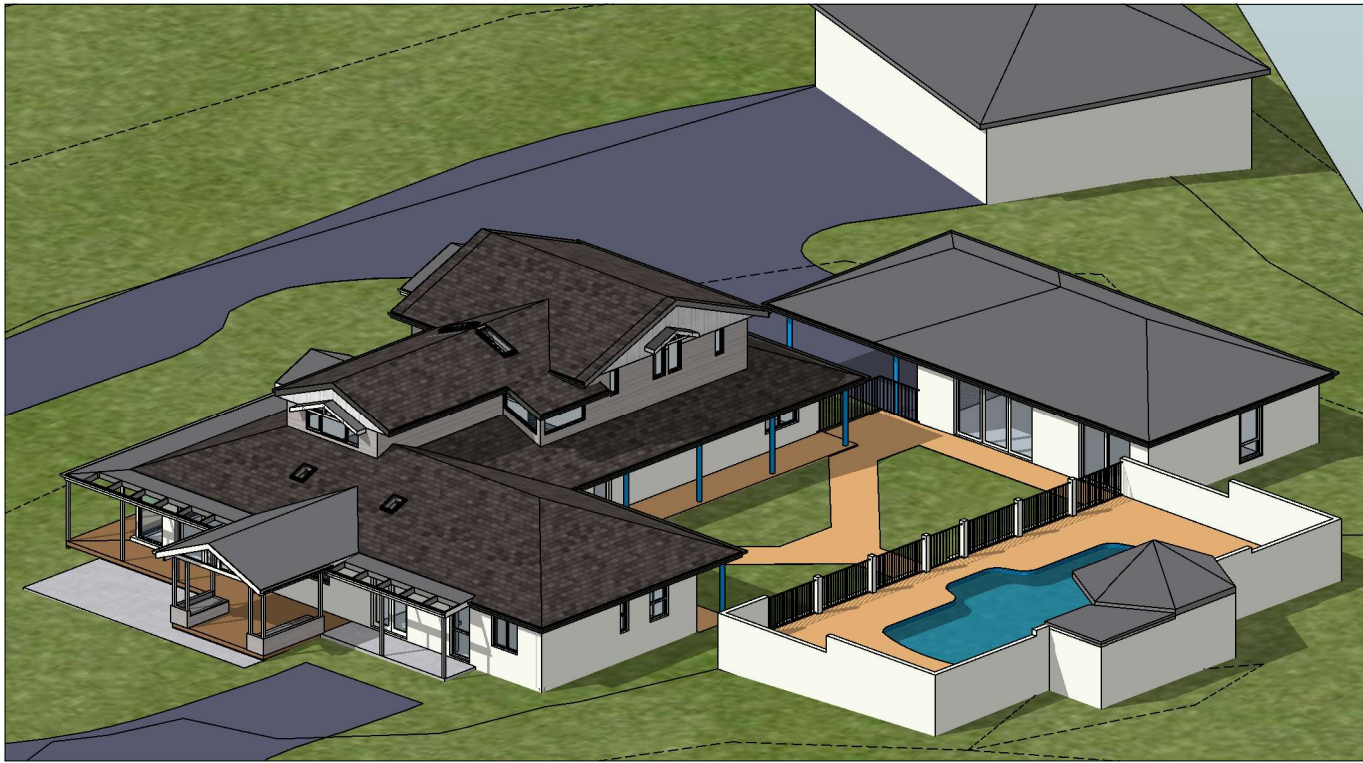
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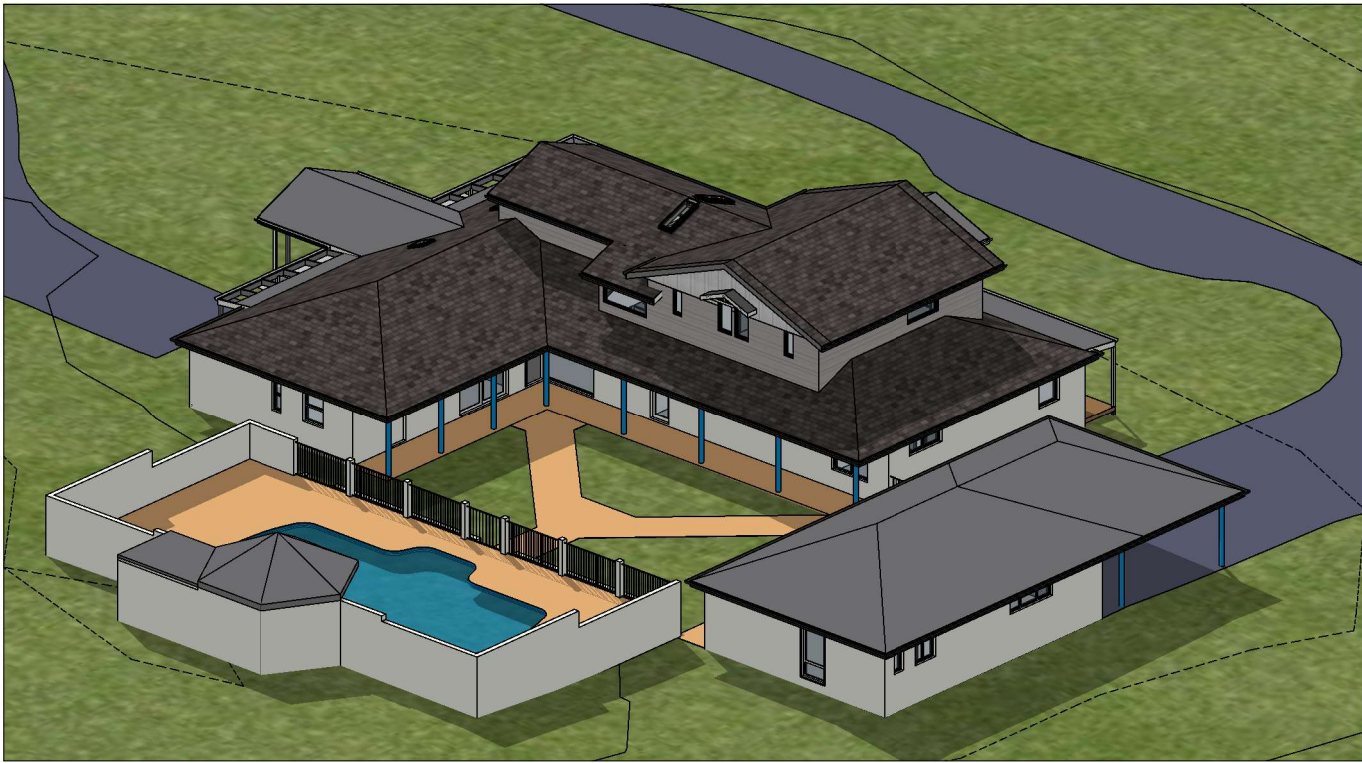
Drawing Title:
PROPOSED GARAGE ELEVATIONS

DATE: **18-07-2025** Issue: **PLANNING** Sheet No. **016**

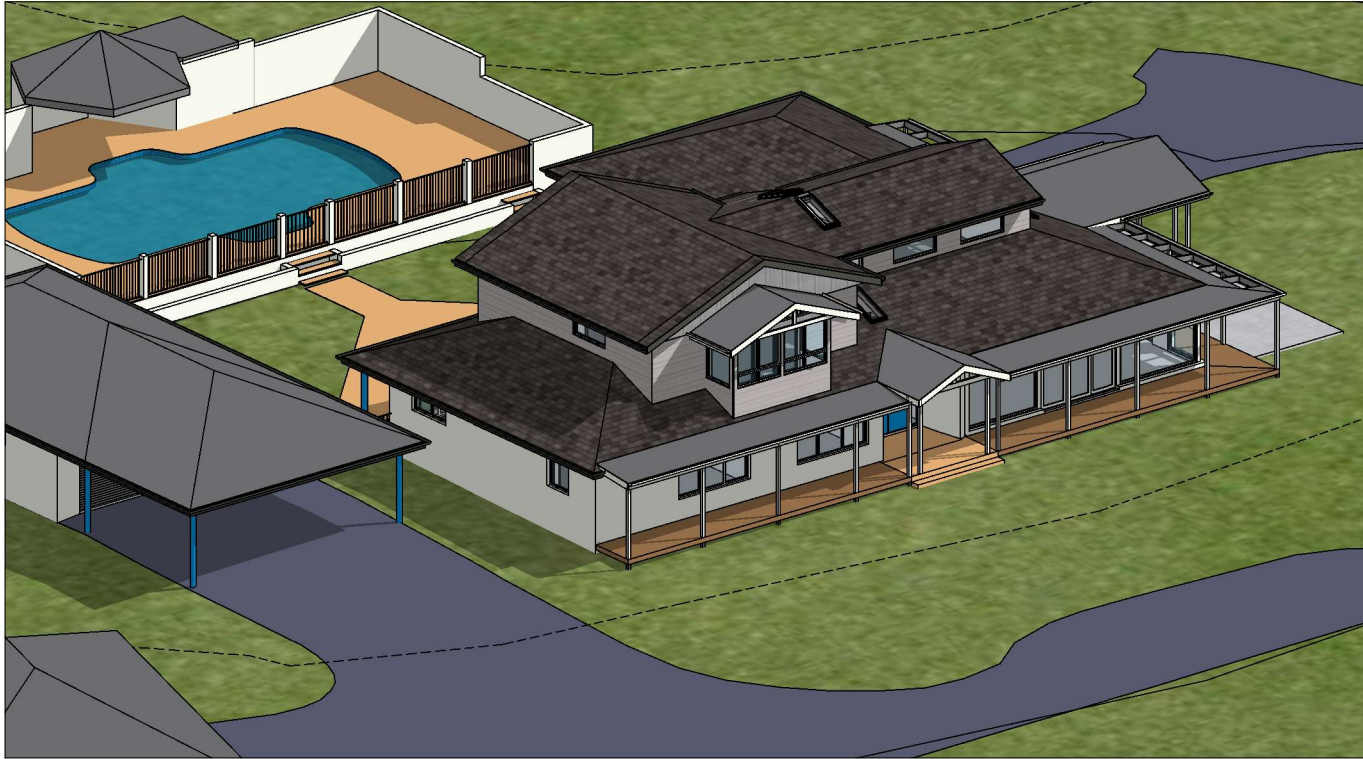
Project Ref. **WEST**



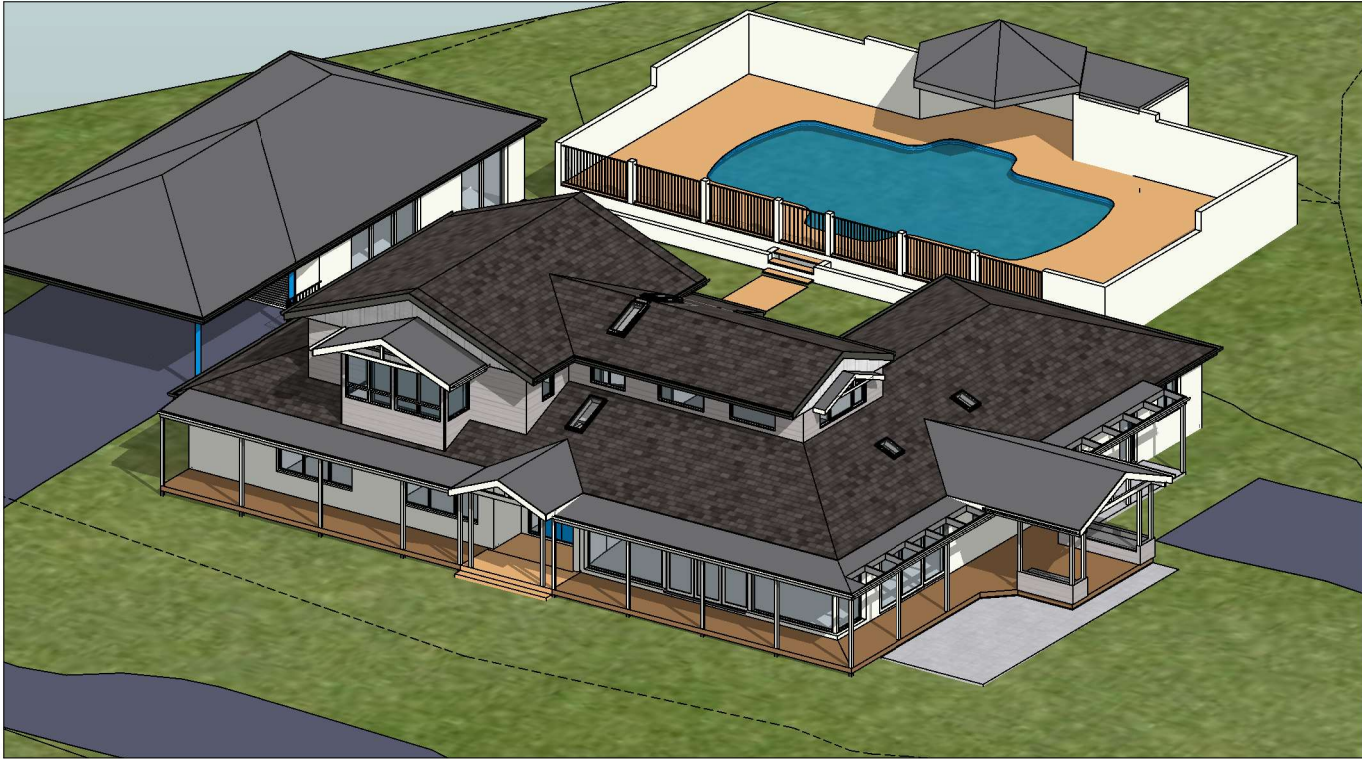
PROPOSED ORTHO VIEW 1
SUN - 12 NOON SEPT 22



PROPOSED ORTHO VIEW 2
SUN - 12 NOON SEPT 22



PROPOSED ORTHO VIEW 3
SUN - 12 NOON SEPT 22



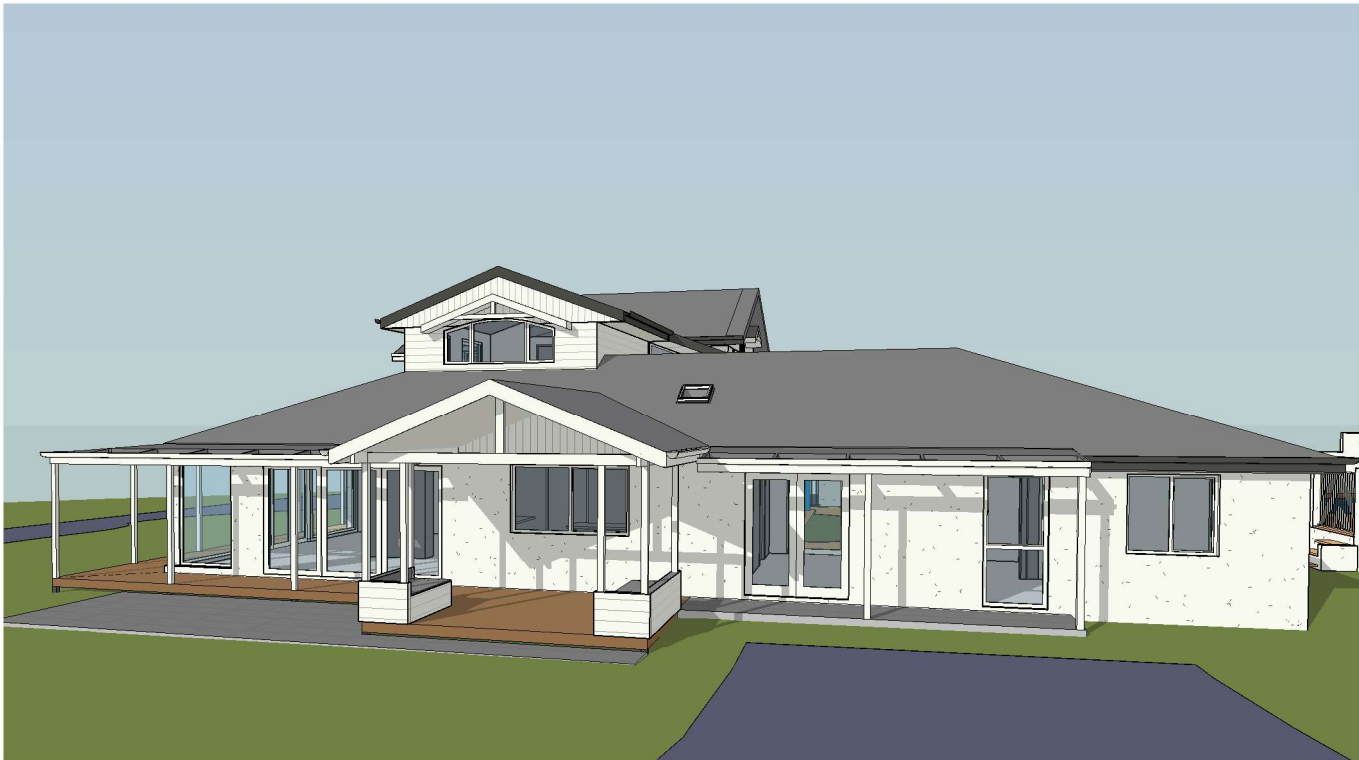
PROPOSED ORTHO VIEW 4
SUN - 12 NOON SEPT 22

<div>MARCUS WALTERS BUILDING DESIGNER</div> <div>Phone: 0406 745 368 Email: mwalterbdesigner@gmail.com Licence No. : Licence pending ABN : 91 130 586 770</div> <div></div>				REV.	DATE	ISSUED TO	DESCRIPTION	DRAWING INDEX	CLIENT:	ANDREW & SHARON WEST					Drawing Title.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
				0	12-06-2025	COUNCIL	PRELIMINARY PLANNING APPLICATION SUBMISSION	REFER TO COVER SHEET 000	PROJECT:	ALTERATIONS & ADDITIONS TO EXISTING DWELLING					DATE:	Issue.	Sheet No.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
				1	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL		28 SIROCCO COURT, ACTON PARK, TAS 7170	18-07-2025	PLANNING	017																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
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PROPOSED 3D VIEW 1

SUN - 12 NOON DEC 21 (SUMMER SOLSTICE)



PROPOSED 3D VIEW 2

SUN - 12 NOON JUN 21 (WINTER SOLSTICE)



PROPOSED 3D VIEW 3

SUN - 10AM SEPT 22 (SPRING EQUINOX)

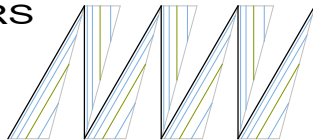


PROPOSED 3D VIEW 4

SUN - 3PM SEPT 22 (SPRING EQUINOX)

MARCUS WALTERS
BUILDING DESIGNER

Phone: 0406 745 368
Email: mwaltersbdesigner@gmail.com
Licence No. : Licence pending
ABN : 91 130 586 770



REV.	DATE	ISSUED TO	DESCRIPTION
0	12-06-2025	COUNCIL	PRELIMINARY PLANNING APPLICATION SUBMISSION
1	22-07-2025	COUNCIL	AMENDED & SUBMITTED FOR PLANNING APPROVAL

DRAWING INDEX
REFER TO COVER SHEET 000

CLIENT:

ANDREW & SHARON WEST

PROJECT:

ALTERATIONS & ADDITIONS TO EXISTING DWELLING
28 SIROCCO COURT, ACTON PARK, TAS 7170

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DESIGNED

DRAWN

CHECKED

SCALE.

MW

MW

MW

NTS@ A3

Drawing Title.		
PROPOSED 3D VIEWS		
DATE:	Issue.	Sheet No.
18-07-2025	PLANNING	018
Project Ref. WEST		



21 July 2025

Planning Authority

Clarence City Council
PO Box 96
Rosny Park TAS 7018

RE: Planning application for proposed additions & alterations to existing dwelling & garage at 28 Sirocco Court Acton Park.

Please find attached a planning permit application form, certificate of title, and planning drawing set for the above project for planning approval application. The proposal is for additions & alterations to the existing dwelling and a carport addition to the existing garage.

The site is within a Rural Living planning zone (zone B) and has Waterway & Coastal Protection Area, Flood-prone areas, and Airport Obstacle Limitation Area planning overlays. The Waterway & Coastal Protection Area & Flood-prone areas planning overlays do not cover the proposed building areas.

Please find below a response to councils preliminary Planning Assessment (PDPLIMPLN-2025/053102) dated 20/06/2025.

The proposal has a site coverage greater than required by A1 in 11.4.1 (400 m²). The existing dwelling and outbuildings have a site coverage of 577.5m² with the proposed additions increasing this to 677.3 m². Please find below responses that addresses the criteria contained in P1;

- a) The topography of the site is similar to surrounding lots along Sirocco Court with near flat to gentle slopes.
- b) The large lot size and gentle slopes is consistent with other lots in the area allowing capacity to manage and absorb runoff. A new stormwater absorption trench for new roof areas is proposed for plumbing approval in addition to existing absorption trenches.
- c) The size and shape of the site is consistent with other sites/lots in the area.
- d) The proposed additions do not extend beyond the existing buildings setbacks and maintain the relative compact overall building footprint on site that is consistent with other sites in the area.
- e) No vegetation is required to be removed for the proposed additions.
- f) Below are the approximate site coverage areas for adjoining and nearby lots along Sirocco Court that demonstrate the majority of the lots that have site coverage greater than the requirement of A1

18 Sirocco Court – 650m²

19 Sirocco Court – 300m²

37 Sirocco Court – 510m²





38 Sirocco Court – 460m²

50 Sirocco Court – 420m²

59 Sirocco Court – 510m²

60 Sirocco Court – 600m²

Image of surrounding lots on Sirocco Court



Regarding possible additional stormwater requirements, further advice was sought from the council development engineering department with the advice provided that the new roof areas can be drained to the existing onsite stormwater absorption trenches (with overflow to creek), provided they are of sufficient capacity, with approval at the plumbing approval stage. Advice from a relevant consultant was that verifying the existing absorption trenches will be difficult to impossible so therefore it is proposed a new stormwater absorption trench be provided for all new roof areas. A consultant will prepare a report for plumbing approval stage.

Please contact me if you require any further information.

Regards,

Marcus Walters

