



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/053730

PROPOSAL: Nine Warehouses

LOCATION: 12 & 14 Stanton Place, Cambridge

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 15 September 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 15 September 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 15 September 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Warehouse development

Location: 12 and 14 Stanton Place, Cambridge 7170

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

N/A

Current use of site:

Warehouse

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 161088	FOLIO 13
EDITION 1	DATE OF ISSUE 19-May-2011

SEARCH DATE : 10-Feb-2023

SEARCH TIME : 11.17 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 13 on Sealed Plan 161088

Derivation : Part of 292A-2R-0Ps Gtd to William Wallace Fraser.

Prior CT 154458/1

SCHEDULE 1

C756047 TRANSFER to STANTON ROBERTS P/L Registered
29-Aug-2007 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP161088 EASEMENTS in Schedule of Easements

SP161088 COVENANTS in Schedule of Easements

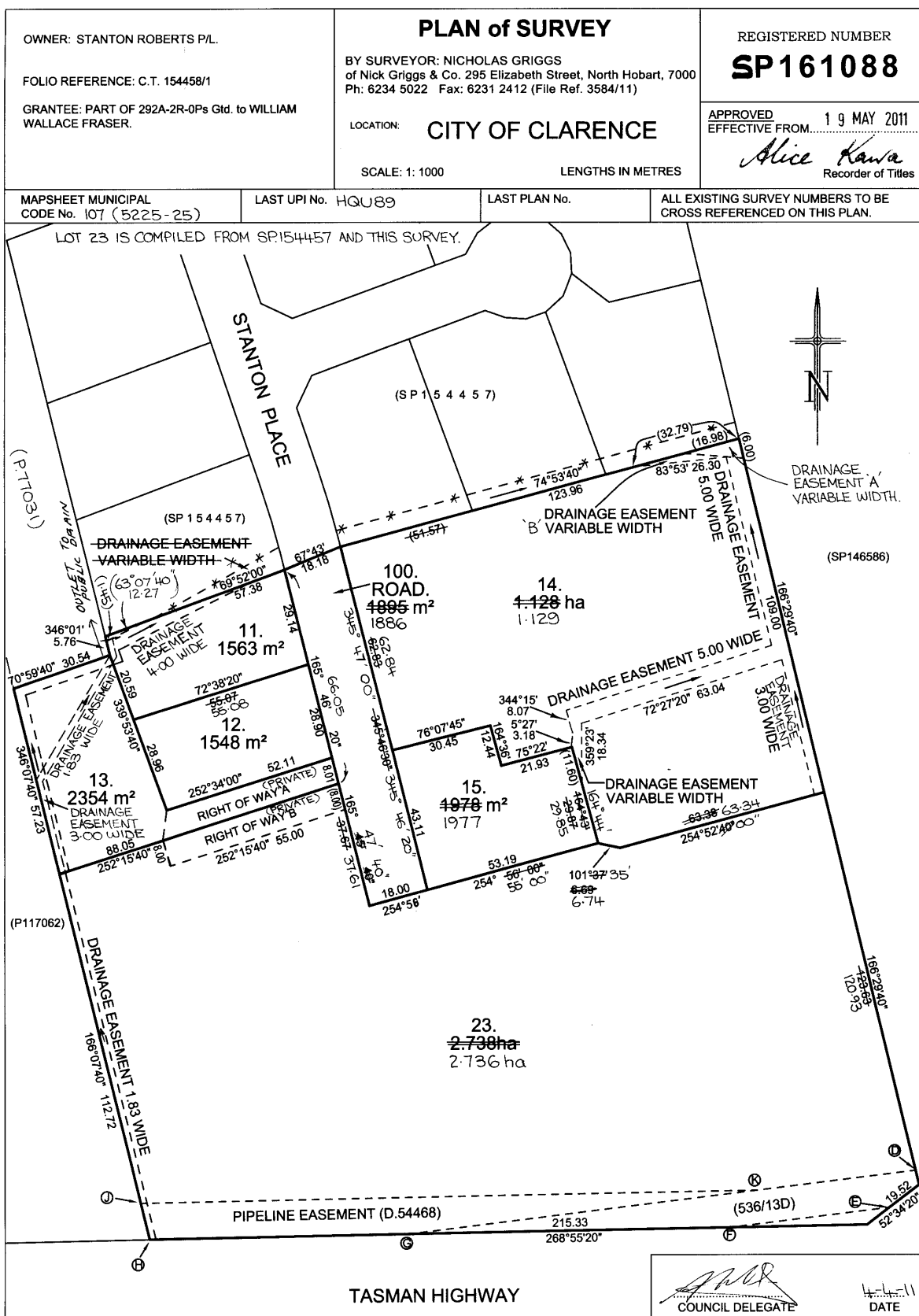
SP161088 FENCING PROVISION in Schedule of Easements

C30987 PROCLAMATION under Section 52A of the Roads and
Jetties Act 1935 Registered 24-Jun-1997 at noon

C756051 MORTGAGE to Westpac Banking Corporation Registered
29-Aug-2007 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

NOTICE: This folio is affected as to amended easements
pursuant to Request to Amend No. D17127 made under
Section 103 of the Local Government (Building and
Miscellaneous Provisions) Act 1993. Search Sealed
Plan No. 161088 Lodged by Hobart Properties &
Securities P/L, 222 Denholms Road, Cambridge TAS,
7170 on 07-Jul-2011 BP: D17127



<p align="center">SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p align="center">Registered Number</p> <p align="center" style="font-size: 2em;">SP 161088</p>
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PAGE 1 OF 3 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

RIGHTS OF WAY EASEMENTS: see Page 3

~~Lot 13 is subject to Right of Way A appurtenant to Lot 23 on the Plan.~~

~~Lot 23 is subject to Right of Way B appurtenant to Lot 13 on the Plan.~~

~~Lot 13 is together with Right of Way B as shown on the Plan.~~

~~Lot 23 is together with Right of Way A as shown on the Plan.~~

RESTRICTIVE COVENANTS


The Owner of each Lot shown on the Plan covenants with the Vendor Stanton Roberts Pty Ltd and the Clarence City Council and with the Owner for the time being of every other Lot shown on the Plan to the intent that the burden of these Covenants may run with and bind the Covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the Plan and the Clarence City Council to observe the following stipulations:-

- (1) No Lot is to be developed or used without demonstrating the use of water sensitive urban design principles.
- (2) Not to construct a commercial/industrial building on a Lot where colourbond exceeds more than 50% of the external wall surface area excluding the roof area.
- (3) Not to construct a Self Storage facility on Lots 11, 12, 13 & 15.

FENCING PROVISION

In respect of each Lot on the Plan the Vendor shall not be required to fence.

(USE ANNEXURE PAGES FOR CONTINUATION)

<p>SUBDIVIDER: Stanton Roberts Pty Ltd</p> <p>FOLIO REF: Certificate of Title Volume 154458 Folio 1</p> <p>SOLICITOR : Mr Ian N Roberts & REFERENCE:</p>	<p>PLAN SEALED BY: Clarence City Council</p> <p>DATE: 4 April 2011</p> <p>SD-2008/76</p> <p>REF NO. </p> <p align="right">Council Delegate</p>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 2 OF 3 PAGE/S</p>	<p align="center">Registered Number</p> <p align="center">SP161088</p>
<p>SUBDIVIDER: Stanton Roberts Pty Ltd</p> <p>FOLIO REFERENCE: 154458 / 1</p>	

Executed by **STANTON ROBERTS PTY LTD**)

(ACN 116 750 755) In accordance with)

Section 127 of the Corporations Act 2001)

Director

Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES	Registered Number SP161088
SUBDIVIDER: - STANTON ROBERTS P/L	
FOLIO REFERENCE: - 154458/1	
<p>EASEMENTS:</p> <p>Lot 13 on the Plan is subject to a right of carriageway (appurtenant to Lot 23) over the Right of Way (Private) A on the plan.</p> <p>Lot 13 on the plan is together with a right of carriageway over the Right of Way (Private) B on the Plan.</p> <p>Lot 23 on the plan is subject to a right of carriageway (appurtenant to Lot 13) over the Right of Way (Private) B on the Plan.</p> <p>Lot 23 on the plan is together with a right of carriageway over the Right of Way (Private) A on the Plan.</p> <p>Lots 11, 13 & 23 on the plan are subject to a right of drainage (appurtenant to Lots 1 & 2 on Sealed Plan 31870) over the Drainage Easement 1.83 wide on the Plan.</p> <p>Lot 14 on the plan is subject to a right of drainage (appurtenant to Lots 1-6, 8-10 and 100 on Sealed Plan 154457) over the Drainage Easement 'A' Variable Width on the plan</p> <p>Lot 23 on the plan is subject to a pipeline easement for the Metropolitan Water Board over the Pipeline Easement marked DEFG on the plan created by and more fully set forth in Transfer A290188</p> <p>Lot 23 on the plan is subject to a pipeline right for Her Majesty the Queen over the Pipeline Easement marked GHJK on the plan created by and more fully set forth in Acquisition B584860</p>	
<p>NOTE: - Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.</p>	

SEARCH OF TORRENS TITLE

VOLUME 163509	FOLIO 23
EDITION 2	DATE OF ISSUE 07-Nov-2012

SEARCH DATE : 10-Feb-2023

SEARCH TIME : 11.19 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 23 on Sealed Plan 163509

Derivation : Part of 292A-2R-0P Gtd to William Wallace Fraser.

Prior CT 161088/23

SCHEDULE 1

D3648 TRANSFER to HOBART PROPERTIES & SECURITIES PTY
LIMITED Registered 07-Nov-2012 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP163509 EASEMENTS in Schedule of Easements

SP163509 COVENANTS in Schedule of Easements

SP163509 FENCING PROVISION in Schedule of Easements

SP161088 COVENANTS in Schedule of Easements

SP161088 FENCING PROVISION in Schedule of Easements

C30987 PROCLAMATION under Section 52A of the Roads and
Jetties Act 1935 Registered 24-Jun-1997 at noon

D57019 MORTGAGE to Westpac Banking Corporation Registered
07-Nov-2012 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

NOTICE: This folio is affected as to amended easements
pursuant to Request to Amend No. E58151 made under
Section 103 of the Local Government (Building and
Miscellaneous Provisions) Act 1993. Search Sealed
Plan No. 163509 Lodged by ROBERTS AND PARTNERS on
25-Nov-2020 BP: E58151

<p>OWNER: STANTON ROBERTS P/L</p> <p>FOLIO REFERENCE: C.T. 161088/23 161088/14 &</p> <p>GRANTEE: PART of 292A-2R-0PS gtd to WILLIAM WALLACE FRASER</p>		<p align="center">PLAN of SURVEY</p> <p>BY SURVEYOR: NICHOLAS GRIGGS of Nick Griggs & Co. 295 Elizabeth Street, North Hobart, 7000 Ph: 6234 5022 Fax: 6231 2412 (Ref:3840/02)</p> <p>LOCATION: CITY OF CLARENCE</p> <p>SCALE: 1: 1000 LENGTHS IN METRES</p>		<p align="center">Registered Number</p> <p align="center" style="font-size: 1.5em;">SP 163509</p> <p>APPROVED 24 APR 2012 EFFECTIVE FROM.....</p> <p align="right"><i>Alice Kawa</i> Recorder of Titles</p>			
<p>MAPSHEET MUNICIPAL CODE No. 107 (522S-2S)</p>		<p>LAST UPI No. HQUB9</p>		<p>LAST PLAN No. SP.161088</p>		<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN.</p>	

LOT 14 IS COMPILED FROM SP161088 AND THIS SURVEY

14
9784 m²

24
1506 m²

21
2954 m²

23
2667 m²

20
3050 m²

100 ROAD
587 m²

(P.163532)

TASMAN HIGHWAY

SEE PLAN-RELATED DOCS.
COUNCIL DELEGATE DATE

<p align="center">SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p align="center">Registered Number</p> <p align="center" style="font-size: 2em;">SP163509</p>
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PAGE 1 OF ¹/₃ PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lot 23 on the Plan is subject to a right of carriageway (appurtenant to Lot 13 on Sealed Plan No 161088) over the Right of Way (Private) B on the Plan.

Lot 23 on the Plan is together with a right of carriageway over the Right of Way (Private) A on the Plan as defined by Sealed Plan No 161088.

EASEMENTS CONTINUED ON PAGE 3

RESTRICTIVE COVENANTS

The Owner of each Lot shown on the Plan covenants with the Vendor Stanton Roberts Pty Ltd and the Clarence City Council and with the Owner for the time being of every other Lot shown on the Plan to the intent that the burden of these Covenants may run with and bind the Covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the Plan and the Clarence City Council to observe the following stipulations:-

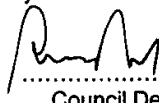
- (1) No Lot is to be developed or used without demonstrating the use of water sensitive urban design principles.
- (2) Not to construct a commercial/industrial building on a Lot where colourbond exceeds more than 50% of the external wall surface area excluding the roof area.
- (3) Not to construct a Self Storage facility on Lots 20 & 21.

FENCING PROVISION

Stanton Roberts Pty Ltd

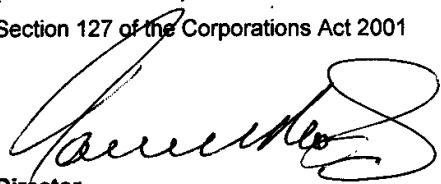
In respect of each Lot on the Plan the Vendor shall not be required to fence.

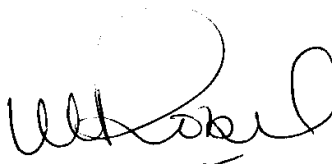
(USE ANNEXURE PAGES FOR CONTINUATION)

<p>SUBDIVIDER: Stanton Roberts Pty Ltd</p> <p>FOLIO REF: Certificate of Title Volume 161088 Folio 23</p> <p>SOLICITOR : Mr Ian N Roberts</p> <p>& REFERENCE:</p>	<p>PLAN SEALED BY: Clarence City Council</p> <p>DATE: 7-2-2012</p> <p>SD-2010/91</p> <p>REF NO.</p> <p align="right">  Council Delegate </p>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF ³ / ₂ PAGES	Registered Number SP 163509
SUBDIVIDER:- Stanton Roberts Pty Ltd FOLIO REFERENCE:- Certificate of Title Volume 1161088 Folio 23	

Executed by **STANTON ROBERTS PTY LTD**)
 (ACN 116 750 755) In accordance with)
 Section 127 of the Corporations Act 2001)

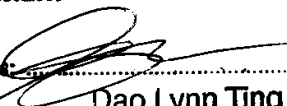

 Director



Director


SIGNED by **Westpac Banking Corporation**
 For Mortgage C756051

I certify that the Attorney for the Westpac Banking Corporation, with whom I am personally acquainted or as to whose identity I am otherwise satisfied, signed this instrument in my presence.

Signature of Witness: 
 Name of Witness: Dao Lynn Ting
 Address of Witness: 360 Collins Street, Melbourne

Tim Nelson

SIGNED by as attorney for
 Westpac Banking Corporation under power of
 attorney registered No. 72/5446.


 (Signature) Tier Three Attorney
 By executing this instrument the attorney states that
 the attorney has received no notice of the revocation
 of the power of attorney.

NOTE: Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 3 PAGES</p>	<p>Registered Number</p> <p>SP163509</p>
<p>SUBDIVIDER: - STANTON ROBERTS PTY LTD</p> <p>FOLIO REFERENCE: - 161088/14 & 23</p>	
<p>EASEMENTS CONTINUED</p> <p>Lots 20 & 23 on the Plan are each subject to a right of drainage (appurtenant to Lots 1 & 2 on SP31870) over the Drainage Easement 1.83 wide shown passing through such lots.</p> <p>Lot 14 on the Plan is subject to a right of drainage (appurtenant to Lots 1-6, 8-10 & 100 on SP154457) over the Drainage Easement 'A' variable width shown passing through such lot.</p> <p>Lot 20 on the Plan is subject to a pipeline right for Her Majesty the Queen over the Pipeline Easement marked GHJK on the Plan created by and more fully set forth in Acquisition B584860.</p> <p>Lot 14 on the Plan is subject to a right of drainage (appurtenant to Lot 23 on SP161088) over the Drainage Easement 3.00 wide, Drainage Easement 5.00 wide & Drainage Easement "B" variable width shown passing through such lot.</p> <p>Lot 14 on the Plan is subject to a right of drainage (appurtenant to Lot 15 on SP161088) over the Drainage Easement variable width, Drainage Easement 'C' 5.00 wide, Drainage Easement 5.00 wide & Drainage Easement "B" variable width shown passing through such lot.</p>	
<p>NOTE: - Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.</p>	

PROPOSED WAREHOUSE DEVELOPMENT

12-14 STANTON PLACE. CAMBRIDGE. TASMANIA

FOR

HOBART PROPERTIES & SECURITIES PTY.LTD.

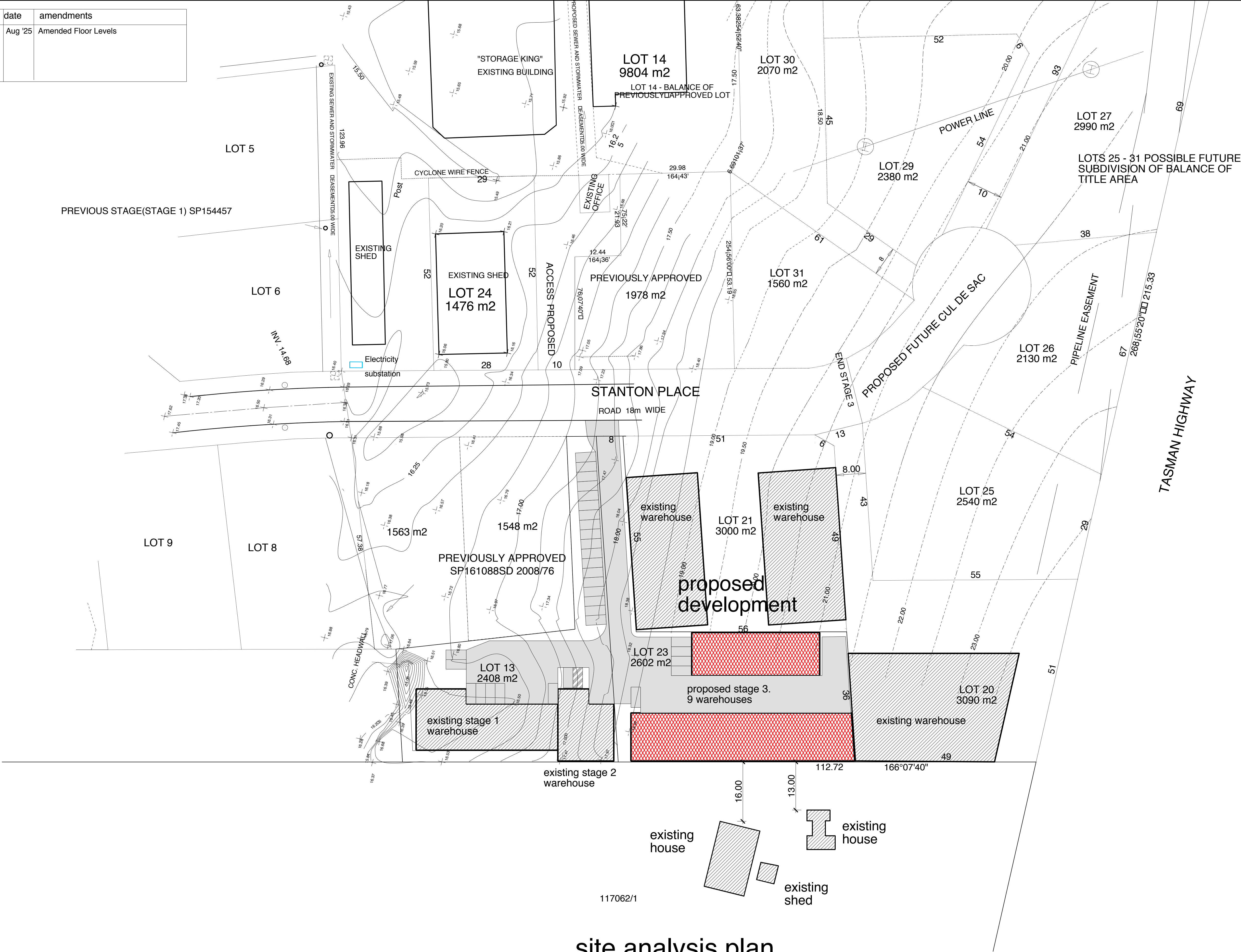
DRAWING SCHEDULE

- 0.0 Cover page and Drawing Schedule**
- 1.1A Site Analysis Plan**
- 1.2A Ground Floor Plan**
- 1.3A First Floor Plan**
- 1.4A Roof Plan**
- 1.5A Elevations; Building A**
- 1.6A Elevations; Building B**

no.	date	amendments
A	Aug '25	Amended Floor Levels

and+design
andrew mckellar design
62 hilton terrace
noosaville (07) 5449 9066
info@and-design.com.au
www.and-design.com.au

no.	date	amendments
A	Aug '25	Amended Floor Levels



site analysis plan
scale 1:500

no.	date	amendments
A	Aug '25	Amended Floor Levels

stanton place

COMBINED SITE AREA: 5019 sqm

ZONE: INDUSTRY

TOTAL FLOOR AREA: EXISTING DEVELOPMENT STAGE 1 & 2 ; 1240 sqm.
PROPOSED STAGE 3; 1456sqm
TOTAL; 2696sqm

CARPARKING REQUIREMENT: 1 space per 200sqm site area: 25 car spaces req'd
31 spaces provided

MAXIMUM HEIGHT: 10m allowed; 6.5m proposed

LOT 21

site area: 3000sqm

LOT 25

2540 sqm

proposed stage 3
warehouses; Building B

LOT 23

site area: 2602sqm

LOT 13

site area: 2408sqm

garage
tenant 1
680sqm

inc. mezzanine: 100sqm
warehouse
ground floor area: 580sqm

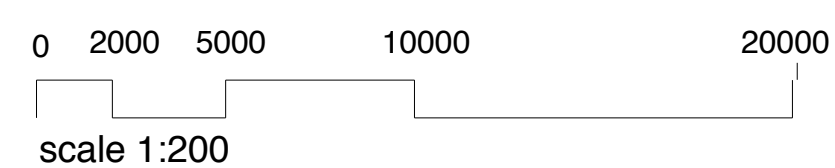
tenant 2
560sqm
inc mezzanine:277sqm

A diagram showing a garden area. On the left, there is a vertical line with several downward-pointing arrows, labeled "garden". To the right of this is a vertical fence line. To the right of the fence is a rectangular area divided into a grid of squares, representing a path or a different section of the garden. A dashed line runs vertically to the right of the grid.

proposed stage 3
warehouses; Building A

existing
development

site plan/
ground floor plan



and+design
andrew mckellar design
62 hilton terrace
noosaville (07) 5449 9066
info@and-design.com.au

QBSA req. 65073

Client	HOBART PROPERTIES & SECURITIES PTY. LTD.
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Project	PROPOSED WAREHOUSE DEVELOPMENT
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Location

12-14 STANTON PLACE
CAMBRIDGE. TAS.

Drawing
**SITE PLAN/
GROUND FLOOR PLAN**

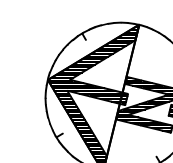
Drawing no. 01.07.25.1.2A

Scale
1:200 @ A1

12A	Date JULY 2025
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Drawn
AM

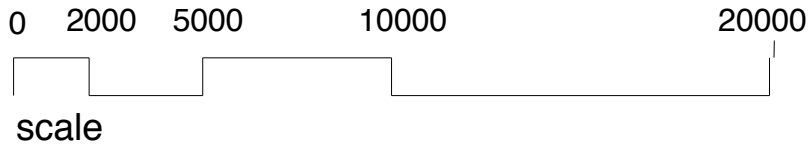
Date	JULY 2025
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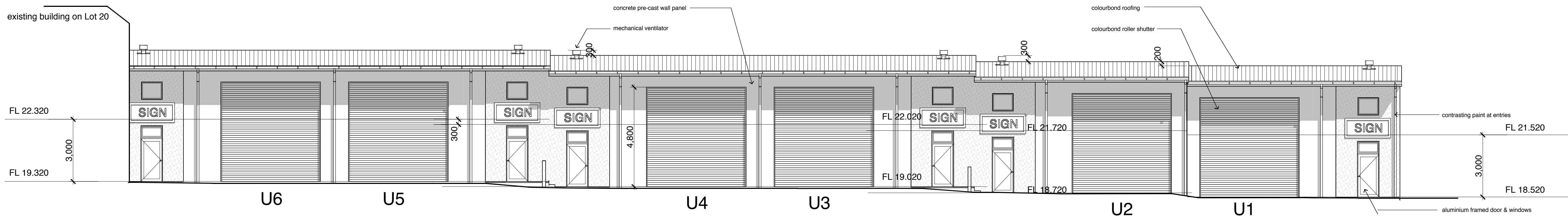
no.	date	amendments
A	Aug '25	Amended Floor Levels



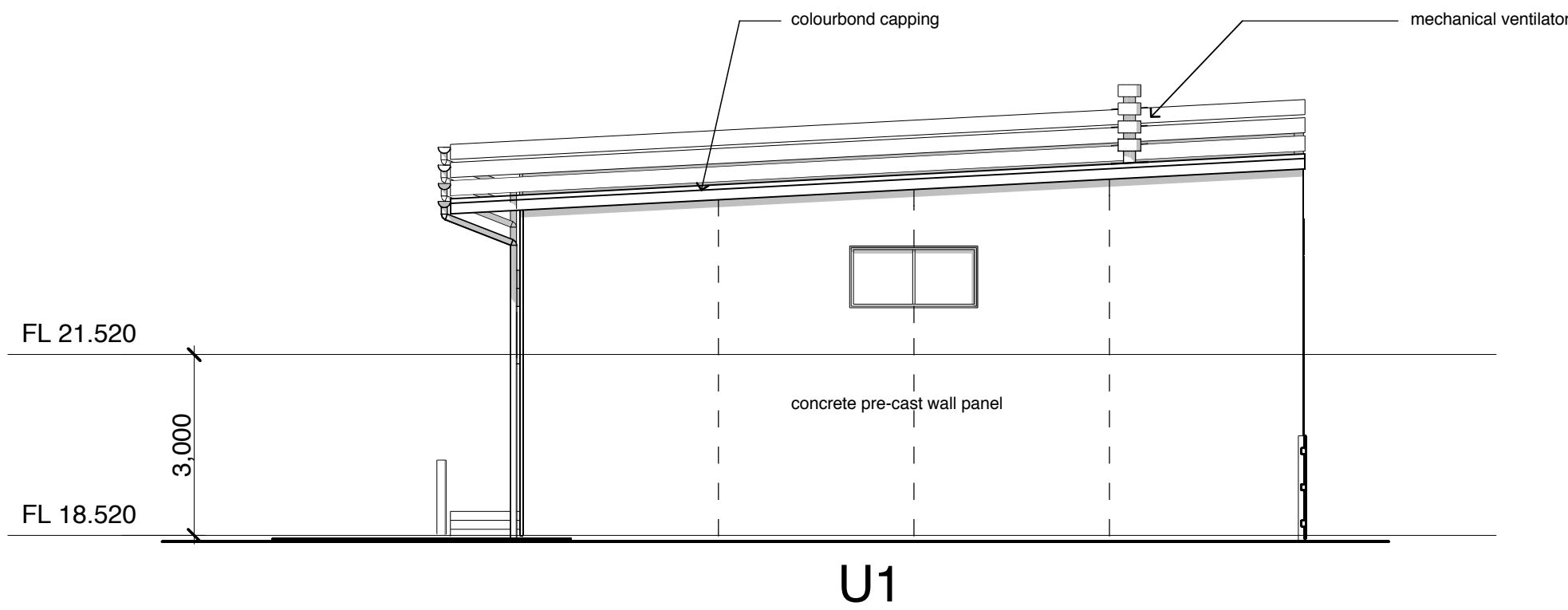
roof plan



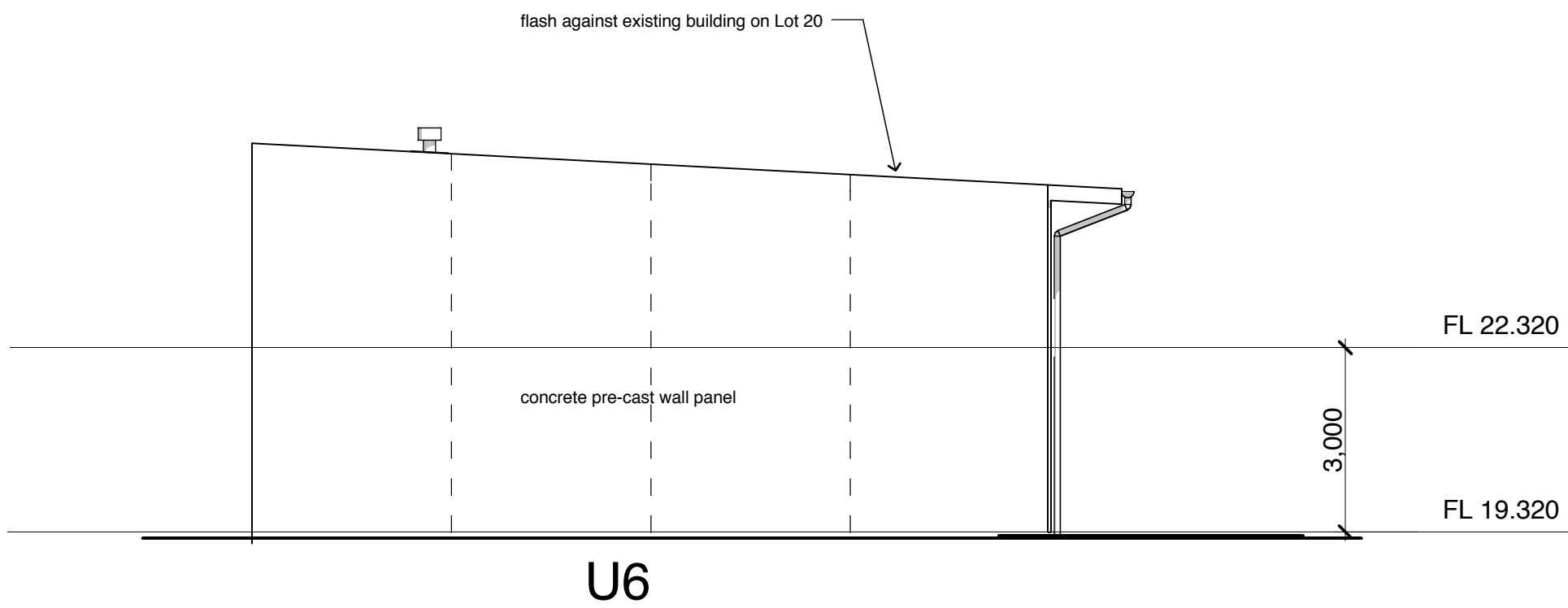
 andrew mckellar design 62 hilton terrace noosaville (07) 5449 9066 info@and-design.com.au QBSA reg. 65073	Client HOBART PROPERTIES & SECURITIES PTY. LTD.	Location 12-14 STANTON PLACE CAMBRIDGE. TAS.	Drawing ROOF PLAN	Scale 1:200 @ A1	Drawn AM	
	Project PROPOSED WAREHOUSE DEVELOPMENT		Drawing no. 01.07.25.1.4A	1.4A	Date JULY 2025	



east elevation

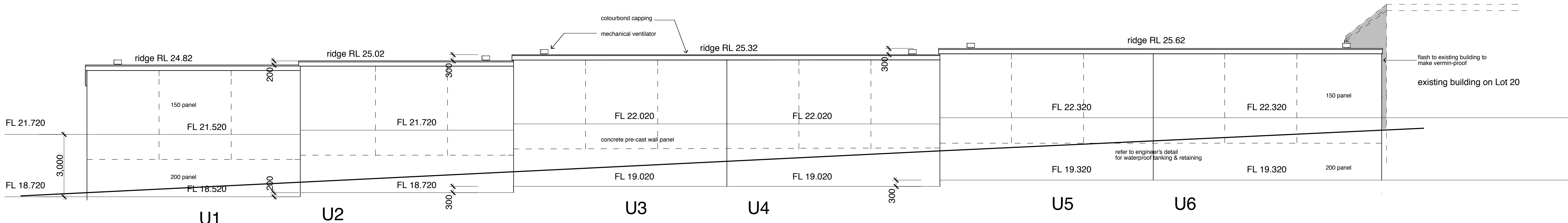


north elevation



south elevation

against existing building on Lot 20




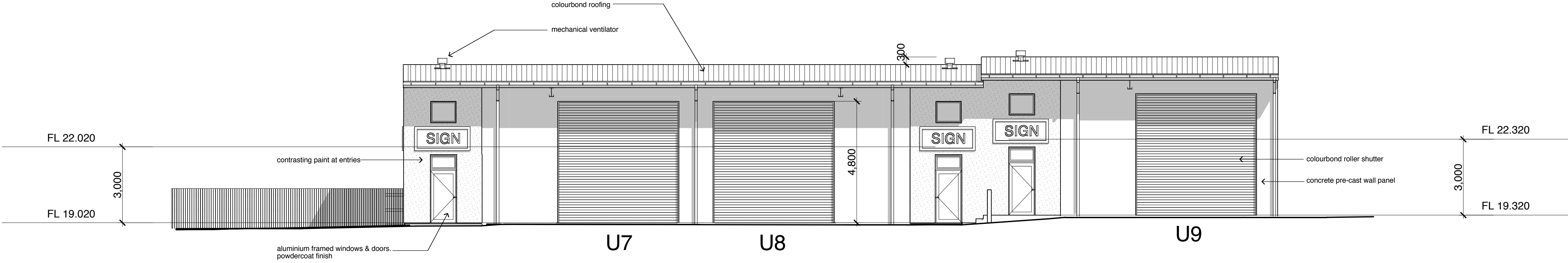
west elevation

no.	date	amendments
A	Aug '25	Amended Floor Levels

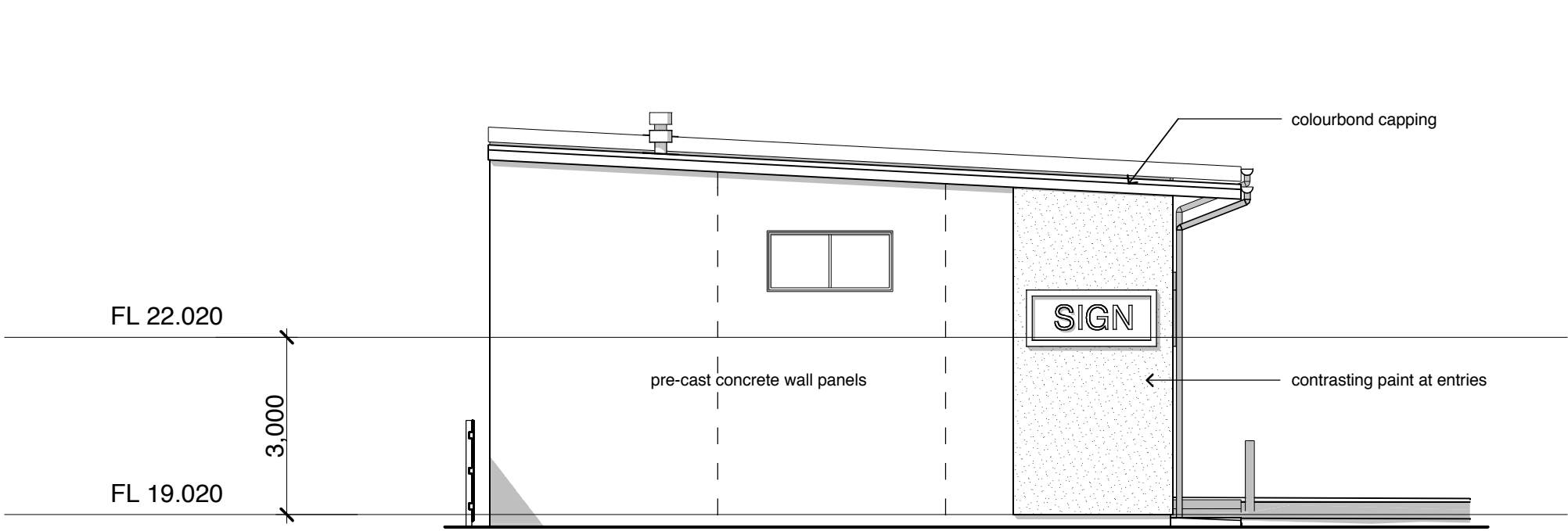
elevations; Building A

- workmanship and materials shall be in accordance with relevant current s.a.a codes and statutory authorities requirements
- all dimensions and levels to be checked on site by builder before commencing work
- do not scale drawings

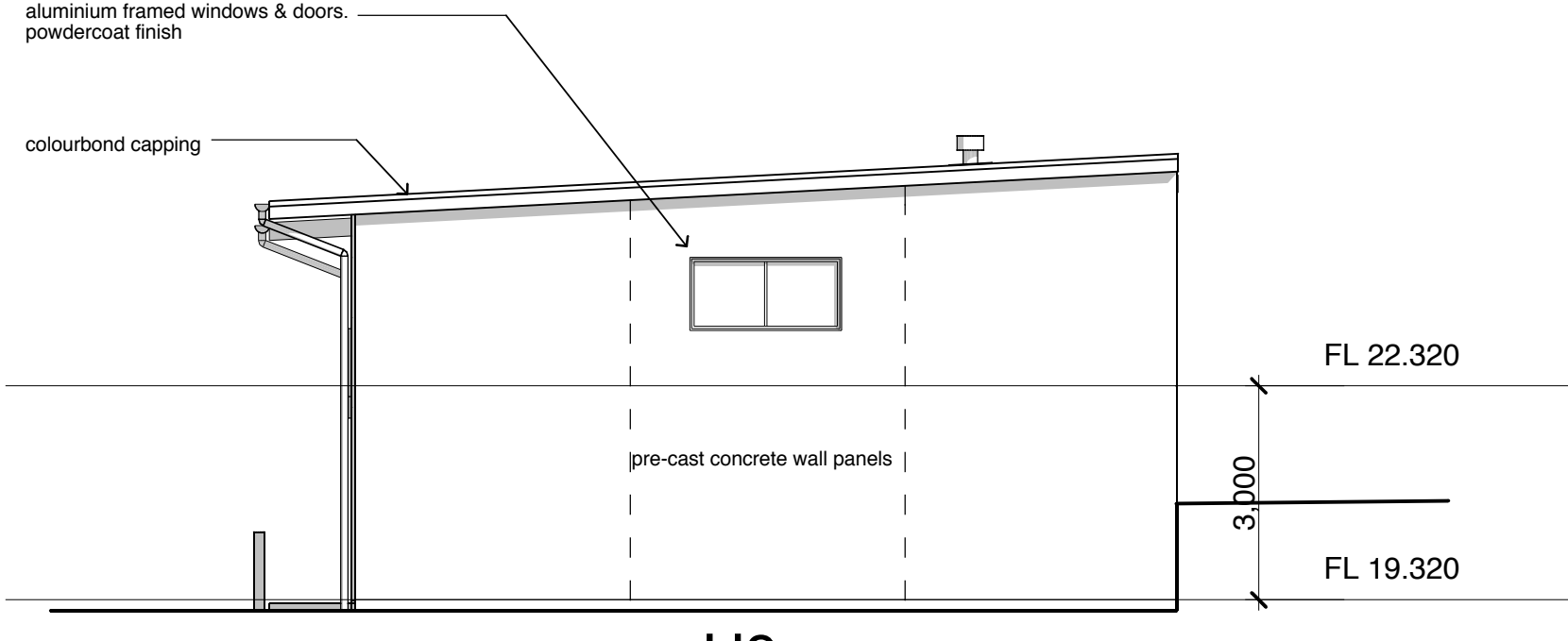
 andrew mckellar design 62 hilton terrace noosaville (07) 5449 9066 info@and-design.com.au	Client HOBART PROPERTIES & SECURITIES PTY. LTD.	Location 12-14 STANTON PLACE CAMBRIDGE. TAS.	Drawing ELEVATIONS BUILDING A	Drawn AM	Scale 1:100@A1	1.5A
	Project PROPOSED WAREHOUSE DEVELOPMENT		Drawing no. 01.07.25.1.5A	Date JULY 2025		



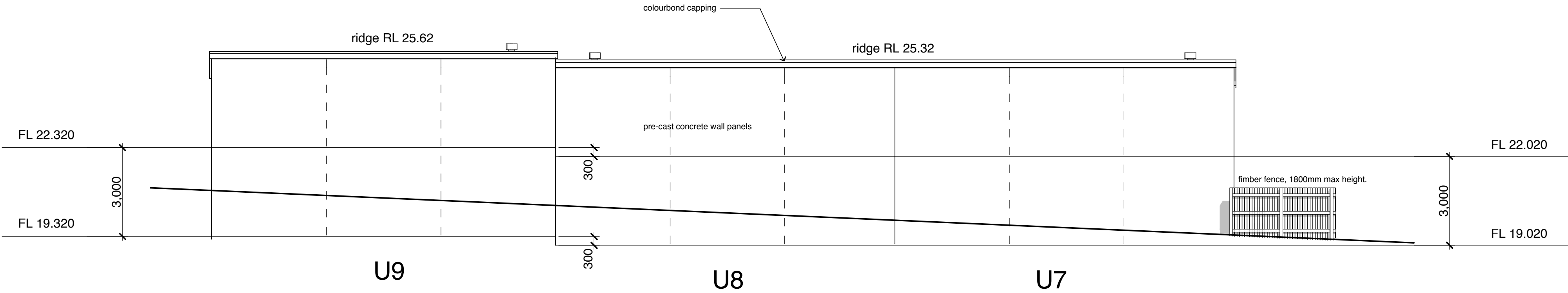
west elevation



north elevation



south elevation




east elevation

elevations; Building B

no.	date	amendments
A	Aug '25	Amended Floor Levels

- workmanship and materials shall be in accordance with relevant current s.a.a codes and statutory authorities requirements
- all dimensions and levels to be checked on site by builder before commencing work
- do not scale drawings

 andrew mckellar design 62 hilton terrace noosaville (07) 5449 9066 info@and-design.com.au QBSA reg. 65073	Client HOBART PROPERTIES & SECURITIES PTY. LTD.	Location 12-14 STANTON PLACE CAMBRIDGE. TAS.	Drawing ELEVATIONS BUILDING B	Drawn AM	Scale 1:100@A1	1.6A
	Project PROPOSED WAREHOUSE DEVELOPMENT		Drawing no. 01.07.25.1.6A	Date JULY 2025		

HOBART PROPERTIES &
SECURITIES
WAREHOUSE DEVELOPMENT
12-14 STANTON PLACE
CAMBRIDGE, TAS

CIVIL/HYDRAULIC NOTES

GENERAL

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES SHALL BE REFERRED TO GANDY AND ROBERTS FOR CLARIFICATION.
- G2 SETTING OUT DIMENSIONS AND LEVELS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT.
- G3 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THESE DRAWINGS.
- G4 DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN EXCAVATIONS AND STRUCTURES IN A STABLE CONDITION AND ENSURE THAT NO PART IS OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES.
- G5 THE CONTRACTOR IS RESPONSIBLE FOR THE CREATION AND MAINTENANCE OF TEMPORARY SITE ACCESSES. STRENGTHENING OF DESIGN PAVEMENTS TO CARRY CONSTRUCTION VEHICLES (IN EXCESS OF THE DESIGN ALLOWANCE) SHALL BE AT THE CONTRACTOR'S EXPENSE.
- G6 LOCATION AND VERIFICATION OF EXISTING SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. REFER ANY SERVICES DISCOVERED ONSITE WHICH ARE NOT SHOWN ON THE DRAWINGS, OR ARE IN A DIFFERENT LOCATION TO THAT SHOWN, TO GANDY AND ROBERTS. THE CONTRACTOR SHALL UNDERTAKE ALL NECESSARY INVESTIGATIONS, INCLUDING LIAISON WITH SERVICE AUTHORITIES, TO DETERMINE IF THE DISCOVERED SERVICES ARE LIVE. THE CONTRACTOR SHALL NOTIFY GANDY AND ROBERTS IN WRITING THAT REDUNDANT SERVICES HAVE BEEN LOCATED AND REQUEST APPROVAL TO SEAL AND ABANDON THOSE SERVICES.
- G7 PROTECT ALL EXISTING SERVICES AND OTHER INFRASTRUCTURE FROM DAMAGE DURING CONSTRUCTION. SHOULD DAMAGE OCCUR, ADVISE GANDY AND ROBERTS IMMEDIATELY ALONG WITH DETAILS OF PROPOSED REMEDIAL ACTION. THE COST OF REMEDIAL WORK (INCLUDING REDESIGN IF REQUIRED) SHALL BE BORNE BY THE CONTRACTOR.
- G8 THE CONTRACTOR IS RESPONSIBLE FOR UNDERTAKING WHATEVER DILAPIDATION SURVEYS OF EXISTING BUILDINGS/INFRASTRUCTURE THEY CONSIDER NECESSARY PRIOR TO CONSTRUCTION COMMENCING, AND CONSULTATION WITH ADJOINING LAND OWNERS TO MINIMISE DISRUPTION TO SERVICES/ACCESS ETC. DURING CONSTRUCTION.
- G9 ALL SURPLUS CONSTRUCTION MATERIALS (INCLUDING EXCESS CUT AND FILL MATERIAL) SHALL BE REMOVED FROM THE SITE (UNLESS INSTRUCTED OTHERWISE) AT COMPLETION OF THE WORKS.
- G10 SURVEY INFORMATION HAS BEEN SUPPLIED BY LEARY COX & CRIPPS LAND & ENGINEERING SURVEYORS FOR THE PURPOSES OF PREPARING THE DESIGN DRAWINGS. ALL OTHER SURVEY REQUIRED TO SETOUT AND CONSTRUCT THE WORKS SHALL BE PROVIDED BY THE CONTRACTOR USING A REGISTERED SURVEYOR.
- G11 ALL WORKS ARE TO BE UNDERTAKEN BY THE CONTRACTOR AND THEIR SUBCONTRACTORS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- G12 PROPOSED CHANGES TO THE DESIGN OF ANY PART OF THE WORKS SHALL BE SUBMITTED TO GANDY AND ROBERTS FOR REVIEW. THE CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH THE DESIGN CHANGE.
- G13 THE CONTRACTOR IS TO ALLOW FOR ALL TESTING OF RAW MATERIALS AND CONSTRUCTED WORKS THAT IS REQUIRED TO DEMONSTRATE COMPLIANCE WITH THE NOMINATED AUSTRALIAN STANDARDS, SPECIFICATIONS, AND STANDARD DRAWINGS. RESULTS OF TESTS SHALL BE PROVIDED TO GANDY AND ROBERTS ON REQUEST.
- G14 IF PROTECTION WORKS ARE REQUIRED THE CONTRACTOR SHALL ADVISE THE PROPERTY OWNER THAT THEY ARE REQUIRED TO NOTIFY ADJOINING PROPERTY OWNERS OF THEIR INTENTION TO UNDERTAKE PROTECTION WORKS IN ACCORDANCE WITH PART 6 OF THE BUILDING ACT 2016. THE CONTRACTOR SHALL REFER THE PROPERTY OWNER TO FORM 6 - NOTICE FOR PROPOSED PROTECTION WORK AVAILABLE ON THE CBOS WEBSITE. THE CONTRACTOR SHALL NOT COMMENCE WORKS UNTIL CONFIRMATION HAS BEEN RECEIVED FROM THE PROPERTY OWNER THAT THIS PROCESS HAS BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING ACT 2016.
- G15 THE IDENTIFICATION OF A PROPRIETARY ITEM DOES NOT NECESSARILY IMPLY EXCLUSIVE PREFERENCE FOR THE ITEM IDENTIFIED BUT SHALL BE DEEMED TO INDICATE THE REQUIRED PROPERTIES OF THE ITEM, SUCH AS QUALITY, PERFORMANCE AND THE LIKE. SIMILAR ITEMS HAVING THE REQUIRED PROPERTIES MAY BE OFFERED BY THE CONTRACTOR FOR APPROVAL, WHEN OFFERING AN ALTERNATIVE FOR APPROVAL, THE CONTRACTOR MUST PROVIDE ALL AVAILABLE TECHNICAL INFORMATION REQUESTED BY THE SUPERINTENDENT.
- G16 PROPRIETARY ITEMS SHALL BE USED, FITTED, INSTALLED AND FINISHED IN ACCORDANCE WITH THE WRITTEN INSTRUCTIONS AND RECOMMENDATIONS OF THE SUPPLIER OR MANUFACTURER.
- G17 ON COMPLETION, THE CONTRACTOR SHALL SUPPLY AS CONSTRUCTED DRAWINGS (PREPARED BY A REGISTERED SURVEYOR IN ACCORDANCE WITH AS 1000.41) AND FULL SERVICE MANUAL IN ELECTRONIC (PDF AND DWG) FORMATS AS CONSTRUCTED DRAWINGS SHALL BE PREPARED IN ACCORDANCE WITH TASWATER'S, THE LOCAL AUTHORITY'S AND/OR THE CLIENT'S REQUIREMENTS.

TEMPORARY WORKS

THE CONTRACTOR IS REQUIRED TO CARRY OUT ALL TEMPORARY WORKS NECESSARY TO ENABLE COMPLETION OF THE WORKS (INCLUDING THE ENGAGEMENT OF SUITABLY QUALIFIED DESIGNERS AND IS RESPONSIBLE FOR ALL ASSOCIATED COSTS). THIS INCLUDES (BUT IS NOT LIMITED TO) THE FOLLOWING: PRECAST PANEL PROPPING, FORMWORK, SCAFFOLDING, SHORING, BACK PROPPING OF SUSPENDED SLABS.

APPROVALS

- A1. PRIOR TO CONSTRUCTION COMMENCING, THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT A VALID BUILDING AND ENGINEERING PERMIT IS IN PLACE FOR THE WORK AND THAT THE RELEVANT AUTHORITIES ARE NOTIFIED AND ALLOWED TO INSPECT AT THE NOMINATED HOLD POINTS.
- A2. WHERE PUBLIC WORKS ARE BEING UNDERTAKEN THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE LOCAL AUTHORITY AND/OR TASWATER PERMIT TO CONSTRUCT, AS APPLICABLE, PRIOR TO CONSTRUCTION COMMENCING. THIS INCLUDES SUBMITTING REQUESTS FOR LOCAL AUTHORITY ROAD OPENING, STORMWATER CONNECTIONS AND TASWATER SERVICE CONNECTIONS.
- A3. UNLESS NOMINATED OTHERWISE, THE FOLLOWING INSPECTION REGIME SHALL BE ADOPTED:
- ROAD FORMATIONS
 - INSPECTION OF SUBGRADE, SUBBASE AND BASE LIFTS, KERBING AND SEAL BY THE LOCAL AUTHORITY AND GANDY AND ROBERTS;
 - STORMWATER
 - INSPECTION OF STORMWATER LINES BY THE LOCAL AUTHORITY;
 - SEWER AND WATER
 - SEWER AND WATER INFRASTRUCTURE TO BE OWNED BY TASWATER TO BE INSPECTED AND SELF-CERTIFIED BY CIVIL CONTRACTOR OR THEIR SUBCONTRACTOR SEWER PIPELINE PRIOR TO BACKFILLING BY GANDY AND ROBERTS ;
 - AS-BUILT SERVICES SURVEYS
 - WATER, SEWER, STORMWATER SURVEYS UNDERTAKEN BY CONTRACTOR'S REGISTERED LAND SURVEY OR (DEPTH OF WATER RETICULATION RECORDED PRIOR TO BACKFILLING);
 - INSTALLATION OF OTHER IN-GROUND SERVICES
 - POWER, COMMUNICATIONS, GAS ETC. UNDERTAKEN BY THE RELEVANT MANAGING AUTHORITY;
 - DEFECT'S LIABILITY INSPECTION
 - BY GANDY AND ROBERTS.
- A4. A MINIMUM OF 24 HOURS NOTICE IS REQUIRED FOR GANDY AND ROBERTS TO ATTEND THE SITE. DO NOT RELY UPON FACSIMILE OR EMAIL TO COMMUNICATE REQUESTS - MAKE CONTACT WITH OUR OFFICE TO CONFIRM ATTENDANCE.
- A5. INSPECTION OF ROAD FORMATIONS MAY INVOLVE PROOF ROLLING WITH A TEST VEHICLE. CONFIRM WITH GANDY AND ROBERTS AND ENSURE A SUITABLE VEHICLE IS AVAILABLE AT THE TIME OF INSPECTION. REFER NOTE R11 FOR ADDITIONAL REQUIREMENTS
- A6. PHOTOGRAPHIC DOCUMENTATION IS NOT AN ADEQUATE BASIS TO PROCEED BEYOND A HOLD POINT UNLESS APPROVED BY GANDY AND ROBERTS.

WORK HEALTH AND SAFETY

- HS1. THE MAIN CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COMPLY WITH THE STATE WORK HEALTH AND SAFETY ACT, REGULATIONS, AND ALL RELEVANT CODES OF PRACTICE
- HS2. THE GANDY AND ROBERTS DESIGN SAFETY REPORT 25 0249 REVISION 5 FORMS AN INTEGRAL PART OF THIS DOCUMENTATION. THIS REPORT IDENTIFIES SAFETY RISKS AND PROPOSES CONTROL MEASURES TO BE FOLLOWED BY THE CONTRACTOR AND THE BUILDING OPERATOR. CONTROLS AND HAZARDS REQUIRING MORE EXPLANATION THAN IN THE SAFETY REPORT ARE HIGHLIGHTED IN OUR DRAWINGS WITH AN EXCLAMATION MARK IN THE TRIANGLE SYMBOL AS SHOWN
- HS3. SHOULD THE MAIN CONTRACTOR OR SUB-CONTRACTORS IDENTIFY OMISSIONS OR ERRORS IN THE REPORT RELATED TO THE SCOPE OF GANDY AND ROBERT'S WORK ON THE PROJECT, OR HAVE SAFER WAYS OF WORKING, THEY SHOULD CONTACT GANDY AND ROBERTS PRIOR TO CONSTRUCTION
- HS4. SHOULD THE CONTRACTOR PROPOSE AN ALTERNATIVE DESIGN, THIS SHALL BE PRESENTED WITH APPROPRIATE SAFETY RISK PLANNING TO GANDY AND ROBERTS FOR REVIEW

EARTHWORKS

- E1. ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH AS3798 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS" WITH TESTING METHODS IN ACCORDANCE WITH AS1289 "METHODS OF TESTING SOILS FOR ENGINEERING PURPOSES"
- E2. THE EXISTING SURFACE INCLUDING VEGETATION AND DEBRIS UNDER THE BUILDING AND PAVED AREAS SHALL BE TOTALLY REMOVED OR REMOVED TO A DEPTH OF NOT LESS THAN 200 mm WHICHEVER IS THE LESSER TREATMENT. THE LAYER TO BE REMOVED INCLUDES ANY MATERIAL THAT MAY BE UNSUITABLE TO SUPPORT THE PROPOSED WORKS. TOP SOIL TO BE STOCKPILED AS DIRECTED, AND VEGETATION AND DEBRIS REMOVED FROM SITE UNLESS NOTED OTHERWISE. TREE STUMPS SHALL BE FULLY GRUBBED, MINIMUM DEPTH OF 300 mm, AND HOLES FILLED WITH MATERIAL SIMILAR TO THE SURROUNDING MATERIAL AND COMPACTED TO THE SAME DEGREE AS THE SURROUNDING MATERIAL.
- E3. FOR EXCAVATION PURPOSES, ROCK IS DEFINED AS HARD OR STRONGLY CEMENTED BEDS OR MASSES WHICH CANNOT BE RIPPED AT THE FOLLOWING PRODUCTION RATES (INSITU VOLUMES) FOR THE PARTICULAR CLASS OF EQUIPMENT, AS DEFINED IN AS2868
- GENERAL EXCAVATION
- MACHINE EQUIPPED WITH A HEAVY DUTY, SINGLE TINE PARALLEL GRAM RIPPER (APPROVED BY THE MACHINE MANUFACTURER FOR USE ON THE PARTICULAR MACHINE IN ROCK)
- EXCAVATOR OPERATING MASS $\geq 27T$ -38T. EXCAVATION RATE SOLID 10 m³ PER HOUR
- EXCAVATOR OPERATING MASS $\geq 38T$ -44T. EXCAVATION RATE SOLID 15 m³ PER HOUR
- TRENCH EXCAVATION
- MACHINE FITTED WITH A HEAVY DUTY BUCKET AND TEETH WITH HIGH PENETRATION BOOTS (APPROVED BY THE MACHINE MANUFACTURER FOR USE ON THE PARTICULAR MACHINE IN ROCK)
- EXCAVATOR OPERATING MASS $\geq 12.5T$ -15T, 450mm WIDE BUCKET, MAXIMUM PRODUCTION RATE SOLID OF 15 m³ PER HOUR
- EXCAVATOR OPERATING MASS $\geq 19T$ -23T, 600mm WIDE BUCKET, MAXIMUM PRODUCTION RATE SOLID OF 3 m³ PER HOUR
- E4. ANY INTERFACE BETWEEN CUT AND FILL, SHALL BE NO STEEPER THAN 1V:4H. CUT HORIZONTAL BENCHES FOR ANY FILL PLACED ON GROUND STEEPER THAN 1V:4H
- E5. ALL EXCAVATIONS SHALL BE INSPECTED BY GANDY AND ROBERTS AND/OR THE LOCAL AUTHORITY BEFORE PROCEEDING ANY FURTHER. INSPECTION AND TESTING SHALL OCCUR AFTER EACH LIFT DURING FILLING. TESTING IN ACCORDANCE WITH TABLE 8.1 OF AS 3798 SHALL BE ARRANGED BY THE CONTRACTOR SUCH THAT THE RESULTS ARE AVAILABLE AT THE TIME OF INSPECTION. THE CONTRACTOR SHALL ENGAGE A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER TO UNDERTAKE LEVEL 1 INSPECTION AND TESTING OF COMPLETED FILL WITHIN COMMERCIAL AND RESIDENTIAL PROPERTIES IN ACCORDANCE WITH AS 3798 AND PROVIDE A STATEMENT OF COMPLIANCE. EARTHWORKS WITHIN PUBLIC ROAD RESERVATIONS ARE NOT REQUIRED TO BE SUPERVISED BY THE GEOTECHNICAL ENGINEER.

E6. THE SUBGRADE SHALL

- OF WITNESSING SOIL DEFLECTION FROM THE TYRE OF A SINGLE REAR AXLE TRUCK DRIVEN AT WALKING SPEED WITH A MINIMUM 8 TONNE REAR AXLE LOAD AND A TYRE PRESSURE OF 550 kPa EACH LAYER SHALL BE PROOF ROLL TESTED WITH NO VISIBLE MOVEMENT OBSERVED. OTHER VEHICLES THAT MAY BE ALLOWED BY GANDY AND ROBERTS ARE A 12 TONNE STATIC ROLLER WITH 6 TONNE/m LOAD, OR 20 TONNE PLANT WITH 450 kPa TYRES AND GREATER THAN 0.035 m² CONTACT AREA PER TYRE
- E7 FILL SHALL BE PLACED IN HORIZONTAL LAYERS OF 200 TO 300 mm DEEP LOOSE MEASUREMENT, UNLESS TESTING CASE REVEALS THAT GANDY AND ROBERTS THAT COMPACTION IS ADEQUATE. WITH LARGER LIFTS, CONTACT EACH LAYER OF FILL WITHIN 1% OF ITS OPTIMUM MOISTURE CONTENT. MAXIMUM PARTICLE SIZE IS TWO THIRDS DEPTH OF EACH LIFT. EACH LAYER IS TO BE PROOF ROLL TESTED, NUCLEAR DENSITY TESTING TO BE UNDERTAKEN AT A FREQUENCY BASED ON AS3798 TYPICALLY THE GREATER OF FOUR TESTS PER INSPECTION OR ONE TEST PER 1000 m². FOR MATERIAL 60 mm AND COARSER, IN- LIEU OF DENSITY TESTING A TEST BY DEFLECTION, SHALL BE DONE USING SPO LEVEL DIFFERENCE AT REPRESENTATIVE LOCATIONS BEFORE AND AFTER ROLLING THREE TIMES WITH A 12 TONNE STATIC ROLLER, WITH ACCEPTABLE DIFFERENCES BEING LESS THAN 2 mm
- E8 ALL PROOF ROLLING SHALL BE WITNESSED BY GANDY AND ROBERTS. A MINIMUM OF TWO PASSES FOR EACH SECTION BEING TESTED IS REQUIRED, WITH A PASS DEFINED AS TRAVEL ACROSS ONE FULL LENGTH OF THE AREA BEING TESTED. COMPLIANCE WITH PROOF ROLLING REQUIREMENTS SHALL BE WHEN AN AREA WITHSTANDS PROOF ROLLING WITHOUT VISIBLE DEFORMATION OR SPRINGING
- E9 COHESIONLESS (GRANULAR) FILL SHALL BE USED UNLESS OTHERWISE APPROVED BY GANDY AND ROBERTS. COHESIONLESS (GRANULAR) FILL SHALL HAVE LESS THAN 15% PASSING THE 75 MICRON SIEVE, WITH GRADING CURVES SUBMITTED FOR APPROVAL. COHESIONLESS FILL SHALL BE COMPACTED TO THE REQUIREMENTS OF TABLE 5.1 OF AS 3798. COHESIVE FILL SHALL HAVE A MINIMUM 1 DAY SOAKED CBR 5% AND A MAXIMUM CBR SWELL OF 1%. MINIMUM STANDARD DENSITY RATIOS FOR COHESIVE MATERIAL SHALL BE AS PER TABLE 5.1 OF AS 3798. REACTIVE CLAY SHALL HAVE A MAXIMUM STANDARD DENSITY RATIO OF 100% LANDSCAPING ZONES SHOULD BE COMPACTED TO STANDARD DENSITY RATIO OF 85% UNLESS NOTED OTHERWISE
- ## ROADWORKS
- R1 ALL ROADWORKS, FOOTPATHS & DRIVEWAYS SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENT ASSOCIATION TASMANIA "TASMANIAN MUNICIPAL STANDARDS" INCLUDING THIS SPECIFICATIONS, DRAWINGS AND SUBDIVISION GUIDELINES. IPWA STANDARD DRAWINGS ARE REFERENCED IN THIS DRAWING SET BY THE ABBREVIATION "IPWA"
- R2 IT IS ASSUMED ROADS ACCESSING THE DEVELOPMENT SITE ARE ADEQUATE TO TAKE THE DESIGN TRAFFIC LOAD DURING THE DESIGN LIFE OF 40 YEARS.
- R3 PAVEMENT DEPTH SHALL AS BE SHOWN ON THE TYPICAL CROSS SECTION BUT SHALL BE SUBJECT TO CBR TESTING OF THE SUBGRADE OR PROOF ROLLING BY THE CONTRACTOR, WITH FINAL DEPTH TO BE CONFIRMED BY GANDY AND ROBERTS
- R4 KERB AND CHANNEL SHALL BE FORMED ON A MINIMUM OF 100 mm SUB-BASE WHICH SHALL EXTEND A MINIMUM 150 mm BEYOND THE BACK OF THE KERB
- R5 SUBSOIL DRAINS SHALL BE PROVIDED AT ALL LOCATIONS WHERE THE PAVEMENT IS BELOW GROUND LEVEL AND AS SHOWN ON THE DRAWINGS. PIPE AND FITTINGS SHALL BE PROPRIETARY ITEMS COMPLYING WITH AS2439.1
- R7 ALL RADII ARE TO THE BACK OF KERB UNLESS NOTED OTHERWISE



ROADWORKS (CONTINUED)

- R0 THE ROAD PROFILE AND CROSS FALL SHALL BE FINISHED TO THE SATISFACTION OF GANDY AND ROBERTS AND SHALL BE TO THE LINE AND LEVEL INDICATED ON THE DRAWINGS, FREE OF ANY LOCAL HIGH OR LOW AREAS WHICH MAY HOLD WATER.
- R9 ALL GRAVEL SHALL COMPLY WITH THE FOLLOWING TASMANIAN DEPARTMENT OF STATE GROWTH (DSG) SPECIFICATIONS:
BASE COURSE CLASS 2 FINE CRUSHED ROCK (FCR) (PREVIOUSLY R40 CLASS A - 20 mm)
SUB-BASE COURSE CLASS 3 FCR (PREVIOUSLY SUB-BASE - 1 - 40 mm)
- R10 SUB-BASE AND BASE SHALL HAVE A MINIMUM DRY DENSITY RATIO OF 95% AND 98% MODIFIED COMPACTION RESPECTIVELY, WITH NUCLEAR DENSITY TEST RESULTS AVAILABLE AT THE PROOF ROLL INSPECTION TESTS TO BE TAKEN AT A FREQUENCY BASED ON AS3798 (TYPICALLY THE GREATER OF FOUR TESTS PER INSPECTION OR ONE TEST PER 1000 m²).
- R11 EACH PAVEMENT COURSE SHALL BE PROOF ROLL TESTED, ALL PROOF ROLL TESTING SHALL BE WITNESSED BY GANDY AND ROBERTS. THE TEST SHALL CONSIST OF WITNESSING DEFLECTION FROM THE TYPE OF A SINGLE REAR AXLE TRUCK DRIVEN AT WALKING SPEED WITH A MINIMUM 8 TONNE REAR AXLE LOAD AND A TYRE PRESSURE OF 550 KPa. COMPLIANCE WITH THE TEST ROLLING REQUIREMENTS SHALL BE WHEN AN AREA WITHSTANDS TEST ROLLING WITHOUT VISIBLE DEFORMATION OR SPRINGING.
- R12 PAVEMENT COURSE TOLERANCES SHALL COMPLY WITH THE DSG SPECIFICATION, SECTION 304, CLAUSE 304.06 WITH SCALE C SURFACE LEVEL REQUIREMENTS APPLYING.
- R13 TRENCHES AND EXCAVATIONS WITHIN TRAFFICABLE PAVEMENTS SHALL BE BACKFILLED TO SUBGRADE LEVEL WITH 20 mm FCR TO A MINIMUM DENSITY OF 95% STANDARD COMPACTION MATCH EXISTING PAVEMENT ABOVE SUBGRADE. PUBLIC DENSITY TESTING TO BE UNDERTAKEN AS DIRECTED WITHIN COMMERCIAL SITES AND NEAR ROAD RESERVES.
- R14 ASPHALT SEALS SHALL BE A TYPE B MIX WITH CLASS 10 BITUMEN IN ACCORDANCE WITH AAPA ADVISORY NOTES 5, UNLESS NOTED OTHERWISE ON THE DRAWINGS. THE SEAL SHALL BE PLACED ON A CLEAN SWEPT SURFACE WITH A BITUMEN EMULSION COAT APPLIED.
- R15 SPRAYED BITUMINOUS SURFACINGS SHALL BE IN ACCORDANCE WITH DSG SPECIFICATION SECTION 408. REMOVAL OF LOOSE AGGREGATE SHALL BE UNDERTAKEN IN ACCORDANCE WITH CLAUSE 408.14 OF THE SPECIFICATION.
- R16 ALL LANDSCAPED AREAS AFFECTED BY THE WORKS SHALL BE REINSTATED TO MATCH EXISTING REFER LANDSCAPE ARCHITECT FOR SPECIFIC REQUIREMENTS.

STORMWATER

- SW1 ALL WORKS SHALL BE IN ACCORDANCE WITH LOCAL GOVERNMENT ASSOCIATION TASMANIA - IPWEA STANDARD DRAWINGS, REFERENCED IN THIS DRAWING SET BY THE ABBREVIATION "TSD"
- SW2 ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITY'S SPECIFICATIONS, BY-LAWS AND AS/NZS 3500.3
- SW3 PIPE AND CHANNEL INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY 5% ANNUAL EXCEEDANCE PROBABILITY (AEP) STORMS, WITH OVERLAND FLOW PATHS PROVIDED FOR 1% AEP STORMS. IT IS ASSUMED THAT WATER FLOWING ONTO THE DEVELOPMENT SITE IS CONTAINED WITHIN LOCAL AUTHORITY INFRASTRUCTURE FOR 5% AEP STORMS AND THE ROAD RESERVE FOR 100 YEAR ARI STORMS
- SW4 STORMWATER TRENCHES, PIPE BEDDING AND BACK FILLING SHALL COMPLY WITH AS/NZS 3725 INSTALLATION REQUIREMENTS FOR TYPE H52 SUPPORT
- SW5 BELOW GROUND PIPEWORK AND FITTINGS SHALL BE PVC-U DN100 S100 FOR DN100 AND S80 FOR DN150 OR GREATER, JOINTS SHALL BE OF SOLVENT CEMENT TYPE OR FLEXIBLE JOINTS MADE WITH APPROVED RUBBER RINGS UNLESS OTHERWISE STATED ON THE DRAWINGS
- SW6 ALL TRENCHES UNDER TRAFFICKED AREAS, INCLUDING FUTURE DRIVEWAY EXTENSIONS, SHALL BE BACK FILLED WITH APPROVED COMPACTED CLASS 2 FCR OR CEMENT STABILISED SAND WITH NOT LESS THAN 4% CEMENT BY WEIGHT OF CEMENT
- SW7 MINIMUM GRADE OF PAVED AREAS AND PIPEWORK SHALL BE 1 IN 100. PAVED AREAS SHALL BE SHAPED TO DRAIN TO GRATED PITS AND TRENCHES WITHOUT POONDING (ACCEPTABLE LIMIT IS 3 mm over A 2 m STRAIGHT EDGE)
- SW8 SURFACE WATER DRAINAGE, CATCH PITS/GRATED PITS AND JUNCTION BOXES SHALL BE CONSTRUCTED AS DETAILED OR AS SPECIFIED BY THE MANUFACTURER. GRATED PITS TO HAVE SUMPS AS NOTED ON THE DRAWINGS. PITS AND LIDS TO BE CLASS A IN NON-TRAFFICKED AREAS AND CLASS B IN RESIDENTIAL DRIVEWAYS. PRE-CAST CONCRETE PITS AND LIDS WITH CLASS C OR CLASS D RATING SHALL BE USED ELSEWHERE OR AS NOTED ON THE DRAWINGS. ALL COVERS AND GRATES SHALL COMPLY WITH AS3796. CONCRETE TRENCH WATER INLET TO PITS/MANHOLES THROUGH WEEP HOLES ON UPSTREAM SIDE USING 2m of DN100 SUBSIDIARY DRAIN WITH FILTER SOCK
- SW9 SUBSOL DRAINAGE SHALL BE INSTALLED TO THE REQUIREMENTS OF AS/NZS 3500 AND PART 312 OF THE BCA. PERFORATED PVC DRAINAGE PIPE AND FITTINGS SHALL COMPLY WITH AS25439.1 ALL CONNECTIONS AND FITTINGS SHALL BE MADE USING PURPOSE SPECIFIC PROPRIETARY ITEMS
- SW10 ALL HYDRAULIC CONNECTIONS SHALL BE CLEAR OF DRIVEWAYS AND TRAFFICKED AREAS
- SW11 WHERE BOTH STORMWATER AND SEWER LINES ARE ALONG REAR AND SIDE BOUNDARIES THEY SHALL BE LOCATED TO FIT INSIDE A 3.0 m EASEMENT UNLESS NOTED OTHERWISE. A SINGLE STORMWATER LINE SHALL FIT WITHIN A 2.5 m EASEMENT
- SW12 ALL MANHOLES SHALL BE LOCATED CLEAR OF FUTURE FENCE LINES
- SW13 PROPERTY CONNECTIONS SHALL BE CLEAR OF DRIVEWAYS, CLEAR OF FUTURE FENCE LINES AND BE LOCATED 600mm INSIDE THE BOUNDARY
- SW14 ALL ACCESS COVERS, INCLUDING COVER BOXES, SHALL COMPLY WITH AS 3996 2019

PUBLIC SEWER

- S1 ALL WORKS SHALL BE IN ACCORDANCE WITH THE SEWERAGE CODE OF AUSTRALIA (SCA) W.S.A.
02-2014-31 M.R.W.A. EDITION - VERSION 2 AND TASWATER'S CURRENT SUPPLEMENT TO THE CODE
- S2 PROPERTY CONNECTIONS SHALL BE DN100 PVC-U WITH A MINIMUM GRADE OF 1 IN 60 (REFER ABOVE CODE
FOR DETAILS) AND SHALL BE LOCATED CLEAR OF TRAFFICKED AREAS, DRIVEWAYS AND FENCES
- S3 WHERE BOTH STORMWATER AND SEWER LINES ARE LOCATED ALONG A REAR OR SIDE BOUNDARY
THEY SHALL BE LOCATED IN AN EASEMENT THAT WHOLLY CONTAINS BOTH SERVICES AND THEIR
RESPECTIVE APPURTENANCES. EASEMENTS AND OFFSETS SHALL BE IN ACCORDANCE WITH TABLE
111-1 DRAINING MRWA-S-111 IN THE ABOVE CODE AND TASWATER'S SUPPLEMENT CLAUSE 5.2.8
- S4 CLEARANCES TO OTHER SERVICES SHALL BE IN ACCORDANCE WITH TABLE 5.4 IN THE ABOVE CODE
- S5 ALL MAINTENANCE STRUCTURES SHALL BE LOCATED CLEAR OF FUTURE FENCE LINES WITH END OF
LINES TO BE 12 M PASST THE BOUNDARY FOR ANY FUTURE EXTENSION.
- S6 ALL ACCESS COVERS, INCLUDING COVER BOXES, SHALL COMPLY WITH AS 3996 2019.
- ## PUBLIC WATER
- W1 ALL WORKS SHALL BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA (WSCA) W.S.A
03-2011-31 M.R.W.A. EDITION - VERSION 2 AND TASWATER'S CURRENT SUPPLEMENT TO THE CODE
- W2 UNLESS NOTED OTHERWISE, SINGLE HOUSE CONNECTIONS SHALL BE DN25 HDPE PN16 TO TASWATER'S
STANDARD DRAWING TWS-W-0002 SERIES WITH VALVE, 'SENSUS' WATER METER, AND BOX TO EACH
LOT. CONNECTIONS SHALL BE LOCATED 500 mm INSIDE BOUNDARY AND 500 mm FROM EDGE OF
DRIVEWAY ON MIDDLE SIDE OF LOT, UNLESS NOTED OTHERWISE
- W3 ALL WATER MAINS SHALL BE TESTED AND WITNESSED BY TASWATER TO STATIC PRESSURE PLUS
50% PRIOR TO BACKFILLING.
- W4 ALL HYDRAULIC CONNECTIONS AND TAPPINGS TO BE CLEAR OF DRIVEWAYS AND TRAFFICKED AREAS.
- W5 FOR MINIMUM COVER OVER PIPES REFER WSCA DRAWING MRWA-W-202
- W6 FOR MINIMUM CLEARANCES TO OTHER SERVICES REFER TO TASWATER'S SUPPLEMENT CLAUSE 5.12.5.2
RECOMMENDATIONS

- GANDY AND ROBERTS**
CONSULTING ENGINEERS
- 159 DAVEY ST, HOBART
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mail@gandyandroberts.com.au
ph 03 6223 8877
- PROPOSED WAREHOUSE
12-14 STANTON PLACE,
TASMANIA 7170
DRAWING TITLE
DRAWING INDEX AND INDEX

PUBLIC WATER (CONTINUED)

- | | |
|-----|--|
| W7 | ALL TRENCHES UNDER TRAFFICKED AREAS SHALL BE BACK FILLED WITH APPROVED COMPACTED CLASS 2 FCR INCLUDING FUTURE DRIVEWAY EXTENSIONS. |
| W8 | FLUSHING OF MAINS TO BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS |
| W9 | ELECTROMAGNETIC TRACKER TAPE SHALL BE PLACED IN ALL WATER MAIN TRENCHES ABOVE THE PIPE |
| W10 | WATER MAINS SHALL BE BEDDED ON 80 mm APPROVED 7 mm CLEAN METAL |
| W11 | CONCRETE ANCHOR BLOCKS SHALL BE PROVIDED AT ALL SUDEN CHANGES OF DIRECTION, BOTH VERTICALLY AND HORIZONTALLY AT TEES AND END OF LINES. REFER TO WSCA DRAWINGS MRWA-W-205A, MRWA-W-205B AND MRWA-W-205C. |
| W12 | ROAD CROSSINGS
DN100 PVC-U CONDUITS, CLASS SN6, FOR ALL HDPE.
DICI WITH PE WRAPPING SLEEVE TO AS 3680 |
| W13 | FOR VALVE AND HYDRANT SURFACE BOX MARKINGS REFER TO TASWATER'S SUPPLEMENT CLAUSE 8 B & CLAUSE 8 I 0.3. HYDRANT ROAD MARKINGS SHALL COMPLY WITH THE IPWA TASMANIA DIVISION DOCUMENT TITLED FIRE HYDRANT GUIDELINES - REFER SECTION 8 ALL VALVES AND HYDRANTS TO BE RESILIENT SEATED POWDER COATED CLASS 16 AND ALL COMPONENTS TO BE DN100 |
| W14 | ALL ACCESS COVERS, INCLUDING COVER BOXES, SHALL COMPLY WITH AS 3996:2019 |

CONCRETE

- C1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600
- C2 CONCRETE GRADES (UNO ON DRAWINGS)
- | ELEMENT | GRADE | ELEMENT | GRADE |
|----------|-------|----------|-------|
| GENERAL | N25 | BLINDING | N15 |
| FOOTINGS | N20 | PAVEMENT | N25 |
- C3 CONCRETE SHALL NOT BE POURED WHEN THE SITE TEMPERATURES ARE BELOW 5°C
- C4 CONCRETE SHALL BE CURED BY CONTINUOUS WETTING / WATER SPRAY, PONDING OR IRRIGATED HESSIAN APPLICATION OF AN IMPERMEABLE MEMBRANE (SECURED PLASTIC) OR CURING COMPOUND FOR A MINIMUM PERIOD OF TIME (NOT LESS THAN 3 DAYS) IN HOT DRY AND WINDY WEATHER SPRAY THE SURFACE WITH ALIPHATIC ALCOHOL WHILE CONCRETE IS PLASTIC, WATER CURE FOR AT LEAST 24 HOURS THEN COVER WITH IMPERMEABLE MEMBRANE (OR CONTINUE TO WATER CURE) FOR A FURTHER 2 DAYS.
- C5 CONSTRUCTION JOINTS SHALL BE PROPERLY FORMED AND USED ONLY WHERE SHOWN OR SPECIFICALLY APPROVED BY GANDY AND ROBERTS. SAWN JOINTS SHALL BE CUT ONE THIRD OF THE WAY THROUGH AT 4.1m, THROUGH THE TOP MESH FOR 100 mm SLABS AND IN THICKER WALLS TO THE FULL MESH SHALL BE PLACED TO AVOID BEING CUT. UNLESS NOTED ELSEWHERE, SAWN JOINTS SHALL BE AT 7.6m CENTRES AND AT POINTS OF CHANGES IN GEOMETRY AND CONSTRUCTION JOINTS AT 18 m WITH JOINTED AREAS TO HAVE A PLAN ASPECT RATIO NO SLENDERER THAN 12
- C7 REINFORCEMENT SHALL BE DEFORMED, 500 MPa YIELD STRENGTH, NORMAL (N) DUCTILITY IN ACCORDANCE WITH AS/NZS 4671 FOR BARS AND LOW (L) DUCTILITY FOR MESH
- C8 FORMWORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 3610 AND IS THE RESPONSIBILITY OF THE CONTRACTOR
- C9 ALL STEEL ITEMS TO BE CAST INTO THE CONCRETE SURFACE SHALL BE HOT DIP GALVANISED

LEGEND

- | | |
|--|--|
| <ul style="list-style-type: none"> • 9.80 • 9.80 • 9.60 <p>(Δ-2.5)</p> | <p>EXISTING SURFACE LEVEL</p> <p>PROPOSED BULK EARTHWORKS LEVEL</p> <p>PROPOSED FINISHED SURFACE LEVEL</p> <p>CUT (-)/FILL DEPTH</p> |
| | EXISTING WATER SUPPLY EXTERNAL TO BUILDING |
| | PROPOSED WATER SUPPLY EXTERNAL TO BUILDING |
| | EXISTING FIRE SUPPLY |
| | PROPOSED FIRE SUPPLY |
| | EXISTING SEWER DRAIN |
| | PROPOSED SEWER DRAIN |
| | EXISTING STORMWATER DRAIN |
| | PROPOSED STORMWATER DRAIN |
| | PROPOSED STORMWATER (LARGER) |
| | PROPOSED DN100 SUBSOIL DRAIN WITH GEOTEXTILE SOCK |
| | PROPOSED CONCRETE CONSTRUCTION JOINT |
| | PROPOSED CONCRETE KEY JOINT |
| | PROPOSED CONCRETE SAWN JOINT |
| | EXISTING BATTER |
| | PROPOSED BATTER |
| | PROPERTY BOUNDARY |
| | EXPANSION JOINT |
| | SWIVEL EXPANSION JOINT |



LOCALITY PLAN

SCALE: NTS

[illegible]

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SITWORKS NOTES

1. SURVEY PROVIDED AND COMPLETED BY LEARY COX & CRIPPS LAND & ENGINEERING SURVEYORS, DATED 26.06.2025, REFERENCE No. 13531
2. LOCATION OF SOME EXISTING SERVICES BASED ON DIAL BEFORE YOU DIG INFORMATION. CONTRACTOR TO CONFIRM ACTUAL LOCATION ON SITE PRIOR TO COMMENCING WORKS
3. PROPOSED SITE IS ZONED LIGHT INDUSTRIAL
4. SITE IS WITHIN AIRPORT OBSTACLE LIMITATION AREA

LEGEND

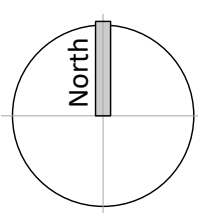
- CONCRETE FINISH
REFER TO C700 FOR DETAIL
- DRAINAGE AND SERVICES EASEMENT
REFER TO PLAN FOR WIDTHS



REV	DESCRIPTION	APP'D	DATE
B	PLANNING APPROVAL - CROSSOVER AMENDED	DH	14.08.2025
A	PLANNING APPROVAL	DH	29.07.2025

REV	DESCRIPTION	APP'D	DATE

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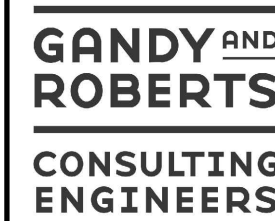
PROPOSED WAREHOUSE DEVELOPMENT
12-14 STANTON PLACE, CAMBRIDGE
TASMANIA 7170
DRAWING TITLE
OVERALL SITWORKS PLAN

DESIGNED DG	DRAWN DG	CHECKED DH
PROJECT 25.0249	DRAWING C200	REVISION B

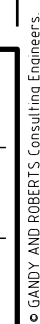
1. LOCATION OF SOME EXISTING SERVICES BASED ON DIAL BEFORE YOU DIG INFORMATION
2. CONTRACTOR TO CONFIRM ACTUAL LOCATION ON SITE PRIOR TO COMMENCING WORKS
3. EXISTING WATER MAIN LOCATED VIA POTHOLING ON SITE
4. LINE MARKING, WHERE INDICATED, DELINEATING PARKING SPACES TO BE 80mm WIDE
5. USING WHITE WATER BASED ACRYLIC LINE MARKING PAINT
6. PROVIDE WHEEL STOPS, WHERE INDICATED, TO A5/NZS 2890.1
7. JOINTS ON CURVES TO BE PERPENDICULAR TO EDGE AND MINIMUM 450 LONG BEFORE CHANGE OF DIRECTION
8. ALL PITS TO BE FINISHED FLUSH WITH SURFACE LEVEL.

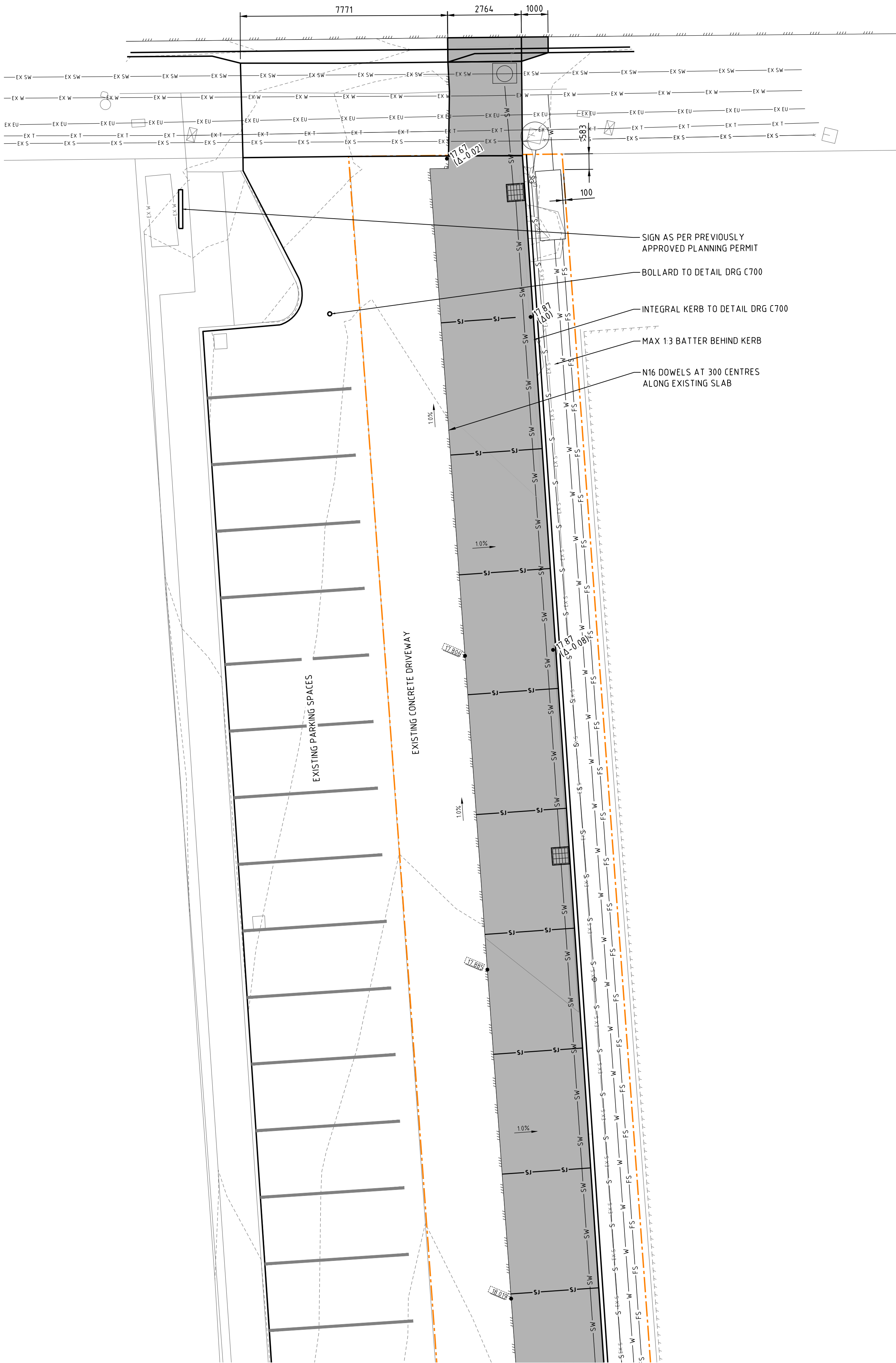


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PROPOSED WAREHOUSE DEVELOPMENT
12-14 STANTON PLACE, CAMBRIDGE
TASMANIA 7170
DRAWING TITLE
SITeworks PLAN SH.1





SITEWORKS NOTES

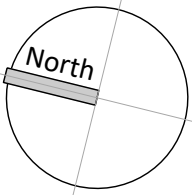
1. LOCATION OF SOME EXISTING SERVICES BASED ON DIAL BEFORE YOU DIG INFORMATION CONTRACTOR TO CONFIRM ACTUAL LOCATION ON SITE PRIOR TO COMMENCING WORKS.
2. EXISTING WATER MAIN LOCATED VIA POTHOLING ON SITE.
3. LINE MARKING, WHERE INDICATED, DELINEATING PARKING SPACES TO BE 80mm WIDE USING WHITE WATER BASED ACRYLIC LINE MARKING PAINT.
4. PROVIDE WHEEL STOPS, WHERE INDICATED, TO AS/NZS 2890.1
5. JOINTS ON CURVES TO BE PERPENDICULAR TO EDGE AND MINIMUM 450 LONG BEFORE CHANGE OF DIRECTION
6. ALL PITS TO BE FINISHED FLUSH WITH SURFACE LEVEL.

UNITS 1-3
16 STANTON PLACE
C.T. 186268/0

REV	DESCRIPTION	APP'D	DATE
B	PLANNING APPROVAL - CROSSOVER AMENDED	DH	14.08.2025
A	PLANNING APPROVAL	DH	29.07.2025

REV	DESCRIPTION	APP'D	DATE

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PROPOSED WAREHOUSE DEVELOPMENT
12-14 STANTON PLACE, CAMBRIDGE
TASMANIA 7170
DRAWING TITLE
SITWORKS PLAN SH.2

DESIGNED DG	DRAWN DG	CHECKED DH
PROJECT 25.0249	DRAWING C202	REVISION B

STORMWATER NOTES

1. ALL PRIVATE STORMWATER INFRASTRUCTURE SHALL COMPLY WITH AS/NZS 3500.3, THE NCC AND ANY OTHER AUTHORITY HAVING JURISDICTION OVER THE INSTALLATION
2. THE LOCATION OF SOME EXISTING SERVICES IS BASED ON DIAL BEFORE YOU DIG INFORMATION CONTRACTOR TO CONFIRM ACTUAL LOCATION ON SITE PRIOR TO COMMENCING WORKS
3. CONFIRM INVERT LEVEL OF ALL CONNECTION POINTS PRIOR TO COMMENCING ANY TRENCHING WORKS
4. INSPECTION SHAFTS WITHIN THE DRIVEWAY ARE TO BE PROVIDED WITH A TRAFFICABLE COVER BOX FINISHED FLUSH WITH THE FINISHED SURFACE
5. ALL PITS ARE TO BE FINISHED FLUSH WITH THE FINISHED SURFACE
6. SITE IS SUBJECT TO WATER SENSITIVE URBAN DESIGN AND DRAINS TO AN EXISTING OFF-SITE BIO-RETENTION BASIN. ONSITE STORMWATER DETENTION NOT REQUIRED BY DEVELOPMENT DUE TO NETWORK BEING SUITABLY SIZED FOR DEVELOPMENT DURING SUBDIVISION WORKS. WSUD REQUIREMENTS FURTHER PROVIDED DURING SUBDIVISION DEVELOPMENT, REFER DESIGN AND ADVICE BY ROSS CUMMING.

40 KENNEDY DRIVE
C.T. 117062/1

12 STANTON PLACE
C.T. 161088/13

UNITS 1-10
10 STANTON PLACE
C.T. 164519/0

UNITS 1-3
16 STANTON PLACE
C.T. 186268/0

20 STANTON PLACE
C.T. 163509/20

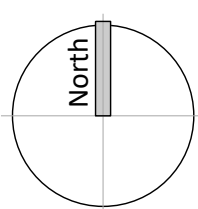
STANTON PLACE

S:\N\2025\34831\PM - 3\Project\A\2025\25.0249\1\21_16 Stanton Place\5 - JB drawings\DWG - Working drawings\dwg\25.0249_C_B4.dwg

REV	DESCRIPTION	APP'D	DATE
B	PLANNING APPROVAL - CROSSOVER AMENDED	DH	14.08.2025
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REV	DESCRIPTION	APP'D	DATE

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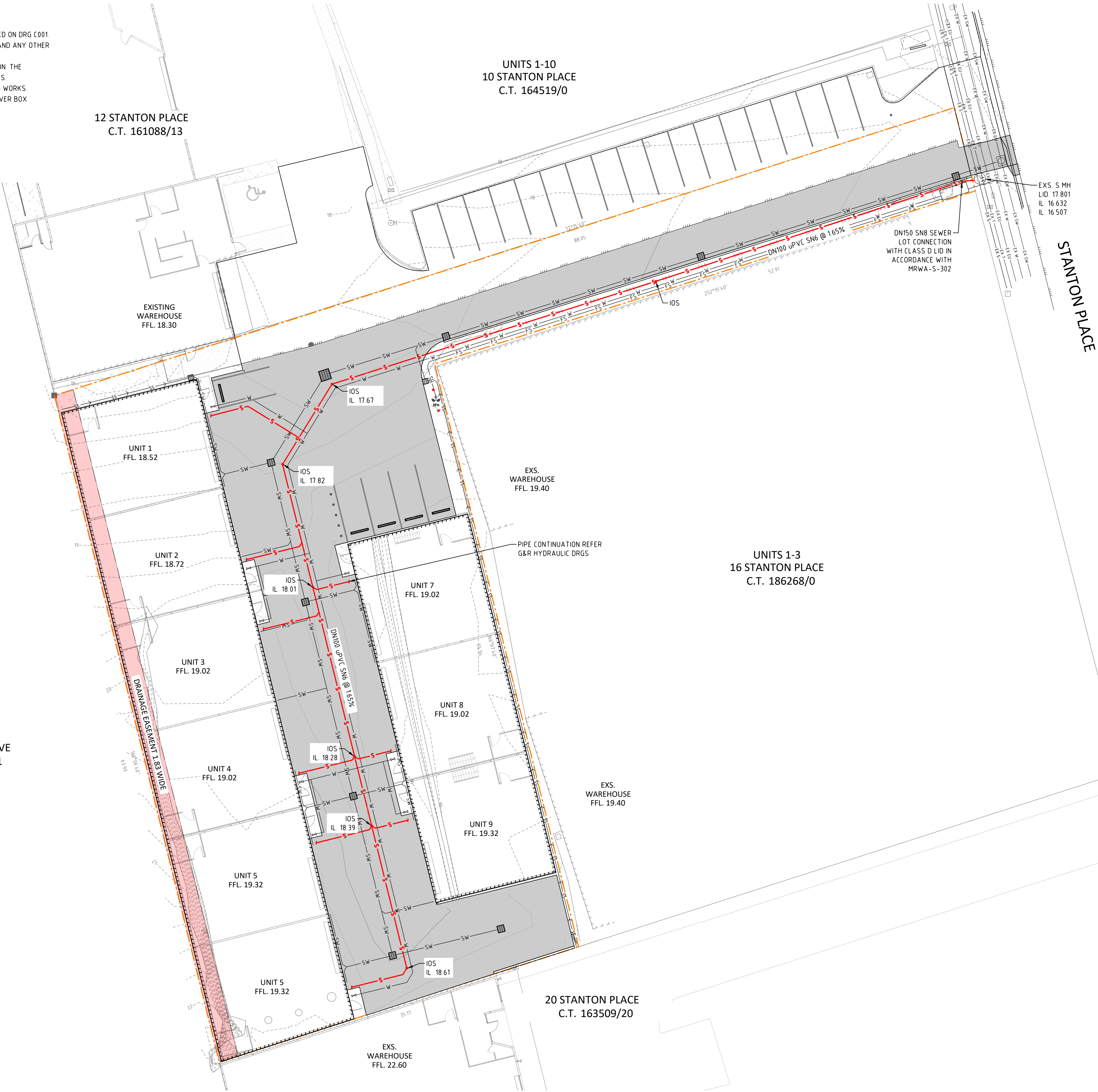
PROPOSED WAREHOUSE DEVELOPMENT
12-14 STANTON PLACE, CAMBRIDGE
TASMANIA 7170
DRAWING TITLE
STORMWATER PLAN

0 50mm SCALE 1:200@A1		
DESIGNED DG	DRAWN DG	CHECKED DH
PROJECT 25.0249	DRAWING C400	REVISION B

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SEWER NOTES

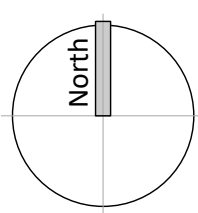
1. PUBLIC SEWER INFRASTRUCTURE WORKS SHALL COMPLY WITH THE REQUIREMENTS DETAILED ON DRG C001.
2. PRIVATE SEWER INFRASTRUCTURE WORKS SHALL COMPLY WITH AS/NZS 3500.2, THE NCC AND ANY OTHER AUTHORITY HAVING JURISDICTION OVER THE INSTALLATION.
3. THE LOCATION OF SOME EXISTING SERVICES IS BASED ON DIAL BEFORE YOU DIG INFORMATION. THE CONTRACTORS IS TO CONFIRM THE ACTUAL LOCATION ON SITE PRIOR TO COMMENCING WORKS.
4. CONFIRM INVERT LEVELS OF ALL CONNECTION POINT PRIOR TO COMMENCING ANY TRENCHING WORKS.
5. INSPECTION SHAFTS WITHIN THE DRIVEWAY ARE TO BE PROVIDED WITH A TRAFFICABLE COVER BOX FINISHED FLUSH WITH THE SURFACE.
6. ALL ACCESS COVERS, INCLUDING COVER BOXES, SHALL COMPLY WITH AS 3996 2019.
7. SITE LOADINGS, REFER TO HYDRAULIC CALC SHEETS FOR DETAILS
- TOTAL FIXTURES FOR SITE - 72 UNITS
 - TOTAL FIXTURE UNIT FLOW - 3.24L/s
 - AVERAGE DRY WEATHER FLOW - 0.029 L/s
 - PEAK DRY WEATHER FLOW - 0.314 L/s



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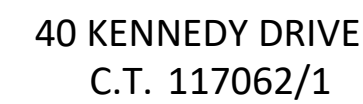
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PROPOSED WAREHOUSE DEVELOPMENT
12-14 STANTON PLACE, CAMBRIDGE
TASMANIA 7170
DRAWING TITLE
SEWER PLAN

DESIGNED DG	DRAWN DG	CHECKED DH
PROJECT 25.0249	DRAWING C500	REVISION B

1. PUBLIC WATER INFRASTRUCTURE WORKS SHALL COMPLY WITH THE REQUIREMENTS DETAILED ON DRG C001
2. PRIVATE WATER INFRASTRUCTURE SHALL COMPLY WITH A/S/NZS 3500.1, THE NCC AND ANY OTHER AUTHORITY HAVING JURISDICTION OVER THE INSTALLATION.
3. ALL ACCESS COVERS, INCLUDING COVER BOXES, SHALL COMPLY WITH AS 3996.2019.
4. SITE LOADINGS, REFER TO HYDRAULIC CALC SHEETS FOR DETAILS:
 - TOTAL LOADING - 100 UNITS
 - LOADING UNIT FLOW - 0.87 L/s
 - DOMESTIC FLOW - 0.87 l/s @ 500kPa
 - FIRE FLOW - 10.00 L/s @ 200kPa



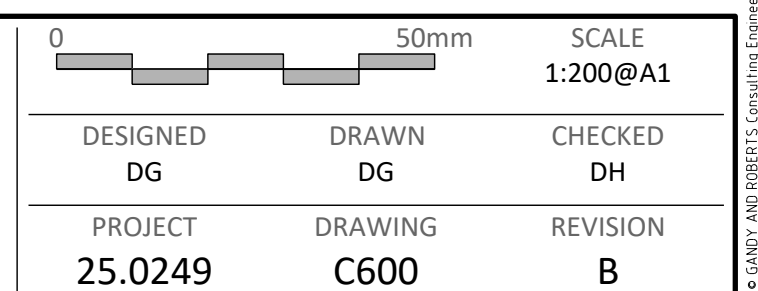
REV	DESCRIPTION	APP'D	DATE
B	PLANNING APPROVAL - CROSSOVER AMENDED	DH	14.08.2025
A	PLANNING APPROVAL	DH	29.07.2025

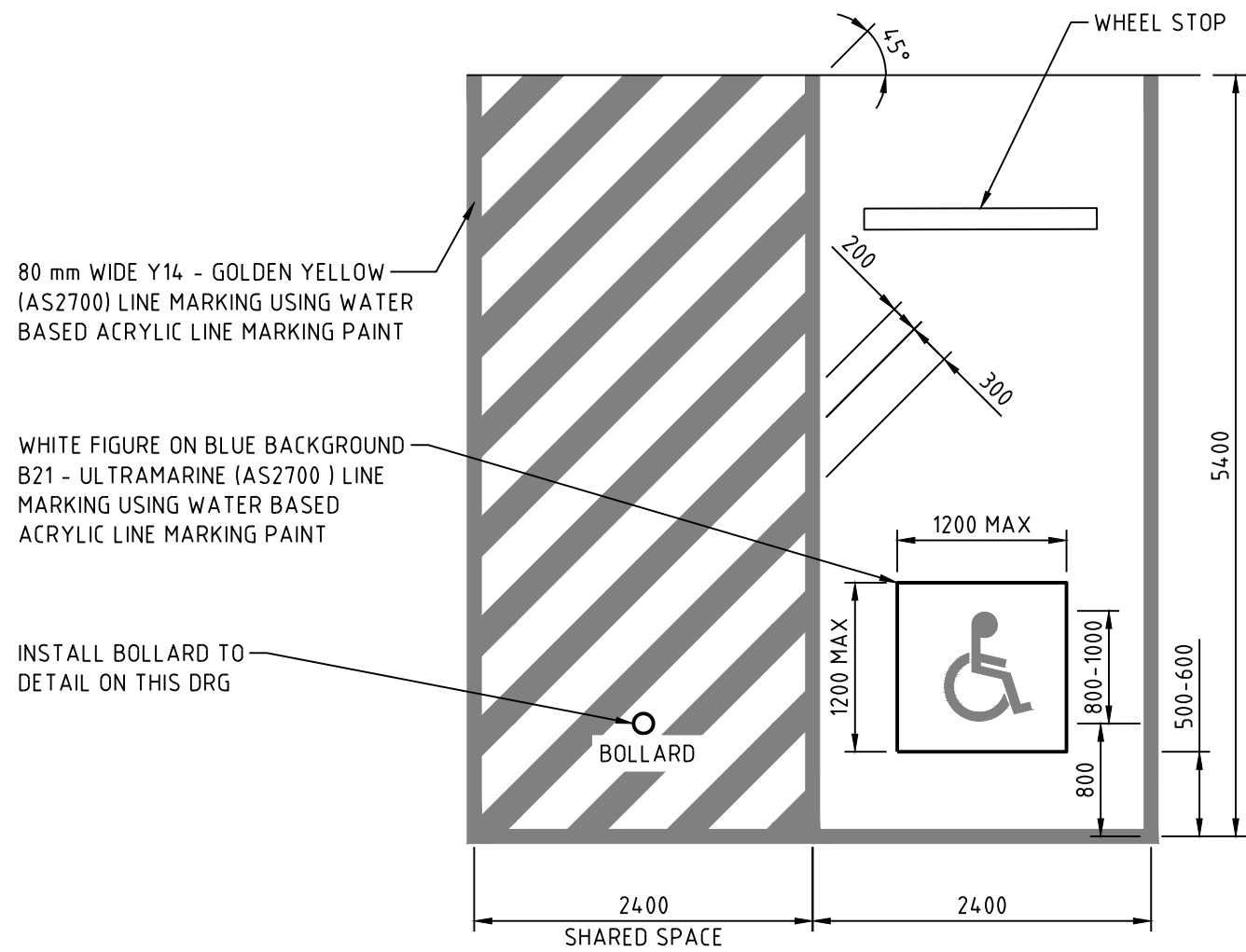
REV	DESCRIPTION	APP'D	DATE

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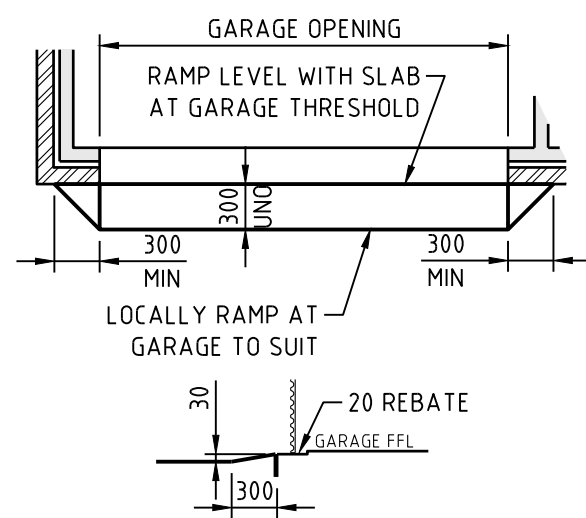
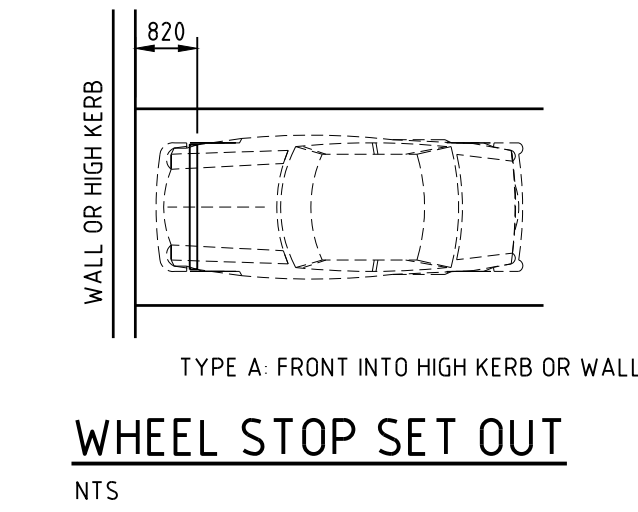
PROPOSED WAREHOUSE DEVELOPMENT
12-14 STANTON PLACE, CAMBRIDGE
TASMANIA 7170
DRAWING TITLE
WATER PLAN



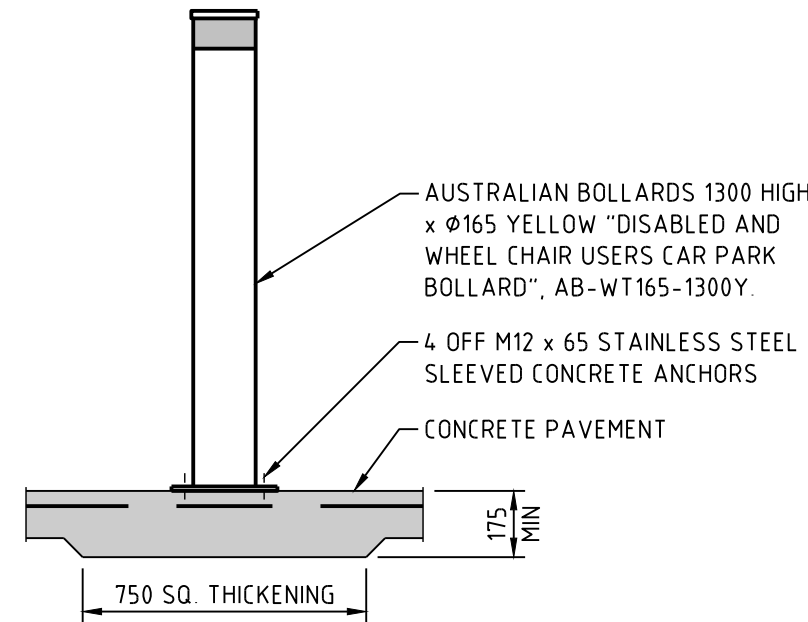


NOTE:
1 THE SLIP RESISTANCE OF DISABLED PARKING SPACE LINE MARKING SHALL BE A MINIMUM OF CLASS P4 (WET PENDULUM TEST) AS SPECIFIED IN AS/NZS 4586.
2 ASPHALT SURFACES SHALL BE FULLY CURED BEFORE APPLYING PAINT.
3 ALL WATER BASED ACRYLIC LINE MARKING PAINT SHALL BE APPLIED TO ACHIEVE 300 MICRON DFT.
4 REAPPLY PAINT 4 WEEKS AFTER PRACTICAL COMPLETION IS REACHED. IT SHALL BE ASSUMED THAT THE CAR PARK IS OPERATIONAL AND ALL ALLOWANCES NECESSARY TO UNDERTAKE THIS WORK SHALL BE INCLUDED IN THE CONTRACT SUM.

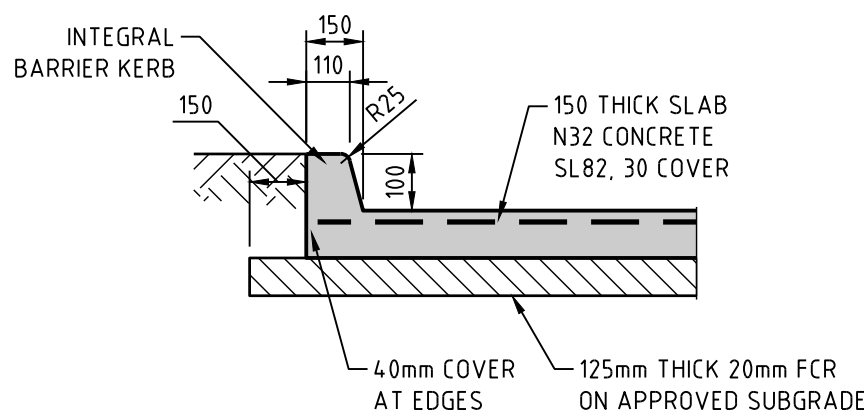
DISABLED PARKING SPACE LINE MARKING
SCALE 150



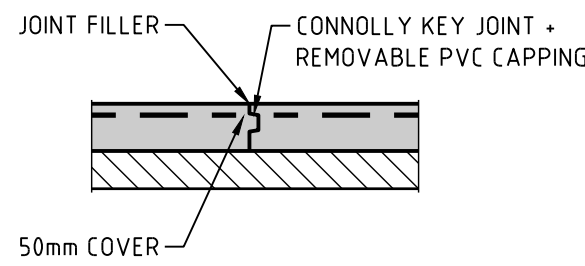
TYPICAL GARAGE ENTRANCE DETAIL
SCALE 150



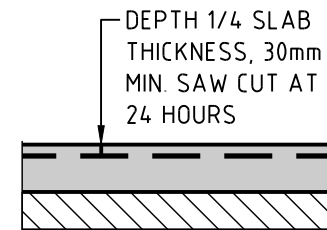
TYPICAL SHARED SPACE SURFACE MOUNTED BOLLARD
SCALE 120



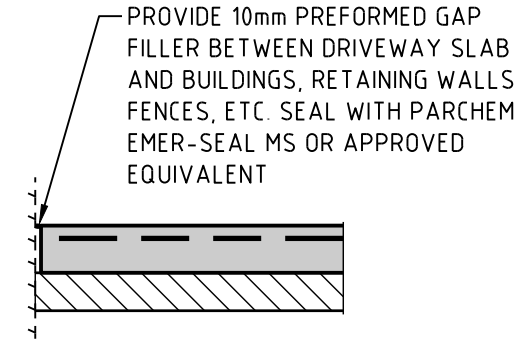
TYPICAL CONCRETE PAVEMENT AND BARRIER KERB DETAIL
NTS
NOTE: CONCRETE PAVEMENT DETAIL NOT SUITABLE FOR EXPOSED AGGREGATE OR SIMILAR SURFACE FINISHES. CONCRETE TO BE FLOAT OR BROOM FINISHED TO ACHIEVE A P5 SLIP RESISTANCE CLASSIFICATION IN ACCORDANCE WITH AS 4586



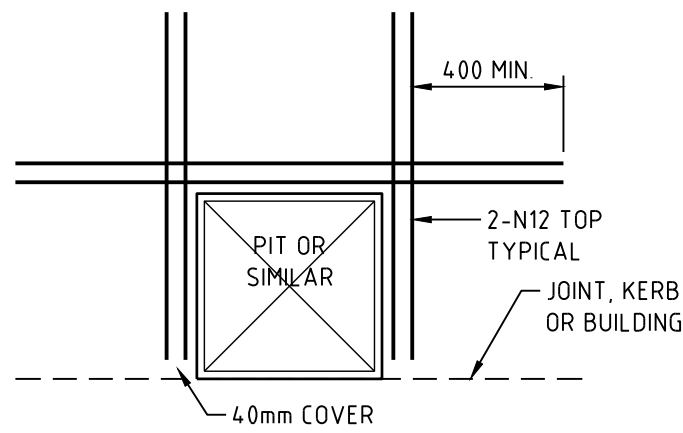
TYPICAL KEY JOINT 'KJ'
NTS
NOTE: 18m CENTRES MAX. UNLESS SHOWN OTHERWISE



TYPICAL SAWN JOINT 'SJ'
NTS
NOTE: 4.5m MAX CENTRES UNLESS SHOWN OTHERWISE



TYPICAL ISOLATION JOINT 'IJ'
NTS



TYPICAL REINFORCEMENT TO PENETRATIONS
NTS

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PROPOSED WAREHOUSE DEVELOPMENT
12-14 STANTON PLACE, CAMBRIDGE
TASMANIA 7170
DRAWING TITLE
DETAILS 01

DESIGNED DG	DRAWN DG	CHECKED DH
PROJECT 25.0249	DRAWING C700	REVISION B

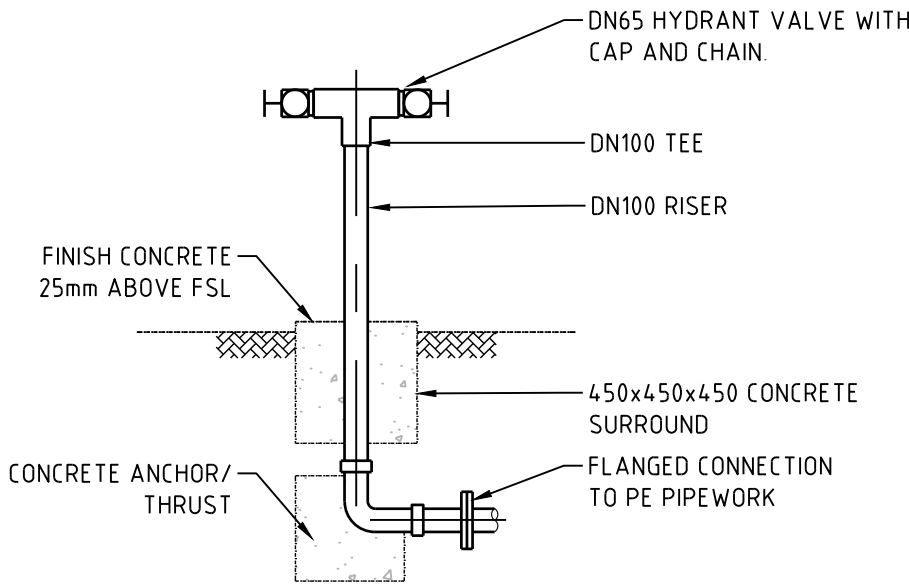
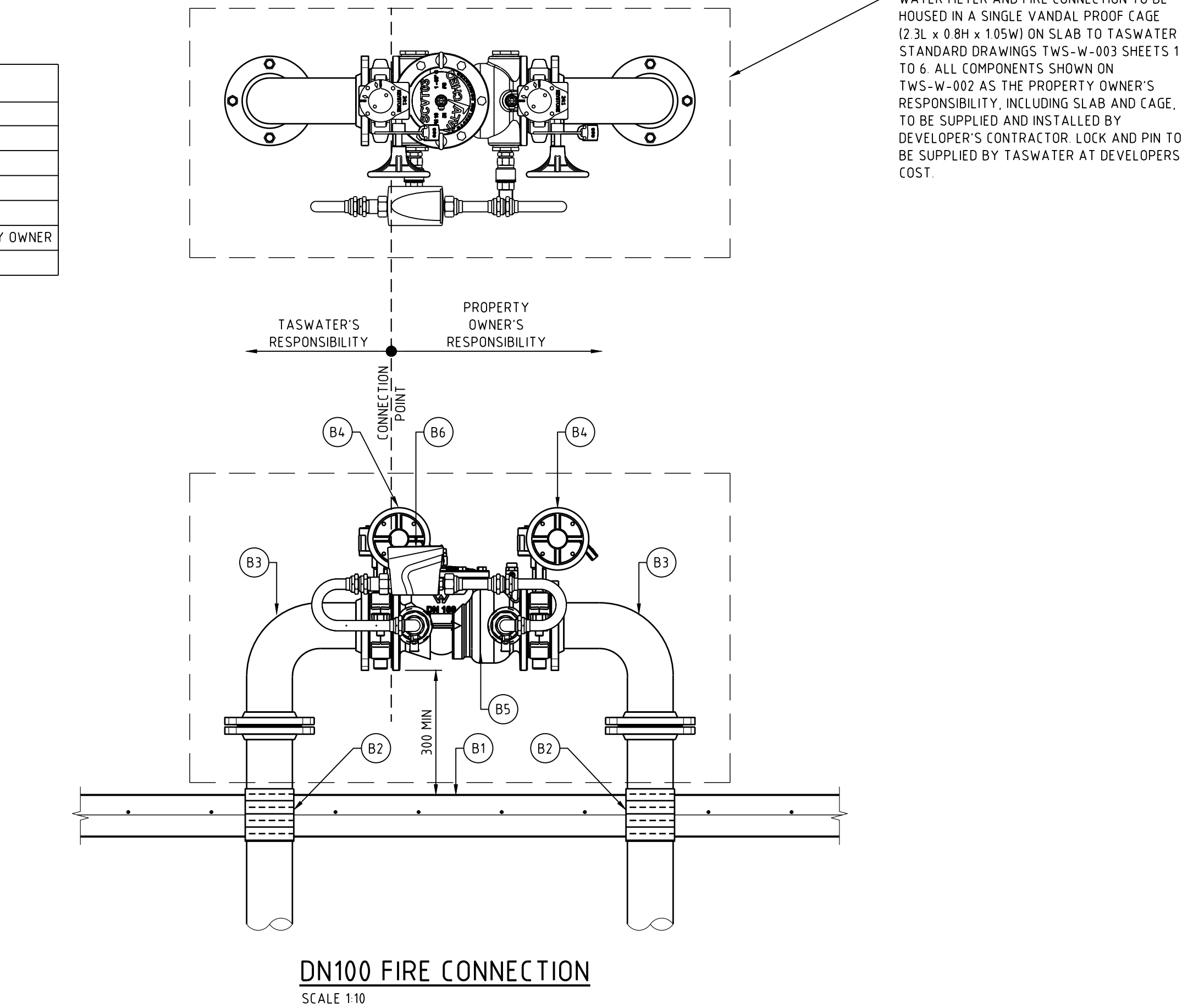
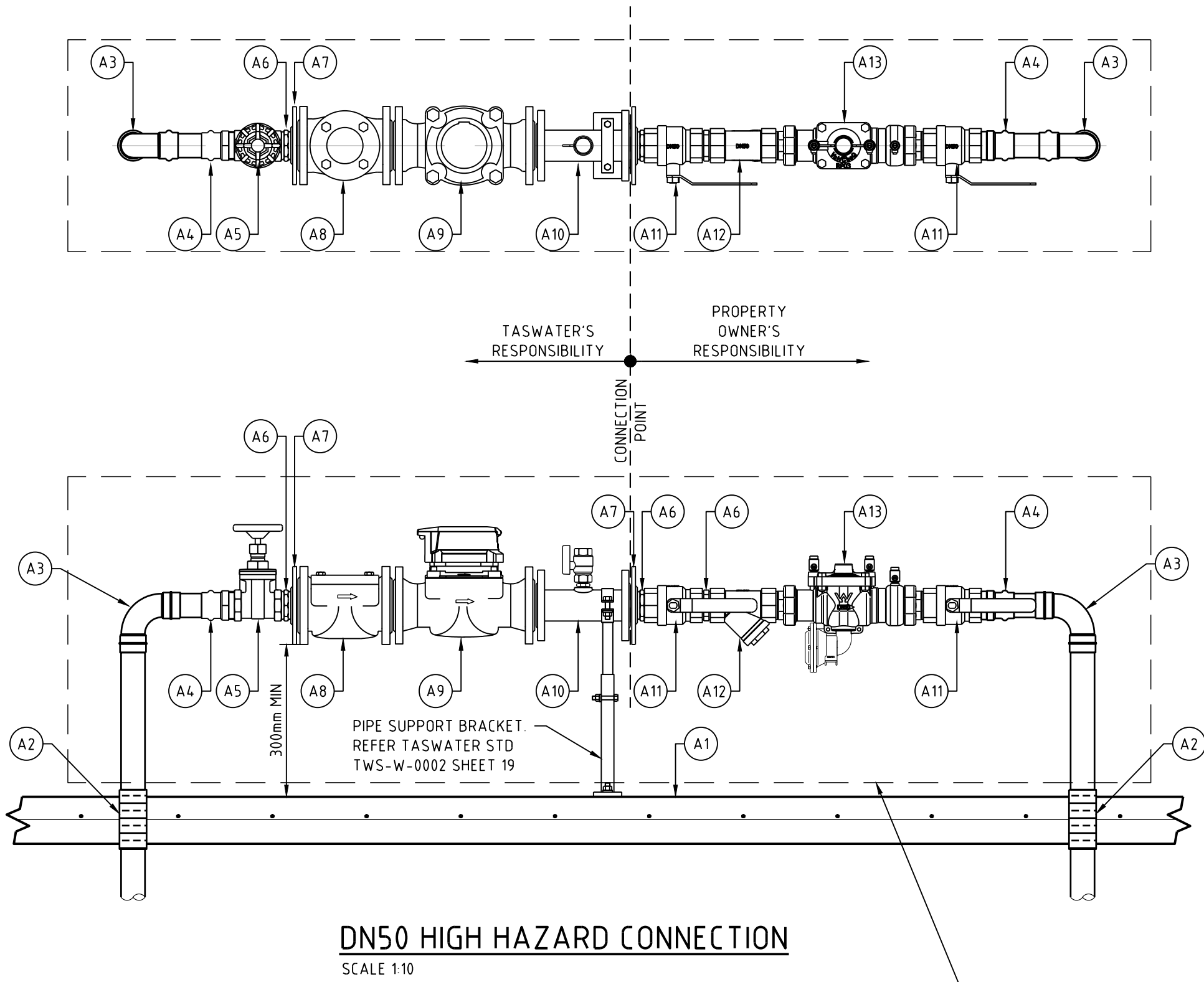
- GENERAL NOTES:
- ALL DIMENSIONS IN MILLIMETERS (mm), UNLESS NOTED OTHERWISE.
 - A 3mm CLEARANCE HAS BEEN ADDED WHERE A GASKET IS REQUIRED.
 - ALL METALLIC PIPEWORK TO BE "DENSO" WRAPPED, OR EQUIVALENT WHERE IT COMES IN CONTACT WITH CONCRETE TO PROTECT FROM CORROSION.
 - INSTALL AND LOCATE THE METER ASSEMBLY SO THAT THE METER CAN BE EASILY READ.
 - WHERE A VENT TO REDUCED PRESSURE ZONE DEVICE (RPZD) IT SHALL:
 - COMPLY WITH AS 3500 AND AS 2845, SHALL.
 - HAVE FREE VENTILATION TO THE ATMOSPHERE FOR THE RELIEF VALVE AT ALL TIMES,
 - NOT BE IN AN AREA THAT MAY BE SUBJECT TO PONDING,
 - HAVE THE RELIEF DRAIN OUTLET NOT LESS THAN 300mm ABOVE THE SURROUNDING SURFACE.
 - INSTALL THE METER ASSEMBLY IN A CAGE IN ACCORDANCE WITH TWS-W-0003.
 - THE PROPERTY OWNER IS RESPONSIBLE FOR THE ONGOING MAINTENANCE OF THE SECURITY CAGE.

VALVE & EQUIPMENT SCHEDULE

- ONLY USE PRODUCTS WITH WATERMARK CERTIFICATION AND APPROVED FOR USE BY TASWATER AND LISTED WITHIN CITY WEST WATERS APPROVED PRODUCTS CATALOGUE.
- INSTALLATION MUST COMPLY WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
- ALL VALVES MUST BE RESILIENT SEATED, CLOCKWISE CLOSING AS 1628 WITH 316 STAINLESS STEEL BOLTS AND WASHERS.
- UNLESS APPROVED OTHERWISE, THE WATER METER/S, TAILS AND METER BOXES ARE TO BE SUPPLIED BY TASWATER.

PRIVATE BACKFLOW PREVENTION CONNECTION PARTS LIST		
No	DESCRIPTION	COMMENTS
A1	100mm MINIMUM REINFORCED CONCRETE SLAB	SL72 PLACED CENTRAL
A2	PIPE WRAPPED WHERE CONCRETE WILL CONTACT PIPE	DENSO WRAP OR EQUIVALENT
A3	DN50 "TYPE A" COPPER WATER PIPE	-
A4	B-PRESS FITTINGS OR EQUIVALENT	-
A5	DN50 GATE VALVE	SUPPLIED BY TASWATER
A6	DN50 NIPPLE	-
A7	DN50 BSP TO TABLE FLANGE ADAPTOR	-
A8	DN50 'SENSUS' WP-F DIRT BOX	SUPPLIED BY TASWATER
A9	DN50 'SENSUS' MEISTREAM PLUS WATER MTER	SUPPLIED BY TASWATER
A10	DN50x200mm HYDRANT RISER WITH 25mm TAPPING FOR PRESSURE TESTING, 20mm VALVE AND PLUG	SUPPLIED BY TASWATER
A11	DN50 BALL VALVE	
A12	DN50 STRAINER	OWNED, OPERATED AND MAINTAINED BY PROPERTY OWNER
A13	DN50 'VALVCHQ' RPZD RP03 VALVE ONLY WITH VENT	OWNED, OPERATED AND MAINTAINED BY PROPERTY OWNER

PRIVATE BACKFLOW PREVENTION CONNECTION PARTS LIST		
No	DESCRIPTION	COMMENTS
B1	100mm MINIMUM REINFORCED CONCRETE SLAB	SL72 PLACED CENTRAL
B2	PIPE WRAPPED WHERE CONCRETE WILL CONTACT PIPE	DENSO WRAP OR EQUIVALENT
B3	DN100 PN16 METALLIC WATER PIPE	-
B4	DN100 LUG TYPE BUTTERFLY VALVE WITH WORM GEAR ACTUATOR	SUPPLIED BY TASWATER
B5	DN100 'VALVCHQ' SDCT03 SINGLE CHECK VALVE	OWNED, OPERATED AND MAINTAINED BY PROPERTY OWNER
B6	DN25 'SENSUS' LOW FLOW BYPASS METER	SUPPLIED BY TASWATER



- DFH NOTES:
- INSTALLATION OF FIRE SERVICE HYDRANTS AND COMMISSIONING TO BE TO THE REQUIREMENTS AND APPROVAL OF THE BUILDING SURVEYOR, TASFIRE, NCC AND AS2419.1
 - ALL FIRE ISOLATION VALVES TO BE SECURED IN THE OPEN POSITION BY A 003 PADLOCKED GALV. METAL STRAP OR CHAIN
 - HYDRANT ASSEMBLY TO BE MEDIUM GRADE ROLLED GROOVE GALVANISED PIPE WITH MIN 4.5 mm WALL THICKNESS
 - BELOW GROUND METALLIC PIPEWORK TO BE CONTINUOUSLY WRAPPED WITH PETROLEUM TAPING MATERIAL TO MIN 50 mm ABOVE FSL
 - CONCRETE ANCHOR BLOCKS SHALL BE PROVIDED AT ALL SUDDEN CHANGES OF DIRECTION, BOTH VERTICALLY AND HORIZONTALLY, AT TEES AND END OF LINES IN ACCORDANCE WITH AS 3500.1 SECTION 5.8

REV	DESCRIPTION	APP'D	DATE
B	PLANNING APPROVAL - CROSSOVER AMENDED	DH	14.08.2025
A	PLANNING APPROVAL	DH	29.07.2025

REV	DESCRIPTION	APP'D	DATE

THIS DRAWING HAS NOT BEEN
APPROVED FOR CONSTRUCTION

**GANDY AND
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PROPOSED WAREHOUSE DEVELOPMENT
12-14 STANTON PLACE, CAMBRIDGE
TASMANIA 7170
DRAWING TITLE
DETAILS 02

0 50mm SCALE 1:10@A1		
DESIGNED DG	DRAWN DG	CHECKED DH
PROJECT 25.0249	DRAWING C701	REVISION B