



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/053963

PROPOSAL: Dwelling

LOCATION: 3240 South Arm Road, South Arm

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 29 September 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 29 September 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 29 September 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our Privacy Policy, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

RESIDENTIAL BUILDING

Location:

Address

3240 SOUTH ARM ROAD

Suburb/Town

SOUTH ARM

Postcode

7022

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

Estimated cost of development

\$

Is the property on the Tasmanian Heritage Register?

Yes

No

(If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Signature	<div style="background-color: black; color: white; text-align: center; padding: 10px;">Personal Information Removed</div>	Date <u>14-7-25</u>
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**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



Clarence... a brighter place

- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



Documentation required:

1. MANDATORY DOCUMENTATION

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. ADDITIONAL DOCUMENTATION

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
39665		2
EDITION	DATE OF ISSUE	
4	14-Jun-2025	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

City of CLARENCE
Lot 2 on Diagram 39665
Derivation : Part of 3,900 Acres - Gtd. to G.H.B. Gellibrand.
Prior CT 4635/73

SCHEDULE 1

N255502 TRANSFER to LINDA ELLEN JACKSON and STEPHEN GLENN
JACKSON Registered 14-Jun-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
27/5766 CONVEYANCE: Benefiting Easement: Right to pass and
repass over the strip of land marked A.B.C. on
Diagram No. 39665.

GENERAL NOTES
DO NOT SCALE FROM THIS DRAWING
CONFIRM ALL DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE & INSTALLATION
ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS
TO BE READ IN CONJUNCTION WITH ENGINEERS DOCUMENTS
THIS DRAWING CONTAINS COLOUR CODED INFORMATION AND MUST BE REPRODUCED IN COLOUR AT ALL TIMES

3240 SOUTH ARM ROAD,
SOUTH ARM,TAS 7002

SITE INFORMATION

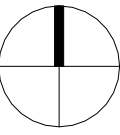
REGISTERED NUMBER: D.39665
PLANNING ZONE: LOW DENSITY RESIDENTIAL
LOT AREA: 668m²
PROPOSED DWELLING AREA: 98m²
PROPOSED SHED AREA: 27m²



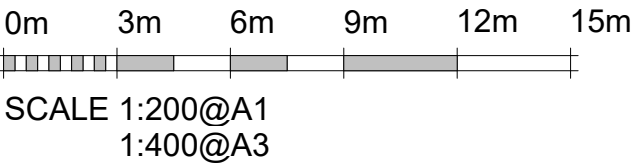
- PROPOSED 10,000L FIRE WATER TANKS
- PROPOSED SHED 27m² & CARPORT
- PROPOSED CROSSOVER
- PROPOSED DWELLING 102m²
- PROPOSED 2 X 10,000L WATER TANKS
- PROPERTY BOUNDARY

A	XX/XX/2025	DEVELOPMENT APPLICATION
Rev	Date	Description

LOCATION PLAN
1:200



TRUE NORTH



Project:
STEVEN AND LINDA JACKSON
3240 SOUTH ARM ROAD, SOUTH
ARM,TAS 7002
Drawing Description:
LOCATION PLAN

Drawn by: SAMChecked by: Scale: As indicated@A1
HODGENS Checker

PROJECT NO: 22344	DWG NO: A101.2	REV NO: A
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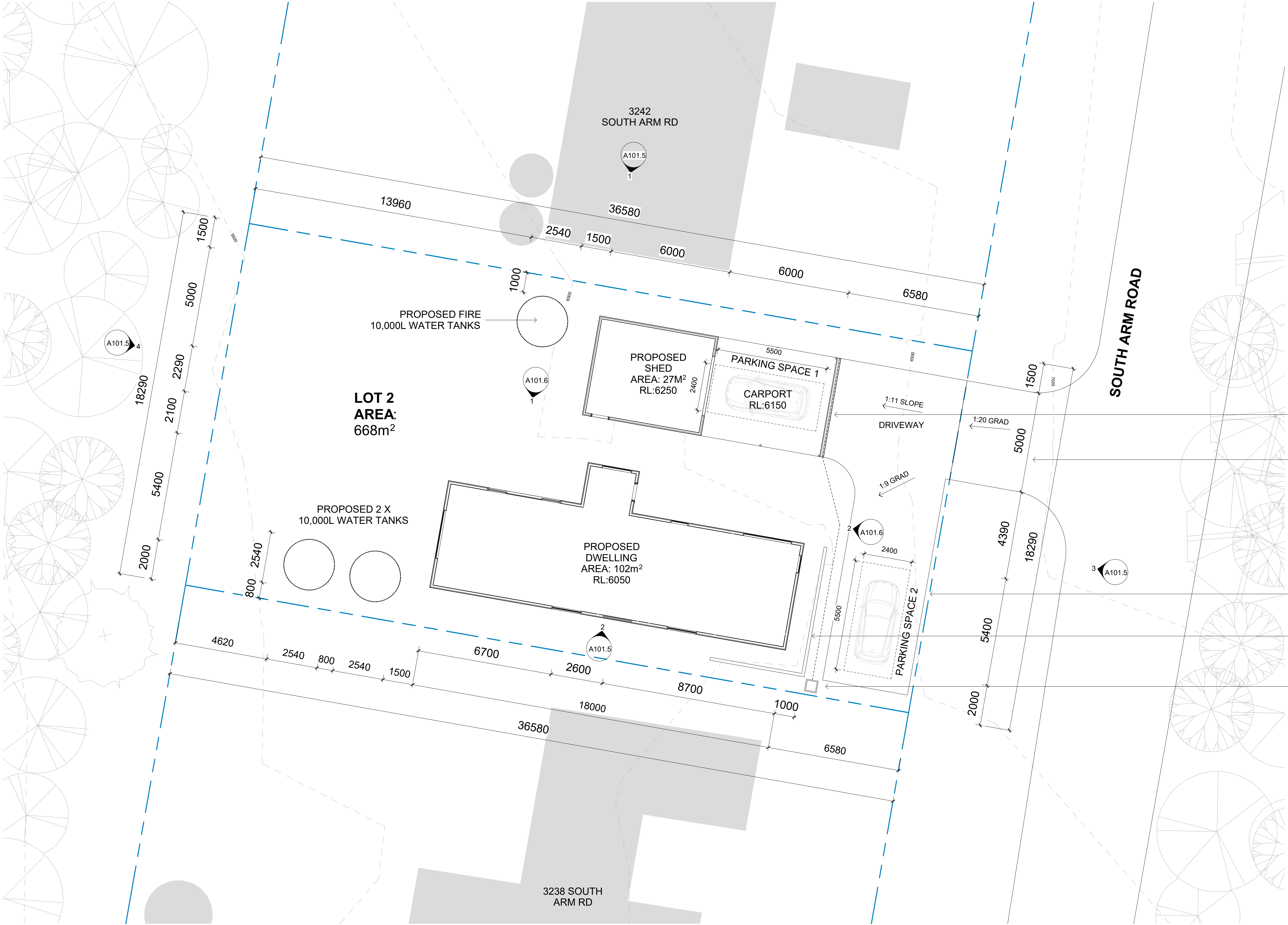
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SOUTH ARM,TAS 7002

SITE INFORMATION

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PLANNING ZONE: LOW DENSITY RESIDENTIAL
LOT AREA: 668m²
PROPOSED DWELLING AREA: 98m²
PROPOSED SHED AREA: 27m²



LINEAR STORMWATER GRATE
WITH CHANNEL TO DRAIN TO
STORMWATER PIT

PROPOSED CROSSOVER

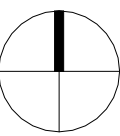
PROPERTY BOUNDARY

RETAINING WALL

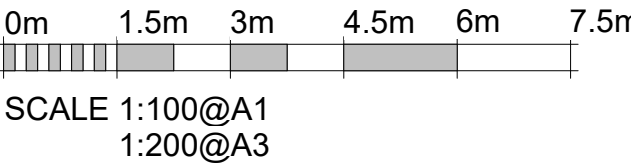
STORMWATER PIT TO
DRAINAGE TRENCH

Rev	Date	Description
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SITE PLAN
1:100



TRUE NORTH



Project:
STEVEN AND LINDA JACKSON
3240 SOUTH ARM ROAD, SOUTH
ARM,TAS 7002
Drawing Description:
SITE PLAN

Drawn by: Author Checked by: Checker Scale: As indicated@A1

PROJECT NO: 22344 DWG NO: A101.3 REV NO:

Drawing Status: DA

GENERAL NOTES

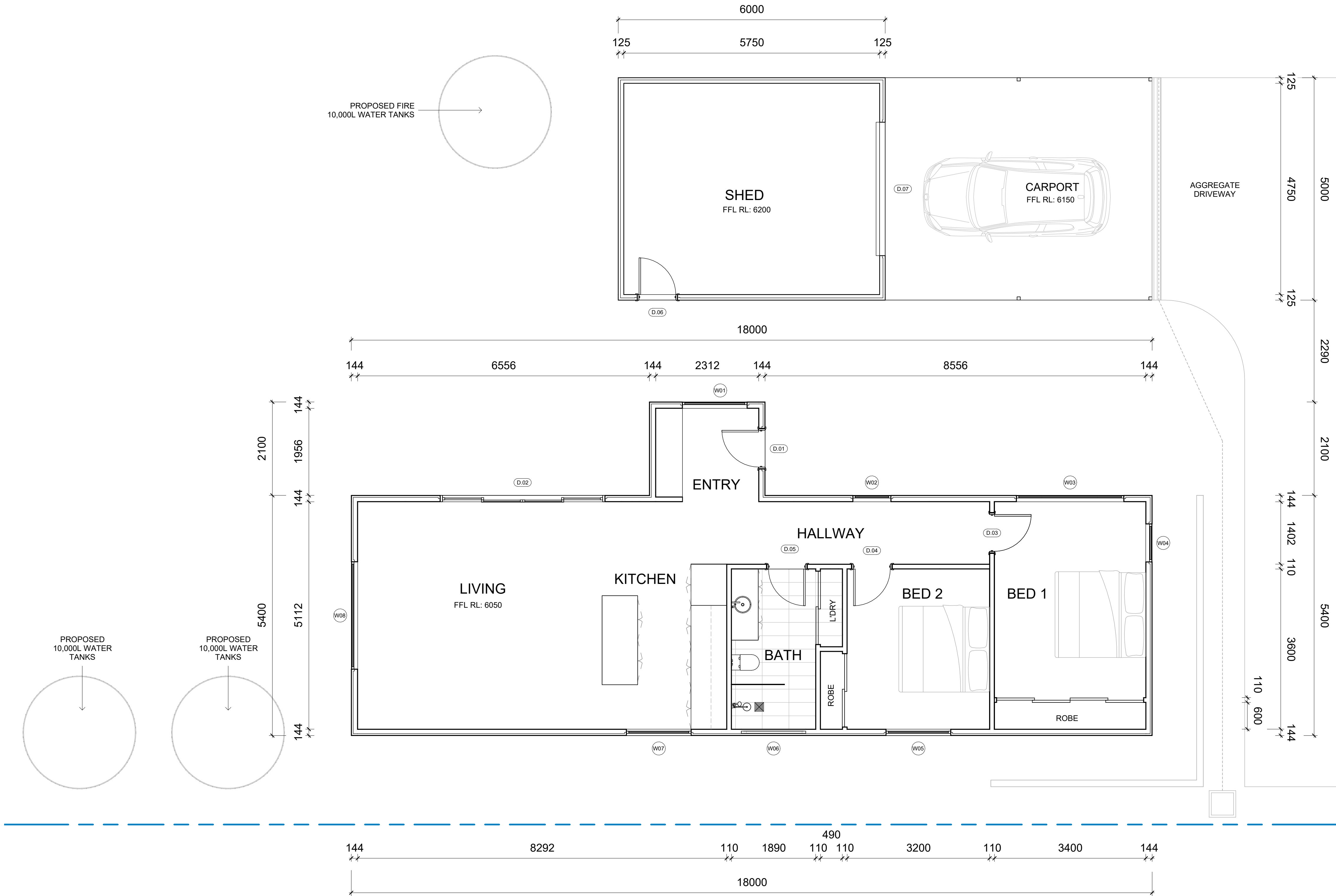
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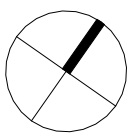
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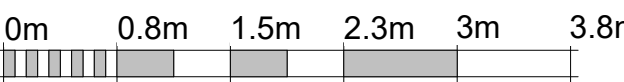
Rev Date Description

FLOOR PLAN

1:50



TRUE NORTH



SCALE 1:50@A1
1:100@A3

Project:
STEVEN AND LINDA JACKSON
3240 SOUTH ARM ROAD, SOUTH
ARM, TAS 7002
Drawing Description:
FLOOR PLAN

Drawn by: Author
Checked by: Checker
Scale: 1 : 50@A1

PROJECT NO: 22344
DWG NO: A101.4
REV NO:

Drawing Status: DA

GENERAL NOTES

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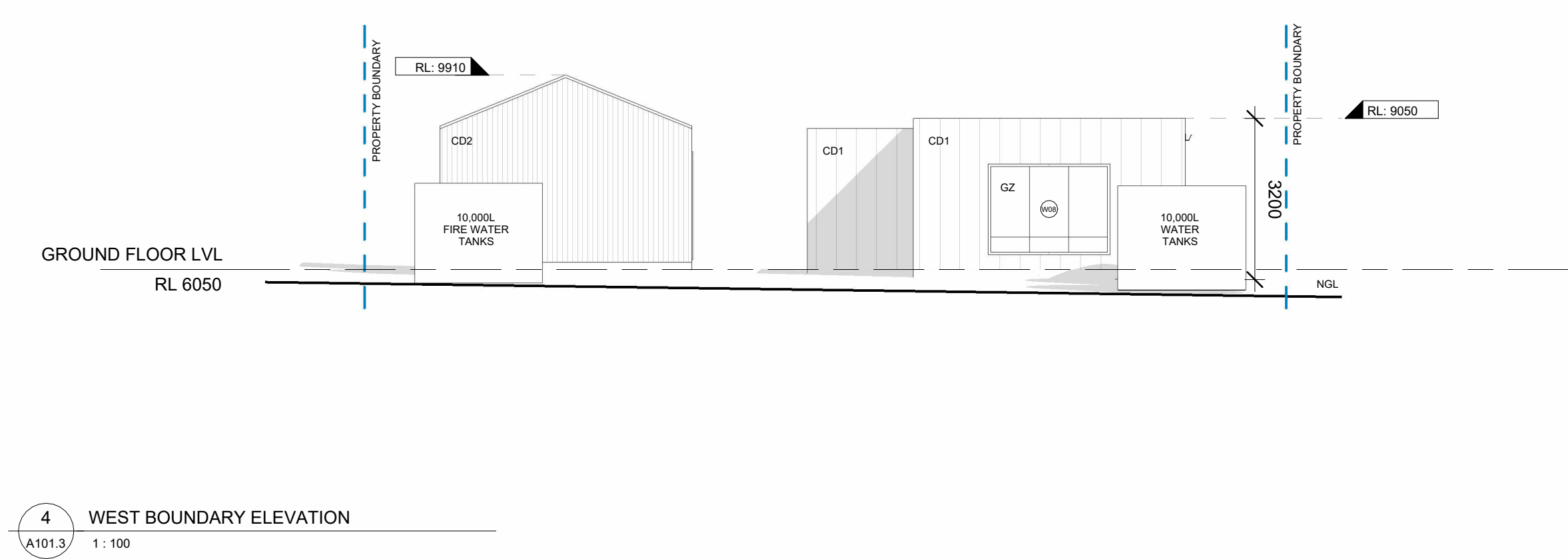
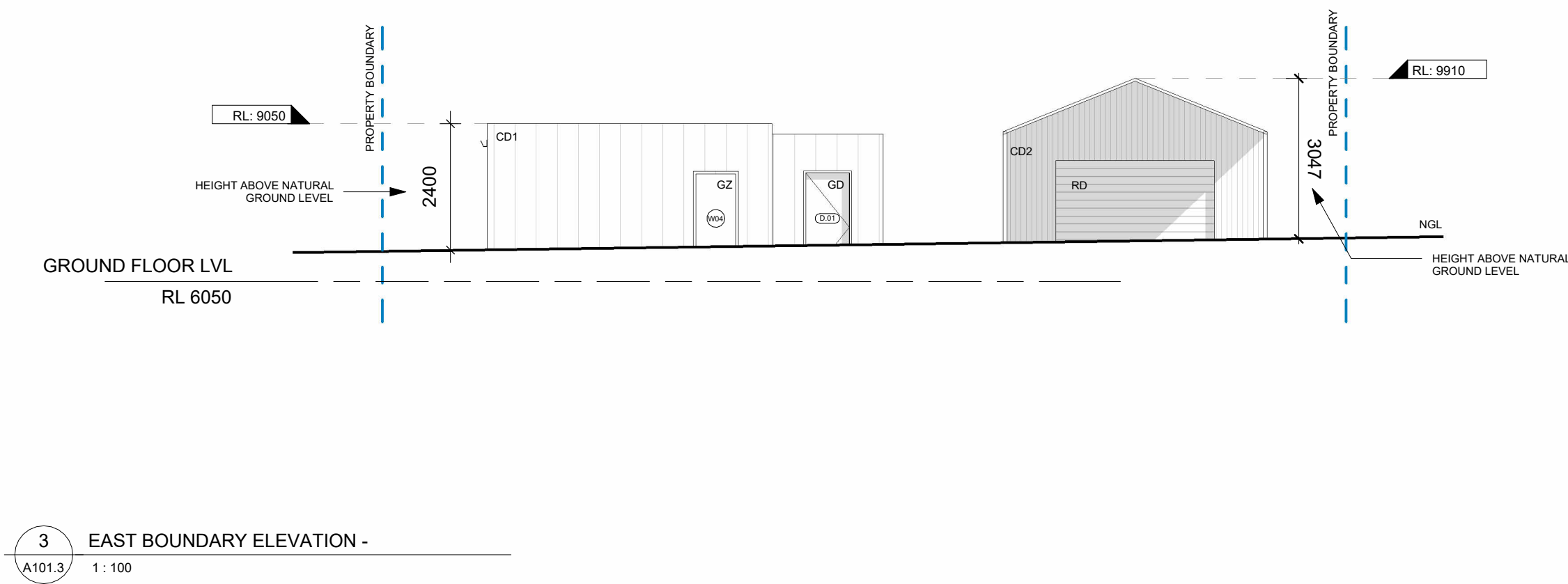
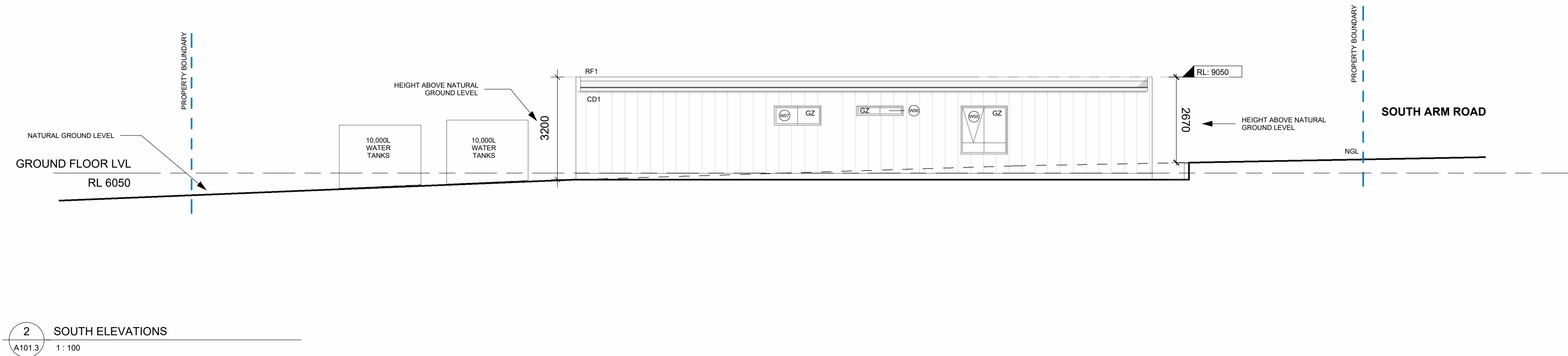
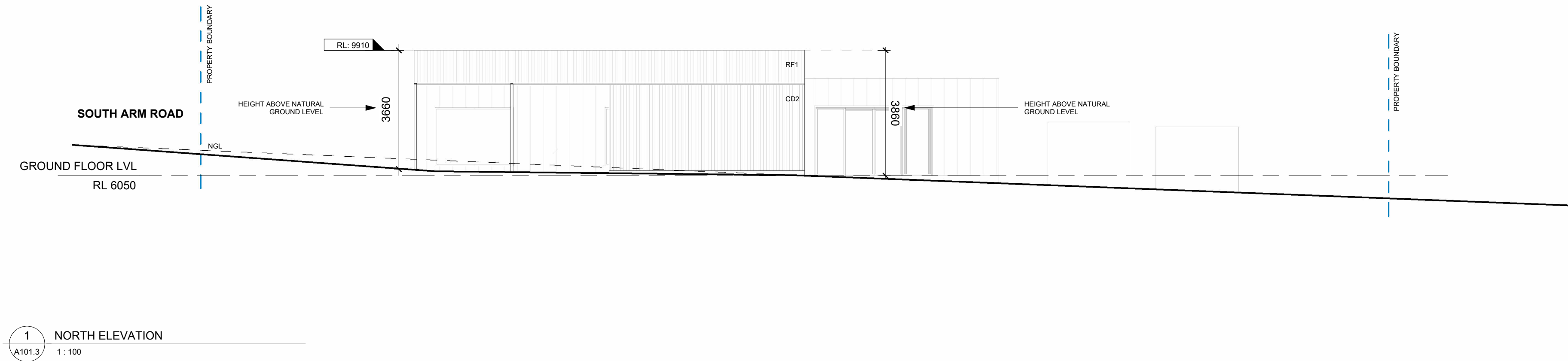
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LEGEND

- CD1 - FIBRE CEMENT CLADDING
- CD2 - METAL SHEET CLADDING
- RF1 - METAL SHEET ROOF
- GZ - GLAZED WINDOW
- GD - GLAZED DOOR
- RD - ROLLER DOOR
- NGL - NATURAL GROUND LEVEL



Rev Date Description

Project:
STEVEN AND LINDA JACKSON
3240 SOUTH ARM ROAD, SOUTH
ARM, TAS 7002
Drawing Description:
ELEVATIONS

Drawn by: Author Checked by: Checker Scale: As indicated@A1
PROJECT NO: 22344 DWG NO: A101.5 REV NO:
Drawing Status: DA



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LEGEND

CD1 - FIBRE CEMENT CLADDING

CD2 - METAL SHEET CLADDING

RF1 - METAL SHEET ROOF

GZ - GLAZED WINDOW

GD - GLAZED DOOR

RD - ROLLER DOOR

NGL - NATURAL GROUND LEVEL



1 NORTH INTERNAL ELEVATION
A101.3 1:100



2 EAST INTERNAL ELEVATION
A101.3 1:100

Rev Date Description

Project:
STEVEN AND LINDA JACKSON
3240 SOUTH ARM ROAD, SOUTH
ARM, TAS 7002
Drawing Description:
ELEVATIONS



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PROJECT NO: 22344 DWG NO: A101.6 REV NO:

Drawing Status: DA

GENERAL NOTES

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LEGEND

CD1 - FIBRE CEMENT CLADDING

CD2 - METAL SHEET CLADDING

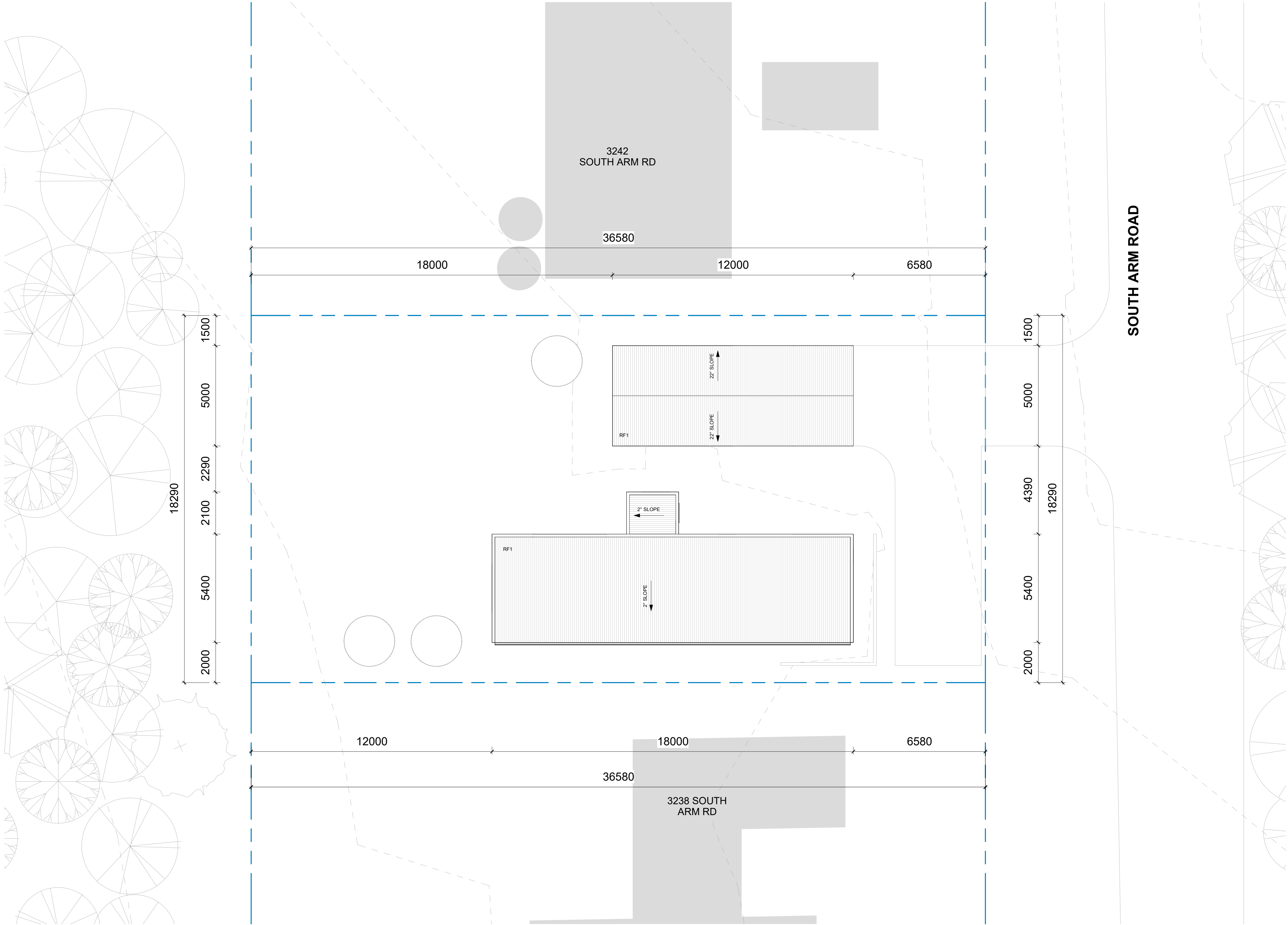
RF1 - METAL SHEET ROOF

GZ - GLAZED WINDOW

GD - GLAZED DOOR

RD - ROLLER DOOR

NGL - NATURAL GROUND LEVEL



ROOF PLAN

1:100

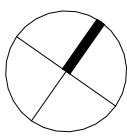
Rev Date Description

Project:
STEVEN AND LINDA JACKSON
3240 SOUTH ARM ROAD, SOUTH
ARM, TAS 7002
Drawing Description:
ROOF PLAN

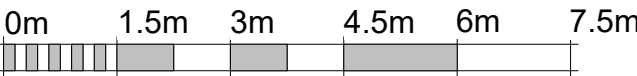
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Drawing Status: DA



TRUE NORTH



SCALE 1:100@A1
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