

DEVELOPMENT APPLICATION PDPLANPMTD-2025/053212

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 3 Elaia Drive, Risdon Vale

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 15 September 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 15 September 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 15 September 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:	Extension & Renovation				
Location:	Address				
	Suburb/Town Risdon Vale Postcode 7016				
Current Owners/s:	Personal Information Removed				
Applicant:					
•	Does the proposal involve land administered or owned Yes No χ by the Crown or Council?				

38 Bligh Street, Rosny Park, Tasmania • Address correspondence to: General Manager, PO Box 96, Rosny Park 7018 • Dx: 70402 Telephone (03) 6217 9550 • Facsimile (03) 6245 8700 • Email cityplanning@ccc.tas.gov.au • Website www.ccc.tas.gov.au

Clarence City Council DEVELOPMENT/USE OR SUBDIVISION DECLARATION



Declaration:

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement: •

• I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Applicant's Signature:

Personal Information Removed

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

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Clarence City Council



DEVELOPMENT/USE OR SUBDIVISION CHECKLIST

Documentation required:

MANDATORY DOCUMENTATION This information is required for the application to be valid. An application lodged without these items is unable to proceed.

Details of the location of the proposed use or development.		
A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.		
Full description of the proposed use or development.		
Description of the proposed operation.		
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.		
Declaration the owner has been notified if the applicant is not the owner.		
Crown or Council consent (if publically-owned land).		
Any reports, plans or other information required by the relevant zone or code.		
Fees prescribed by the Council.		

2. ADDITIONAL DOCUMENTATION

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

(please refer to http://www.ccc.tas.gov.au/fees or phone (03) 6217 9550 to determine applicable fees).

■ Site analysis plan and site plan, including where relevant:

- Existing and proposed use(s) on site.
- Boundaries and dimensions of the site.
- Topography, including contours showing AHD levels and major site features.
- Natural drainage lines, watercourses and wetlands on or adjacent to the site.
- Soil type.
- Vegetation types and distribution, and trees and vegetation to be removed.
- Location and capacity of any existing services or easements on/to the site.
- Existing pedestrian and vehicle access to the site.
- Location of existing and proposed buildings on the site.
- Location of existing adjoining properties, adjacent buildings and their uses.
- Any natural hazards that may affect use or development on the site.
- Proposed roads, driveways, car parking areas and footpaths within the site.
- Any proposed open space, communal space, or facilities on the site.
- Main utility service connection points and easements.
- Proposed subdivision lot boundaries.

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Clarence City Council DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plan**s with dimensions at a scale of 1:100 or 1:200 showing:
 - Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 182657	FOLIO 1
EDITION	DATE OF ISSUE
3	17-Feb-2025

SEARCH DATE : 18-Jun-2025 SEARCH TIME : 10.07 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Sealed Plan 182657

Derivation: Part of Lot 31801, 248A-1R-0P Gtd. to Fane Claude

Campbell Cox

Prior CT 168678/1

SCHEDULE 1

N233849 TRANSFER to CAITLIN MARIE WATERMAN and JASPER

GERHARDUS MARAIS Registered 17-Feb-2025 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP182657 EASEMENTS in Schedule of Easements

SP182657 COVENANTS in Schedule of Easements

SP182657 FENCING PROVISION in Schedule of Easements

SP164707 FENCING PROVISION in Schedule of Easements

D116543 AGREEMENT pursuant to Section 71 of the Land Use

Planning and Approvals Act 1993 Registered

25-Feb-2014 at noon

E404303 MORTGAGE to ING Bank (Australia) Limited Registered

17-Feb-2025 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Page 1 of 1

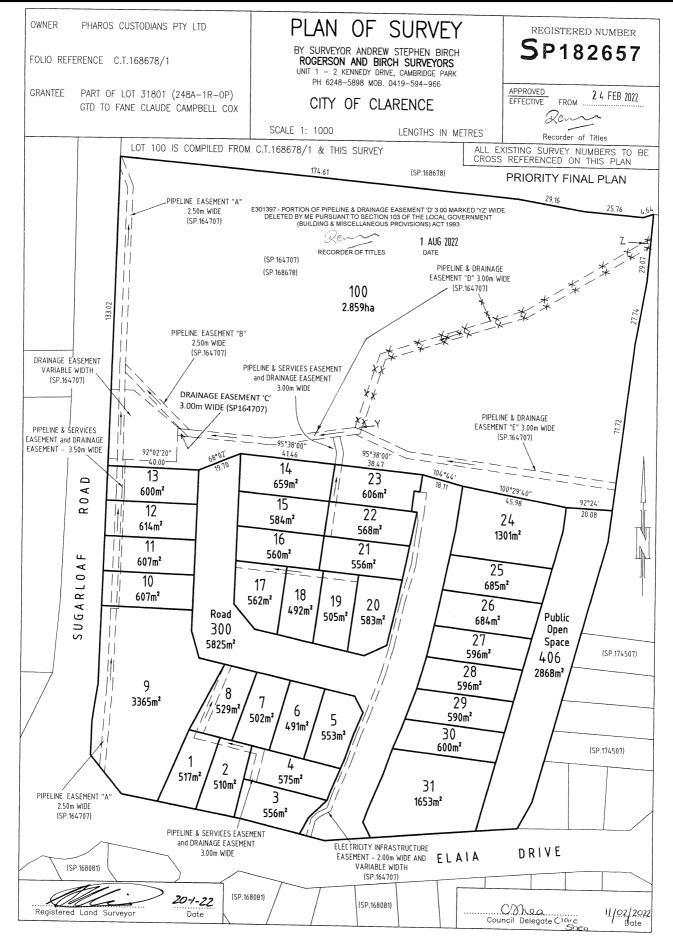


FOLIO PLAN

RECORDER OF TITLES



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Search Date: 18 Jun 2025 Search Time: 10:07 AM Volume Number: 182657 Revision Number: 03 Page 1 of 3

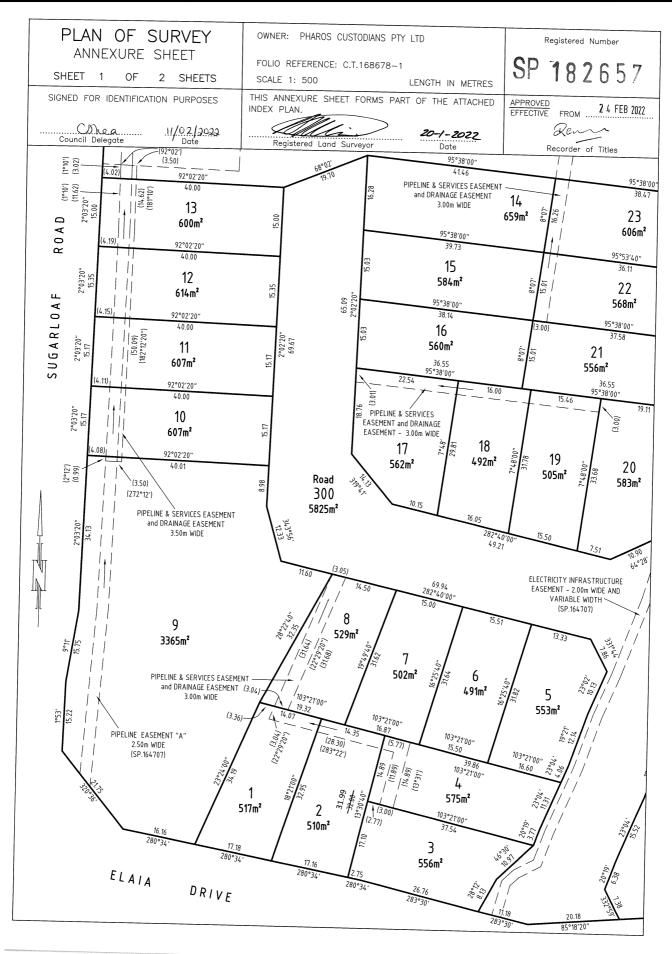


FOLIO PLAN

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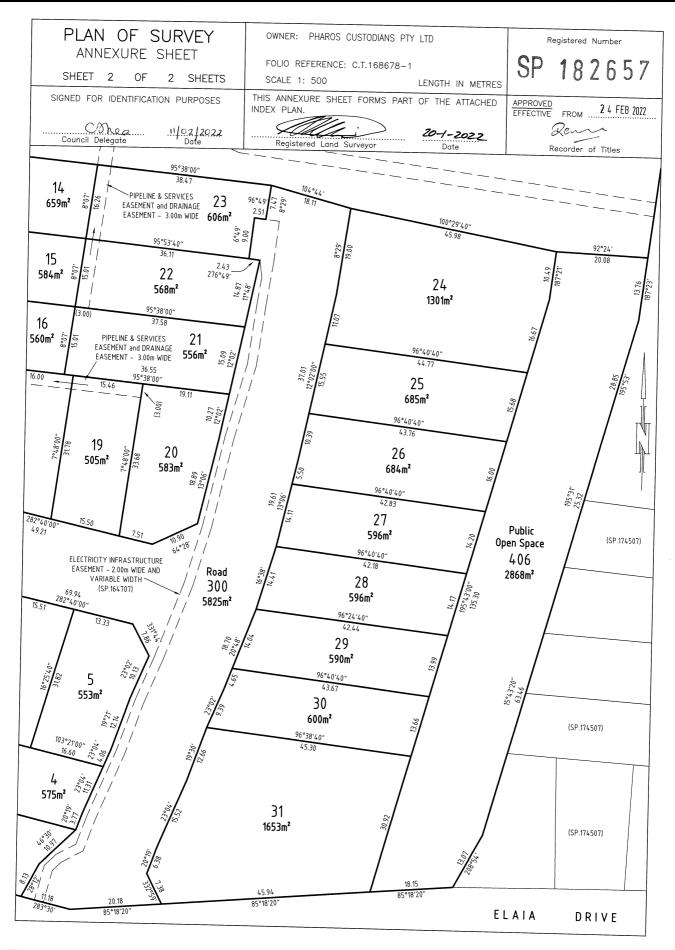


FOLIO PLAN

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RECORDER OF TITLES

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SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED.

SIGNATURES MUST BE ATTESTED.

Registered Number

SP 182657

PAGE 1 OF 6 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 300 is subject to an Electricity Infrastructure Easement with the benefit of a restriction as to use of land in favour of Aurora Energy Pty Ltd over the land marked "Electricity Infrastructure Easement (2.00m Wide and Variable Width)" more fully set forth in Sealed Plan 164707.

13 & 100

Lots 9 to 14 (inclusive) are each subject to a Pipeline Easement (appurtenant to Lot 2 on SP 164707 and Tasmanian Water and Sewerage Corporation Pty Limited) marked "Pipeline Easement "A" 2.50m Wide, more fully set forth in Sealed Plan 164707.

on the Plan

(appurtenant to Lot 2 on SP164707 & over the land Lot 100 is subject to a Right of Drainage in favour of the Clarence City Council marked "Drainage Easement Variable Width" (SP 164707)more fully set forth in Sealed Plan 164707.

Lot 100 is subject to a Pipeline Easement (appurtenant to Lot 2 on SP 164707 and Tasmanian Water and Sewerage Corporation Pty Limited) over the land marked "Pipeline Easement "B" 2.50m wide" (SP164707) more fully set forth in Sealed Plan 164707.

on the Plan

Lot 100 is subject to a Pipeline Easement and Right of Drainage (appurtenant to Lot 2 On SP 164707 and in favour of Tasmanian Water and Sewerage Corporation Pty Limited and Clarence

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Pharos Custodians Pty Ltd

FOLIO REF: 168678/1

SOLICITOR

& REFERENCE: Mr William C Justo:LAM:064115

PLAN SEALED BY: Clarence City Council

DATE: 11 February 2022

PDPLFNPMTD-2020/008974

Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

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ANNEXURE TO SCHEDULE OF EASEMENTS

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City Council) over the land marked "Pipeline and Drainage Easement "D" 3.00m wide" (SP 164707) more fully set forth in Sealed Plan 164707.

Lot 100 is subject to a Pipeline Easement and Right of Drainage (appurtenant to Lot 2 on SP 164707 and in favour of the Tasmanian Water and Sewerage Corporation Pty Limited and Clarence City Council) marked "Pipeline and Drainage Easement "E" 3.00m wide" (SP164707) more fully set forth in Sealed Plan 164707.

Lots 1, 2, 4, 8, 17, 18, 19, 22, 23 and 100 ("the Lots") are each subject to a Pipeline and Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns (TasWater) over the land marked "Pipeline and Services Easements and Drainage Easement 3.00m wide" shown on the Plan ("the Easement Land").

Lots 1, 2, 4, 8, 17, 18, 19, 22, 23 and 100 ("the Lots") are each subject to a Right of Drainage over the land marked "Pipeline and Services Easement and Drainage Easement 3.00m wide" in favour of the Clarence City Council.

Lots 9, 10, 11, 12, 13 and 100 ("the Lots") are each subject to a Right of Drainage over the land marked "Pipeline and Services Easement and Drainage Easement 3.50m wide" in favour of the Clarence City Council.

Lots 9, 10, 11, 12, 13 and 100 ("the Lots") are each subject to a Pipeline and Service Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the land marked "Pipeline and Services Easement and Drainage Easement 3.50m Wide" shown on the Plan ("the Easement Land")

Lot 100 is subject to a right of drainage (appurtenant to Lot 2 on SP164707 & in favour of Clarence City Council) over the land marked Drainage Easement 'C' 3.00 wide (SP164707) shown on the Plan.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



Portion of Pipeline & Drainage Easement 'D' 3.00 wide marked 'YZ' hereon d by me pursuant to Request to Amend No. E301397 made under Section 103 Local Government (Building & Miscellaneous Provisions) Act 1993

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ANNEXURE TO SCHEDULE OF EASEMENTS

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Restrictive Covenants

The Owner of each Lot covenants with the Vendor and the owner of each other Lot to the intent that the burden of these covenants may run with and bind the Covenantor's Lot and every part thereof and that the benefit shall be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations that:

- (1) they will not construct or allow to be constructed any re-locatable dwelling on any such Lot.
- (2) they will not permit any caravans to be located on such Lot (save and except if a residence has already been erected on the said Lot).
- (3) they will not construct any dwelling on the Lot which exterior exceeds more than 25% colourbond (roof excluded).
- (4) the Vendor reserves the right in relation to any of the restrictive covenants herein to make any Lots on the Plan free and exempt from one or more of the covenants or conditions or waive or alter any covenant as to any Lot on the Plan.

Fencing Provision

In respect of each Lot shown on the Plan the Vendor, Pharos Custodians Pty Ltd, shall not be required to fence.

DEFINITIONS

"PIPELINE AND SERVICES EASEMENT" is defined as follows:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;

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ANNEXURE TO SCHEDULE OF EASEMENTS

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- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (i) without doing unnecessary damage to the Easement Land; and
 - (ii) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;

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ANNEXURE TO SCHEDULE OF EASEMENTS

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- in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
- (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace anything that supported, protected or covered the Infrastructure.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);

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ANNEXURE TO SCHEDULE OF EASEMENTS

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- markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) anything reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

EXECUTED by **Pharos Custodians Pty Ltd** (ABN 31 131 759 807) in accordance with section 127 of the Corporations Act 2001:

Signature:

Name:

Director

Signature:

Name:

Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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DRAWING NUMBER:

WEST ELEVATION
LICENSE NUMBER: 337666325
OFFICE@WESTELEVATION.COM.AU
0433 062 839

WWW.WESTELEVATION.COM.AU

PROJECT:

3 ELAIA DRIVE, RISDON VALE EXTENSION & NEW DRIVEWAY

PROJECT NUMBER: JI920

A00	COVER PAGE
AOI	SITE PLAN
A02	DRAINAGE PLAN
AO3A	EXISTING FLOOR PLAN
AO3B	PROPOSED FLOOR PLAN
A04	ROOF PLAN
A05	SECTION
A06A	EXISTING ELEVATIONS
A06B	PROPOSED ELEVATIONS
A07	ELECTRICAL PLAN
A08	EXTERNAL PERSPECTIVES
A09A	WINTER SOLSTICE SUN DIAGRAMS PER HOUR
A09B	WINTER SOLSTICE SUN DIAGRAMS PER HOUR
AO9C	WINTER SOLSTICE SUN DIAGRAMS PER HOUR (3D)
AO9D	WINTER SOLSTICE SUN DIAGRAMS PER HOUR (3D)
AO9E	SUMMER SOLSTICE SUN DIAGRAMS PER HOUR



West Elevation Design

Telephone: 0433 062 839 Email: office@westelevation.com.au Website: www.westelevation.com.au BUILDING CLASSIFICATION:1a - Dwelling

WIND CLASSIFICATION:N2

CATION:N2 PI

PROJECT ADDRESS: 3 Elaia Drive, Risdonvale

MEMBER you're in good hands

CLIENT: Jasper Marais

Site Area: 517m²

Total House Roof Area (excluding eaves): 134.41m²

26.00% of Site covered by roofed areas

Total Concrete Driveway Area: 19.58m²

All works are to be in accordance with the Water Supply Code of Australia WSA 03 -2011-3.1Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water AgenciesCode WSA 02—2014-3.1 MRWA Version 2 and TasWater's supplements to these codes

Please Note: During construction the contractor is to abide by TSD - SW28. Which includes but not limited to:

- -\(\sumeright\) Early roof drainage connections
- -Divert up-slope water
- -\(\text{Minimise soil disturbance} \)
- -DErosion control mats if necessary

LEGEND

	WM = Water	RL:90.93	
	Meter		Top RL:90.09
F	ELC = Electricity Lot	SLC = Sewer Lot Connection	Inv RL:89.55
	Connection		MH1 = Sewer
	CLC = Comms. Lot	Top RL:90.02	Manhole
C	onnection	Inv RL:89.33	Top RL:93.38
	BM1 = BENCH MARK	SWLC = Stormwater	In Inv RL:91.94
R/Set in Kerb#		Lot Connection	Out Inv RL:91.92

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY, THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION

OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

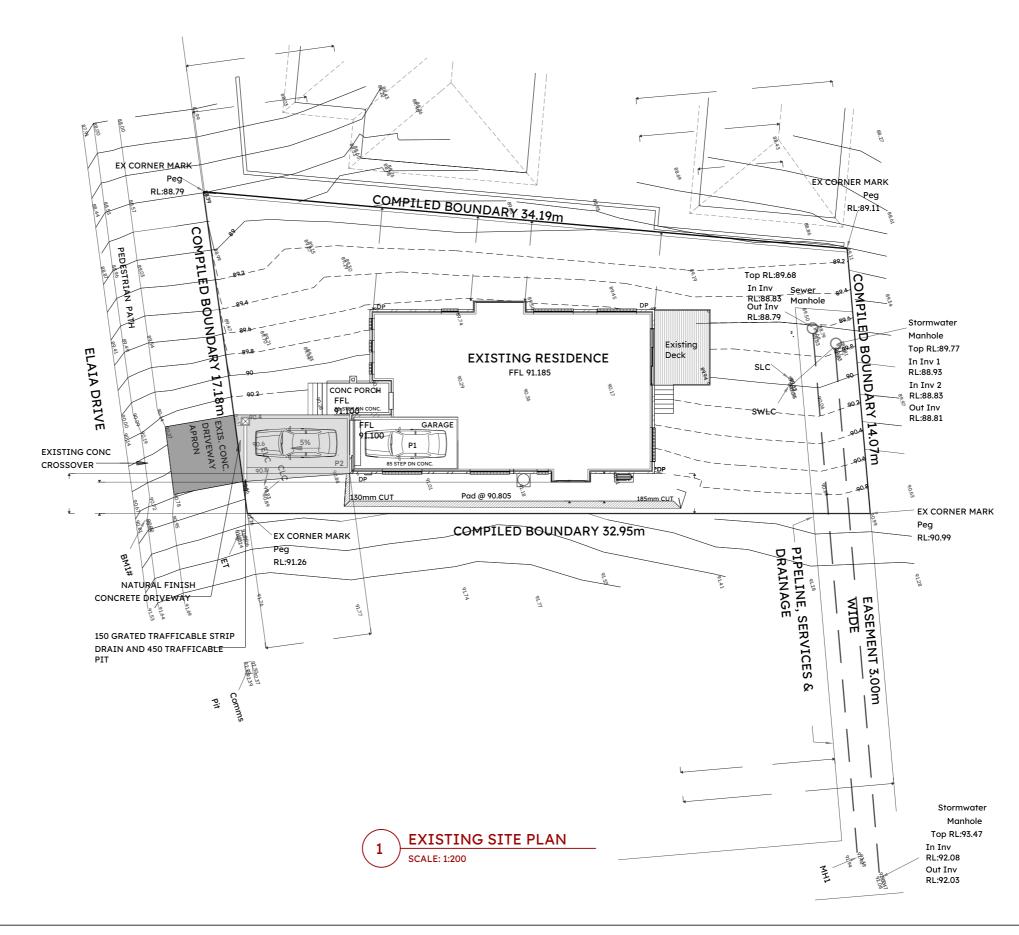
6. HORIZONTAL DATUM IS MGA (GDA94).

7. VERTICAL DATUM IS AHD.

8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.

9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.

10. BOUNDARIES ARE COMPILED ONLY FROM SP182657 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND





West Elevation Design

Telephone: 0433 062 839 Email: office@westelevation.com.au Website: www.westelevation.com.au BUILDING CLASSIFICATION:1a - Dwelling

WIND CLASSIFICATION:N2

SOIL CLASSIFICATION: N/A

CLIENT: Jasper Marais

DATE: 09/04/2025

PROJECT ADDRESS: 3 Elaia Drive, Risdonvale

MEMBER you're in good hands

CHECKED: GD

Site Area: 517m²

Total House Roof Area (excluding eaves): 162.53m²

31.44% of Site covered by roofed areas

Total Concrete Driveway Area: 49.61m² (19.58m² old)

Total new Impervious Areas: 56.04m²

All works are to be in accordance with the Water Supply Code of Australia WSA 03 -2011-3.1Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water AgenciesCode WSA 02—2014-3.1 MRWA Version 2 and TasWater's supplements to these codes

Please Note: During construction the contractor is to abide by TSD - SW28. Which includes but not limited to:

- -NEarly roof drainage connections
- -\Divert up-slope water
- -\(\text{Minimise}\) soil disturbance
- -NErosion control mats if necessary

LEGEND

WM = Water RL:90.93 Top RL:90.09 Meter Inv RL:89.55 SLC = Sewer Lot ELC = Electricity Lot MH1 = Sewer Connection Manhole CLC = Comms, Lot Top RL:90.02 Connection Top RL:93.38 Inv RL:89.33 In Inv RL:91.94 BM1 = BENCH MARK SWLC = Stormwater R/Set in Kerb# Lot Connection Out Inv RL:91.92

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION

OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA

7. VERTICAL DATUM IS AHD.

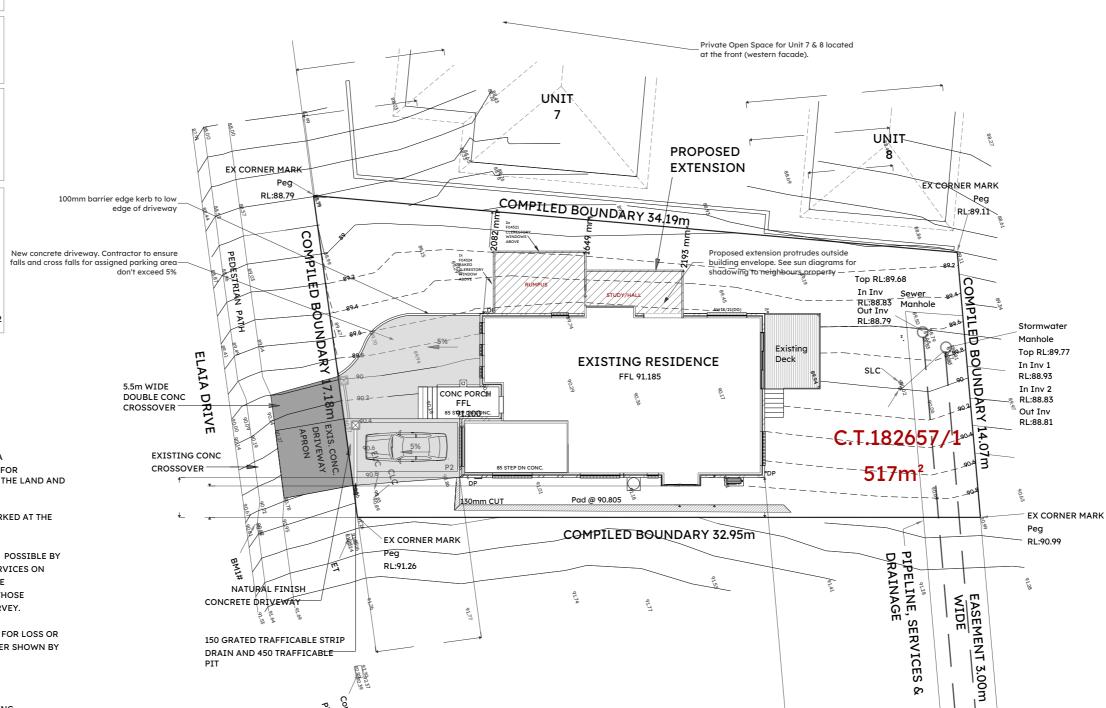
WEST

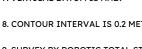
8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.

ELEVATION

9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.

10. BOUNDARIES ARE COMPILED ONLY FROM SP182657 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE









150 GRATED TRAFFICABLE STRIP

DRAIN AND 450 TRAFFICABLE

SOIL CLASSIFICATION: N/A

CLIENT: Jasper Marais

SCALE: 1:200

PROPOSED SITE PLAN

PROJECT ADDRESS: 3 Elaia Drive, Risdonvale

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CHECKED: GD

Stormwater

Top RL:93.47

In Inv

RL:92.08

Out Inv

RL:92.03

BOX GUTTERS, SUMPS, RAIN WATER HEAD OVERFLOWS & DOWNPIPES TO COMPLY WITH NCC & AS/NZS 3500.3:2021

SEWER & STORMWATER TO MAINS CONNECTIONS, PLUMBER TO VERIFY LOCATION ON SITE

ALL STORMWATER PITS TO BE DESIGNED IN ACCORDANCE WITH AS3500 - 2021.3.7.5.2.1

MINMUM GRADIENT ON PIPES AS PER AS3500 7.3.5 DN100 = 1:100

MINIMUM GRADIENT ON SEWER PIPES AS PER AS3500:2021 4.4 DN65 = 1:40 DN100 = 1:60 DN 150 = 1:100

Gutters & Downpipes to comply with BCA part 3.5.2

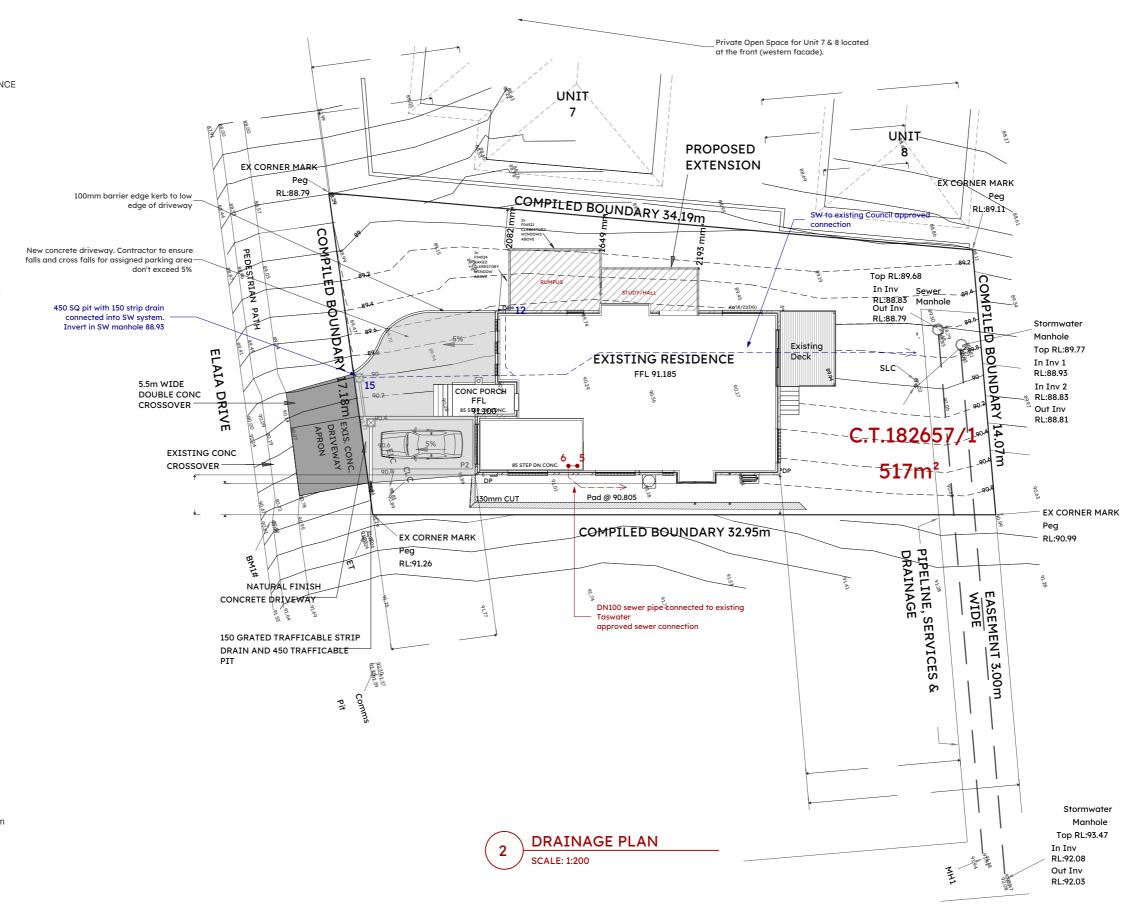
PLUMBER TO CONFIRM ALL DETAILS ON SITE PRIOR TO COMMENCING ANY WORK AND BE INSPECTED AND APPROVED BY A QUALIFIED ENGINEER.

Location of drainage pipes indication only of type and direction.

Contractor to verify the location of drainage pipes within existing boundary of site.

DRAINAGE LEGEND

- WC 100mm
- HANDBASIN 50mm SHOWER - 50mm
- BATH 50mm
- LAUNDRY TROUGH 50mm WASHING MACHINE
- KITCHEN SINK 50mm
- TAP CHARGED ORG min 150mm below FFL
- RAINWATER PIPE INSPECTION OPENING TO GROUND LEVEL - 100mm
- 12 DOWNPIPE - 90mm
- 13 450mm GRATED PIT
- SPREADER PIPE 75/90mm
- 450mm GRATED PIT WITH GRATED DRAIN
- TILE INSERT SQ DRAIN





West Elevation Design

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WIND CLASSIFICATION:N2

SOIL CLASSIFICATION: N/A

CLIENT: Jasper Marais

DATE: 09/04/2025

PROJECT ADDRESS: 3 Elaia Drive, Risdonvale

CHECKED: GD

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CORROSION PROTECTION

Builder must implement corrosion protection. Exposed steel should be hot dipped galvanised. Fixings and connectors should be at minimum galvanised or stainless steel where required.

Steel framing as per NCC 2019 Part 3.4.2.2 & Table 3.4.4.2

Metal roof cladding as per NCC 2019 Part 3.5.1.3 & Table

STRUCTURAL

Engineers documentation to take precedence over details contained in this document. Where discrepancies are identified, designer and engineer are to be notified prior to commencement of work.

TRUSSES BY OTHERS

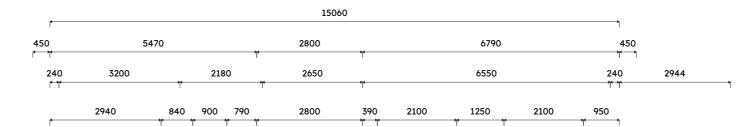
Truss plans by others. Truss tie downs and strap bracing to be specified by truss manufacturer.

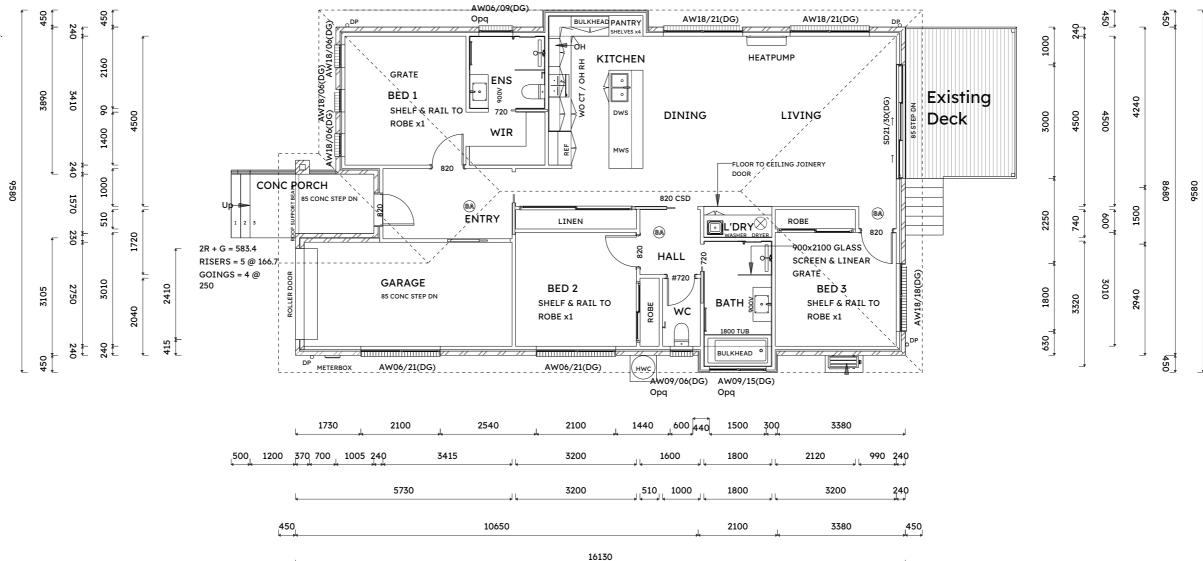
STAIRS & RAMPS

Construction in accordance with NCC Part 11.2. Barriers and handrails in accordance with NCC Part 11.3. See elevations for handrail location

FLOOR PLAN

GROUND FLOOR AREA 134.41m²
DECK AREA 11.77m²





LEGEND

New Stud Wall (90mm)





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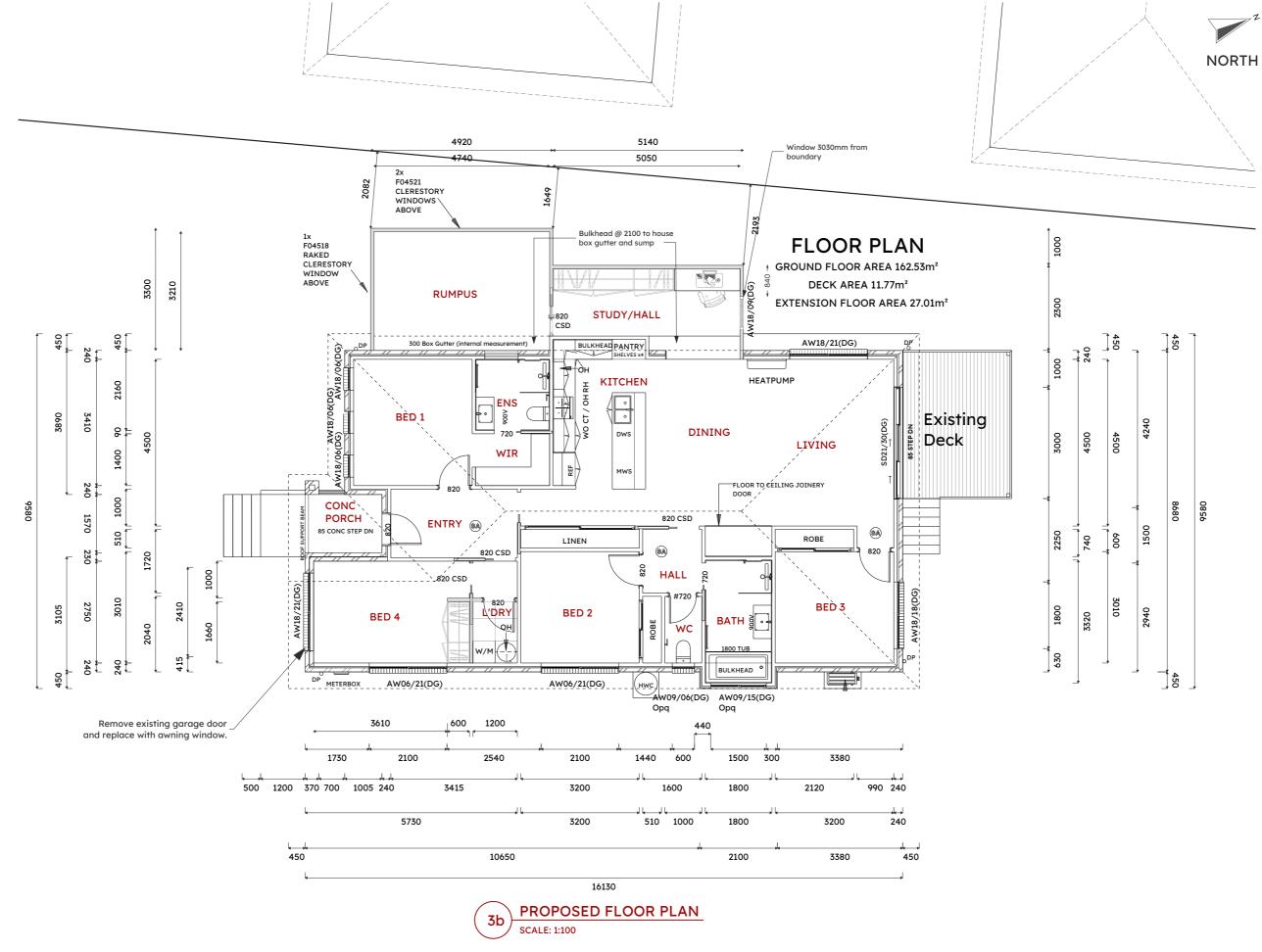
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LEGEND

New Stud Wall (90mm)

WEST ELEVATION Design

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WIND CLASSIFICATION:N2

SOIL CLASSIFICATION: N/A

CLIENT: Jasper Marais

PROJECT ADDRESS: 3 Elaia Drive, Risdonvale

CHECKED: GD



ALL PLUMBING TO BE IN ACCORDANCE WITH AS3500

BOX GUTTERS, SUMPS, RAIN WATER HEAD OVERFLOWS & DOWNPIPES TO COMPLY WITH NCC & AS/NZS 3500.3:2021 3.3.7 & 3.7.8

SEWER & STORMWATER TO MAINS CONNECTIONS, PLUMBER TO VERIFY LOCATION ON SITE

ALL STORMWATER PITS TO BE DESIGNED IN ACCORDANCE WITH AS3500 - 2021.3.7.5.2.1

MINMUM GRADIENT ON PIPES AS PER AS3500 7.3.5 DN90 = 1:100 DN100 = 1:100

MINIMUM GRADIENT ON SEWER PIPES AS PER AS3500:2021 4.4 DN65 = 1:40 DN100 = 1:60 DN 150 = 1:100

ROOFWATER DRAINAGE:

Refer to NCC HP 7.4 Gutters and Downpipes for more details

Rainfall intensity (Hobart) - eaves gutters - 86ml/hour (1 in 20 years) $\,$

- valley/box gutters - 120ml/hour (1 in 100 years)

Size of downpipes (max.12m spacings) - 90mm dia. min.
Size of eaves gutter (min 1:500 fall) - 115D min.
Size of box gutter (min 1:100 fall), not more than 12.5 % pitch.
Valley gutters - 400mm min.width not less than 150mm roof covering overhang each side of the gutter or not more than 12.5 % - must be designed as a box gutter.

Number of downpipes/spreader pipes required - 1 minimum

*DP denotes Downpipe

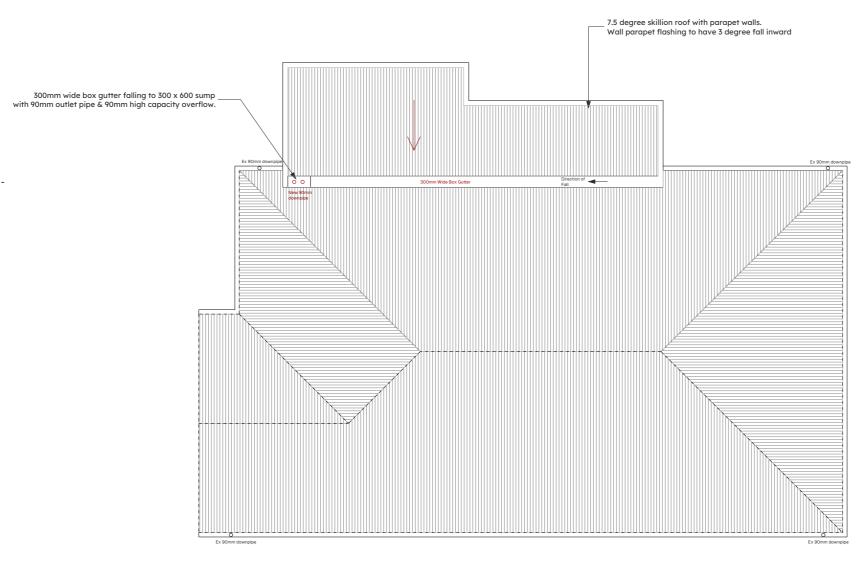
*SP denotes Spreader to lower roof

*All RH's (rainwater heads) to be fitted with overflow protectors and to be set 25mm below freeboard of box gutter for additional protection Min. dimensions 400 width x 150 length x100 depth

Denotes Roofing Area

DP

Denotes 90mm downpipe



VENTILATION CALCULATIONS:

Ventilated opening from drainage battens (20mm) = 0.20m² (calculation assumed on full ventilation efficiency)

Roof Area = 27.01×0.003 = 0.080m² ventilated opening

Ventilation Required = 0.081m² Ventilation Specified = 0.20m²





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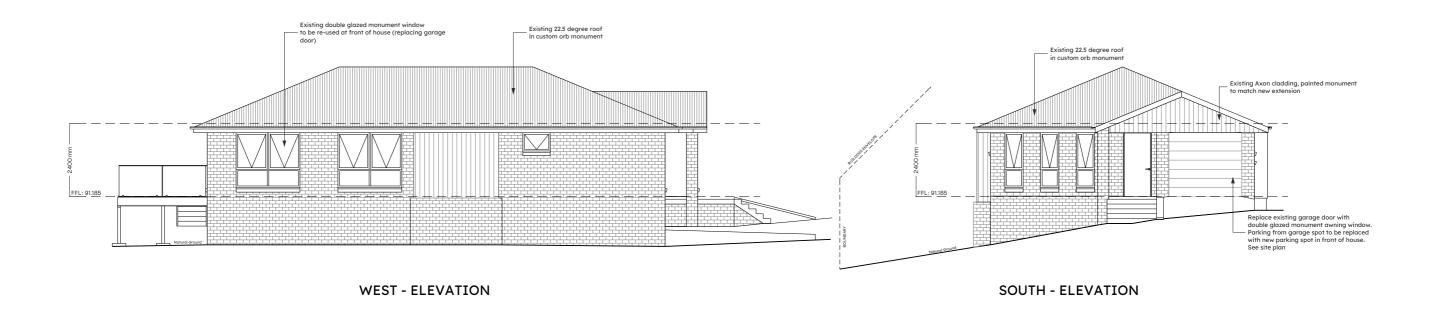
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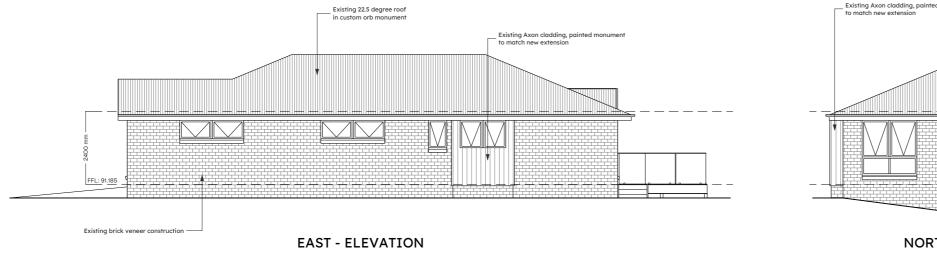
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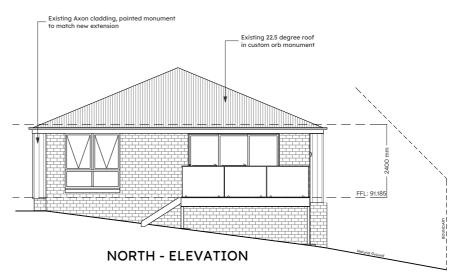
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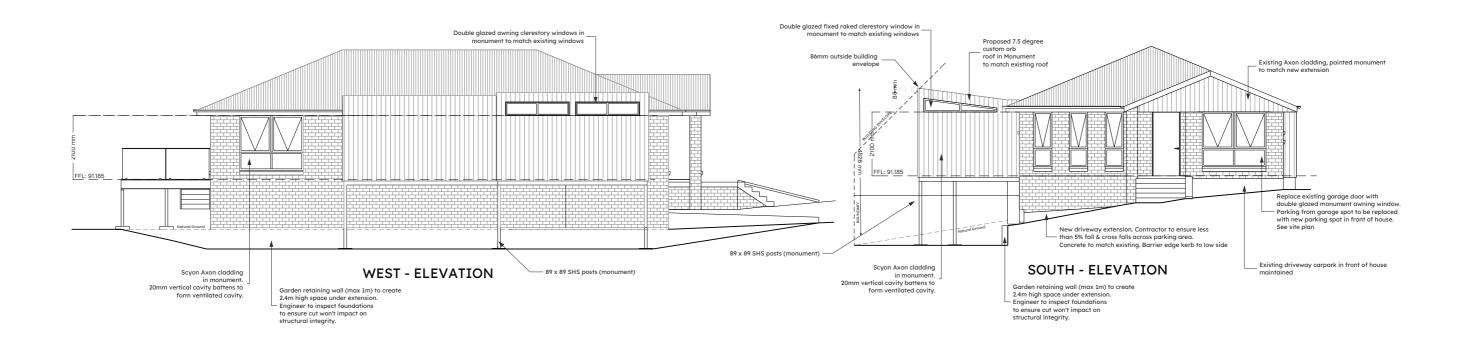
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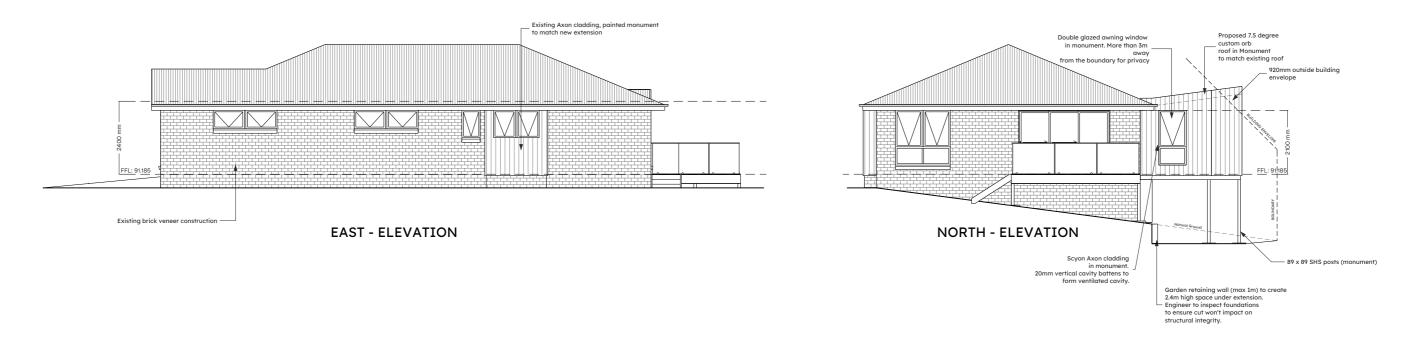
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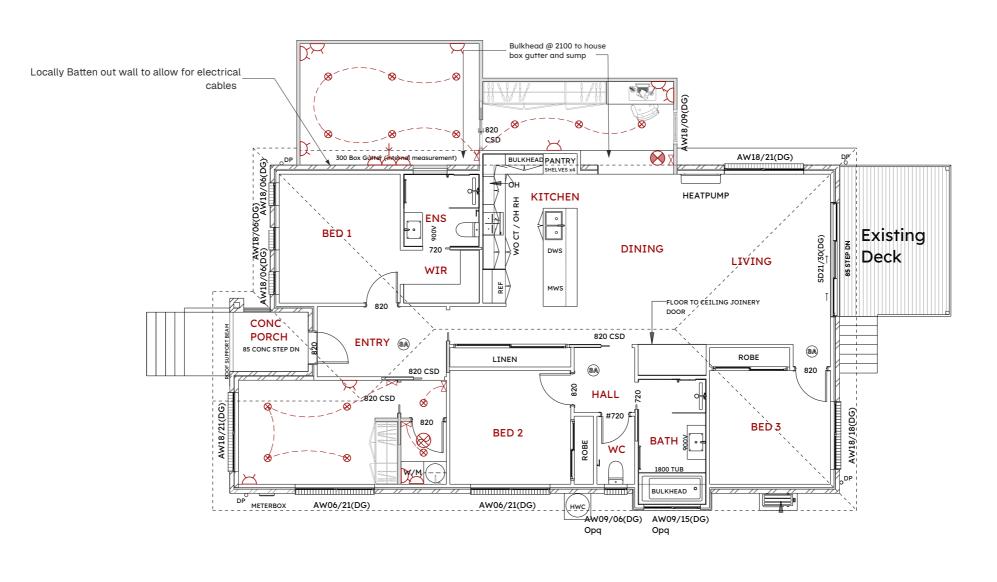
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ELECTRICIAN PLEASE NOTE:

LIGHT SWITCH

LEGEND

SINGLE GPO

DOUBLE GPO

METER BOX

SECURITY SENSOR

SECURITY KEY PAD SENSOR LIGHT SPOT LIGHT 90DN DOWNPIPE

NBN HUB

EXTERNAL GPO

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MB

NBN

D.

STANDARD CEILING LIGHT (14W)

INTERNAL WALL LIGHT POINT (20W)

SINGLE FLUORESCENT LIGHT (28W)

WALL MOUNTED AIR CONDITIONER 2 LIGHT/HEATER/EXHAUST (1110W)

4 LIGHT/HEATER/EXHAUST (1110W)

EXHAUST FAN TO OUTSIDE AIR

SMOKE ALARM INTERCONNECTED

TELEVISION CONNECTION POINT

PHONE CONNECTION POINT STAIR TRED LIGHTS (3W)

EXTERNAL WALL LIGHT POINT

LED DOWNLIGHT (9W) PENDANT LIGHT (9.5W)

- EXHAUST FAN DUCTED TO ATMOSPHERE

90DN DOWNPIPE (SPREADER)

- SMOKE ALARM HARD WIRED WITH BATTERY BACKUP AND INTERCONNECTED

ENERGY NOTES:

- R2.5 INSULATION TO ALL EXTERNAL WALLS
- R2.5 SOUNDSHIELD TO ALL WET AREAS INCLUDING LAUNDRY
- R5 TO CEILINGS
- R2.5 INSULATION BETWEEN JOISTS
- ALL DOWNLIGHTS TO BE IC-4 RATED



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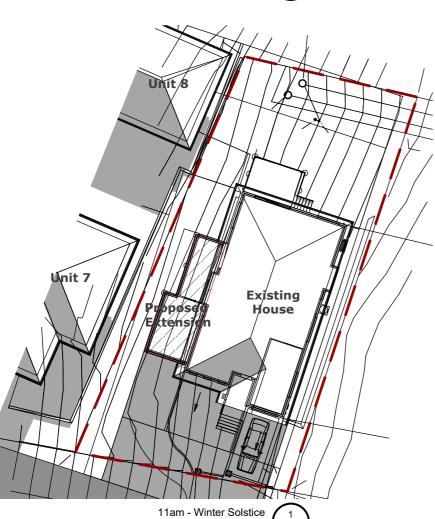
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DATE: 09/04/2025

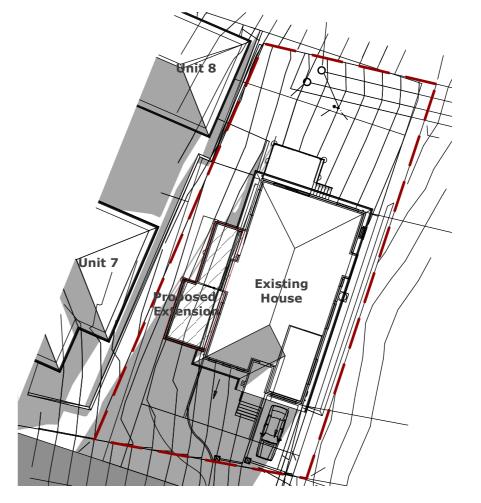
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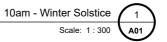
Scale: 1:300



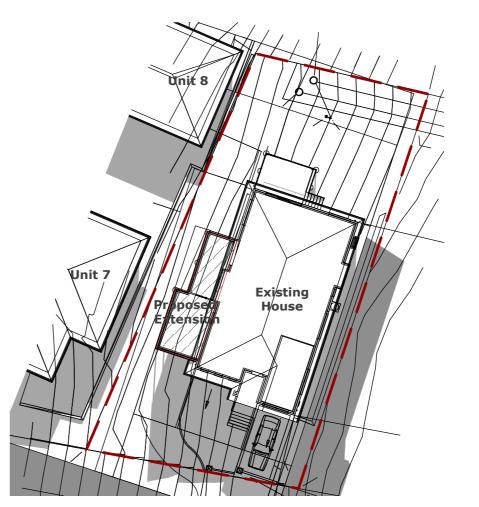


ELEVATION Design

WEST



client Jasper Marais



ркојест 3 Elaia Drive Risdonvale

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ISSUE 17/06/2025

re-issue N/A

DESCRIPTION
Winter Solstice Sun Diagrams
per hour



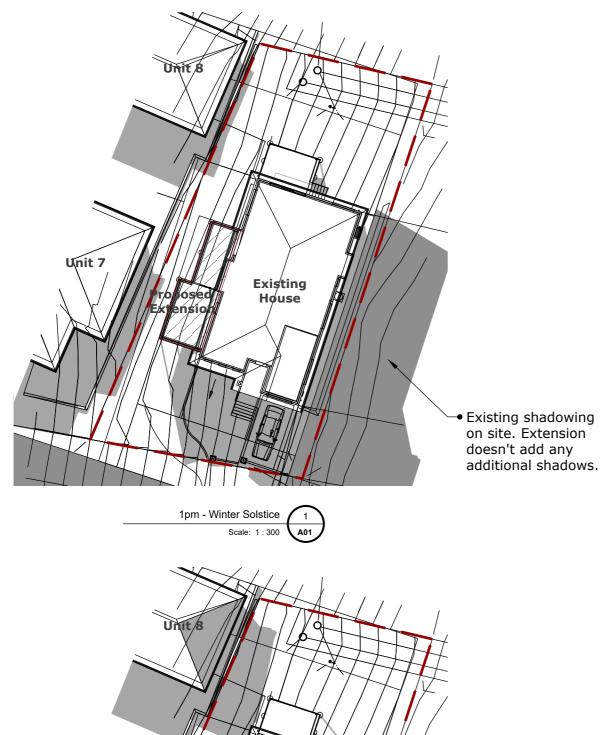
12pm - Winter Solstice Scale: 1:300 A01

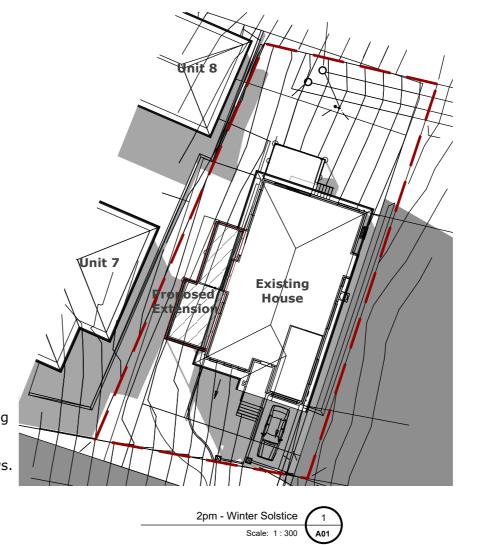
Overshadowing to Unit 7 only occurs between 9-10am.

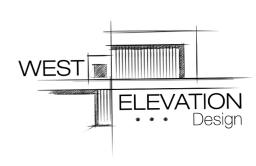
impact on the

The extension doesn't

neighbouring units at any other stage.







West Elevation Design 5 Dynnyrne Rd Dynnyrne

ргојест 3 Elaia Drive Risdonvale

CLIENT Jasper Marais

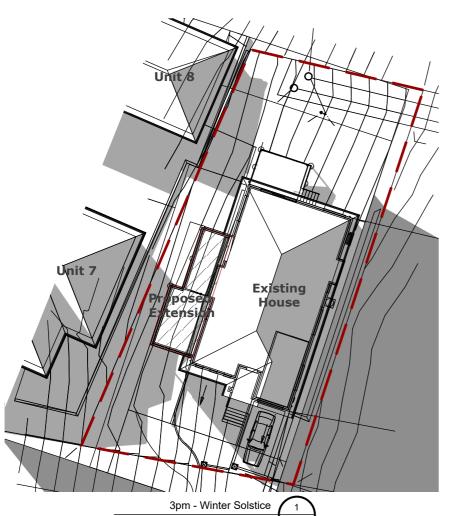
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ISSUE 17/06/2025

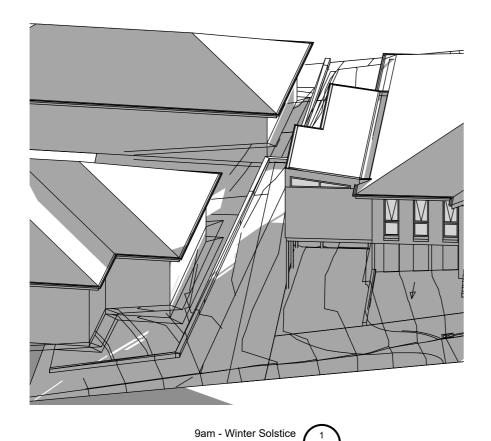
re-issue N/A

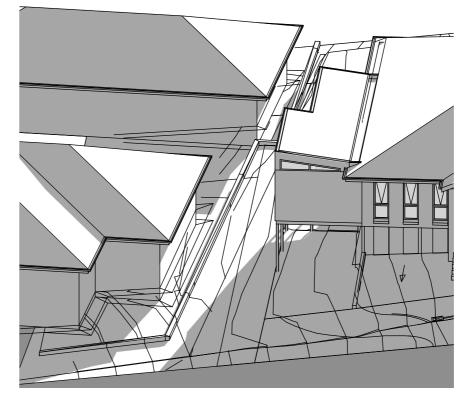
DESCRIPTION
Winter Solstice Sun Diagrams
per hour





scale: 1:300 A01





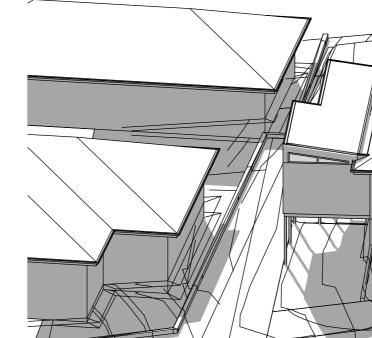


ELEVATION ••• Design

WEST

10am - Winter Solstice Scale: 1:300 A01

client Jasper Marais



12pm - Winter Solstice Scale: 1:300 A01

ркојест 3 Elaia Drive Risdonvale

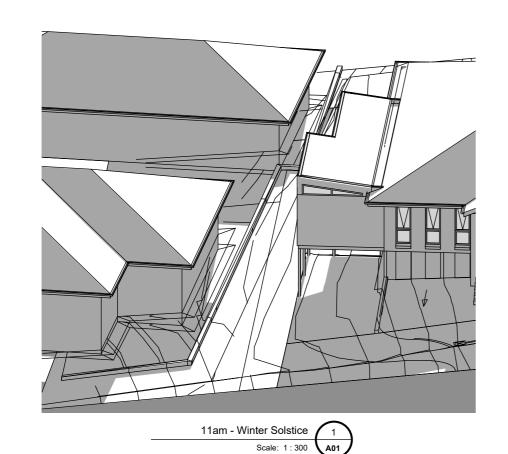
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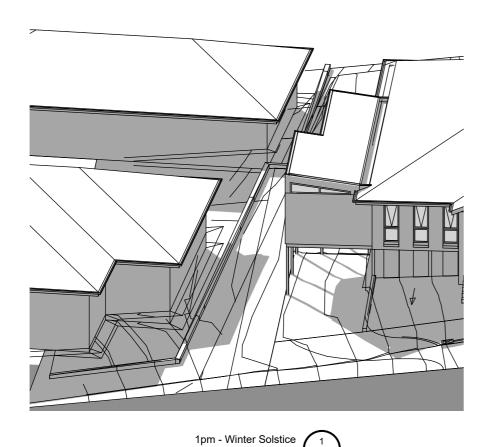
ISSUE 17/06/2025

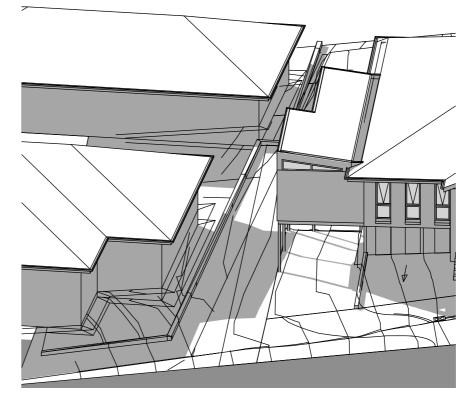
re-issue N/A

DESCRIPTION
Winter Solstice Sun Diagrams
per hour (3d)











ELEVATION Design

WEST

2pm - Winter Solstice Scale: 1:300

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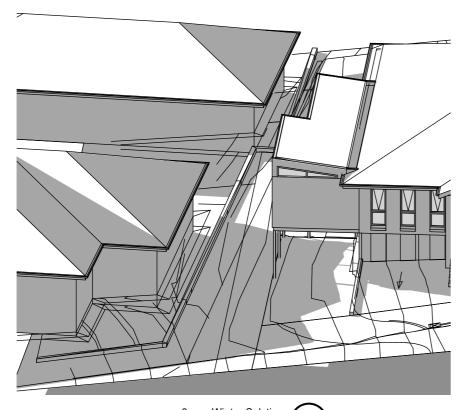
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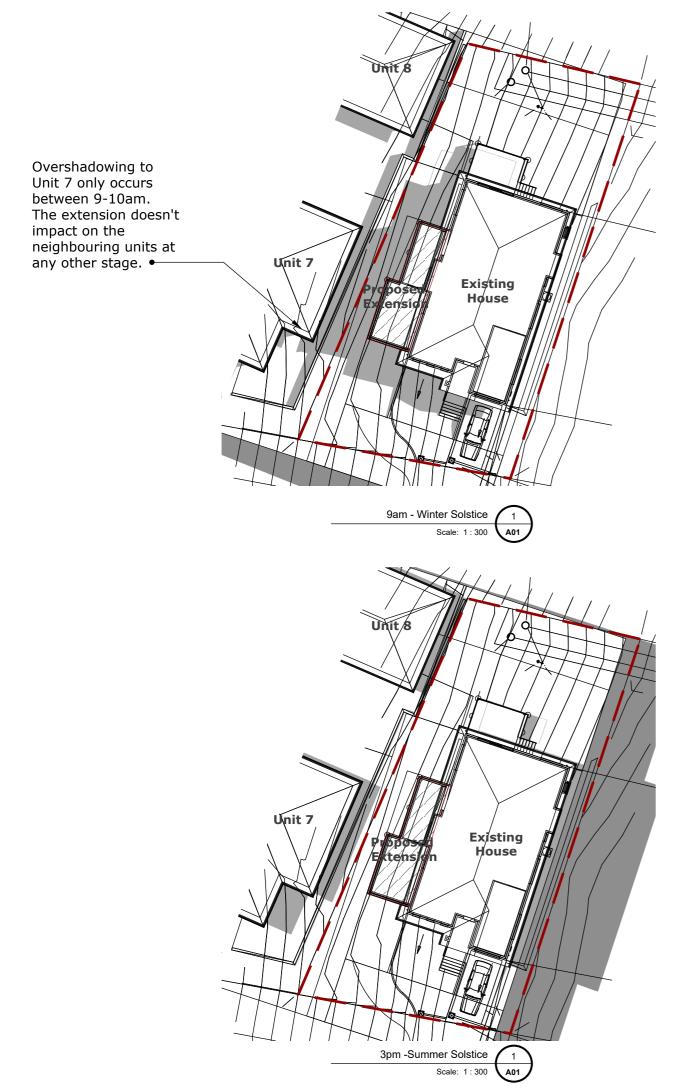
re-issue N/A

DESCRIPTION
Winter Solstice Sun Diagrams
per hour (3d)













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CLIENT Jasper Marais

ргојест 3 Elaia Drive Risdonvale

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ISSUE 17/06/2025

re-issue N/A

DESCRIPTION
Summer Solstice Sun Diagrams
per hour



Document Set ID: 5662269 Version: 1, Version Date: 11/08/2025