



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/053732

PROPOSAL: Café & Hair Salon (Food Services; General Retail & Hire)

LOCATION: 998 Oceana Drive, Tranmere

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 24 September 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 24 September 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 24 September 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New Cafe/Bakery and Hair Salon

Location:

Address 998 Oceana Drive

Suburb/Town Tranmere

Postcode 7018

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

N/A

Current Use of Site:

Empty Site

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 171960	FOLIO 63
EDITION 4	DATE OF ISSUE 18-Jul-2018

SEARCH DATE : 07-Jul-2025

SEARCH TIME : 03.45 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 63 on Sealed Plan 171960

Derivation : Part of 49A-0R-20P Gtd. to A L Wise

Prior CT 170742/103

SCHEDULE 1

E102161 & M707679 A J CARR DEVELOPMENT CORPORATION PTY LTD

Registered 18-Jul-2018 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP171960 FENCING PROVISION in Schedule of Easements

SP147152 & SP170742 FENCING PROVISION in Schedule of Easements

A722658 FENCING PROVISION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

NOTICE: This folio is affected as to amended covenants pursuant to Request to Amend No. E75536 made under Section 103 of the Local Government (Building and Miscellaneous Provisions) Act 1993. Search Sealed Plan No. 171960 Lodged by SIMMONS WOLFHAGEN on 23-May-2017 BP: E75536

SCHEDULE OF EASEMENTS	Registered Number SP 17 19 60
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 6 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

1. EASEMENTS


1.1 Lot 14

- (a) Lot 14 on the Plan is subject to a Right of Drainage (appurtenant to Clarence City Council) over the land marked 'DRAINAGE EASEMENT 'B' 3.00 WIDE' shown passing through Lot 14 on the Plan.
- (b) Lot 14 on the Plan ("the Lot") is subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the land marked 'PIPELINE & SERVICE EASEMENT 'B' 3.00 WIDE' shown on the Plan ("the Easement Land").

1.2 Lot 15

- (a) Lot 15 on the Plan is subject to a Right of Drainage (appurtenant to Clarence City Council) over the land marked 'DRAINAGE EASEMENT 'C' 3.00 WIDE' shown passing through Lot 15 on the Plan.
- (b) Lot 15 on the Plan ("the Lot") is subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the land marked 'PIPELINE & SERVICE EASEMENT 'C' 3.00 WIDE' shown on the Plan ("the Easement Land").

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: G J Carr FOLIO REF: CT 170742/103 & 170743/1 SOLICITOR & REFERENCE: C Wootton 161235	PLAN SEALED BY: Clarence City Council DATE: 22-9-2016 SD-2010/63 REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 6 PAGES	Registered Number SP171960
SUBDIVIDER: G J Carr FOLIO REFERENCE: CT 170742/103 & 170743/1	

1.3 Lot 18 – Lot 23

- (a) Lots 18 - 23 on the Plan are subject to a Right of Drainage (appurtenant to Clarence City Council) over the land marked 'DRAINAGE EASEMENT 'A' 3.00 WIDE' shown passing through the said lots on the Plan.
- (b) Lot 18 – 23 on the Plan ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the land marked 'PIPELINE & SERVICE EASEMENT 'A' 3.00 WIDE' shown on the Plan ("the Easement Land").

1.4 Lot 62

- (a) Lot 62 on the Plan is subject to a Right of Drainage (appurtenant to Clarence City Council) over the land marked 'DRAINAGE EASEMENT 'D' 3.00 WIDE' shown passing through Lot 62 on the Plan.
- (b) Lot 62 on the Plan ("the Lot") is subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the land marked 'PIPELINE & SERVICE EASEMENT 'D' 3.00 WIDE' shown on the Plan ("the Easement Land").

1.5 Lot 101

- (a) Lot 101 on the Plan is subject to a Right of Drainage (appurtenant to Clarence City Council) over the land marked 'DRAINAGE EASEMENT 'A' 3.00 WIDE' shown passing through Lot 101 on the Plan.
- (b) Lot 101 on the Plan ("the Lot") is subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the land marked 'PIPELINE & SERVICE EASEMENT 'A' 3.00 WIDE' shown on the Plan ("the Easement Land").
- (c) Lot 101 on the Plan is subject to a Right of Carriageway (appurtenant to Lot 3 on SP147152) over the land marked 'RIGHT OF WAY (PRIVATE) 'B' 10.00 WIDE (SP170742)' shown passing through Lot 101 on the Plan.

Signed on behalf of the Vendor Gregory James Carr

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 6 PAGES	Registered Number SP 17 1960
SUBDIVIDER: G J Carr FOLIO REFERENCE: CT 170742/103 & 170743/1	

2. COVENANTS

(excepting Lots 14, 15, 16, 17, 62, 63 & 101)

Each lot on the Plan^A is subject to restrictive covenants as set forth within SP170742.

Restrictive covenants hereon amended by me pursuant to Request to Amend No. E75536 made under Section 103 of the Local Government (Building & Miscellaneous Provisions) Act 1993

3. FENCING PROVISION

Alice Kawa
Recorder of Titles - 5 JUN 2017

In respect of each lot on the Plan the Vendor (Gregory James Carr as personal representative of Albert James Carr) shall not be required to fence.

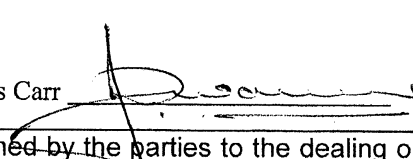
4. INTERPRETATION

The **Pipeline and Services Easement** is defined as follows:-

THE FULL RIGHT AND LIBERTY for the Transferee at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and

Signed on behalf of the Vendor Gregory James Carr



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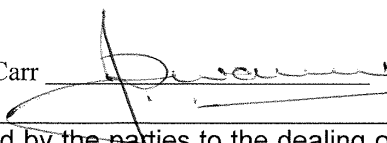
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 6 PAGES	Registered Number SP171960
SUBDIVIDER: G J Carr FOLIO REFERENCE: CT 170742/103 & 170743/1	

- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
- (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.

Signed on behalf of the Vendor Gregory James Carr



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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 6 PAGES	Registered Number SP 17 19 60
SUBDIVIDER: G J Carr FOLIO REFERENCE: CT 170742/103 & 170743/1	

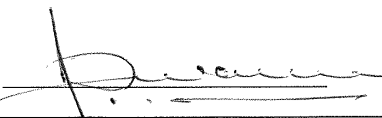
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Signed on behalf of the Vendor Gregory James Carr




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<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 6 OF 6 PAGES</p>	<p align="center">Registered Number</p> <p align="center">SP 17 19 60</p>
<p>SUBDIVIDER: G J Carr FOLIO REFERENCE: CT 170742/103 & 170743/1</p>	

5. EXECUTION

Signed by **GREGORY JAMES CARR** as Registered Proprietor of the land in Folio of the Register Volume 170742 Folio 103 and Volume 170743 Folio 1 by his Attorney **JAMES BENSON WALKER** under Power of Attorney registered number PA26595 (and who hereby declares that he has received no notice of the said Power) in the presence of:

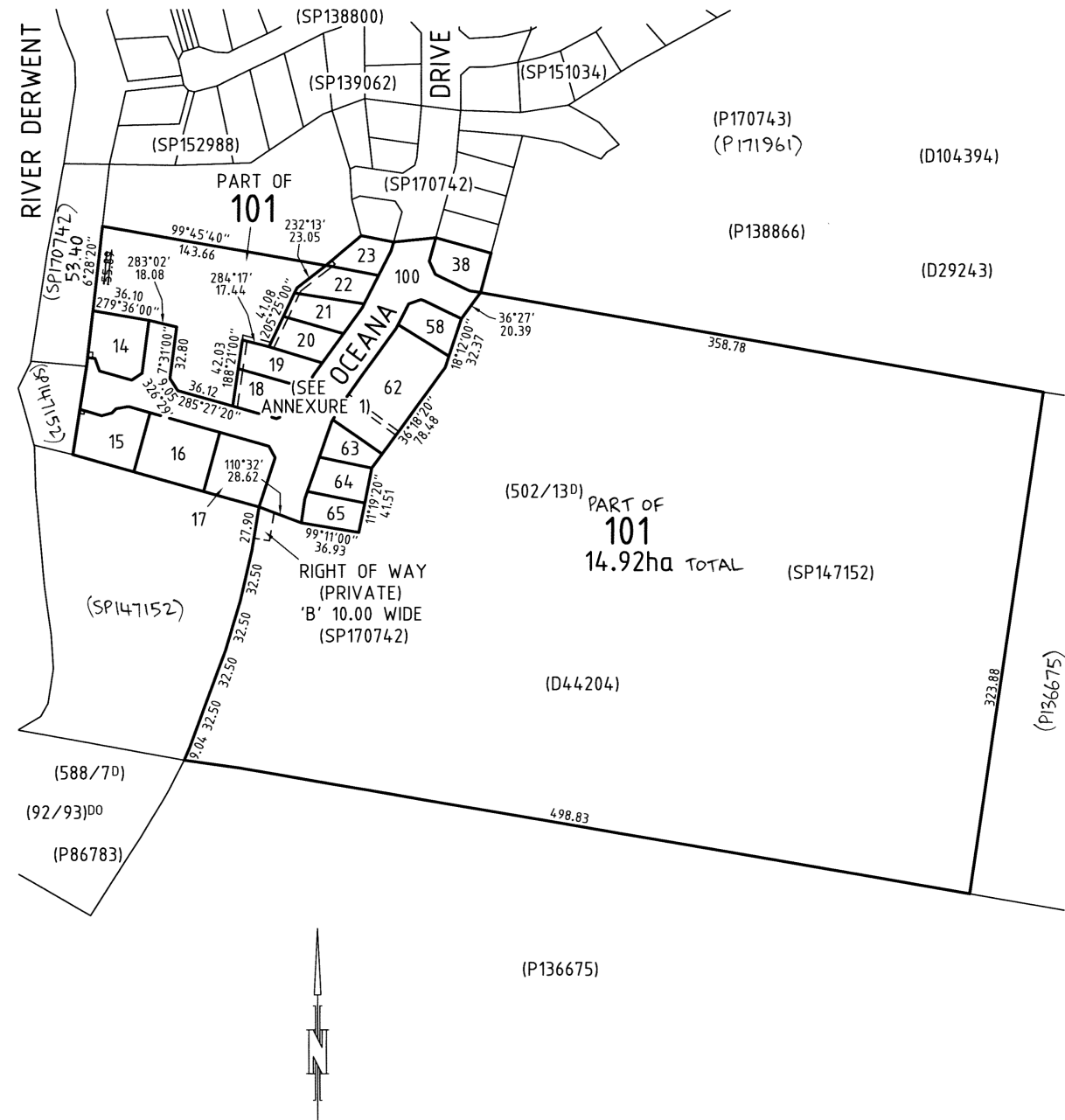
Witness: .....
Name: **CLARE NAOMI WOOTTON**
Solicitor
Address: **168 Collins Street, Hobart**
Occupation

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

OWNER Gregory James Carr		<h1>PLAN OF SURVEY</h1>		REGISTERED NUMBER SP171960	
FOLIO REFERENCE 170742-103; 170743-1				BY SURVEYOR S. Roberts of PDA SURVEYORS 127 BATHURST STREET, HOBART	
GRANTEE Part of 60 acres located to Michael Lackey; part of 49A-OR-20P granted to Archibald Logan Wise		LOCATION City of CLARENCE		APPROVED <i>- 7 OCT 2016</i> EFFECTIVE FROM <i>Alice Kwa</i> Recorder of Titles	
MAPSHEET MUNICIPAL CODE No. 107 (5224)		SCALE: 1:2500	LENGTHS IN METRES	SURVEYORS REF: T1091C-1B	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
LAST UPI No.		LAST PLAN No. SP170742 P170743			

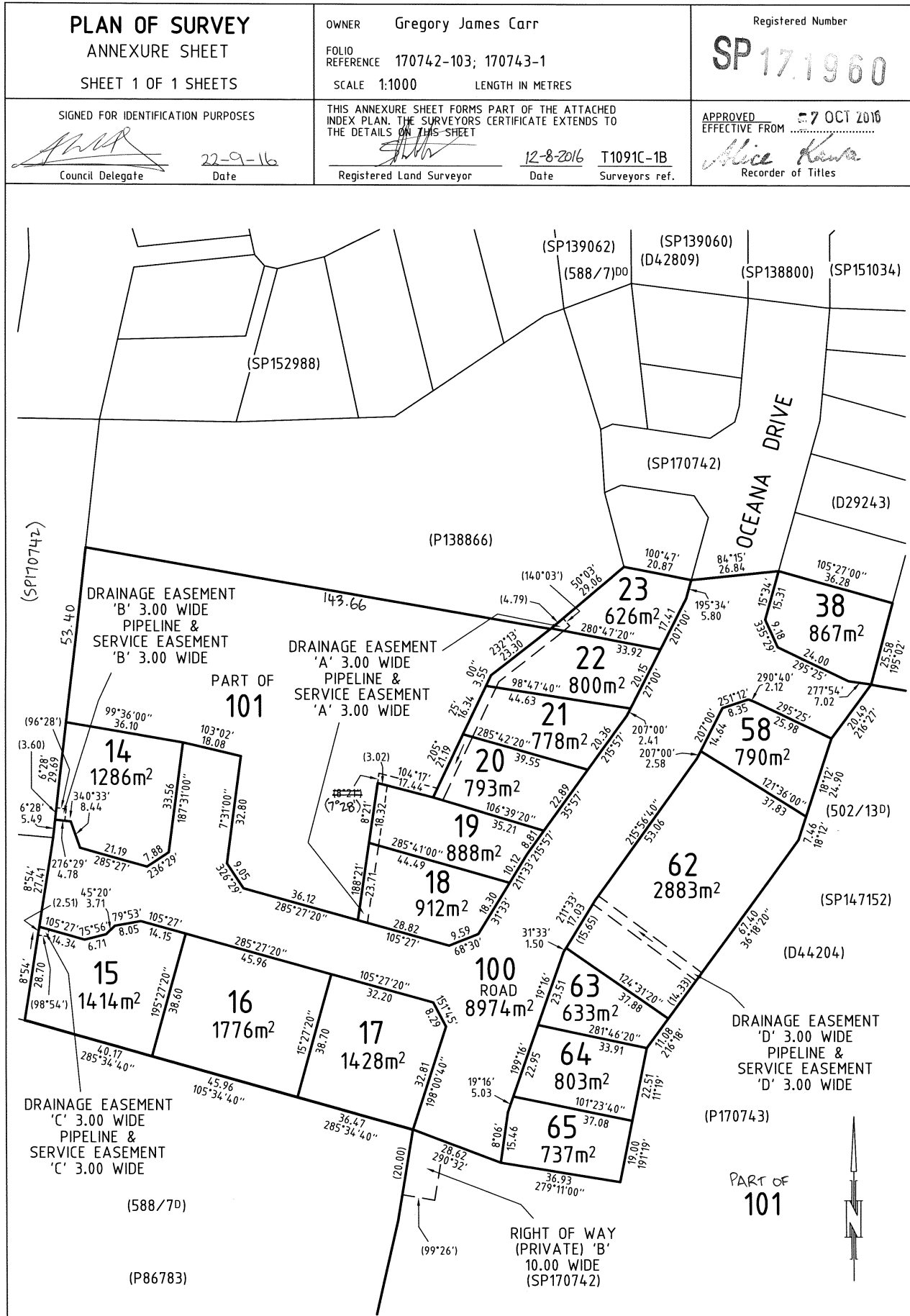
INDEX PLAN

LOT 101 IS COMPILED FROM F. R. 170742-103 & THIS SURVEY




COUNCIL DELEGATE

22-9-16
DATE



P I N N Δ C L E

PINNACLE



998 Oceana Drive, Tranmere

Owner(s) or Clients	A J Carr Development Corporation PTY LTD		Title Reference	171960/63
Building Classification	6		Zoning	Local Business
Construction Type	C		Land Size	633m ²
No. of Storeys	1		Design Wind Speed	TBA
Designer	Jason Nickerson CC6073Y		Soil Classification	TBA
Total Floor Area (Combined)	104.23m ²	Deck 21.87m ²	Climate Zone	7
Alpine Area	N/A		Corrosion Environment	High
Other Hazards	TBA		Bushfire Attack Level (BAL)	TBA

(e.g., High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)

Type of construction required C2D2 NCC Vol. I 2022		
Rise in storeys	Class of building 2, 3, 9	Class of building 5, 6, 7, 8
4 or more	A	A
3	A	B
2	B	C
1	C	C

Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

ID	Sheet Name	Issue
A.01	Location Plan	DA - 03
A.02	Site Plan	DA - 03
A.03	Floor Plan	DA - 03
A.04	Elevations	DA - 03
A.05	Elevations	DA - 03
C.01	Civil Plan	DA - 03
C.02	Parking	DA - 03
C.03	Parking	DA - 03
L.01	Landscaping Plan	DA - 03
P.01	Sewer & Water Plan	DA - 03

Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 Volume 1.

Surface water, resulting from a storm having an annual exceedance probability of 1%, must not enter the building.

Limitations

- F1P2 does not apply to-
- (a) a Class 7 or 8 building where in the particular case there is no necessity for compliance; or
 - (b) a garage, tool shed, sanitary compartment, or the like, forming part of a building used for other purposes; or an open spectator stand or open-deck carpark.












Protection of openings in external walls

Any opening in the external walls such as a door or window, that are located within the following must be provided with protection to avoid the spread of fire.

- 3m of a side or rear boundary; or
- 6m of the far side of a road or the like (if not located at or near ground level); or
- 6m of another building on the same allotment



Legend

-  - Electrical Connection
-  - Electrical Turret
-  - Sewer Connection
-  - Stormwater Connection
-  - Telstra Connection
-  - Telstra Pit
-  - Water Meter
-  - Water Stop Valve
-  - Fire Hydrant
-  - Solar Bollard Light
-  - Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 Volume I.

Surface water, resulting from a storm having an annual exceedance probability of 1%, must not enter the building.

Limitations

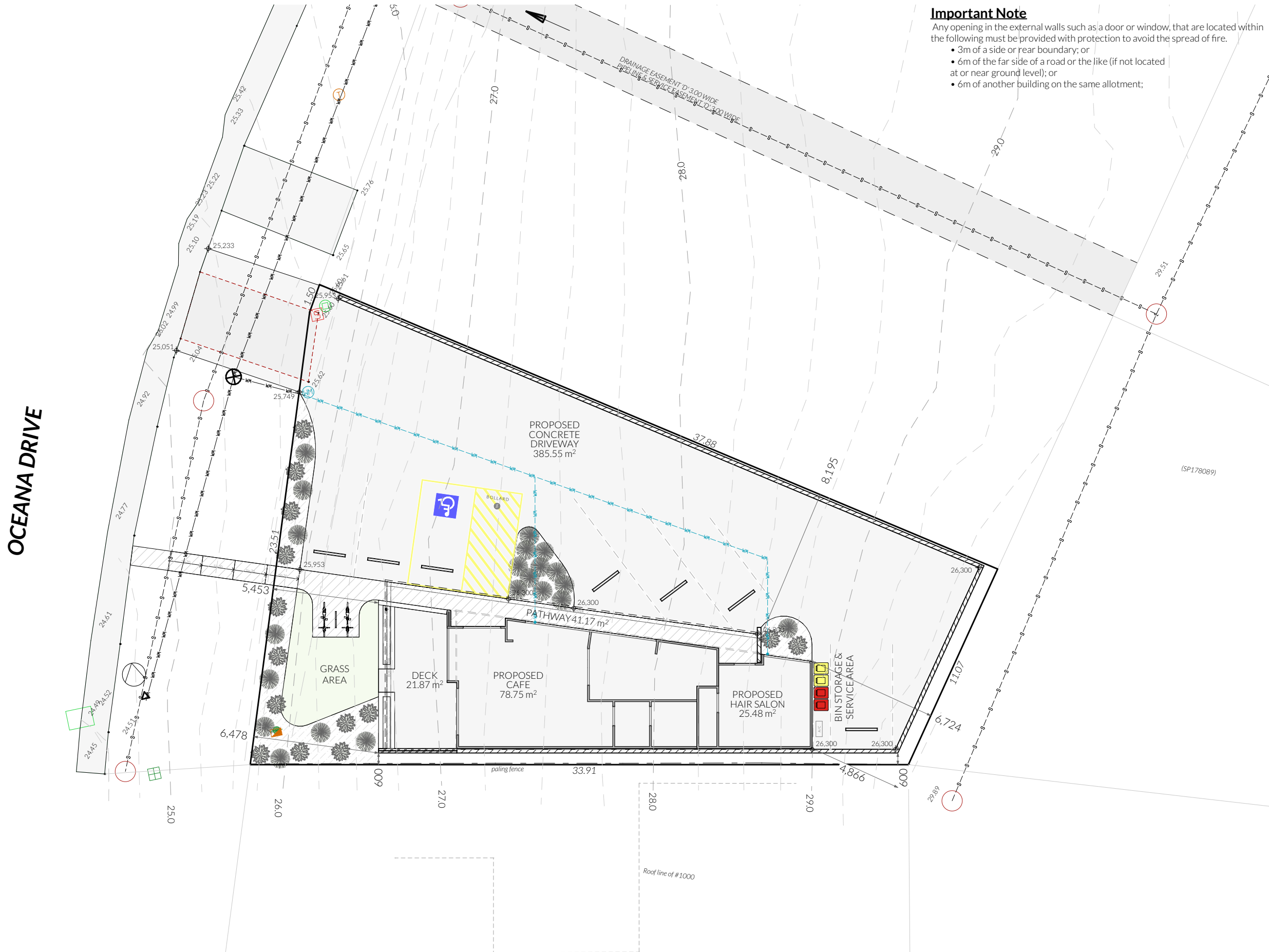
F1P2 does not apply to-

- (a) Class 7 or 8 building where in the particular case there is no necessity for compliance; or
- (b) a garage, tool shed, sanitary compartment, or the like, forming part of a building used for other purposes; or an open spectator stand or open-deck carpark.

Fire Safety

Where a building is more than 500m² or if internal fire hydrants are proposed/installed, a fire hose reel system must be provided in accordance with AS2441.

Fire hose reels must be installed within 4m of an exit or otherwise provided to provide full coverage to the building.



Site Areas

Site Area	633 m ²
Building Footprint	104.23m ²

PINNACLE

PINNACLE DRAFTING & DESIGN
7/3 Abernant Way, Cambridge 7170
03 6248 4218
admin@pinnacledrafting.com.au
www.pinnacledrafting.com.au
Licence: CC6073Y

Site Plan

Revision:
Approved by:

DA - 03
JN

Scale:
1:200 @ A3
Pg. No:
A.02

Proposal: New Cafe/Bakery & Hair Salon
Client: A J Carr Development Corporation
PTY LTD
Address: 998 Oceana Drive, Tranmere

Date: 27/06/2025
 Drawn by: JD
 Job No: Pinn 029-2020
 Engineer: TBA
 Building Surveyor: TBA

Issue	Date
DA-02	29.07.2025
DA-03	25.08.2025

Description
Council RFI
TasWater RAI









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NOT FOR CONSTRUCTION

LEGEND

-  Access Panel
-  Articulation Joint
-  TGSi
-  Exit Sign
-  Fire Hose Reel
-  Fire Extinguisher

Doorway identification (Clause 10.1) - AS1428.1:2021

- All doorways shall have a minimum luminance contrast of 30% provided between-
- (a) door leaf and door jamb; or

(b) door leaf and adjacent wall; or

(c) architrave and wall; or

(d) door leaf and architrave; or

(e) door jamb and adjacent wall

The minimum width of the area of luminance shall be 50mm.

Explanation; where it is necessary to achieve sufficient contrast between building elements, this can usually be achieved by using very dark or very light materials.

Continuous accessible paths of travel (Clause 3.1) - AS1428.1:2021

- Unless otherwise specified (such as at doors, curved ramps and similar), the minimum unobstructed width of a continuous accessible path of travel shall be 1000 mm and the following shall not intrude into the minimum unobstructed width of a continuous accessible path of travel:
- (a) Fixtures and fittings such as lights, awnings, windows that, when open, intrude into the circulation space, telephones, skirtings and similar objects.

(b) Essential fixtures and fittings such as fire hose reels, fire extinguishers and switchboards.

(c) Door handles less than 900 mm above the finished floor level.

Tactile Ground Surface Indicators(TGSIs)

Tactile ground surface indicators (TGSIs) to warn people of hazards shall be in accordance with AS/NZS 1428.4.1. Locations of TGSIs are indicated as per plans.
Refer to Legend.

Note: Stair Construction

- Stairs must comply with-
- clause 8.1 of AS 1428.1:2021, including the notes; and

- clause 8.2 of AS 1428.1:2021
- Stair Risers: Min/Max = 115mm/190mm
Public Stair Goings: Min/Max = 250mm/355mm
Quantity Calculation Required ((2xRiser)+Goings):
Min/Max = 550mm/700mm
Minimum of 2 risers and maximum of 18 in a flight;
Not permit a 125mm sphere to pass through between treads;
Solid construction (i.e. not perforated) if more than 10m high or more than 3 storeys;
No winders (except internally of a residential apartment);

Artificial Lighting

- Artificial lighting must be provided -
- (a) in required stairways, passageways, and ramps; and

(b) if natural light of a standard equivalent to that required by F6D3 is not available, and the periods of occupation or use of the room or space will create undue hazard to occupants seeking egress in an emergency, in-

(iii) Class 3, 5, 6, 7, 8 and 9 buildings - to all rooms that are frequently occupied, all spaces required to be accessible, all corridors, lobbies, internal stairways, other circulation spaces and paths of egress.

The artificial lighting system must comply with AS/NZS 1680.0.

Heights of rooms & other spaces F5D2 of NCC VOL I 2022

- The height of rooms and other spaces in a Class 5, 6, 7 or 8 building must be not less than-
- (a)for a bathroom, shower room, sanitary compartment, other than an accessible adult change facility, airlock, tea preparation room, pantry, store room, garage, car parking area, or the like - 2.1 m; and

(b)for a commercial kitchen - 2.4 m; and

(c)above a stairway, ramp, landing or the like - 2 m measured vertically above the nosing line of stairway treads or the floor surface of the ramp, landing or the like; andfor a required accessible adult change facility - 2.4 m.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol I. Builder to contact Pinnacle before undertaking works.

Internal Room Areas

Cafe	45.39
WC	2.84
Deck	21.87
Kitchen	19.21
Airlock	4.18
Hair Salon	20.49
Bathroom	5.45

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Floor Plan

Revision:
Approved by:

DA - 03
JN

Scale:
1:100 @A3
Pg. No:
A.03

Proposal: New Cafe/Bakery & Hair Salon
Client: A J Carr Development Corporation
PTY LTD
Address: 998 Oceana Drive, Tranmere

Date: 27/06/2025
Drawn by: JD
Job No: Pinn 029-2020
Engineer: TBA
Building Surveyor: TBA

Issue	Date	Description
DA - 02	29.07.2025	Council RFI
DA - 03	25.08.2025	TasWater RAI



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A continuous barrier must be provided along the side of the following if the trafficable surface is 1 m or more above the surface beneath.

- (a) a roof to which general access is provided; and
- (b) a stairway or ramp; and
- (c) a floor, corridor, hallway, balcony, deck, verandah, mezzanine, access bridge or the like; and
- (d) any delineated path of access to a building,

if the trafficable surface is 1 m or more above the surface beneath.

As per NCC Volume I D3D29: Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening of a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N and must not have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing. Class 7 (Other than carparks) and 8 buildings and parts of those classes must not permit a 300mm sphere to pass through it.

<div>PINNACLE</div>	PINNACLE DRAFTING & DESIGN 7/3 Abernart Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<div>Elevations</div> <div>Revision: DA - 03 Approved by: JN</div>	Scale: 1:100 @A3 Pg. No: A.05	Proposal: New Cafe/Bakery & Hair Salon Client: A J Carr Development Corporation PTY LTD Address: 998 Oceana Drive, Tranmere	Date: 27/06/2025 Drawn by: JD Job No: Pinn 029-2020 Engineer: TBA Building Surveyor: TBA	<table><tr><th>Issue</th><th>Date</th><th>Description</th></tr><tr><td>DA - 02</td><td>29.07.2025</td><td>Council RFI</td></tr><tr><td>DA - 03</td><td>25.08.2025</td><td>TasWater RAI</td></tr></table>	Issue	Date	Description	DA - 02	29.07.2025	Council RFI	DA - 03	25.08.2025	TasWater RAI	<div>These drawing are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE.</div> <div><div></div><div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div></div>
	Issue	Date	Description													
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Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a)Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (i)25mm over the first 1m from the building

- (A)in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or (B)for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or

- (ii)50 mm over the first 1 m from the building in any other case.

- (b)Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces mustbe not less than

- (i)100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or (ii)50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or (iii)150 mm in any other case.

- (c)The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

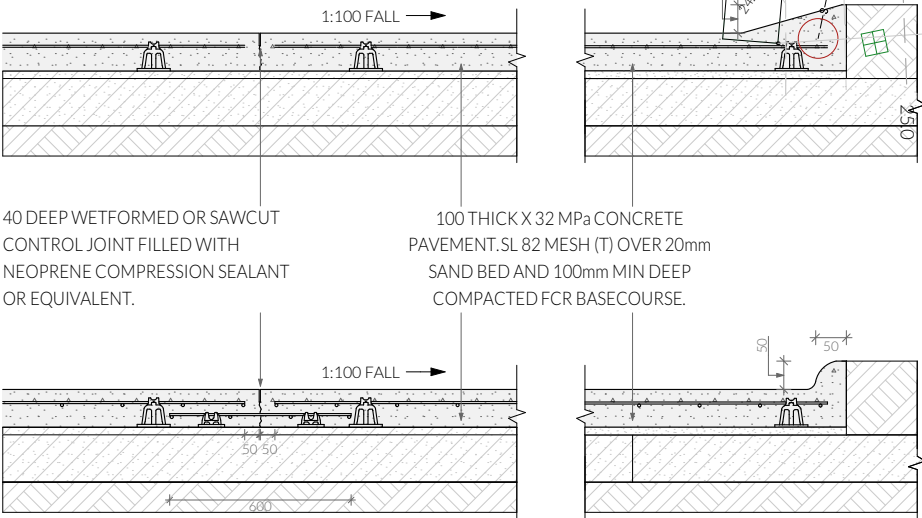
- (a) be graded with a uniform fall of not less than 1:300; and (b) discharge into an external silt pit or sump with- (i)the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be Class B.

Stormwater pits are indicative. Location may vary depending on site conditions.

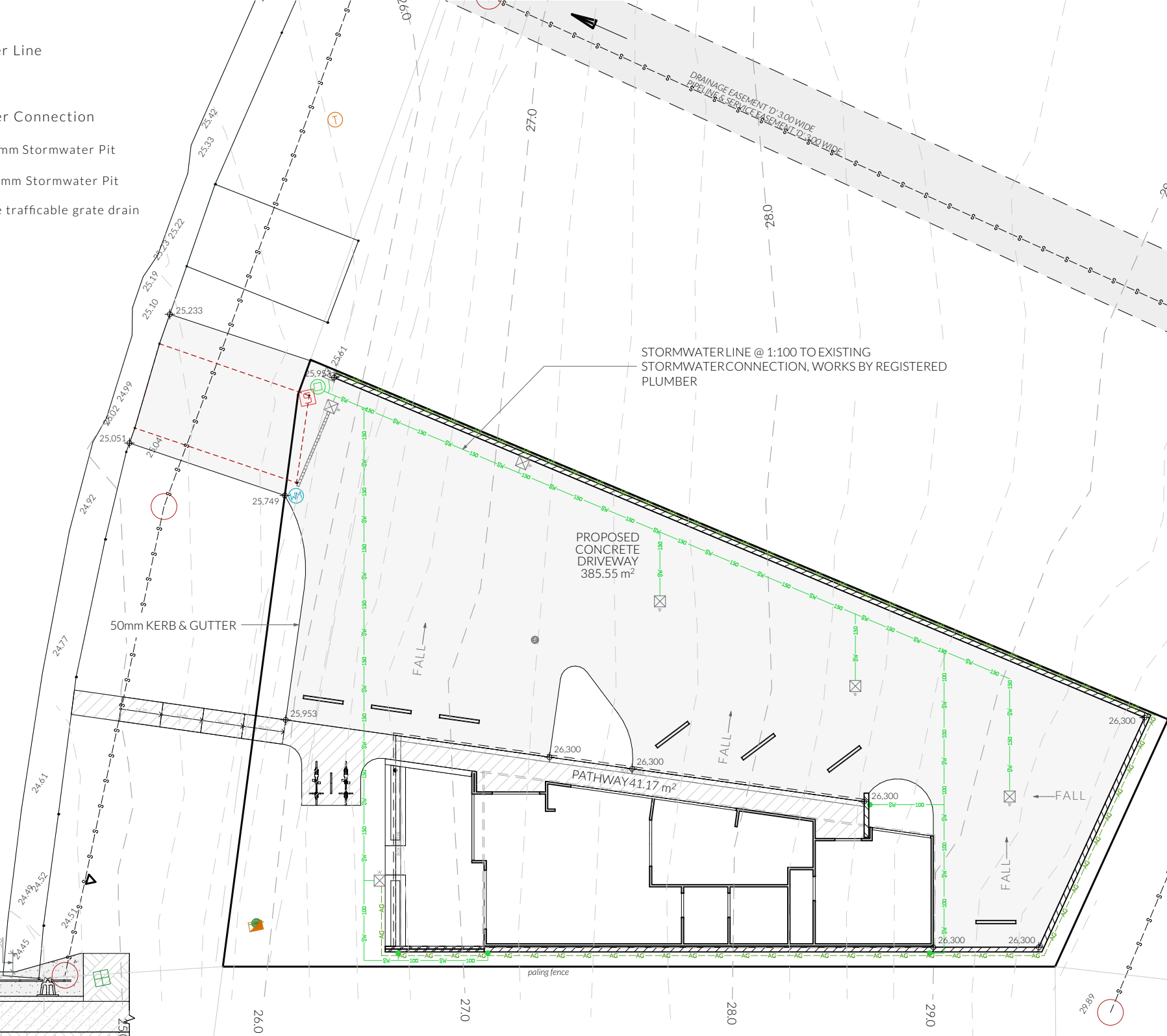
TYPICAL PAVEMENTDETAIL



Legend

- SW Stormwater Line
- AG Ag Drain
- Stormwater Connection
- Class A 300mm Stormwater Pit
- Class B 450mm Stormwater Pit
- 100mm wide trafficable grate drain

OCEANA DRIVE



General Notes

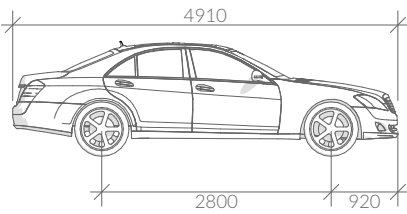
- Remove all topsoil and organic matter from beneath concrete driveway areas and provide 100m deep compacted FCR basecourse layer.
- Concrete strength shall be 32 mpa min.
- Provide control joints at 6.0 m centres-refer detail.
- Compact concrete using mechanical vibrators.
- Cure all exposed concrete surfaces by keeping moist for 7 days. i.e cover with plastic sheets.
- Connect new service connections into existing. Liaise with council's plumbing surveyor for location of existing connections.
- All new and/or altered service connections shall be undertaken by council at the developer's expense.
- Provide 100ø agricultural drains at base of cut and connect to stormwater at lowest point
- Driveway to be min 100mm thick 32mpa concrete with sl82 @ 40mm cover over 100mm compacted FCR. Provide deep tooled joints or sawcut joints @ max. 4m crs.
- Driveway to be sloped to integrated kerb and gutter system on low side of driveway
- Rainwater pipes to be PVC or Colorbond finish metal.
- Driveway sawcuts to be installed at approx. 4m centres with expansion joints at 8-12m centres.

Vehicle Movement Notes

- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.

- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.



B85 Vehicle Dimensions

Width:	1870
Track:	1770
L-L Time:	6.0
Turning Radius:	5800

Parking Space requirements

As defined by the Parking and Sustainable Transport Code
- Table C2.3

Parking Dimensions - 90°

Width:	2600	2800	3000	3200
Length:	5400	5400	5400	5400
Aisle Width:	6400	5800	5200	4800

Parking Dimensions - 45°

Width: 2600
Length: 5400
Aisle Width: 3500

Parking Dimensions - Parallel

Width: 2300
Length: 6700
Aisle Width: 3600

Legend

- ☉ - Solar Bollard Lighting
- ▽ - Spotlight with Sensor

Turning Path Legend

-
- Diagram illustrating the setup for the experiment:
- LINE OF BODY
 - 300mm BODY CLEARANCE
 - DIRECTION OF TRAVEL

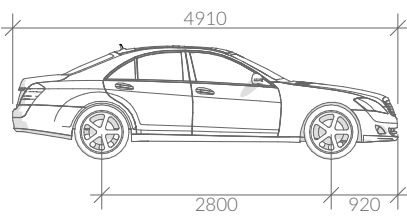


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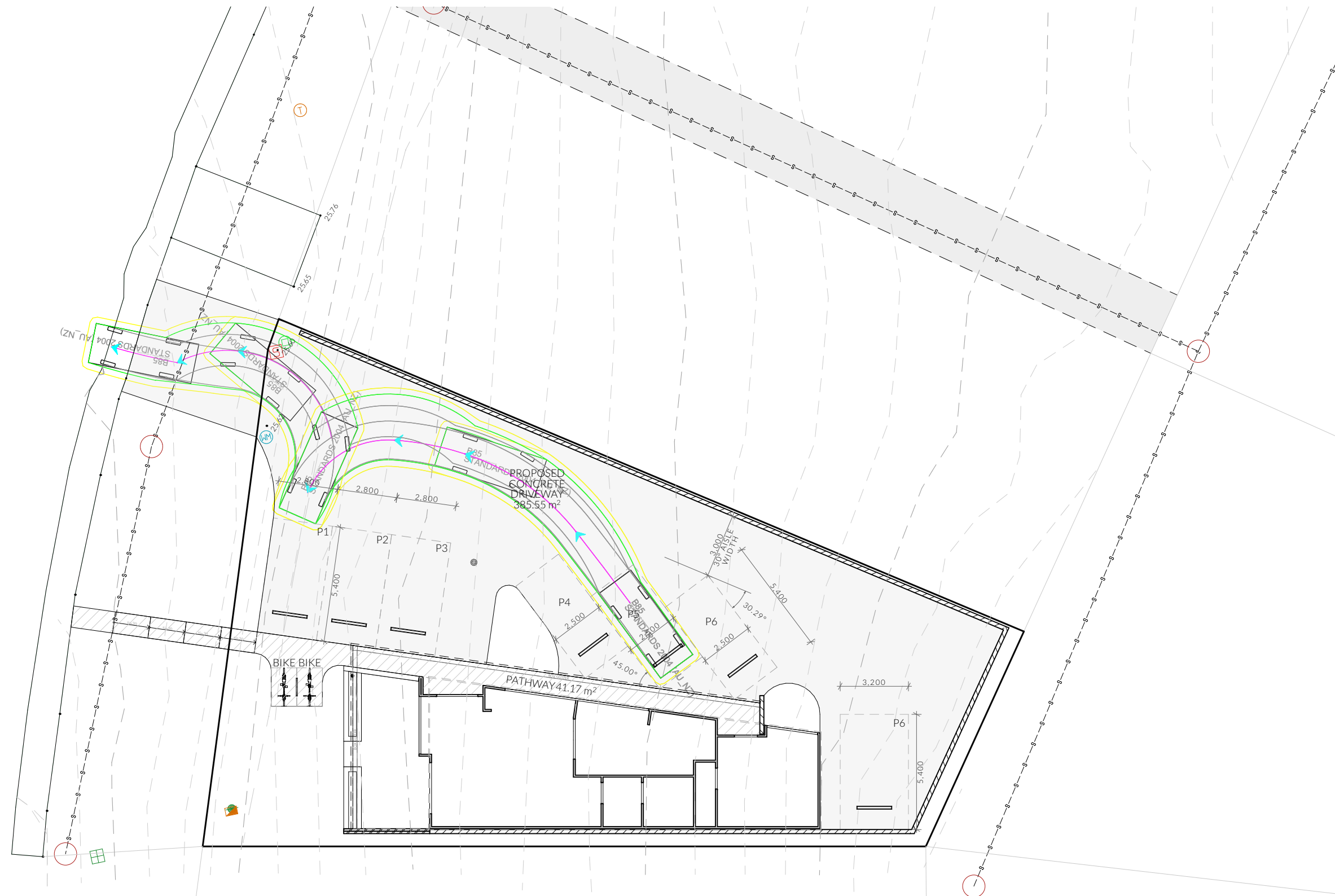
Width: 2300
Length: 6700
Aisle Width: 3600

Legend

- Solar Bollard Lighting
- Spotlight with Sensor

Turning Path Legend

-
- Diagram illustrating the clearance requirements for a vehicle:
- LINE OF BODY
 - 300mm BODY CLEARANCE
 - DIRECTION OF TRAVEL





Legend

- General Waste Bin
- Recycling Bin
- Green Waste Bin
- Clothesline
- Air Conditioner unit
- Meter Box
- Hot Water Cylinder
- 1.8m to 2.1m Paling Fence
- 1.7m high Timber Screen
- 1.2m Timber Fence
- Solar Bollard Lighting
- Spotlight with Sensor

- Seeded Lawn
- Mulched Garden Bed
- Gravel Area - Fine
- Decorative Pebble
- Water
- Paving

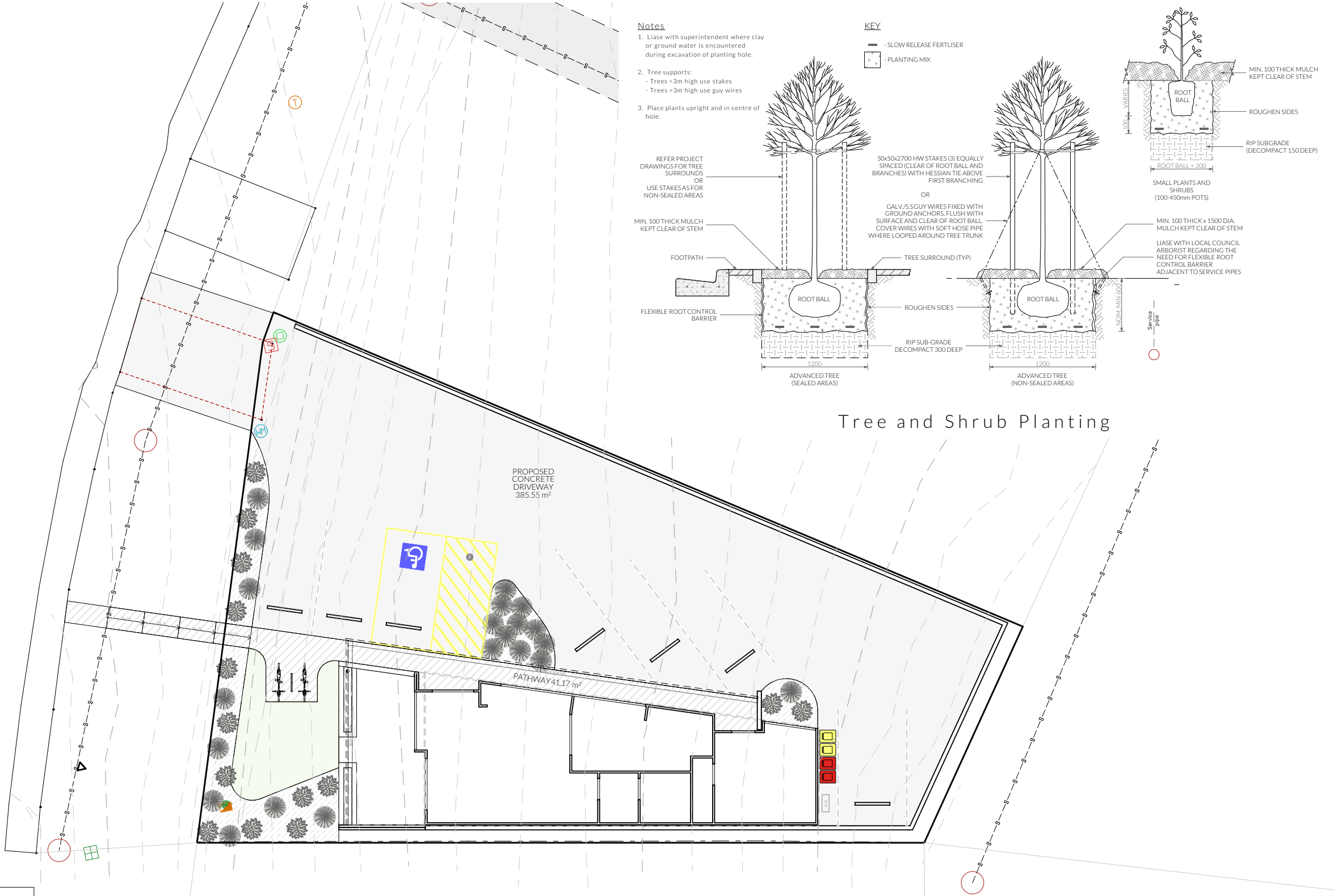
Note
Refer to Planting Schedule & Details page for plant information.

Planting Schedule

Symbol	Element ID	Qty	Pot Size
	Lomandra sp. or similar	21	tubestock
	Rhagasia sp. or similar	14	tubestock

Note

Plants have been selected to be drought tolerant and low maintenance once established, it is recommended that a dripper system or similar be put into place until established. Plant locations are indicative and may be altered where suitable growing conditions cannot be met. Garden areas to be mulched with 75mm cover of selected mulch and plants are to be fertilised 6 monthly or where required until established. Garden edges are to be timber, steel, or brick. Plantings that are unsuccessful will be replaced where required.



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Landscaping Plan

Revision:
Approved by:

DA - 03
JN

Scale:
1:200 @ A3
Pg. No:
L.01

Proposal: New Cafe/Bakery & Hair Salon
Client: A J Carr Development Corporation
PTY LTD
Address: 998 Oceana Drive, Tranmere

Date: 27/06/2025
Drawn by: JD
Job No: Pinn 029-2020
Engineer: TBA
Building Surveyor: TBA

Issue	Date	Description
DA - 02	29.07.2025	Council RFI
DA - 03	25.08.2025	TasWater RAI



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All plumbing to be in accordance with AS3500, NCC Vol III, Tas Plumbing Code and local authority regulations.

Sewer and stormwater to mains connections, plumber to verify location on site.
(refer to site plan.)

All works are to be in accordance with the water supply code of Australia WSA 03-2011-3.1 version 3.1 MRWA edition v2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA version 2 and TasWater's supplements to these codes.

Minimum gradient on sewer pipes as per AS3500.2.2

·65Ø	= 1:40 (2.5%)
·80Ø, 100Ø	= 1:60 (1.65%)
·125Ø	= 1:80 (1.25%)
·150Ø	= 1:100 (1.00%)



EXISTING 25MM (PE100) CONNECTION TO PROPERTY
TO BE UPGRADED TO HYDRAULIC DESIGNERS
CALCULATIONS. ASSUMED DN32 FROM MAIN LINE TO
EACH UNIT.

100Ø SEWER LINE @ 1:60 TO EXISTING SEWER
CONNECTION, WORKS BY REGISTERED PLUMBER

PROPOSED
CONCRETE
DRIVEWAY
385.55 m²


PATHWAY 11.13

ORG WITH TAP OVER, TOP OF ORG TO BE A MINIMUM
OF 150mm BELOW LOWEST SANITARY FIXTURE

Legend

—WM—Water Line

—S—Sewer Line

 - Water Connection

- Water Stop Valve

- Fire Hydrant

S - Sewer Connection

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Sewer & Water Plan

Revision:
Approved by:

DA - 03
JN

Scale:
1:200 @ A3
Pg. No:
P.01

Proposal: New Cafe/Bakery & Hair Salon
Client: A J Carr Development Corporation
PTY LTD
Address: 998 Oceana Drive, Tranmere

Date: 27/06/2025
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 Job No: Pinn 029-2020
 Engineer: TBA
 Building Surveyor: TBA

Issue	Date
DA-02	29.07.2025
DA-03	25.08.2025

Description
Council RFI
TasWater RAI



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NOT FOR CONSTRUCTION

Dear Sir/Madam,

PDPLANPMTD-2025/053732 998 Oceana Dr, Tranmere-DA-02

In response to your correspondence dated 23/07/2025
I have addressed your requests as follows:

ITEM	COUNCIL REQUEST	DEVELOPMENT RESPONSE
1	<i>Please provide information as to the proposed hours of operation, external lighting, and hours when commercial vehicle movements and loading and unloading of commercial vehicles will occur. This will enable assessment of Acceptable Solutions A1, A2, and A3.</i>	<p>The bakery and hair salon are proposed to operate for the public within the hours specified in the Acceptable Solution (A1):</p> <ul style="list-style-type: none"> • 7:00am to 9:00pm Monday to Saturday • 8:00am to 9:00pm Sundays and public holidays <p>However, kitchen operations for the bakery (e.g. baking and food preparation) are proposed to commence at approximately 3:00am daily to allow for product preparation prior to public trading hours.</p> <p>Performance Criteria Assessment (P1):</p> <p>The extended internal kitchen operating hours are not anticipated to cause an unreasonable loss of amenity to the surrounding residential zones for the following reasons:</p> <ol style="list-style-type: none"> 1. Vehicle Movements (P1(a)): <ul style="list-style-type: none"> ○ All customer and delivery vehicle movements will occur within the acceptable trading hours. ○ The baker will arrive onsite prior to 7.00am, but this will involve minimal vehicle movement, typically one vehicle, and parking is provided onsite well away from sensitive residential interfaces. 2. Noise and Emissions (P1(b)): <ul style="list-style-type: none"> ○ Kitchen activities involve internal food preparation only, with no industrial noise emissions or mechanical plant operating externally during early hours. ○ The kitchen window is only 600mm high and located at bench height, facing away from the nearest residential interface and partially cut into the site, further reducing any potential noise or light transmission. ○ The bakery is single-storey and the area of early morning activity is enclosed, minimising noise breakout.

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- The adjoining lot to the north is zoned Local Business Zone, with no sensitive residential use directly adjacent to the kitchen window, further mitigating potential impacts.
- External lighting during early hours will be limited to low-level security lighting, designed to avoid light spill into residential zones.

External lighting will not operate within the hours of 11.00pm to 6.00am, excluding any security lighting.

Security lighting will be baffled so that direct light does not extend into the adjoining properties in the general residential zone.

- | | | |
|---|--|---|
| 2 | <i>Please note that the proposal does not satisfy Acceptable Solutions A1 or A2 . You may wish to provide a response to Performance Criteria P1 and P2, including shadow diagrams.</i> | Due to topographical constraints and parking requirements we need to set the building back further as it is not practical to build at ground level at the frontage. The building has also been positioned to add consistency to the streetscape regarding setbacks. |
| 3 | <i>Please provide amended plans showing the location of any air extraction, pumping, refrigeration systems or compressors to enable assessment of Acceptable Solution A3.</i> | Please refer to the revised plans where a service area has been nominated behind the building. |
| 4 | <i>Please provide amended plans showing the location of mechanical plant and other service infrastructure, any security shutters or grilles, and external lighting to enable assessment of Acceptable Solution A1.</i> | Please refer to the revised plans where a service area has been nominated behind the building. |
| 5 | <i>Please confirm whether any outdoor storage is proposed, including of waste storage areas.
If these areas are proposed, please provide amended plans showing the location.</i> | No outdoor storage is proposed as part of this application. |

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- | | | |
|---|---|---|
| 6 | <i>Please provide plans detailing the type, dimensions, and illumination levels of any proposed signs. Alternatively, you may wish to remove the proposed signs from the plans and include them in a separate application, once tenants are confirmed and the sign content is able to be provided.</i> | Please refer to plans, no illumination of the signs is proposed. |
| 7 | <i>The proposal does not satisfy Acceptable Solution A1 of clause C2.5.1 as 7 car parking spaces are proposed while the Food Services Use requires 7 and the General Retail and Hire Use requires 1. You may wish to amend the plans to include an extra vehicle space or provide a response to Performance Criterion P1.1.</i> | The proposal has 7 car parking spaces instead of 8, which is reasonable given the site constraints. There is good access to public transport (40m +/- to the nearest bus stop) and plenty of on street parking nearby. The parking spaces will be shared across the 2 uses with different peak times, and adding more onsite parking would impact the streetscape negatively. |
| 8 | <i>Acceptable Solution A1 of clause C2.5.2 is also not satisfied as 1 bicycle parking space is required to be provided in accordance with Table C2.1. You may wish to amend the plans to include an extra vehicle space or provide a response to Performance Criterion P1.</i> | Please refer to the revised plans where 2 bicycle parking spaces have been added. |
| 9 | <i>Please provided amended plans illustrating how the parking area will be drained to enable assessment of Acceptable Solution A1(b). Note that the service lids in the driveway will also need to be upgraded to trafficable condition.</i> | Please refer to the Civil Plan (sheet C.01) for details on the stormwater design. |

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- 10 *Please nominate the types of commercial vehicles to be used by the development, and show how these vehicles can enter, park, and exit the site in a forward direction to enable assessment of Acceptable Solution A2.*
- All deliveries will occur within the acceptable solution hours to avoid any disturbance to nearby residential areas and ensure compliance with A1. The maximum size of delivery vehicle anticipated is a small light rigid (LR) truck or van, suitable for a commercial premises of this scale. Deliveries are scheduled for early morning within operating hours, when customer activity is minimal, ensuring ample availability of on-site parking spaces for safe and efficient manoeuvring. This allows delivery vehicles to enter, unload, and exit the site in a forward direction, without the need for reversing onto the street or causing disruption to pedestrian or traffic flow. The compact scale of the delivery vehicle and timing further minimises noise and ensures a low-impact interface with the surrounding area.
- 11 *To enable assessment of Acceptable Solution A1.4, please provide information regarding the anticipated number of vehicles:
o up to 5.5m long and
o longer than 5.5m.*
- The proposal includes a 96 m² bakery with dine-in seating (approx. 31 seats) and a 21 m² hair salon (2–3 chairs). Access is via an existing crossover to Oceana Drive, a local road with a 50 km/h speed limit and no intersections or crossings affected. Based on the Tasmanian TIA Guidelines (August 2020) and referencing the NSW Guide to Traffic Generating Developments as recommended, the estimated traffic generation is:
- Bakery: 30–35 vehicle movements/day
 - Hair salon: 13–17 vehicle movements/day
 - Total estimated vehicle movements: 43–52/day, primarily from standard passenger vehicles.
- Deliveries are limited to 1–2 light rigid vehicles/day, well under the 5/day threshold for vehicles >5.5 m. While this marginally exceeds the Acceptable Solution threshold of 40 movements/day, the proposed traffic is:
- Low in volume and impact
 - Dispersed across the day
 - Accessed from a safe, existing crossover with compliant sight distances
 - Not expected to compromise the efficiency or safety of the road network.
- The proposed commercial uses are consistent with local need and do not involve heavy vehicle use or queuing. This response is provided in accordance with the TIA Guidelines – August 2020 to address the Performance Criteria (P1). Should Council consider a formal TIA necessary, we are happy to engage a qualified traffic engineer to prepare this.

P I N N A C L E

I trust the provided information addresses the matters identified in the further information request and ask that the council now accept the submitted documentation as a valid application under LUPA.

Kind Regards,

A handwritten signature in black ink, appearing to read 'J. Nickerson', with a stylized flourish at the end.

Jason Nickerson

Director