



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/052899

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 35 Surf Road, Seven Mile Beach

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 22 September 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 22 September 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 22 September 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Alterations to existing dwelling

Personal Information Removed



Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Residential**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Applicant's signature:

Date: **2/6/25**

**Personal
Information
Removed**

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



SEARCH OF TORRENS TITLE

VOLUME 170427	FOLIO 1
EDITION 3	DATE OF ISSUE 10-Sep-2019

SEARCH DATE : 15-Aug-2022

SEARCH TIME : 01.49 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Plan 170427

Derivation : Part of 94A-0R-17Ps. Gtd. to D.C. Lewis.

Prior CT 62239/33

SCHEDULE 1

M538125 & M670392 TRANSFER to MICHELLE THERESE HANNAN

Registered 12-Jul-2018 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

108968 BOUNDARY FENCES CONDITION in Transfer

E194645 MORTGAGE to Macquarie Bank Limited Registered
10-Sep-2019 at 12.01 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER FOLIO REFERENCE CT: 2093/56 GRANTEE PART OF (94A-OR-17P) GTD. TO DAVID CYRIL LEWIS.		PLAN OF TITLE LOCATION CITY OF CLARENCE FIRST SURVEY PLAN No. P1069 COMPILED BY LTO SCALE 1: 500 LENGTHS IN METRES		Registered Number P.170427 APPROVED 27 OCT 2015 <i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 107 (5425)	LAST UPI No	LAST PLAN No. P62239	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

MG

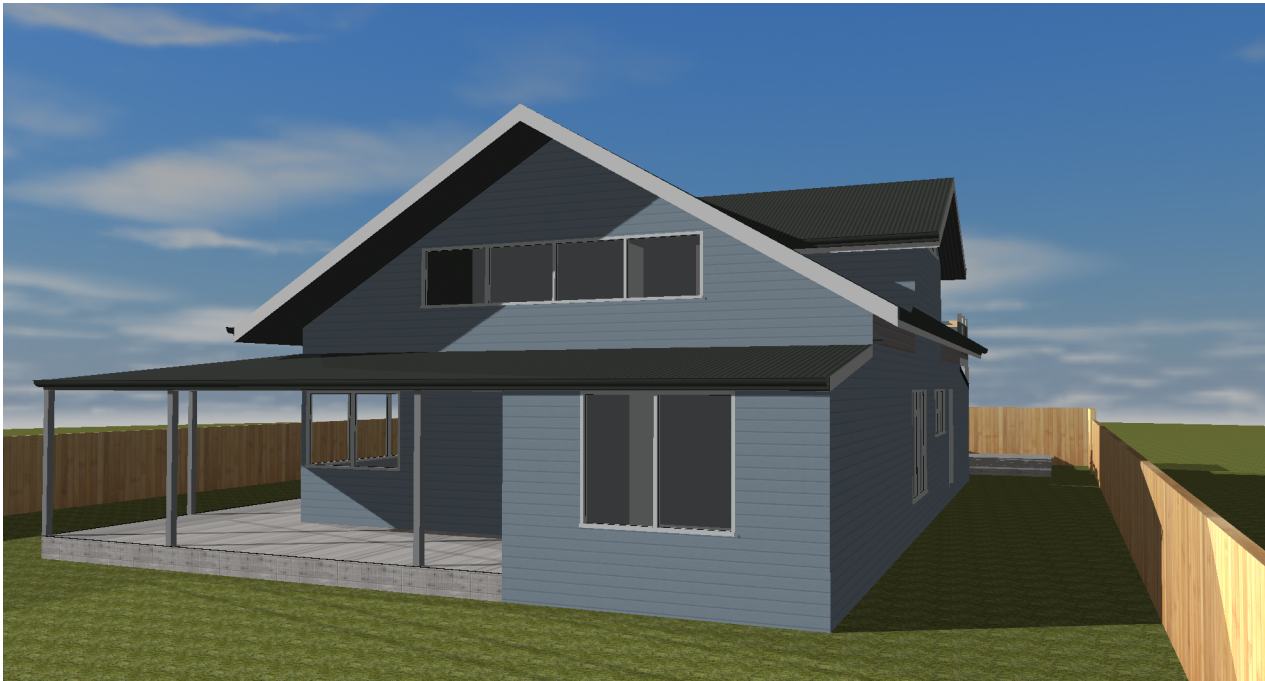
Sam Tyson

Dorma Alteration

35 Surf Road Seven Mile Beach

DRAWING SCHEDULE:

Sheet No:	Drawing:	Rev:	Revision Date:
A000	Cover	B	26/8/2025
A201	Existing GF Plan	B	26/8/2025
A202	Existing & Demolition FF Plan	B	26/8/2025
A203	Exisiting & Demolition Roof Plan	B	26/8/2025
A204	Proposed FF Plan	B	26/8/2025
A205	Proposed Roof Plan	B	26/8/2025
A301	Elevations – Sheet 1	B	26/8/2025
A302	Elevations – Sheet 2	B	26/8/2025
A401	Perspectives	B	26/8/2025
A402	Shadow Diagrams – Existing	B	26/8/2025
A403	Shadow Diagrams – Proposed	B	26/8/2025
A901	BAL Rating Notes	B	26/8/2025
A902	General Notes	B	26/8/2025



SITE LOCATION IMAGE – Scale: N.T.S.



GENERAL INFORMATION:

Accredited Architect:	Sam Haberle	
Accreditation Number:	CC5618 U	
Land Title Reference Number:	C.T. 170427/1	(Certificate volume and folio)
Soil classification:	N/A	Site classification to AS 2870–2011 (Reference report author)
Wind Classification:	N2	Site classification to AS 4055–2006 (Reference report author)
Climate Zone:	7	(www.abcb.gov.au map)
Alpine Area:	N/A	<300m AHD (BCA Figure 3.7.5.2)
Bushfire-prone Area BAL Rating:	BAL19	As determined by registered Bushfire Assessor
Corrosion environment:	SEVERE	For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to NCC section 3.4.2.2 & NCC Table 3.4.4.2. Cladding and fixings to manufacturer's recommendations
Other Known site hazards:	N/A	High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice or other relevant factors
Site Area:	835m ²	
Total Floor Area (existing):	255m ²	
Total Floor Area (proposed):	255m ²	

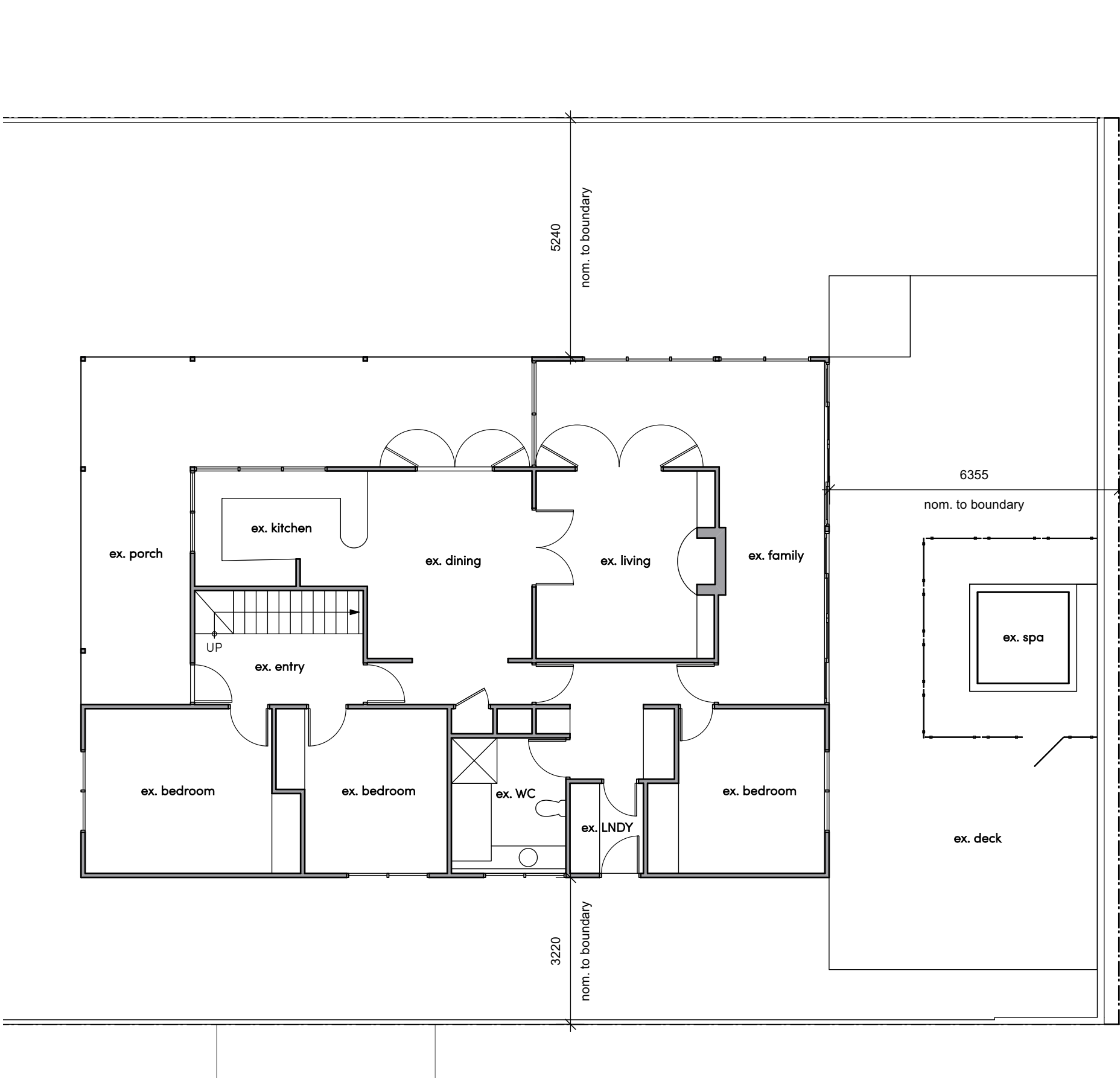
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REVISION B	DATE 26/8/2025	DESCRIPTION RFI rresponse Issue		
ADDRESS	35 Surf Road, Seven Mile Beach		do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS	ISSUE DA
CLIENT	Michelle Hannan		SCALE @ ISO A3 1:200	DWG # A000–B
DWG	Cover		DRAWN IL	PROJECT# J008989
			CHKD JE	
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NOTES

1. NO ALTERATIONS ARE PROPOSED TO OCCUR TO THE LAYOUT OR EXTERNAL WALLS OF THE GROUND FLOOR.
NO ALTERATIONS ARE TO OCCUR TO THE LANDSCAPE.

2. NOMINAL GROUND FLOOR AREA TO EXTERNAL FACE OF EXTERIOR WALLS = Approx. 150.8m²

3. ALL EXISTING CONDITIONS ARE SHOWN INDICATIVELY ONLY. ALL DIMENSIONS SHOULD BE CONFIRMED ON SITE.

4. GENERAL DEMOLITION TO: AS2601

LEGEND:

Existing Walls to remain

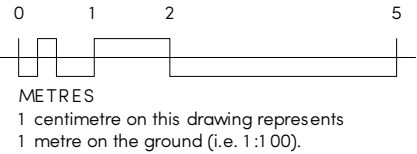
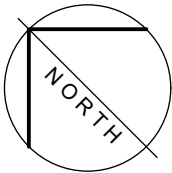
Existing Walls, Roof and associated elements (windows, doors etc) to be demolished

Proposed New Walls

93000 nom. to coastline
(source: LISTmap)

ADJACENT LOT
(247699/1 - Clarence City Council)

Vacant - existing vegetation and trees



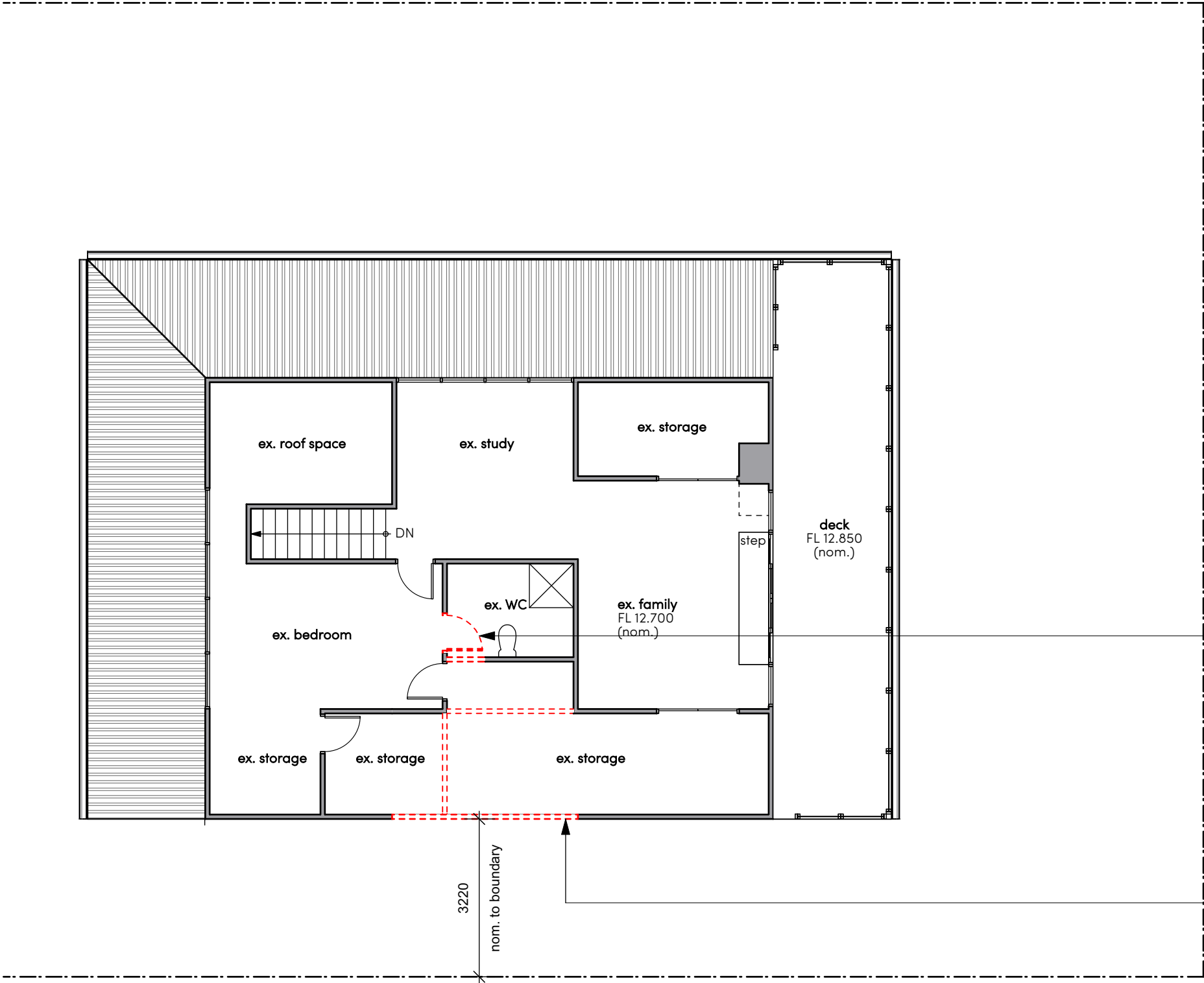
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ADDRESS 35 Surf Road, Seven Mile Beach			ISSUE DA	DWG #
CLIENT Michelle Hannan			SCALE @ ISO A3 1:100	A201-B
DWG Existing GF Plan			DRAWN IL	PROJECT# J008989
			CHKD JE	



NOTES

1. NO ALTERATIONS ARE PROPOSED TO OCCUR TO THE LAYOUT OR EXTERNAL WALLS OF THE GROUND FLOOR.
NO ALTERATIONS ARE TO OCCUR TO THE LANDSCAPE.

2. SUITABLY RELOCATE OR DECOMMISSION EXISTING PLUMBING AND ELECTRICAL SERVICES ASSOCIATED WITH RENOVATION. ALL EFFECTED SERVICES ARE TO BE CAPPED PRIOR TO DEMOLITION. PATCH AND MAKE GOOD ALL EFFECTED.

3. NOMINAL FIRST FLOOR AREA TO EXTERNAL FACE OF EXTERIOR WALLS = Approx. 104.3m²

4. ALL EXISTING CONDITIONS ARE SHOWN INDICATIVELY ONLY. ALL DIMENSIONS SHOULD BE CONFIRMED ON SITE.

5. GENERAL DEMOLITION TO: AS2601

LEGEND:

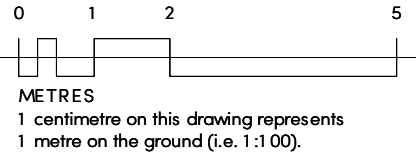
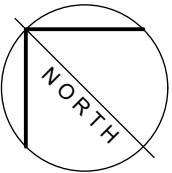
Existing Walls to remain

Existing Walls, Roof and associated elements (windows, doors etc) to be demolished

Proposed New Walls

Existing door and frame to be removed. Cavity to be infilled with new stud wall. Make good any damage to existing retained walls effected by renovations.

Portion of existing external wall to be demolished as required, new external wall of proposed dorma to be constructed upon existing framing. Make good any existing retained wall effected by demolition.



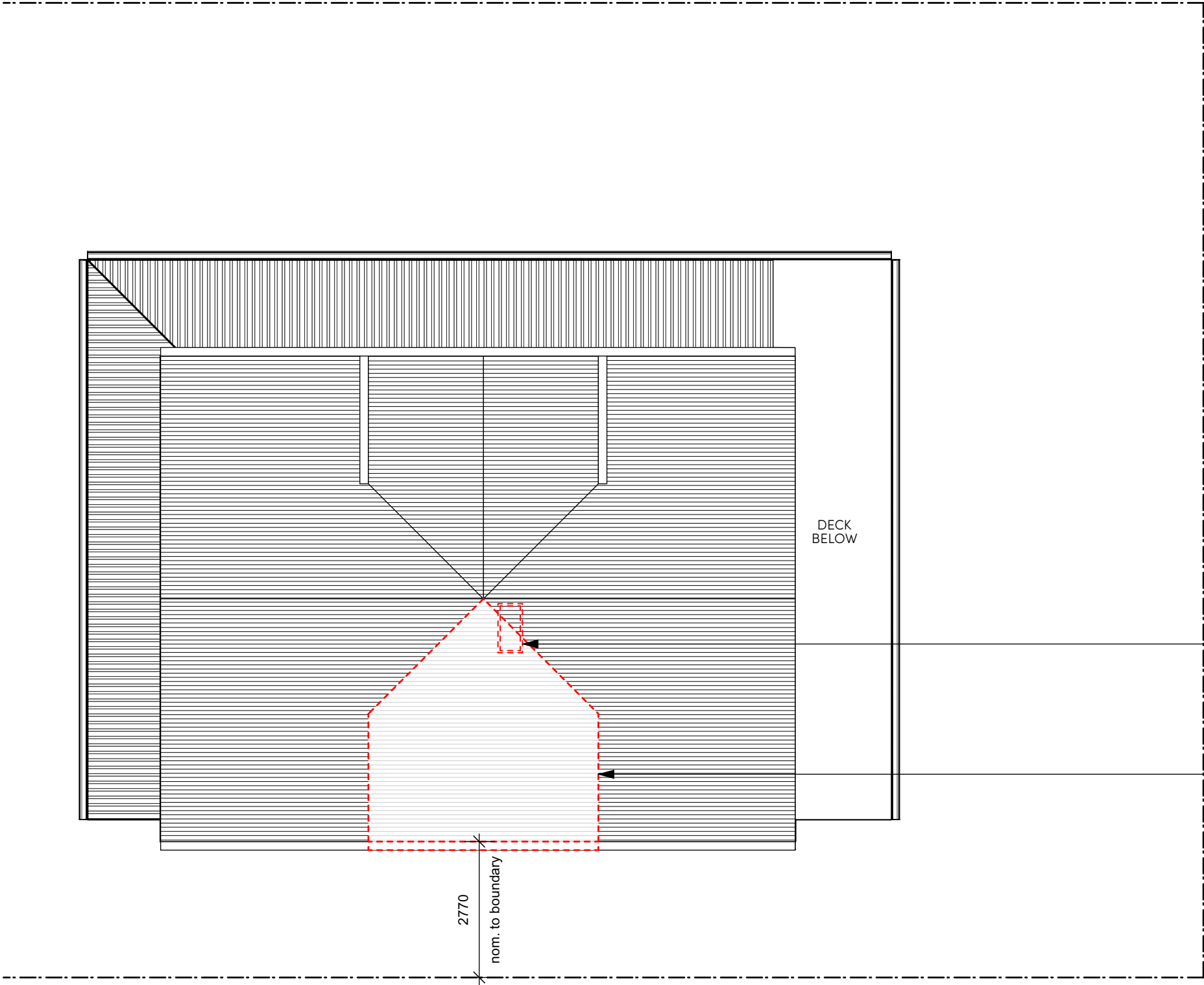
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ADDRESS	35 Surf Road, Seven Mile Beach			do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS	ISSUE DA
CLIENT	Michelle Hannan			SCALE @ ISO A3 1:100	DWG # A202-B
DWG	Existing & Demolition FF Plan			DRAWN IL CHKD JE	PROJECT# J008989
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3. GENERAL DEMOLITION TO: AS2601

LEGEND:

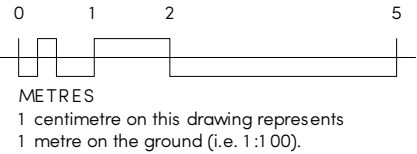
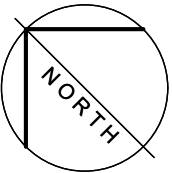
Existing Walls to remain

Existing Walls, Roof and associated elements (windows, doors etc) to be demolished

Proposed New Walls

Existing skylight to be removed. Make good roof effected by removal of skylight.

Portion of roof to be demolished to match the dimensions of the existing dorma mirrored. Make good any existing roof, wall, gutters etc. effected by demolition.



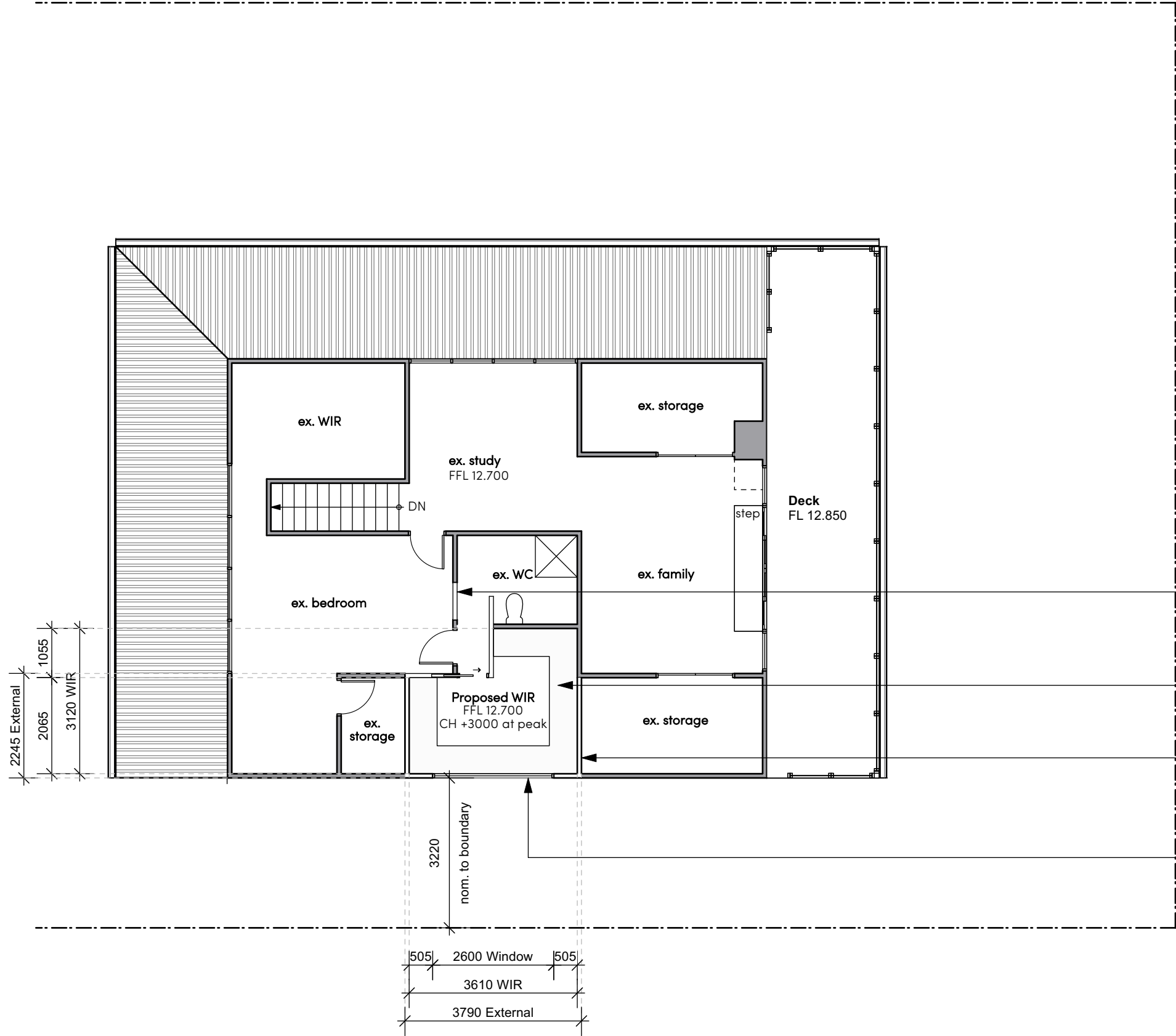
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CLIENT	Michelle Hannan		SCALE @ ISO A3 1:100	DWG # A203-B
DWG	Exisiting & Demolition Roof Plan		DRAWN IL CHKD JE	PROJECT# J008989
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NOTES

1. ALL EXISTING CONDITIONS ARE SHOWN INDICATIVELY ONLY. ALL DIMENSIONS SHOULD BE CONFIRMED ON SITE.
3. FINISHED FLOOR LEVEL OF ALL NEW WORKS IS TO BE FLUSH WITH EXISTING FIRST FLOOR LEVEL. EXISTING AND PROPOSED FIRST FLOOR RL: 12.700
4. PROPOSED TOTAL FIRST FLOOR AREA TO EXTERNAL FACE OF EXTERIOR WALLS (EXCLUDING DECK) = 104.3m²

LEGEND:

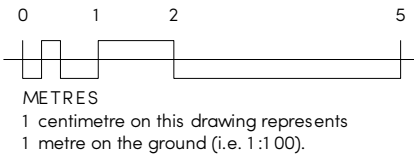
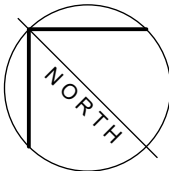
- Existing Walls to remain
- Existing Walls, Roof and associated elements (windows, doors etc) to be demolished
- Proposed New Walls

New internal infill wall to match width of existing adjoining walls. Finish to seamless, match existing.

Joinery layout by others, shown indicatively only.

New external walls, internal and external linings to match existing material and paint colour finish.

Proposed Highlight window to be 1900mm above FFL.



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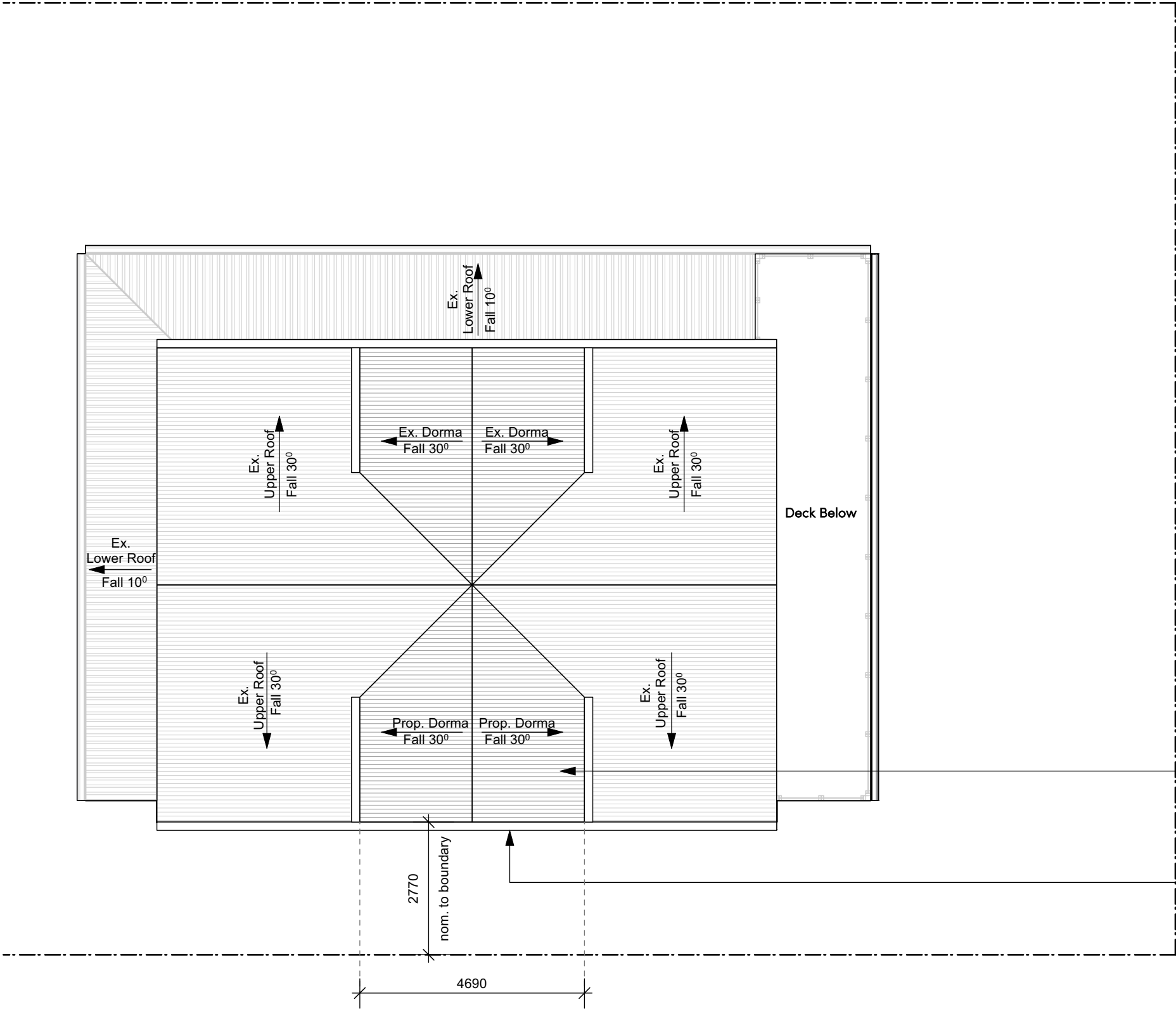
REVISION B	DATE	26/8/2025	DESCRIPTION	RFI rresponse Issue
ADDRESS	35 Surf Road, Seven Mile Beach		do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS	ISSUE DA
CLIENT	Michelle Hannan		SCALE @ ISO A3 1:100	DWG # A204-B
DWG	Proposed FF Plan		DRAWN CHKD	IL JE PROJECT# J008989

NOTES

1. ALL EXISTING CONDITIONS ARE SHOWN INDICATIVELY ONLY. ALL DIMENSIONS SHOULD BE CONFIRMED ON SITE.
3. FINISHED FLOOR LEVEL OF ALL NEW WORKS IS TO BE FLUSH WITH EXSITING FIRST FLOOR LEVEL. EXISITNG AND PROPOSED FIRST FLOOR RL: 12.700
4. PROPOSED TOTAL FIRST FLOOR AREA TO EXTERNAL FACE OF EXTERIOR WALLS (EXCLUDING DECK) = 104.3m²

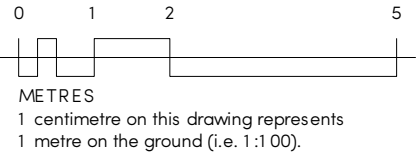
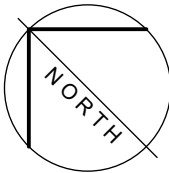
LEGEND:

- Existing Walls to remain
- Existing Walls, Roof and associated elements (windows, doors etc) to be demolished
- Proposed New Walls



All dimensions and roof pitches are indicative only - to be confirmed on site. New Dorma roof to match pitch and dimensions of existing dorma mirrored. Roof sheeting material, colour and accessories (e.g. gutters, downpipes, flashings, etc.) to match existing.

Any associated upper roof elements (e.g. gutters, flashings, downpipes) damaged in demolition, is to be reinstated. Make good junction between existing and new works.



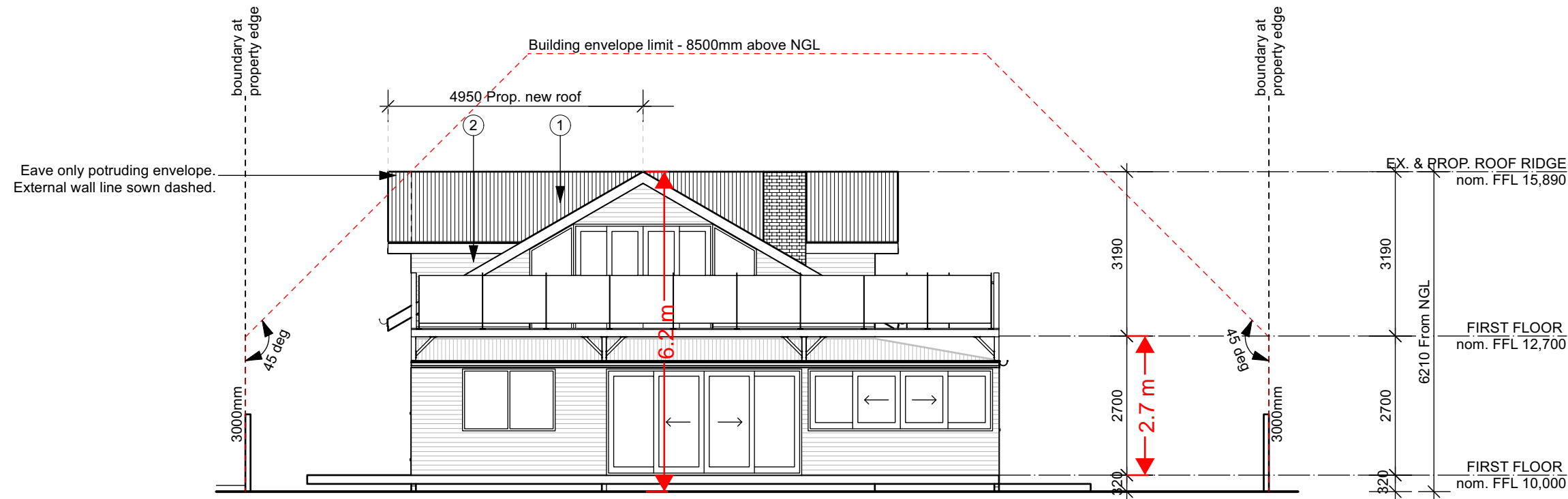
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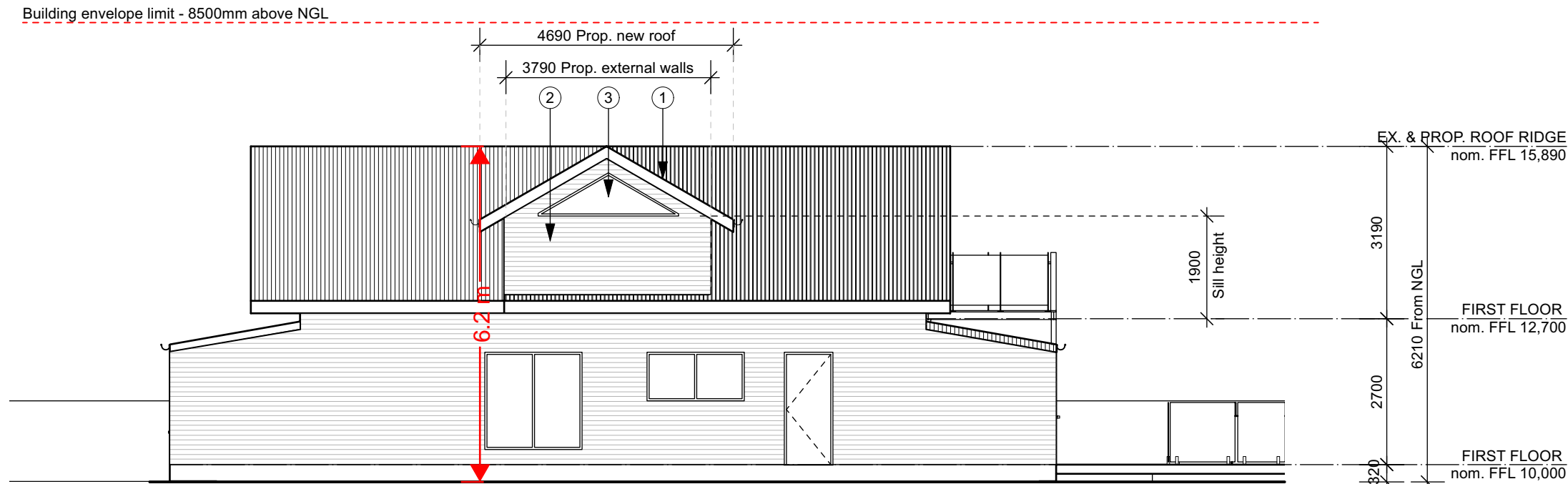


REVISION B	DATE 26/8/2025	DESCRIPTION RFI rresponse Issue	do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS	
ADDRESS	35 Surf Road, Seven Mile Beach		SCALE @ ISO A3 1:100	ISSUE DA
CLIENT	Michelle Hannan		DRAWN IL	DWG # A205-B
DWG	Proposed Roof Plan		CHKD JE	PROJECT# J008989
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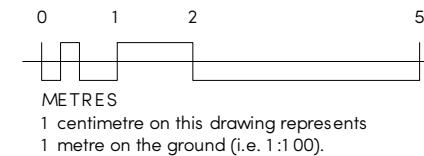


1 South East Elevation
Scale: 1:100

EXTERNAL FINISHES & COLOURS SCHEDULE:	
1	Custom-orb steel roof sheeting or equivalent to match existing. Colorbond cappings, flashings, gutters, downpipes and accessories as selected.
2	8.5mm 'James Hardie' Weatherboard look FC sheet Cladding. Material and paint finish to match existing. installation to manufacturers specification.
3	Double Glazed, Aluminium framed window. Powder coat finish, Colour to match existing. All Glazed panels over 2m2 to be constructed with low-reflective glass (0-10%).



2 South West Elevation
Scale: 1:100



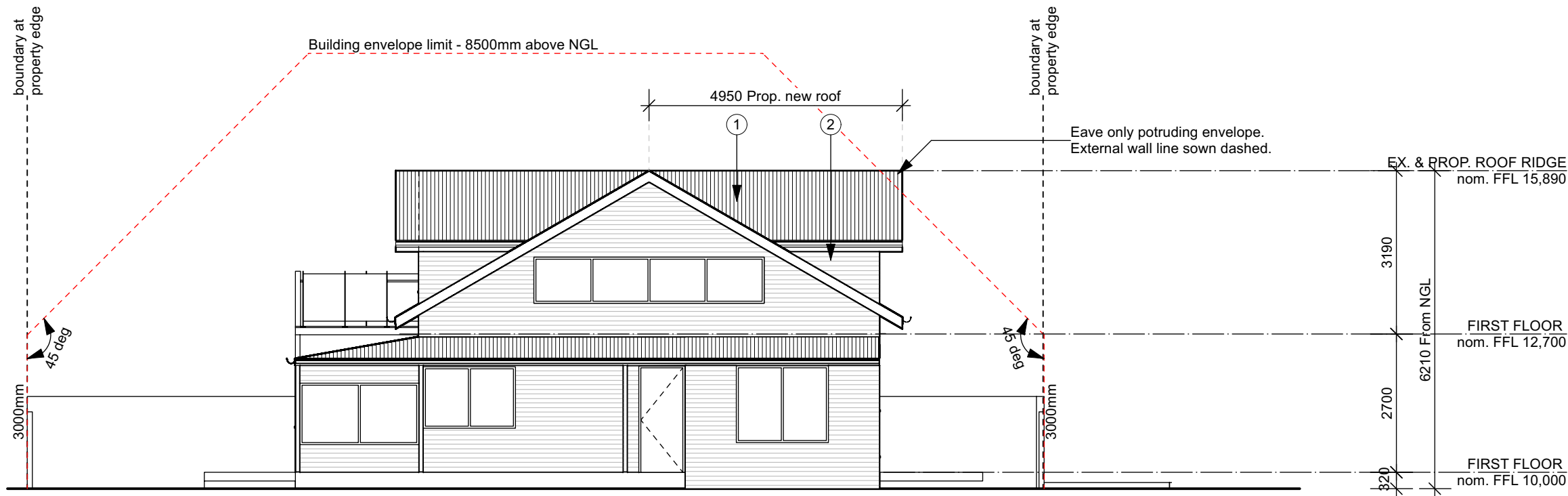
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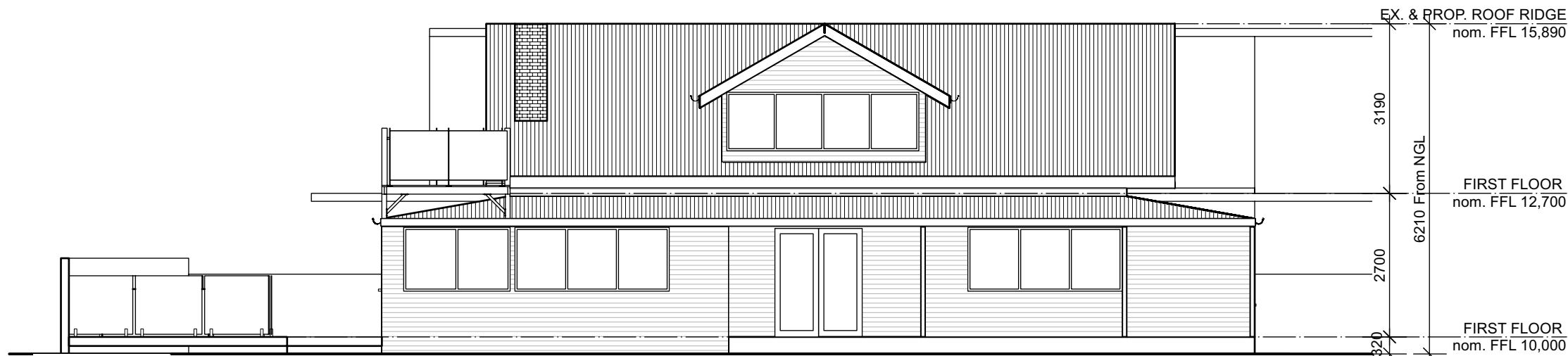
REVISION B	DATE	26/8/2025	DESCRIPTION	RFI rresponse Issue
ADDRESS	35 Surf Road, Seven Mile Beach			
CLIENT	Michelle Hannan			
DWG	Elevations - Sheet 1			
do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS		SCALE @ ISO A3	1:100	ISSUE
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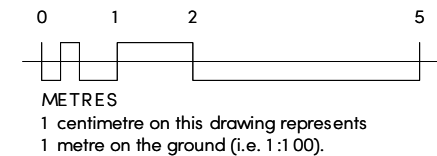
3 North East Elevation
Scale: 1:100

EXTERNAL FINISHES & COLOURS SCHEDULE:	
1	Custom-ob steel roof sheeting or equivalent to match existing. Colorbond cappings, flashings, gutters, downpipes and accessories as selected. Colour as selected.
2	8.5mm 'James Hardie' Weatherboard look FC sheet Cladding. Material and paint finish to match existing. installation to manufacturers specification.
3	Double Glazed, Aluminium framed window. Powder coat finish, Colour to match existing. All Glazed panels over 2m2 to be constructed with low-reflective glass (0-10%).

Building envelope limit - 8500mm above NGL



4 North West Elevation
Scale: 1:100 Note: All existing - no alterations to occur, nor visible from a North-West view



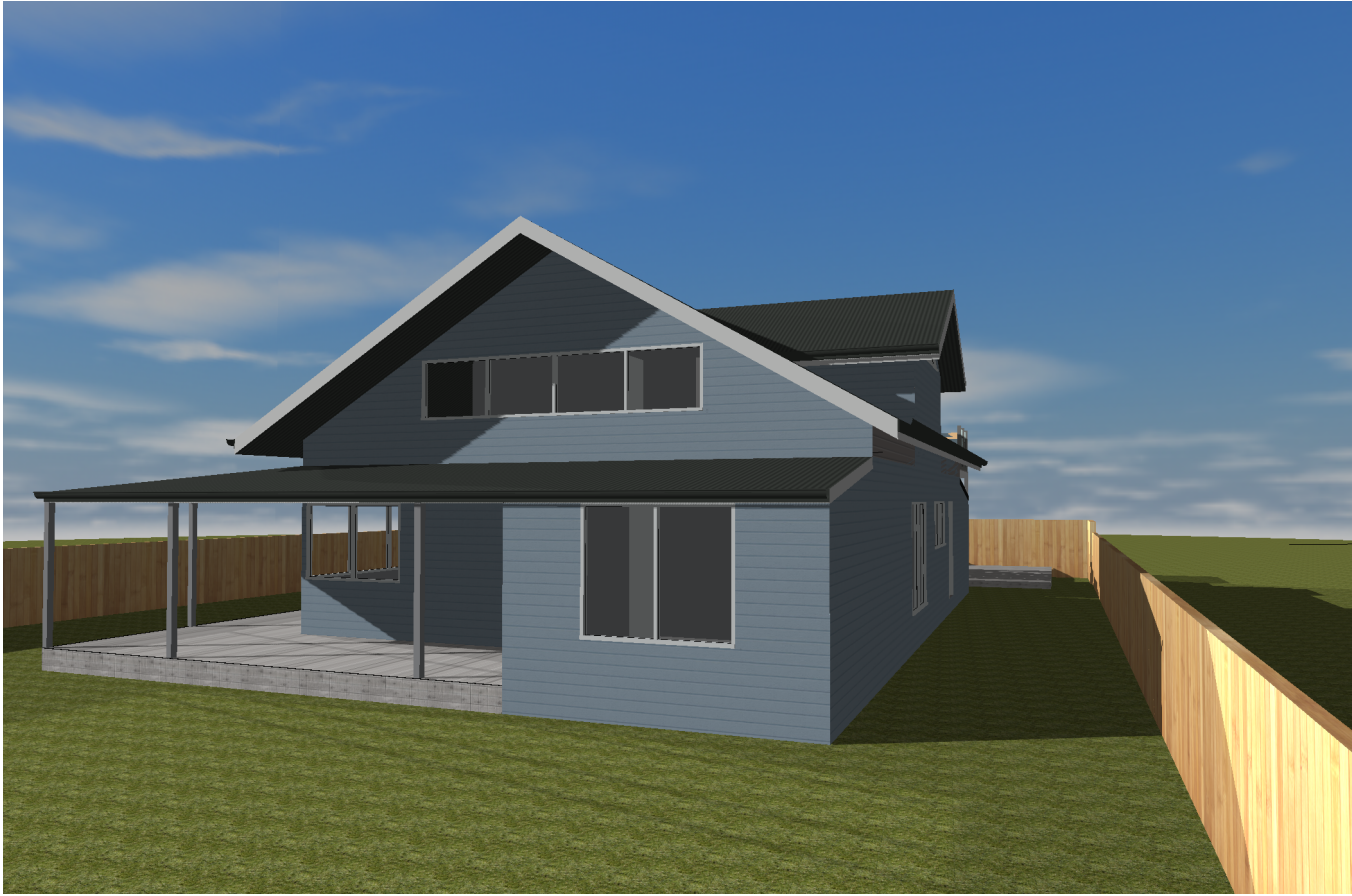
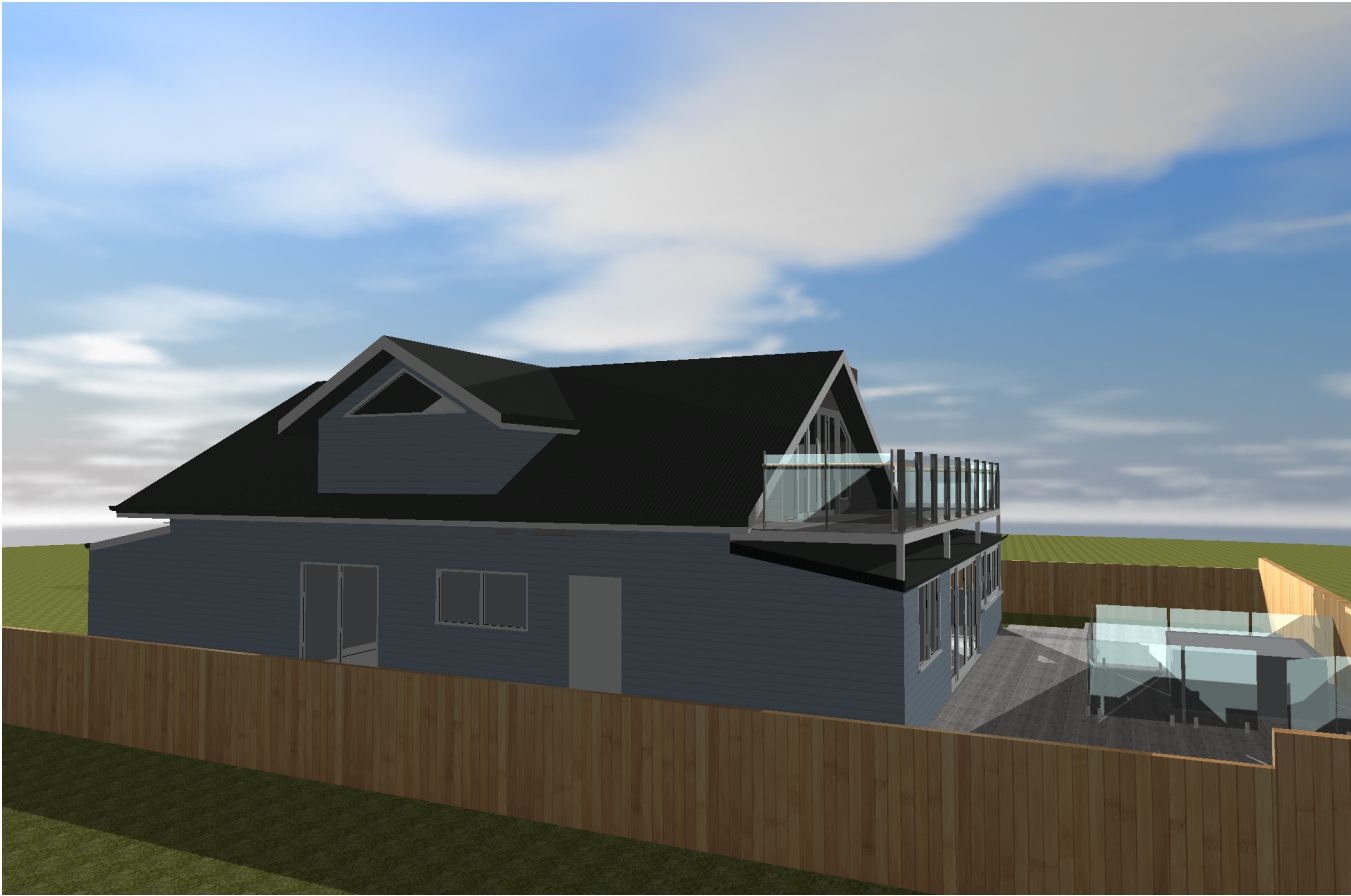
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ADDRESS	35 Surf Road, Seven Mile Beach		ISSUE	DA
CLIENT	Michelle Hannan		DWG #	A302-B
DWG	Elevations - Sheet 2		SCALE @ ISO A3 1:100	IL
CHKD	JE		PROJECT#	J008989



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Version: 2, Version Date: 04/09/2025

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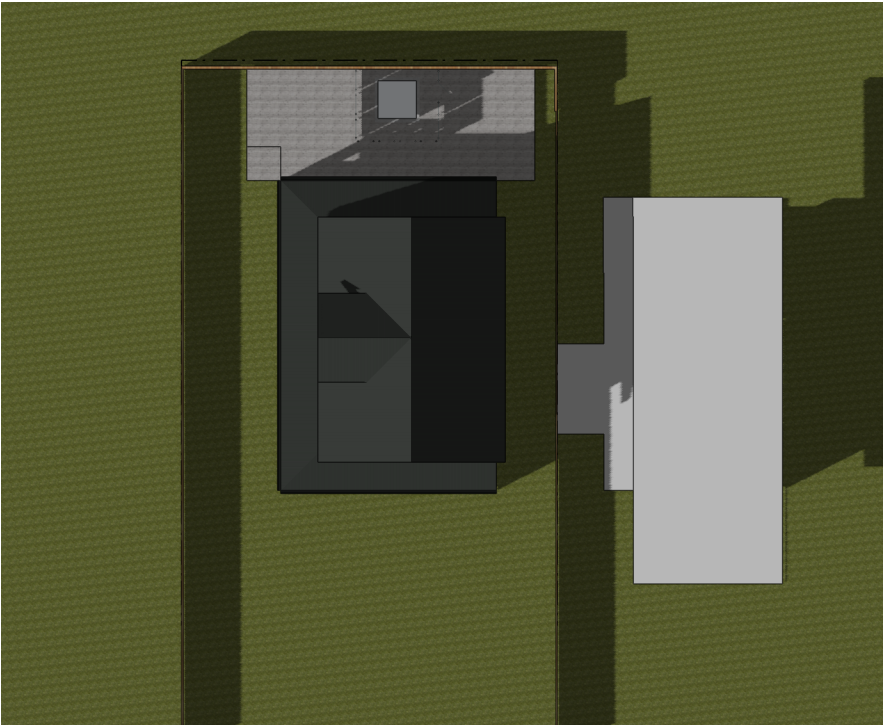
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CLIENT	Michelle Hannan			SCALE @ ISO A3	DWG #
DWG	Perspectives			1:200	A401-B
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	CHKD	JE			PROJECT# J008989
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1

Shadow Diagram - 9am Proposed

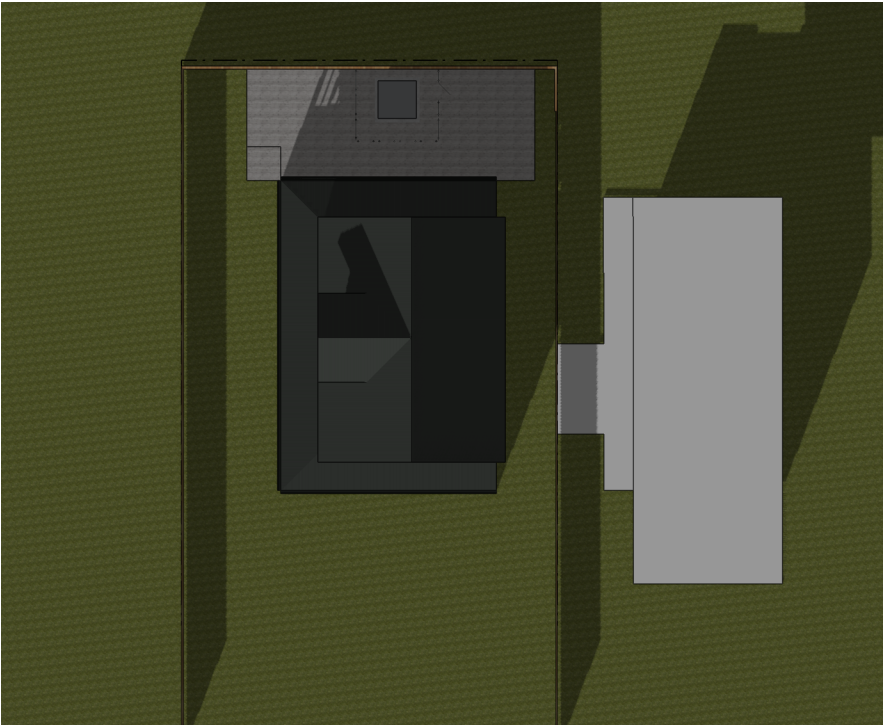
Scale: 1:400



2

Shadow Diagram - 12pm Proposed

Scale: 1:400



3

Shadow Diagram - 3pm Proposed

Scale: 1:400

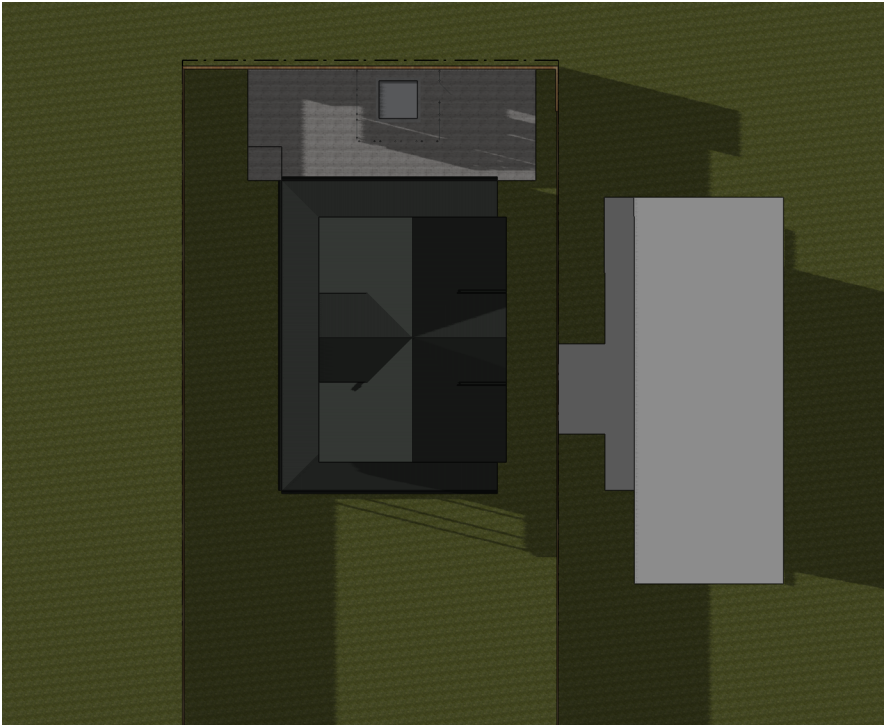
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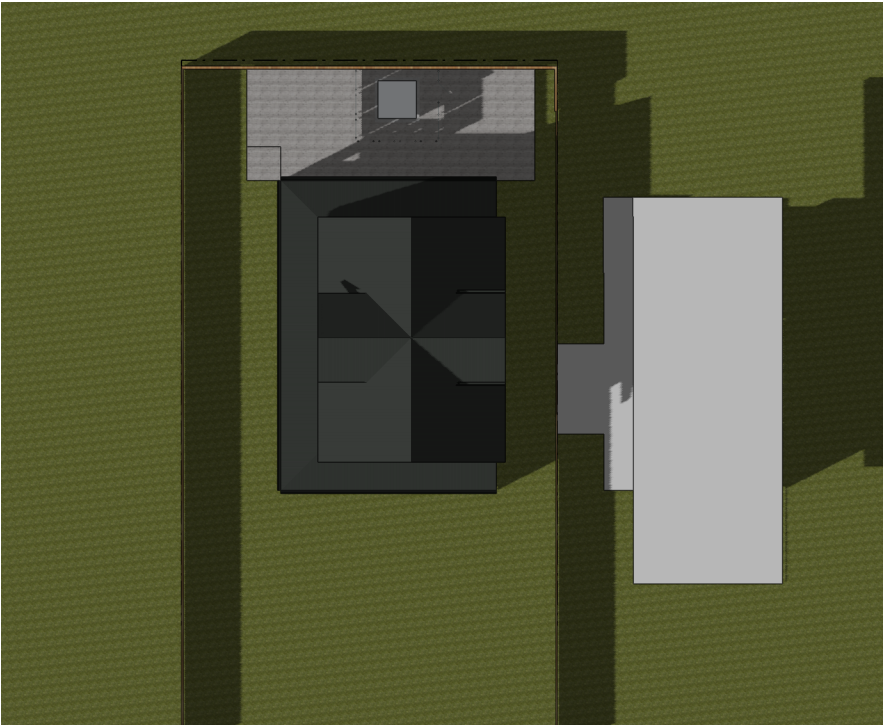
REVISION B	DATE	26/8/2025	DESCRIPTION	RFI rresponse Issue		
ADDRESS	35 Surf Road, Seven Mile Beach				do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS	ISSUE DA
CLIENT	Michelle Hannan				SCALE @ ISO A3 1:200	DWG # A402-B
DWG	Shadow Diagrams - Existing				DRAWN IL CHKD JE	PROJECT# J008989
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1

Shadow Diagram - 9am Proposed

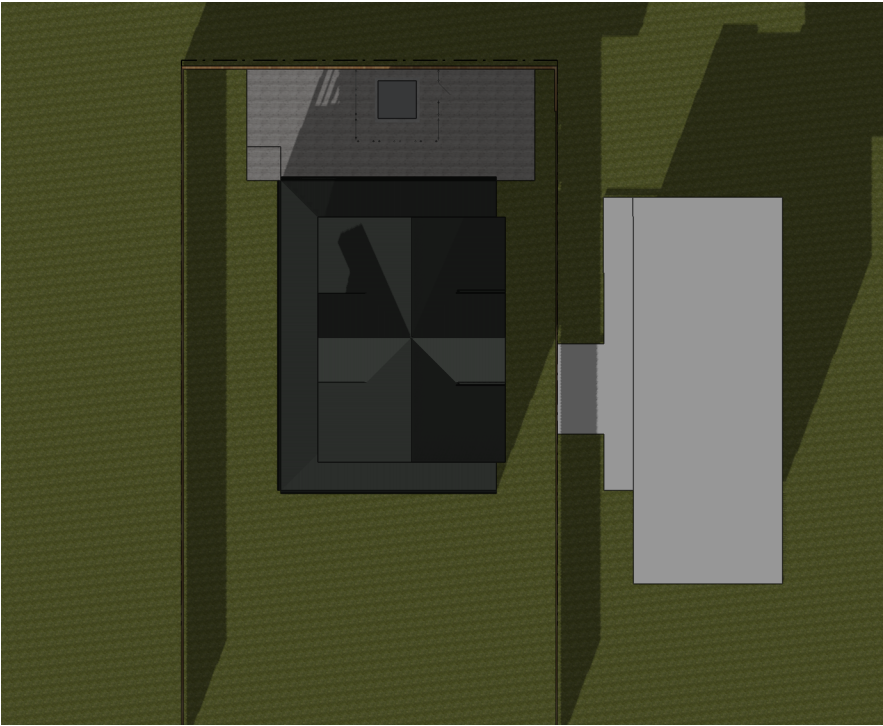
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2

Shadow Diagram - 12pm Proposed

Scale: 1:400



3

Shadow Diagram - 3pm Proposed

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REVISION B	DATE 26/8/2025	DESCRIPTION	RFI rresponse Issue	
ADDRESS	35 Surf Road, Seven Mile Beach			do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS
CLIENT	Michelle Hannan			ISSUE DA
DWG	Shadow Diagrams - Proposed			DWG # A403-B
				SCALE @ ISO A3 1:200
				DRAWN IL
				CHKD JE PROJECT# J008989
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BUSHFIRE CONSTRUCTION - FOR BUSHFIRE ATTACK LEVEL BAL-19 - AS3959, SECTIONS 3 & 6

GENERAL

1. THE FOLLOWING REQUIREMENTS APPLY TO ALL PARTS OF THE SUBJECT BUILDING, INCLUDING (BUT NOT LIMITED TO) ANY ATTACHED OR ADJACENT GARAGE, CARPORT, VERANDA OR SIMILAR ROOFED STRUCTURE AND ANY GARAGE OR CARPORT BELOW THE SUBJECT BUILDING, UNLESS PARTS ARE SEPARATED BY A FIRE-WALL COMPLYING WITH AS3959, SECTION 3.2.
2. ANY ELEMENTS OR SYSTEMS THAT SATISFY THE TEST CRITERIA OF AS1530.8.1 MAY BE USED IN LIEU OF THE FOLLOWING APPLICABLE REQUIREMENTS.

SUB-FLOOR SUPPORTS

NO SPECIFIC REQUIREMENTS.

FLOORS

NO SPECIFIC REQUIREMENTS.

EXTERNAL WALLS

1. EXPOSED COMPONENTS OF ANY EXTERNAL WALLS (INCLUDING ANY WALLS THAT ENCLOSE A SUB-FLOOR SPACE) THAT ARE LESS THAN 400mm FROM THE GROUND OR LESS THAN 400mm ABOVE DECKS, CARPORT ROOFS, AWNINGS AND SIMILAR ELEMENTS OR FITTINGS HAVING AN ANGLE LESS THAN 18° TO THE HORIZONTAL AND EXTENDING MORE THAN 110mm IN WIDTH FROM THE WALL SHALL BE MADE OF, OR EXTERNALLY CLAD IN, A BUSHFIRE RESISTANT OR NON-COMBUSTIBLE MATERIAL.
2. JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR JOINTED TO PREVENT GAPS GREATER THAN 3mm.
3. VENTS & WEEP-HOLES IN EXTERNAL WALLS SHALL BE SCREENED WITH MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM, EXCEPT WHERE THEY ARE LESS THAN 3mm OR ARE LOCATED IN AN EXTERNAL WALL OF A SUB-FLOOR SPACE.
4. UNLESS OTHERWISE REQUIRED, COMBUSTIBLE EXTERNAL MOULDINGS, JOINTING STRIPS, TRIMS & SEALANTS MAY BE USED FOR DECORATIVE PURPOSES OR TO COVER JOINTS BETWEEN SHEETING MATERIAL.

WINDOWS & DOORS

1. WHERE FITTED, BUSHFIRE SHUTTERS SHALL BE MADE OF A BUSHFIRE RESISTANT OR NON-COMBUSTIBLE MATERIAL.
2. WHERE FITTED, BUSHFIRE SHUTTERS SHALL BE FIXED TO THE BUILDING, BE NON-REMOVABLE AND PROTECT THE ENTIRE WINDOW OR DOOR ASSEMBLY.
3. WHERE FITTED, BUSHFIRE SHUTTERS SHALL HAVE NO GAP GREATER THAN 3mm BETWEEN THE SHUTTER AND THE WALL, THE SILL OR THE HEAD, WHEN IN THE CLOSED POSITION.
4. WHERE FITTED, BUSHFIRE SHUTTERS SHALL BE READILY OPERABLE FROM EITHER INSIDE OR OUTSIDE. WHERE SHUTTERS ARE FITTED TO ALL EXTERNAL DOORS THEN AT LEAST ONE OF THOSE SHUTTERS SHALL BE OPERABLE FROM THE INSIDE.
5. WHERE FITTED, SCREENS SHALL HAVE A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM. GAPS BETWEEN THE PERIMETER OF THE SCREEN ASSEMBLY AND THE BUILDING SHALL NOT EXCEED 3mm. THE FRAME SUPPORTING THE MESH SHALL BE MADE FROM METAL.

6. WINDOW ASSEMBLIES THAT ARE LESS THAN 400mm FROM THE GROUND OR LESS THAN 400mm ABOVE DECKS, CARPORT ROOFS, AWNINGS AND SIMILAR ELEMENTS OR FITTINGS HAVING AN ANGLE LESS THAN 18° TO THE HORIZONTAL AND EXTENDING MORE THAN 110mm IN WIDTH FROM THE WINDOW FRAME SHALL BE COMPLETELY PROTECTED BY BUSHFIRE SHUTTERS, EXTERNALLY SCREENED (SEE ABOVE) OR MADE FROM METAL.
7. EXTERNALLY FITTED HARDWARE THAT SUPPORTS THE SASH IN ITS FUNCTIONS OF OPENING AND CLOSING SHALL BE METAL.
8. GLAZING LESS THAN 400mm FROM THE GROUND OR LESS THAN 400mm ABOVE DECKS, CARPORT ROOFS, AWNINGS AND SIMILAR ELEMENTS OR FITTINGS HAVING AN ANGLE LESS THAN 18° TO THE HORIZONTAL AND EXTENDING MORE THAN 110mm IN WIDTH FROM THE WINDOW FRAME, SHALL BE TOUGHENED GLASS (MINIMUM 5mm THICK) AND FOR DOUBLE-GLAZED UNITS THE EXTERNAL FACE OF THE WINDOW ASSEMBLY SHALL BE TOUGHENED GLASS (MINIMUM 5mm THICK). ALL OTHER GLAZING MAY BE ANNEALED GLASS.
9. OPENABLE PORTIONS OF WINDOWS SHALL BE INTERNALLY OR EXTERNALLY SCREENED (SEE ABOVE).
10. SIDE-HUNG EXTERNAL DOORS (INCLUDING FRENCH DOORS, PANEL FOLD & BI-FOLD DOORS) SHALL BE MADE OF SOLID TIMBER (MINIMUM 35mm THICK), A NON-COMBUSTIBLE MATERIAL OR BE FULLY FRAMED GLAZED DOORS IN A NON-COMBUSTIBLE FRAME.
11. GLAZING INCORPORATED IN SIDE-HUNG DOORS SHALL BE TOUGHENED GLASS (MINIMUM 5mm THICK).
12. DOORS SHALL BE TIGHT-FITTING IN THEIR FRAMES AND TO ANY ABUTTING DOOR, IF APPLICABLE.
13. DOOR FRAMES THAT ARE LESS THAN 400mm FROM THE GROUND OR LESS THAN 400mm ABOVE DECKS, CARPORT ROOFS, AWNINGS AND SIMILAR ELEMENTS OR FITTINGS HAVING AN ANGLE LESS THAN 18° TO THE HORIZONTAL AND EXTENDING MORE THAN 110mm IN WIDTH FROM THE DOOR SHALL BE MADE FROM METAL.
14. WEATHER STRIPS, DRAUGHT EXCLUDERS OR DRAUGHT SEALS SHALL BE INSTALLED AT THE BASE OF ALL SIDE-HUNG EXTERNAL DOORS.
15. GLAZING INCORPORATED IN SLIDING DOORS SHALL BE GRADE-A SAFETY GLASS COMPLYING WITH AS1288.
16. DOOR FRAMES SUPPORTING SLIDING DOORS & THE FRAMING SURROUNDING ANY GLAZING SHALL BE MADE FROM METAL.
17. SLIDING DOORS SHALL BE TIGHT-FITTING IN THEIR FRAMES.
18. LOWER PORTIONS OF VEHICLE ACCESS DOORS THAT ARE WITHIN 400mm OF THE GROUND WHEN THE DOOR IS CLOSED SHALL BE MADE FROM A BUSHFIRE RESISTANT OR NON-COMBUSTIBLE MATERIAL.
19. PANEL-LIFT, TILT DOORS AND SIDE-HUNG DOORS SHALL BE FITTED WITH SUITABLE WEATHER STRIPS, DRAUGHT EXCLUDERS, DRAUGHT SEALS OR GUIDE TRACKS, AS APPROPRIATE TO THE DOOR TYPE, WITH A GAP NO GREATER THAN 3mm.

20. ROLLER-DOORS SHALL HAVE GUIDE TRACKS WITH A GAP NO GREATER THAN 3mm AND SHALL BE FITTED WITH A NYLON BRUSH THAT IS IN CONTACT WITH THE DOOR.
21. VEHICLE ACCESS DOORS SHALL HAVE NO VENTILATION SLOTS.
- ROOFS
1. ROOF MATERIALS AND ROOF COVERING ACCESSORIES SHALL BE NON-COMBUSTIBLE.
2. ROOF / WALL JUNCTIONS SHALL BE SEALED, TO PREVENT OPENINGS GREATER THAN 3mm, EITHER BY THE USE OF FASCIA AND EAVES LININGS OR BY SEALING BETWEEN THE TOP OF THE WALL AND THE UNDERSIDE OF THE ROOF AND BETWEEN THE RAFTERS AT THE LINE OF THE WALL.
3. ROOF VENTILATION OPENINGS SHALL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIAL OR A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM.
4. SARKING SHALL COVER THE ENTIRE ROOF AREA INCLUDING RIDGES & HIPS AND EXTEND INTO GUTTERS & VALLEYS.
5. SARKING SHALL BE LOCATED ON TOP OF ROOF FRAMING, EXCEPT THAT ROOF BATTENS MAY BE FIXED ABOVE THE SARKING (FOR TILED ROOFS) AND FOIL-BACKED INSULATION BLANKETS MAY BE INSTALLED OVER THE BATTENS (FOR SHEET ROOFS).
6. SARKING SHALL HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5 WHEN TESTED TO AS1530.2.

7. SHEET ROOFS SHALL HAVE GAPS GREATER THAN 3mm SEALED AT THE FASCIA OR WALL LINE AND AT VALLEYS, HIPS & RIDGES BY A NON-COMBUSTIBLE MATERIAL OR A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM.
8. VERANDA, CARPORT OR AWNING ROOFS FORMING PART OF THE MAIN ROOF SPACE SHALL MEET ALL THE REQUIREMENTS OF THE MAIN ROOF.
9. VERANDA, CARPORT OR AWNING ROOFS SEPARATED FROM THE MAIN ROOF SPACE BY AN EXTERNAL WALL SHALL HAVE A NON-COMBUSTIBLE ROOF COVERING. THERE IS NO REQUIREMENT TO LINE THE UNDERSIDE OF THE ROOF.
10. ROOF PENETRATIONS, INCLUDING ROOF LIGHTS, ROOF VENTILATORS, AERIALS, VENT PIPES AND SUPPORTS FOR SOLAR COLLECTORS SHALL BE ADEQUATELY SEALED AT THE ROOF WITH A NON-COMBUSTIBLE MATERIAL TO PREVENT GAPS GREATER THAN 3mm.
11. OPENINGS IN VENTED ROOF LIGHTS, ROOF VENTILATORS OR VENT PIPES SHALL BE FITTED WITH EMBER GUARDS MADE FROM A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM. EMBER GUARDS SHALL NOT BE FITTED TO THE EXHAUST FLUES OF HEATING OR COOKING DEVICES WITH CLOSED COMBUSTION CHAMBERS OR GAS APPLIANCE FLUES.
12. OVERHEAD GLAZING SHALL BE GRADE-A SAFETY GLASS COMPLYING WITH AS1288.

13. FLASHING ELEMENTS OF SKYLIGHTS MAY BE OF A FIRE-RETARDANT MATERIAL, PROVIDED THE ROOF INTEGRITY IS MAINTAINED BY AN UNDER-FLASHING OF A MATERIAL HAVING A FLAMMABILITY INDEX OF NOT MORE THAN 5 WHEN TESTED TO AS1530.2.
14. GABLES SHALL BE SUBJECT TO THE SAME REQUIREMENTS AS EXTERNAL WALLS.
15. EAVES PENETRATIONS SHALL BE ADEQUATELY SEALED WITH A NON-COMBUSTIBLE MATERIAL TO PREVENT GAPS GREATER THAN 3mm.
16. EAVES VENTILATION OPENINGS GREATER THAN 3mm SHALL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIAL OR A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM.
17. JOINTS IN EAVES LININGS & FASCIAS MAY BE SEALED WITH PLASTIC JOINING STRIPS R TIMBER STORM MOULDS.
18. THERE ARE NO SPECIFIC REQUIREMENTS FOR FASCIAS, BARGEBOARDS OR EAVES LININGS.
19. THERE ARE NO SPECIFIC REQUIREMENTS FOR (EAVES) GUTTERS OR DOWNPIPES.
20. WHERE INSTALLED, GUTTER OR VALLEY LEAF GUARDS SHALL BE NON-COMBUSTIBLE.
21. BOX GUTTERS SHALL BE NON-COMBUSTIBLE AND FLASHED AT THE JUNCTION WITH THE ROOF WITH NON-COMBUSTIBLE MATERIALS.

VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

1. DECKING MAY BE SPACED (3mm GAPS PREFERRED).
2. THERE IS NO REQUIREMENT TO ENCLOSE THE SUB-FLOOR SPACES OF VERANDAS, DECKS, STEPS, RAMPS OR LANDINGS.
3. THERE ARE NO SPECIFIC REQUIREMENTS FOR THE SUPPORTS OR FRAMING OF VERANDAS, DECKS, RAMPS OR LANDINGS.
4. THERE ARE NO SPECIFIC REQUIREMENTS FOR DECKING, STAIR TREADS AND THE TRAFFICABLE SURFACES OF RAMPS & LANDINGS MORE THAN 300mm FROM GLAZED ELEMENTS.
5. DECKING, STAIR TREADS AND THE TRAFFICABLE SURFACES OF RAMPS & LANDINGS LESS THAN 300mm (MEASURED HORIZONTALLY AT DECK LEVEL) FROM GLAZED ELEMENTS THAT ARE LESS THAN 400mm (MEASURED VERTICALLY) FROM THE SURFACE OF THE DECK SHALL BE MADE OF A BUSHFIRE RESISTANT OR NON-COMBUSTIBLE MATERIAL.
6. THERE ARE NO SPECIFIC REQUIREMENTS FOR BALUSTRADES, HANDRAILS OR OTHER BARRIERS.

WATER & GAS SUPPLIES

1. ABOVE GROUND, EXPOSED WATER AND GAS SUPPLY PIPES SHALL BE METAL.

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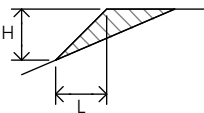
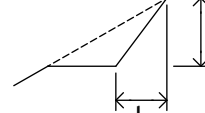
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CLIENT	Michelle Hannan		SCALE @ ISO A3	DWG #
DWG	BAL Rating Notes		1:1 DRAWN IL	A901-B
			CHKD JE	PROJECT# J008989
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NCC 2022 – CLASS 1 & CLASS 10 BUILDINGS (GENERAL NOTES)						
GENERAL NOTES		PART H1D6 – STRUCTURAL STEEL MEMBERS		PART H4D4 – ROOM HEIGHTS	PART HD2 – STAIR CONSTRUCTION	
WHEN CARRYING OUT THE BUILDING WORK, A BUILDER (or owner builder) SHOULD BE FAMILIAR WITH GENERAL CONSTRUCTION PRACTICES, THE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE (NCC 2022), HOUSING PROVISIONS 2022, AS WELL AS LOCAL COUNCIL RULES / REG'S.		ALL STRUCTURAL STEEL FLOOR, WALL & ROOF CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH PART H1D6 (NCC 2022), PART 6.3 (HOUSING PROVISIONS 2022) AND AS 4100. DESIGN & CERTIFICATION TO BE BY AN ACCREDITED PRACTICING STRUCTURAL ENGINEER.		MINIMUM CEILING HEIGHTS MUST COMPLY WITH PART H4D4 (NCC 2022) & PART 10.3 (HOUSING PROVISIONS 2022).	STAIRS SERVING HABITABLE ROOMS, INCLUDING EXTERNAL STAIRS MUST COMPLY WITH PART H5D2 (NCC 2022) & PART 11.2.2 (HOUSING PROVISIONS 2022).	
A COPY OF ALL PLANNING, BUILDING & PLUMBING PERMITS, AND DRAWINGS STAMPED "APPROVED" BY THE LOCAL AUTHORITY MUST BE KEPT ON SITE.		ALL EXTERNAL STRUCTURAL STEEL MEMBERS & FIXING SHALL BE PROTECTED FROM CORROSION IN ACCORDANCE WITH PART 6.3.9 OF HOUSING PROVISIONS 2022. GENERALLY HOT DIP GALVANISED UNLESS NOTED OTHERWISE.		GENERALLY 2.4m, UNLESS IN A KITCHEN, HALL, BATHROOM, LAUNDRY OR GARAGE, WHERE A MINIMUM OF 2.1m IS ACCEPTABLE.	IF OPEN TREADS ARE TO BE INCORPORATED INTO THE STAIR DESIGN, THEN THE Max. OPEN AREA OF THE RISER IS NOT TO EXCEED 124mm.	
PART H1D3 – SITE PREPARATION		PART H1D6 – ROOF & WALL CLADDING		PART H4D5 – FACILITIES	STAIR TREADS MUST HAVE A SLIP-RESISTANT FINISH OR A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS.	
EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH PART H1D3 OF THE NCC 2022 & PART 3.2 OF THE HOUSING PROVISIONS 2022.		METAL ROOF CLADDING PROVIDED & INSTALLED IN ACCORDANCE WITH AS 1562.1 & PART H1D6 (NCC 2022) & PART 7 (HOUSING PROVISIONS 2022).		FACILITIES TO COMPLY WITH PART H4D5 (NCC 2022) & PART 10.4 (HOUSING PROVISIONS 2022). THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST – OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT, UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1.2m, MEASURED IN ACCORDANCE WITH FIGURE 10.4.2, BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND THE DOORWAY.		
CUT & FILL GRADES TO BE TO RELEVANT SAA CODES, SUITABLE FOR SOIL CLASSES ENCOUNTERED (REFER TYPICAL DIAGRAM).		COLORBOND FINISH TO SHEET ROOFS (uno) AS SELECTED BY OWNER. ALL RIDGES, FASCIAS, BARGE ENDS, HIP ENDS AND ROOF PENETRATIONS MUST BE PROPERLY FLASHED AND SEALED (i.e. watertight). REFER TO ARCHITECTURAL DWGS FOR TYPICAL SARKING DETAILS AND EXTENT OF ROOF CLADDINGS.				
THE BUILDER IS RESPONSIBLE FOR ENSURING THE NEW BUILDING WORKS ARE SET OUT BY A REGISTERED SURVEYOR IN ACCORDANCE WITH THE DRAWINGS.		ALL GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PART 7.4 OF THE HOUSING PROVISIONS, AS/NZS 3500.3 or AS/NZS 3500.5 (domestic installations, Section 5).		H4D6 – LIGHT	DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A LANDING (Min. 750mm WIDE) WHERE THE DIFFERENCE IN LEVELS IS GREATER THAN 570mm.	
PART 3.2.1 UNPROTECTED EMBANKMENTS (HOUSING PROVISIONS)		REFER TO ARCHITECTURAL DWGS FOR TYPICAL GUTTER & FASCIA DETAILS.		NATURAL LIGHTING REQUIREMENTS IN ACCORDANCE WITH PART H4D6 (NCC 2022) & PART 10.5 (HOUSING PROVISIONS 2022).	PART H5D3 – BALUSTRADES & HANDRAILS	
<div><div></div><div>FILL H = less than 2m</div></div> <div><div></div><div>CUT H = less than 2m</div></div>		PREFABRICATED TIMBER ROOF TRUSSES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. CERTIFIED TRUSS DESIGN CRITERIA & PLAN SHOWING FIXING & BRACING DETAILS TO BE SUBMITTED TO THE BUILDING SURVEYOR PRIOR TO FRAME INSPECTION & INCLUDE ANY VARIATION REQUIRED TO LINTELS & STUDS TO ACCOUNT FOR CONCENTRATED LOADS.		PROVIDE ARTIFICIAL LIGHTING TO SANITARY COMPARTMENTS, BATHROOMS, SHOWER ROOMS, AIRLOCKS & LAUNDRIES IF NATURAL LIGHTING REQUIREMENT CAN NOT BE ACHIEVED AS PER 10.5.3 OF HOUSING PROVISIONS 2022 – (a) AT A RATE OF NOT LESS THAN ONE LIGHT FITTING PER 16m² OF FLOOR AREA; OR (b) IN ACCORDANCE WITH AS/NZS 1680.0.		
SOIL TYPE (# see Part 4.2.2 for material description)		WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH 7.5 OF THE HOUSING PROVISIONS 2022 & TO SPECIFIC MANUFACTURERS SPECIFICATIONS.				
		FLASHING TO WALL OPENINGS IN EXTERNAL WALL CLADDING IN ACCORDANCE WITH PART 7.5.6 OF THE HOUSING PROVISIONS 2022 USING MATERIALS THAT COMPLY WITH AS 2904.		PART H4D7 – VENTILATION	WIRE BALUSTRADES MUST BE CONSTRUCTED IN ACCORDANCE WITH PART 11.3.6 (HOUSING PROVISIONS 2022), SPECIFICALLY CLAUSE 11.3.4 (9) & TABLE 11.3.6a.	
		PART H1D8 – GLAZING		VENTILATION REQUIREMENTS IN ACCORDANCE WITH PART H4D7 (NCC 2022) & PART 10.6 (HOUSING PROVISIONS 2022). PROVIDE EXHAUST FANS IN TOILET, BATHROOMS AND A RANGEHOOD ABOVE KITCHEN HOTPLATES. INSTALL AND DUCT TO OUTSIDE AIR IN ACCORDANCE WITH AS 1668.2. REFER TO PLANS FOR LOCATION.	TYPICALLY (TABLE 11.3.6 – WIRE BALUSTRADE CONSTRUCTION):	
STABLE ROCK (A#)		GLAZED ASSEMBLIES (INTERNAL & EXTERNAL) ARE TO POSSESS INDUSTRY STANDARD COMPLIANCE LABELLING (THAT CAN BE IDENTIFIED DURING AN INSPECTION) or A CERTIFICATE OF COMPLIANCE TO AUSTRALIAN STANDARDS AS 1288 (glass-safety) & AS 2047 (windows-weatherproofing) WILL HAVE TO BE PROVIDED. GLAZING SHALL ALSO COMPLY WITH PART 8.2 (HOUSING PROVISIONS 2022).		PART H4D9 – CONDENSATION MANAGEMENT	TYPICALLY, WIRE Ø 3.0mm – 7x7 LAY – Max. 80mm WIRE SPACINGS. POSTS @ Max. 1500mm cts. (Min. REQUIRED TENSION = 1083N).	
SAND (A#)		THE INSTALLATION OF GLAZED ASSEMBLIES IS TO CORRESPOND WITH THE TOTAL U-VALUE & SHGC QUANTITIES SPECIFIED WITHIN THE APPROVED GLAZING CALCULATORS. PRIOR TO THE ISSUE OF THE CERTIFICATE OF FINAL INSPECTION A STATEMENT CONFIRMING THAT THE SPECIFIED GLAZING HAS BEEN INSTALLED IS TO BE SUBMITTED TO THE BUILDING SURVEYOR.			TYPICALLY, WIRE Ø 3.0mm – 1 x 19 LAY – Max. 80mm WIRE SPACINGS. POSTS @ Max. 1200mm cts. (Min. TENSION = 1025N).	
SILT (P#)		GLAZING IN BATHROOMS, INCLUDING SHOWER SCREENS, SHOWER DOORS, BATH ENCLOSURES & ASSOCIATED WINDOWS THAT ARE UNDER 2m MEASURED FROM THE FLOOR LEVEL UP MUST BE IN ACCORDANCE WITH PART 8.4.6 (HOUSING PROVSIONS 2022).			GLASS BALUSTRADES TO COMPLY WITH AS 1288, SECTION 7 (2006).	
CLAY	FIRM CLAY	1:2	1:1	PLIABLE MEMBRANES MUST BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF THE WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE OF THE BUILDING TO COMPLY WITH 10.8.1.	PART H6 – ENERGY EFFICIENCY	
	SOFT CLAY	NOT SUITABLE	2:3			
SOFT SOILS (P#)		NOT SUITABLE	NOT SUITABLE			ALL RELEVANT BUILDING WORKS SHALL COMPLY WITH PART H6 (energy efficiency) OF THE NCC 2022 & PART 13 OF THE HOUSING PROVISIONS 2022. NOTE: GARAGE AREAS ARE NOT REQUIRED TO COMPLY WITH THIS SECTION.
NOTES: 1. RETAINING WALLS OR OTHER TYPES OF SOIL RETAINING METHODS MUST BE INSTALLED WHERE – (a) THE EMBANKMENT SLOPE IS STEEPER THAN THAT DESCRIBED IN THIS TABLE; OR (b) THE SOIL TYPE IS NOT DESCRIBED IN THIS TABLE. 2. EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR WORKS TO PREVENT SOIL EROSION.		GLAZING IN BATHROOMS, INCLUDING SHOWER SCREENS, SHOWER DOORS, BATH ENCLOSURES & ASSOCIATED WINDOWS THAT ARE UNDER 2m MEASURED FROM THE FLOOR LEVEL UP MUST BE IN ACCORDANCE WITH PART 8.4.6 (HOUSING PROVISIONS 2022).				REQUIRED MINIMUM TOTAL R-VALUES TO COMPLY WITH PARTS 13.2 – BUILDING FABRIC FOR CLIMATE ZONE 7.
PART H1D4 – FOOTINGS & SLABS		PART H3D6 – SMOKE ALARMS		EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST BE DISCHARGED VIA DUCT TO OUTDOOR AIR OR TO ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH PART 10.8.2 (HOUSING PROVISIONS 2022).	ALL BULK & REFLECTIVE THERMAL INSULATION MUST COMPLY WITH AS/NZS 4859.1, AND SHALL BE INSTALLED IN ACCORDANCE WITH PART 13.2 (HOUSING PROVISIONS 2022), TO FORM A CONTINUOUS BARRIER WITH THE ROOF, CEILINGS, WALLS & FLOORS.	
FOOTING OR SLAB CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 2870, AND MUST COMPLY WITH PART H1D4 OF THE NCC 2022 & PART 4 OF THE HOUSING PROVISIONS 2022. PILED FOOTINGS TO BE DESIGNED IN ACCORDANCE WITH AS 2159. DESIGN & CERTIFICATION OF FOOTINGS & SLABS TO BE BY AN ACCREDITED PRACTICING STRUCTURAL ENGINEER.		SMOKE ALARMS SHALL COMPLY WITH PART H3D6 (NCC 2022) & PART 9.5 (HOUSING PROVISIONS 2022) & AS 3786, AND MUST BE DIRECTLY HARDWIRED INTO THE ELECTRICAL SYSTEM (MUST POSSESS BATTERY BACK-UP). LOCATIONS AS PER CLAUSE 9.5.2 OF THE HOUSING PROVISIONS 2022.		ALL KITCHEN, BATHROOM, SANITARY COMPARTMENTS OR LAUNDRY MUST BE INSTALLED IN ACCORDANCE WITH PART 10.8.2 (HOUSING PROVISIONS 2022).	BUILDING SEALING MUST COMPLY WITH PART 13.4 (HOUSING PROVISIONS 2022).	
PART H2D5 – SUB-FLOOR VENTILATION		PART H4D2 – WET AREAS		OPENINGS MUST HAVE A TOTAL UNOBSTRUCTED AREA OF 1/300 OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS MORE THAN 22°, OR 1/150 OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS NOT MORE THAN 22°.	ALL OPENABLE WINDOW SASHES AND AROUND EDGES OF EXTERNAL DOORS SHALL BE FITTED WITH SELF ADHESIVE FOAM OR RUBBER COMPRESSIBLE SEALS.	
PROVIDE SUB-FLOOR VENTILATION TO SUSPENDED FLOOR STRUCTURE TO COMPLY WITH PART H2D5 OF THE NCC 2022 & PART 6.2.1 OF HOUSING PROVISIONS 2022 AT A RATE OF NOT LESS THAN 6000mm² PER METER LENGTH OF WALL; AND END VENTS ARE NOT TO BE INSTALLED FURTHER THAN 600mm AWAY FROM EXTERNAL CORNERS. FURTHERMORE, THE CLEARANCE BETWEEN THE GROUND SURFACE & THE UNDERSIDE OF THE LOWEST FLOOR FRAMING MEMBER MUST NOT BE LESS THAN 150mm.		WATERPROOFING OF ALL INTERNAL WET AREAS SHALL BE IN ACCORDANCE WITH PART H4D2 (NCC 2022), PART 10.2 (HOUSING PROVISIONS 2022) & AS 3740 – WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.		30% OF THE TOTAL UNOBSTRUCTED AREA REQUIRED MUST BE LOCATED NOT MORE THAN 900MM BELOWRIDGE OR HIGHEST POINT OF THE ROOF SPACE, MEASURED VERTICALLY, WITH THE REMAINING REQUIRED AREA PROVIDED BY EAVES VENTS.	ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND ANY OPENING SUCH AS A WINDOW OR DOOR IN AN EXTERNAL WALL MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE BY ENSURING INTERNAL LININGS AT CEILING, WALL AND FLOOR JUNCTIONS ARE CLOSE FITTING OR SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.	
PART H1D6 – TIMBER FRAMING		PROVIDE THE FOLLOWING AS SUBSTRATES:– 1). TIMBER FLOORS – 19mm 'YELLOWtongue R-flor' OR 18mm 'CEMINTEL' F.C. COMPRESSED SHEET WET AREA FLOORING or EQUIVALENT. 2). WALLS – 6mm 'CEMINTEL' F.C. WALLBOARD WET AREA LINING or 10mm 'GYPROCK AQUACHEK' WET AREA PLASTERBOARD.			EXHAUST FANS MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF-CLOSING DAMPER, FILTER OR THE LIKE.	
ALL TIMBER FLOOR, WALL & ROOF CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH PART H1D6 OF THE NCC 2022 AND AS 1684.2.		ALL FINISHES TO BE SELECTED BY OWNERS.			HOT WATER SUPPLY SYSTEM SHALL BE DESIGNED & INSTALLED IN ACCORDANCE WITH SECTION 8 OF AS/NZS 3500.4 or CLAUSE 3.38 OF AS/NZS 3500.5 .	
DESIGN & CERTIFICATION TO BE BY AN ACCREDITED PRACTICING STRUCTURAL ENGINEER.					THE FIRST 500mm OF PIPE FROM ANY HOT WATER STORAGE UNIT MUST BE INSULATED WITH Min. 19mm OF CLOSED CELL POLYMER (inside building) OR 25mm OF CLOSED CELL POLYMER (outside building).	

FOR DEVELOPEMENT APPLICATION ONLY

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REVISION B	DATE	26/8/2025	DESCRIPTION	RFI rresponse Issue
ADDRESS	35 Surf Road, Seven Mile Beach		do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS	
CLIENT	Michelle Hannan		SCALE @ ISO A3	1:1
DWG	General Notes		DRAWN	IL
	CHKD	JE	PROJECT#	J008989