



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2025/054655**

**PROPOSAL:** New Classroom to Existing School

**LOCATION:** 7 Golf Links Road, Geilston Bay

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 22 September 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 22 September 2025. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 22 September 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

# Clarence City Council



## APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at Council offices.

Proposal:

New Classroom to existing school

Location:

7 Golf Links Rd  
Address .....

Geilston Bay  
Suburb/Town .....

Postcode 7015

**Personal Information Removed**

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

none

Current Use of Site:

School

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

☒

**Declaration:**

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

**Acknowledgement:**

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's  
Signature:

Signature...

**Personal  
Information  
Removed**

Date.....

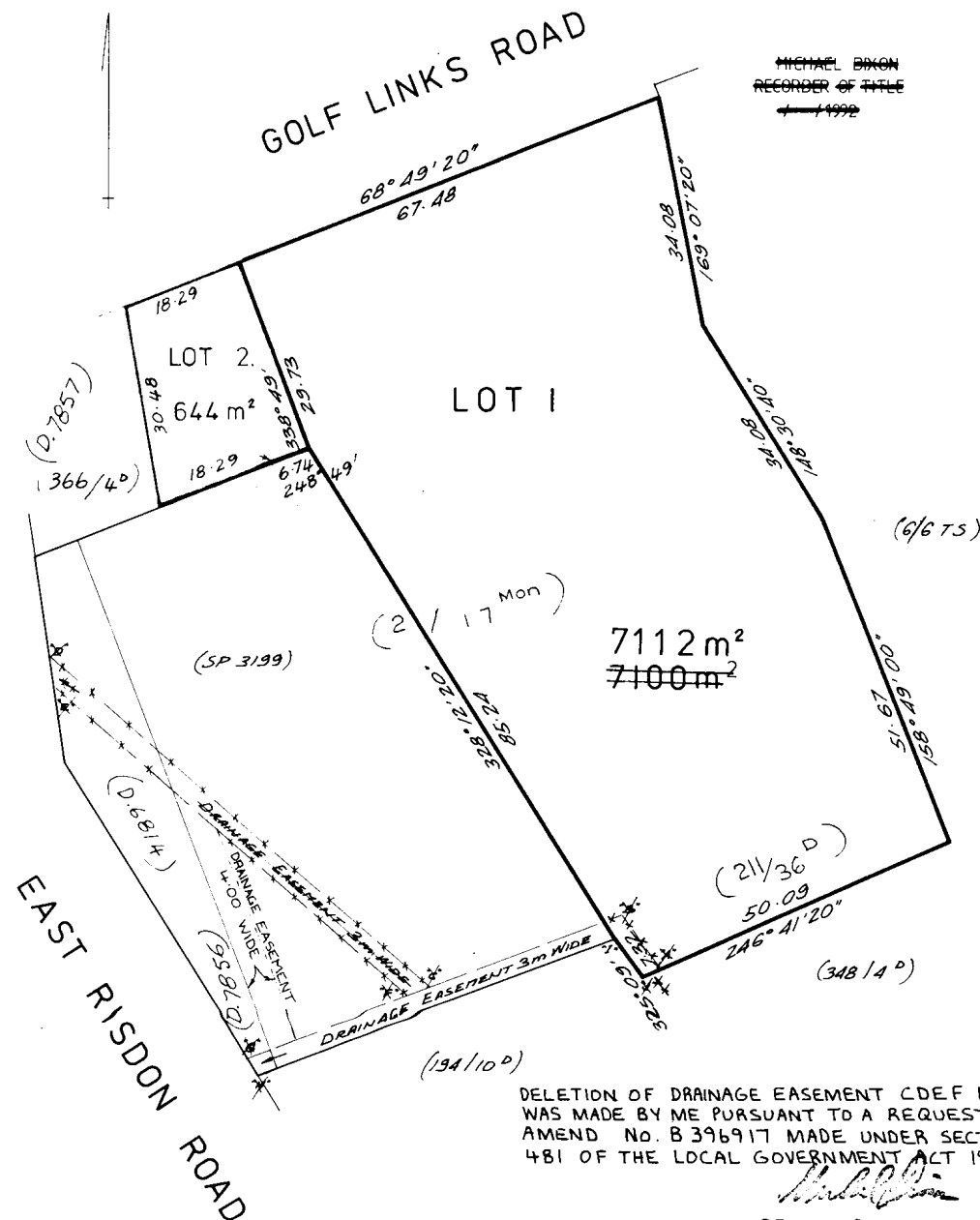
06/08/25

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST  
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST  
BE SUBMITTED WITH YOUR APPLICATION.**

Owner: <i>M. C. Shelley</i>	PLAN OF SURVEY by Surveyor <i>C. L. Andrews</i> of land situated in the	Registered Number: <b>S.P.5342</b>
Title Reference: <i>3121/7 C.T.</i> <i>2880/55 C.T.</i>	TOWN OF LINDISFARNE	Effective from: <i>17-4-74</i>
Grantee: <i>Part of 2560 ac</i> <i>Granted to Thomas George Gregson</i>	Scale <i>1:750</i>	<b>P/I</b> <i>M. Hutchinson</i> Recorder of titles

LENGTHS ARE IN METRES  
LOT 2. COMPILED FROM  
C.T. 3121-7 & THIS PLAN

PURSUANT TO REQUEST No. B396917 UNDER  
SECTION 481 OF THE LOCAL GOVERNMENT ACT 1962  
IS AFFECTED AS TO AMENDED EASEMENT SEARCH  
SCHEDULE OF EASEMENTS FOR SEALED PLAN No. 5342



MICHAEL BIXON  
RECORDER OF TITLE  
1992

DELETION OF DRAINAGE EASEMENT CDEF HEREDON  
WAS MADE BY ME PURSUANT TO A REQUEST TO  
AMEND No. B396917 MADE UNDER SECTION  
481 OF THE LOCAL GOVERNMENT ACT 1962

*M. Hutchinson*  
RECORDER OF TITLES  
23/3/1992

## SEARCH OF TORRENS TITLE

VOLUME 5342	FOLIO 1
EDITION 4	DATE OF ISSUE 01-Aug-2019

SEARCH DATE : 06-Aug-2025

SEARCH TIME : 01.52 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Sealed Plan 5342

Derivation : Part of 2,560 Acres Gtd. to T.G. Gregson.

Prior CT 3391/61

SCHEDULE 1

M751371 TRANSFER to CHRISTIAN EDUCATION MINISTRIES LTD  
Registered 01-Aug-2019 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 5342 EASEMENTS in Schedule of Easements

SP 5342 FENCING PROVISION in Schedule of Easements

NOTIFICATION Portion of the above right of drainage over the  
lands marked drainage easement 3.00 wide has been  
extinguished in consequence of the acquisition of  
Portion of the servient land by notice No. 485199  
Registered 10-Jun-1975 at noon

NOTICE: This Folio is affected as to amended  
easements/covenants pursuant to Request to Amend No  
\$B396917 made under Section 481 of the Local  
Government Act 1962. Search Sealed Plan No 5342 .

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



**SCHEDULE OF EASEMENTS**

**PLAN NO.**

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

**S.P.5342**

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

FENCING PROVISION

*M* In respect of the Lots ~~Y~~ shown hereon the ~~registered proprietor~~ Vendor  
MARGARET COUPE SHELLEY shall not be required to fence.

RIGHTS OF DRAINAGE

- M* 1. The Lot 1 is TOGETHER WITH a Right of Drainage over the Drainage Easement shown hereon ~~passing through the balance of the land in the said Certificate of Title.~~
- M* 2. ~~The Lot 1 is subject to a right of drainage over the Drainage Easement passing through that Lot as appurtenant to the land comprised in Diagram 348/4.~~

SIGNED by MARGARET COUPE SHELLEY

the Registered Proprietor of the land shown on the Plan in the presence of :

*Jan Saw*  
Law Clerk  
Moonah

*M Margaret Shelley*

BANK OF NEW SOUTH WALES  
BY ITS ATTORNEY

*[Signature]*

CHIEF MANAGER

Mortgagee under Memorandum  
of Mortgage No.A. 350740

Signed by IAN JEFFREY BEATON  
acting under Power of Attorney No. 18948 who hereby declares he has received no notice of revocation of the said Power.  
In the presence of .

*[Signature]*  
A Justice of the Peace

SIGNED by KENNETH FRANCIS LOWRIE

in the presence of :

*Jan Saw*  
Law Clerk  
Moonah

*K.F. Lowrie*  
Mortgagee under Memorandum  
of Mortgage No.A.350741.

CORRECT for the purposes of "The Real Property Act 1862, as amended.

K.F. LOWRIE

Per: *[Signature]*

Solicitor for the Applicant

The right of drainage above was amended to read "Together with a Right of Drainage over the Drainage Easement shown hereon" pursuant to a Request to Amend No. B.396917 made under Section 481 of The Local Government Act 1962.

*[Signature]*  
RECORDER OF TITLES

23-3-92

Certified correct for the purposes of the Real Property Act 1862, as amended.

K.F. LOWRIE

Per:

Subdivider/Solicitor for the Subdivider

This is the schedule of easements attached to the plan of

comprising part of the land in

Certificate of title Volume 2880 Folio 55

(Insert Title Reference)

Sealed by Clarence Municipal Council, Bellerive on 6<sup>th</sup> FEBRUARY 1974

80740

*[Signature]*  
Council Clerk/Town Clerk

# PINNACLE

06/08/2025

Dear Sir/Madam,

## Re: 7 Golf Links Rd, Geilston Bay

### Development Overview:

The proposed development is for a new Food Tech teaching facility at the school. The proposal is designed to match in with the existing 2 classroom buildings on the site. It will be provided with a gravel pathway from existing hardstand area for access and will rely on existing facilities and parking for the school.

### 8.2

Use : Educational and Occasional Care

### 8.3.1

A1: Hours of operation are 8am to 4pm weekdays

A2: External lighting for security purposes will be baffled, all other lighting will be within permitted hours of A2.

A3: N/A

P4: Proposed development is within an existing development with this proposed use. The classroom will not increase the traffic generated as the classroom is only providing an additional educational provision for the students. The intensity of the development is considered reasonable for size of the school allotment and does not remove any amenity for the students.

### 8.5.1

A1: Setbacks are 29m from front and +3m from the side boundary

A2: compliant diagrams provided on elevations

A3: Site coverage is 38.75%

A4: N/A

A5: N/A

P6: The proposal contains 3 wall mounted outdoor AC wall units of a residential scale (non-commercial) which won't emit noise levels higher than a residential use. External roof mounted exhausts provided of residential scale which won't emit noise levels higher than a residential use.



Dear Sir/Madam,

## PLANNING APPLICATION - PDPLANPMTD-2025/054655 - 7 Golf Links Road, Geilston Bay

In response to your correspondence dated 26/08/25  
I have addressed your requests as follows:

ITEM	COUNCIL REQUEST	DEVELOPMENT RESPONSE
1	<p><b>8.5.1 NON-DWELLING DEVELOPMENT – A6/P6</b></p> <ul style="list-style-type: none"> <li>· It is noted that a written submission was provided in response to this clause. The performance criteria requires one of four mandatory outcomes; namely that air conditioning, air extraction, pumping, heating or refrigeration systems or compressors be designed, located, baffled or insulated to not cause an unreasonable loss of amenity. Further information or amended plans are required to clarify which of these is proposed;</li> <li>· The submission proposes air conditioning and air extraction of a residential scale. This does not appear to be supported by the quantity of cooking stations proposed; and</li> <li>· The submission does not appear to address (c) or (d). Given above, further information would be required to assess the proposal in relation to both these sub-clauses.</li> </ul>	<p><b>(a) Design and Location</b></p> <ul style="list-style-type: none"> <li>• All compressors (AC outdoor units) are wall-mounted externally and placed in security cages to minimise tampering and noise intrusion.</li> <li>• Exhaust risers are ducted vertically to roof-mounted fans, ensuring discharge is directed away from neighbouring properties.</li> </ul> <p><b>(b) Baffling and Insulation</b></p> <ul style="list-style-type: none"> <li>• Supply and exhaust grilles include hinge cores and honeycomb filters, which act as sound baffles and reduce noise breakout.</li> <li>• Make-up air grilles include backdraft dampers, which prevent reverse airflow and noise leakage.</li> <li>• Security cages also provide partial sound deflection for outdoor AC units and rubber isolation pads.</li> </ul> <p><b>(c) Noise and Vibration</b></p> <ul style="list-style-type: none"> <li>• Roof-mounted exhaust fans and external AC condensers will be selected to comply with AS 2107:2016 internal noise levels for schools and EPA Tasmania noise emission limits at boundaries.</li> <li>• A calculated assessment of the specified models is provided at the end of this report.</li> <li>• Condensate drains are directed to approved points, avoiding vibration or nuisance.</li> </ul>

# PINNACLE

## (d) Odour and Amenity

- All exhaust systems are fitted with grease filters and odour control elements, ensuring food odours are appropriately treated and expelled above roof level.
- Discharge points are positioned well above adjoining residential areas, avoiding amenity loss.

### Calculation for specific model: Specified A/C Unit for Haier Tempo


Predicted sound pressure levels from three Haier Tempo outdoor condensers are ~51 dB(A) at 3 m to boundary and ~38.5 dB(A) at 13 m to the nearest dwelling (worst-case). The dwelling receiver complies. To satisfy residential amenity at the 3 m boundary, we will provide an acoustic service enclosure to the condensers (min. 8–12 dB(A) insertion loss), specify anti-vibration mounts, and enable night/quiet mode after hours. These measures reduce boundary levels to  $\leq 40$  dB(A), ensuring no unreasonable loss of amenity and compliance with 8.5.1 P6.

### Calculation for specific models: three roof-mounted exhaust fans: the RCD190-VEE (1) and the RCV560-VEE (2)

Predicted sound pressure levels at 6.4 m (site boundary to fan units) are **47.4 dB(A)** and **38.4 dB(A)** respectively, and at 21 m (nearest dwelling to fan units) are **37.1 dB(A)** and **28.1 dB(A)**. Both fans are therefore compliant with typical Tasmanian environmental noise criteria, which specify a maximum of 50 dB(A) during daytime and 40–45 dB(A) at night for residential receivers. The development is not expected to result in environmental nuisance. The proposal satisfies relevant planning scheme performance criteria in relation to noise emissions from mechanical plant.

I trust the provided information addresses the matters identified in the further information request and ask that the council now accept the submitted documentation as a valid application under LUPA.

Kind Regards,



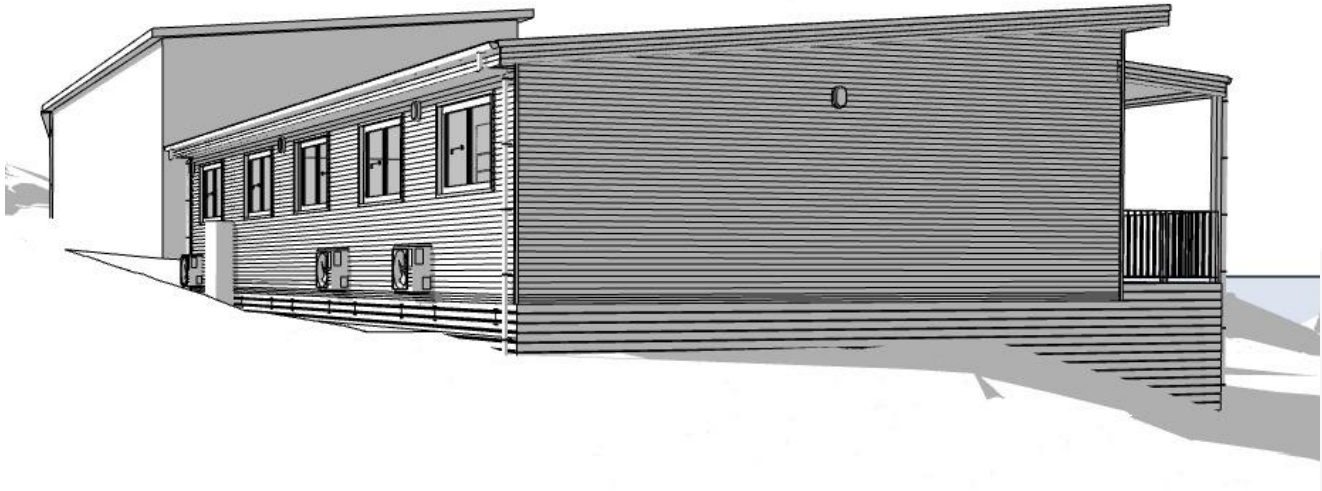
Jason Nickerson

Director

# PINNACLE

Type of construction required C2D2 NCC Vol. I 2022		
Rise in storeys	Class of building 2, 3, 9	Class of building 5, 6, 7, 8
4 or more	A	A
3	A	B
2	B	C
1	C	C

Changes List			
Issue	Description of change	Date	Designer



Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

## 7 Golf Links Rd, Geilston Bay. Tas7015

Owner(s) or Clients	Christian Education Ministries Ltd		Title Reference	5342/1
Building Classification	9b		Zoning	General Residential
Construction Type	C		Land Size	7095m <sup>2</sup>
No. of Storeys	1		Design Wind Speed	N2
Designer	Jason Nickerson CC6073Y		Soil Classification	M
Total Floor Area (Combined)	1103.04m <sup>2</sup>	Deck 30.24m <sup>2</sup>	Climate Zone	7
Alpine Area	N/A		Corrosion Environment	Low
Other Hazards	Road or railway attenuation area, Airport obstacle limitation area, Flood-prone areas		Bushfire Attack Level (BAL)	Low

ID	Sheet Name	Issue
A.01	Existing Site Plan	DA - 01
A.02	Site Plan	DA - 01
A.03	Site Plan (Enlarged)	DA - 01
A.04	Floor Plan	DA - 01
A.05	Elevations	DA - 01
A.06	Elevations	DA - 01
A.07	Roof Plan	DA - 01



Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Survey Notes from Surveyor

"THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR PINNACLE DRAFTING FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE. DUE TO THE NATURE OF THE TITLE BOUNDARY INFORMATION, IF ANY STRUCTURES ARE DESIGNED ON OR NEAR A BOUNDARY WE WOULD RECOMMEND A RE-MARK SURVEY BE COMPLETED AND LODGED WITH THE LAND TITLES OFFICE TO SUPPORT THE BOUNDARY DEFINITION.

SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER BYDA ONLY" ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.

THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/ DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.

Building Area

Proposed Food Tech Gross Area:	151.20
Proposed Deck Area:	30.24
Existing Science Building Gross Area:	126.00
Site Areas	
Existing Deck Area:	95.81
Site Area:	709.9 m <sup>2</sup>
Building Footprint Gross Area:	662.89
Driveway Area:	1646.79 m <sup>2</sup>
Existing Building Gross Area:	36.90%
Total Impervious Area:	1,103.04 m <sup>2</sup>

PINNACLE

Document Set ID: 5680085  
Version: 2, Version Date: 04/08/2025

PINNACLE DRAFTING & DESIGN  
7/3 Abernant Way, Cambridge 7170  
03 6248 4218  
admin@pinnacledrafting.com.au  
www.pinnacledrafting.com.au  
Licence: CC6073Y

Existing Site Plan

Revision: DA -01  
Approved by: JRD

Scale: 1:250 @ A2  
Pg. No: A.01

Proposal: Proposed Classroom  
Client: Christian Education Ministries Ltd  
Address: 7 Golf Links Rd, Geilston Bay, Tas 7015

Date: 01/07/2025  
Drawn by: JRN  
Job No: 48-2025  
Engineer: CES  
Building Surveyor: TBA

Issue	Date	Designer
NOTE: Refer to cover page for further details on changes.		



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Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Survey Notes from Surveyor

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Building Area

Proposed Food Tech Gross Area:	151.20
Proposed Deck Area:	30.24
Existing Science Building Gross Area:	126.00
Existing Deck Area:	95.81
Existing Classroom Gross Area:	662.89
Existing Building Gross Area:	36.90
	<b>1,103.04 m<sup>2</sup></b>

Site Areas

Site Area	7095 m <sup>2</sup>
Building Footprint	1103.04 m <sup>2</sup>
Driveway Area	1646.79 m <sup>2</sup>
Total Impervious Area	38.75%

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Site Plan

Revision: DA -01  
Approved by: JRD

Scale: 1:250 @ A2  
Pg. No: A.02

Proposal: Proposed Classroom  
Client: Christian Education Ministries Ltd  
Address: 7 Golf Links Rd, Geilston Bay, Tas 7015

Date: 01/07/2025  
Drawn by: JRN  
Job No: 48-2025  
Engineer: CES  
Building Surveyor: TBA

Issue	Date	Designer
NOTE: Refer to cover page for further details on changes.		



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PINNACLE

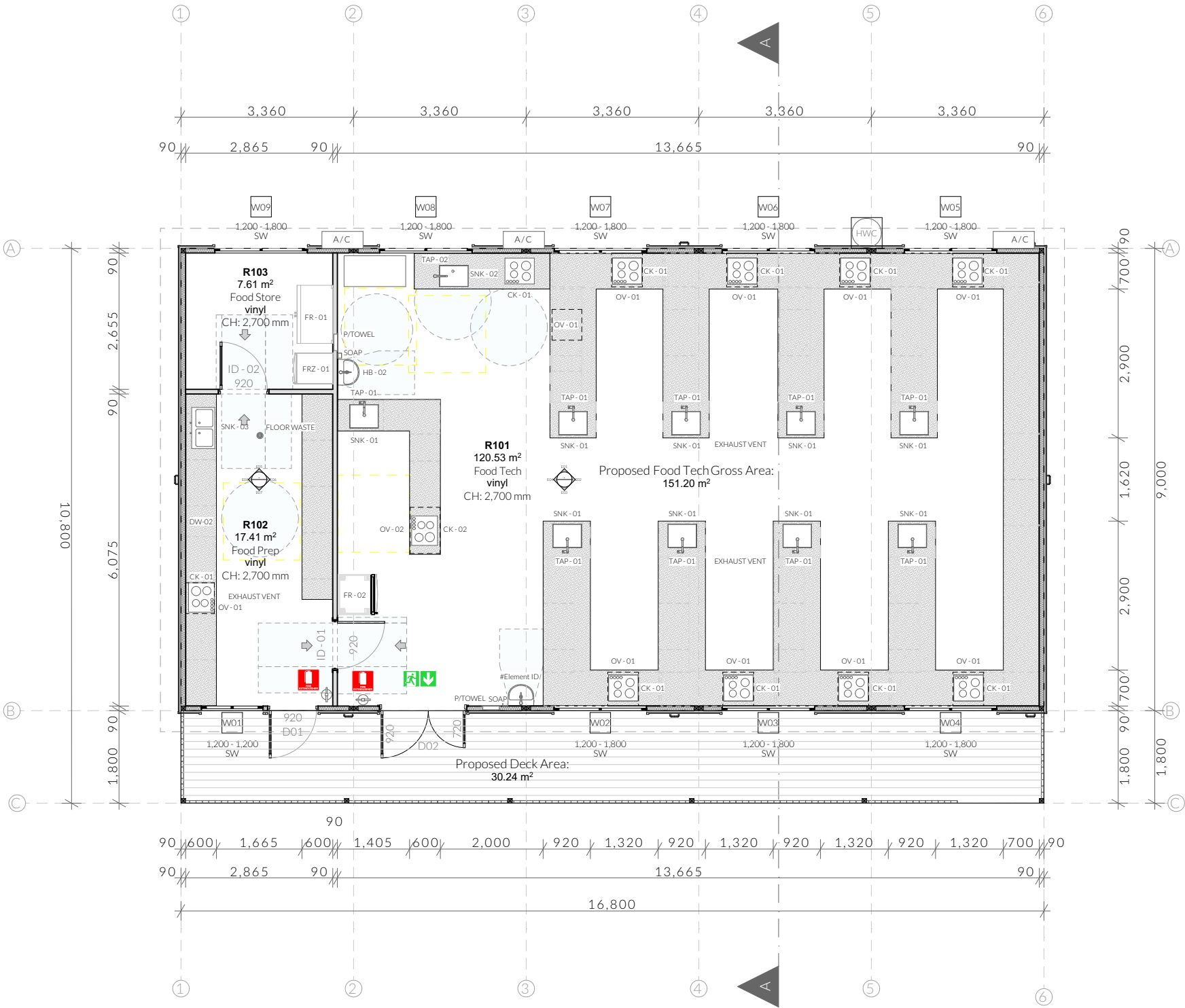




LEGEND

- A  
P

Access Panel
- TGSI
- Exit Sign
- Fire Extinguisher
- Batts to wall



Building Area

Proposed Food TechGross Area:	151.20
Proposed Deck Area:	30.24

Internal Room Areas

Food Tech	120.53
Food Prep	17.41
Food Store	7.61

Doorway identification (Clause 10.1) - AS1428.1:2021

All doorways shall have a minimum luminance contrast of 30% provided between-

- (a) door leaf and door jamb; or
- (b) door leaf and adjacent wall; or
- (c) architrave and wall; or
- (d) door leaf and architrave; or
- (e) door jamb and adjacent wall

The minimum width of the area of luminance shall be 50mm.

Explanation: where it is necessary to achieve sufficient contrast between building elements, this can usually be achieved by using very dark or very light materials.

Continuous accessible paths of travel (Clause 3.1) - AS1428.1:2021

Unless otherwise specified (such as at doors, curved ramps and similar), the minimum unobstructed width of a continuous accessible path of travel shall be 1000 mm and the following shall not intrude into the minimum unobstructed width of a continuous accessible path of travel:

- (a) Fixtures and fittings such as lights, awnings, windows that, when open, intrude into the circulation space, telephones, skirtings and similar objects.
- (b) Essential fixtures and fittings such as fire hose reels, fire extinguishers and switchboards.
- (c) Door handles less than 900 mm above the finished floor level.

Tactile Ground Surface Indicators(TGSIs)

Tactile ground surface indicators (TGSIs) to warn people of hazards shall be in accordance with AS/NZS 1428.4.1. Locations of TGSIs are indicated as per plans. Refer to Legend.

Note: Stair Construction

- Stairs must comply with-
- clause 8.1 of AS 1428.1:2021, including the notes; and
- clause 8.2 of AS 1428.1:2021

Stair Risers: Min/Max = 115mm/190mm

Public Stair Goings: Min/Max = 250mm/355mm

Quantity Calculation Required ((2xRiser)+Goings):

Min/Max = 550mm/700mm

Minimum of 2 risers and maximum of 18 in a flight;

Not permit a 125mm sphere to pass through

between treads;

Solid construction (i.e. not perforated) if more than

10m high or more than 3 storeys;

No winders (except internally of a residential

apartment);

Artificial Lighting

Artificial lighting must be provided -

- (a) in required stairways, passageways, and ramps; and
- (b) if natural light of a standard equivalent to that required by F6D3 is not available, and the periods of occupation or use of the room or space will create undue hazard to occupants seeking egress in an emergency, in-
- (iii) Class 3, 5, 6, 7, 8 and 9 buildings - to all rooms that are frequently occupied, all spaces required to be accessible, all corridors, lobbies, internal stairways, other circulation spaces and paths of egress.

The artificial lighting system must comply with AS/NZS 1680.0.

Heights of rooms & other spaces F5D2 of NCC VOL I 2022

The height of rooms and other spaces in a Class 5, 6, 7 or 8 building must be not less than-

- (a)for a bathroom, shower room, sanitary compartment, other than an accessible adult change facility, airlock, tea preparation room, pantry, store room, garage, car parking area, or the like - 2.1 m; and
- (b)for a commercial kitchen - 2.4 m; and
- (c)above a stairway, ramp, landing or the like - 2 m measured vertically above the nosing line of stairway treads or the floor surface of the ramp, landing or the like; andfor a required accessible adult change facility - 2.4 m.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol I. Builder to contact Pinnacle before undertaking works.

PINNACLE

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7/3 Abernant Way, Cambridge 7170  
03 6248 4218  
admin@pinnacledrafting.com.au  
www.pinnacledrafting.com.au  
Licence: CC6073Y

Floor Plan

Revision:  
Approved by:

DA - 01  
JRD

Scale:  
1:100 @ A3  
Pg. No:  
A.04

Proposal: Proposed Classroom  
Client: Christian Education Ministries Ltd  
Address: 7 Golf Links Rd, Geilston Bay. Tas 7015

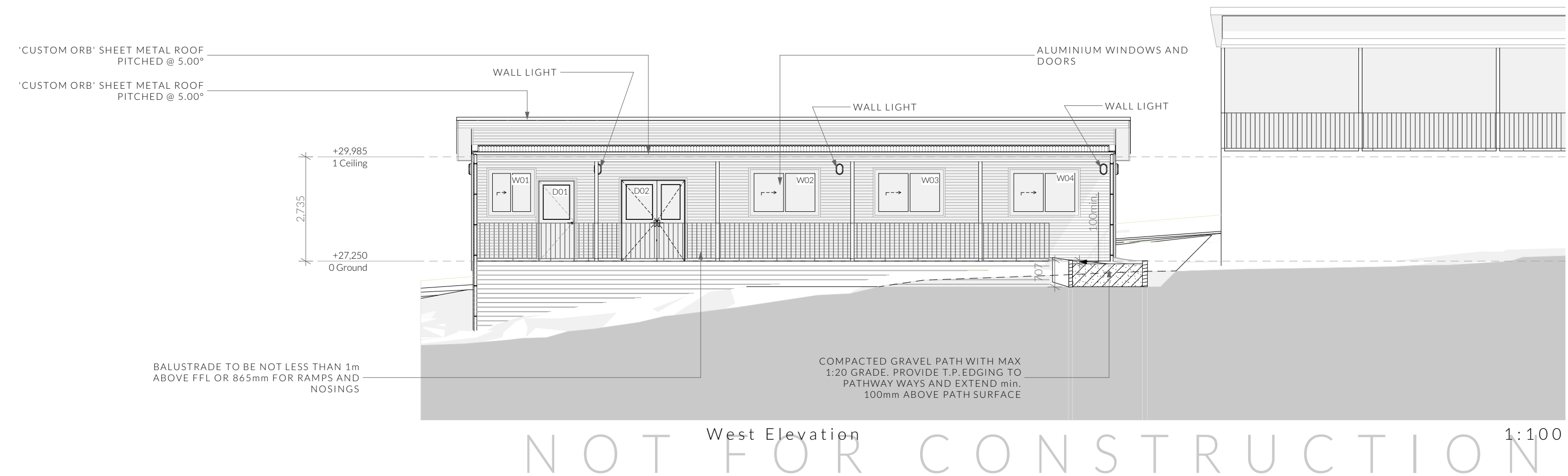
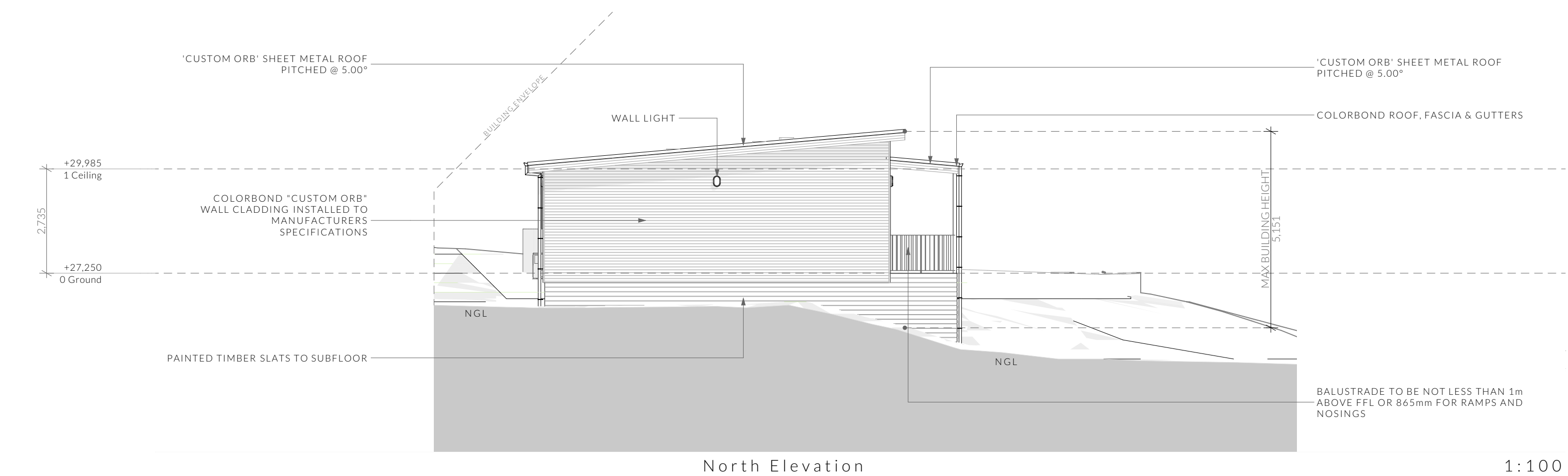
Date: 01/07/2025  
Drawn by: JRN  
Job No: 48-2025  
Engineer: CES  
Building Surveyor: TBA


Issue	Date	Designer
NOTE: Refer to cover page for further details on changes.		



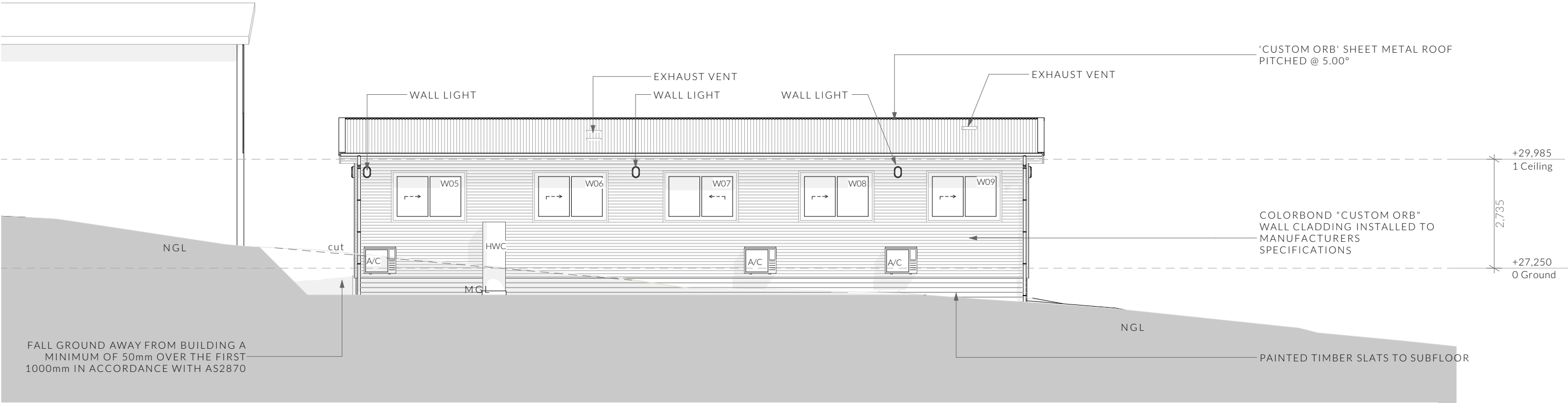
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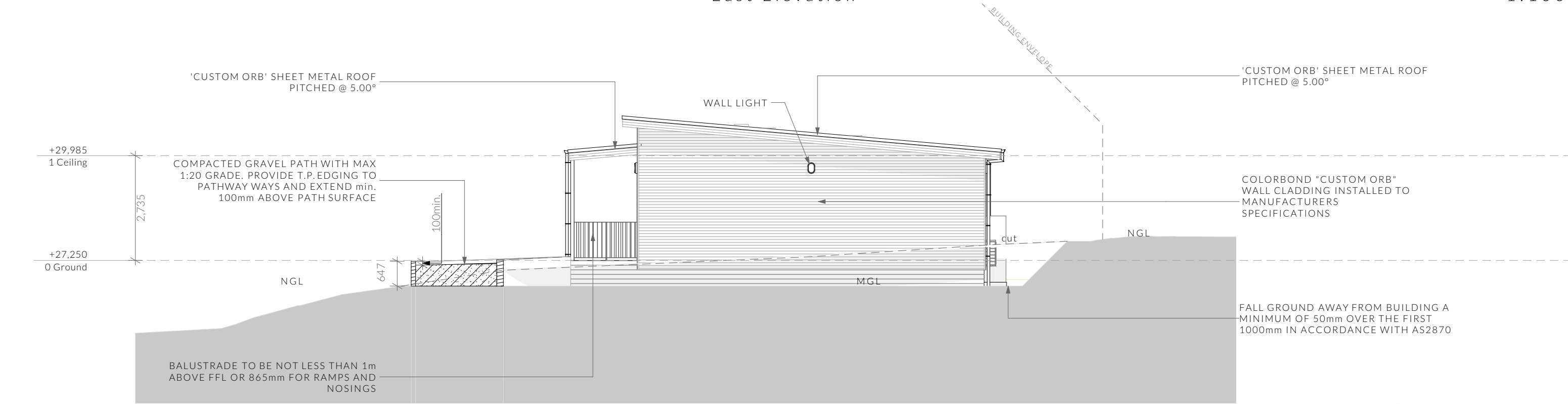
<div>PINNACLE</div>	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Elevations	Scale: <b>1:100</b> @ A3	Proposal: Proposed Classroom	Date: 01/07/2025	<table><tr><th>Issue</th><th>Date</th><th>Designer</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td colspan="3">NOTE: Refer to cover page for further details on changes.</td></tr></table>	Issue	Date	Designer				NOTE: Refer to cover page for further details on changes.			<p>These drawing are the property of Pinnacle Drafting &amp; Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings.</p> <p><b>ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING &amp; DESIGN PTY LTD AS SOON AS PRACTICABLE.</b> This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.</p>	 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA
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	Revision: DA - 01	Client: Christian Education Ministries Ltd	Drawn by: JRN	Job No: 48-2025													
Approved by: JRD	Address: 7 Golf Links Rd, Geilston Bay, Tas 7015	Engineer: CES	Building Surveyor: TBA														





East Elevation


1:100



South Elevation

1:100

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	Issue	Date	Designer													
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	Revision: DA - 01	Pg. No: A.06	Client: Christian Education Ministries Ltd	Drawn by: JRN	Job No: 48-2025											
Approved by: JRD		Address: 7 Golf Links Rd, Geilston Bay, Tas 7015	Engineer: CES	Building Surveyor: TBA												

**Stormwater Notes**  
All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3.

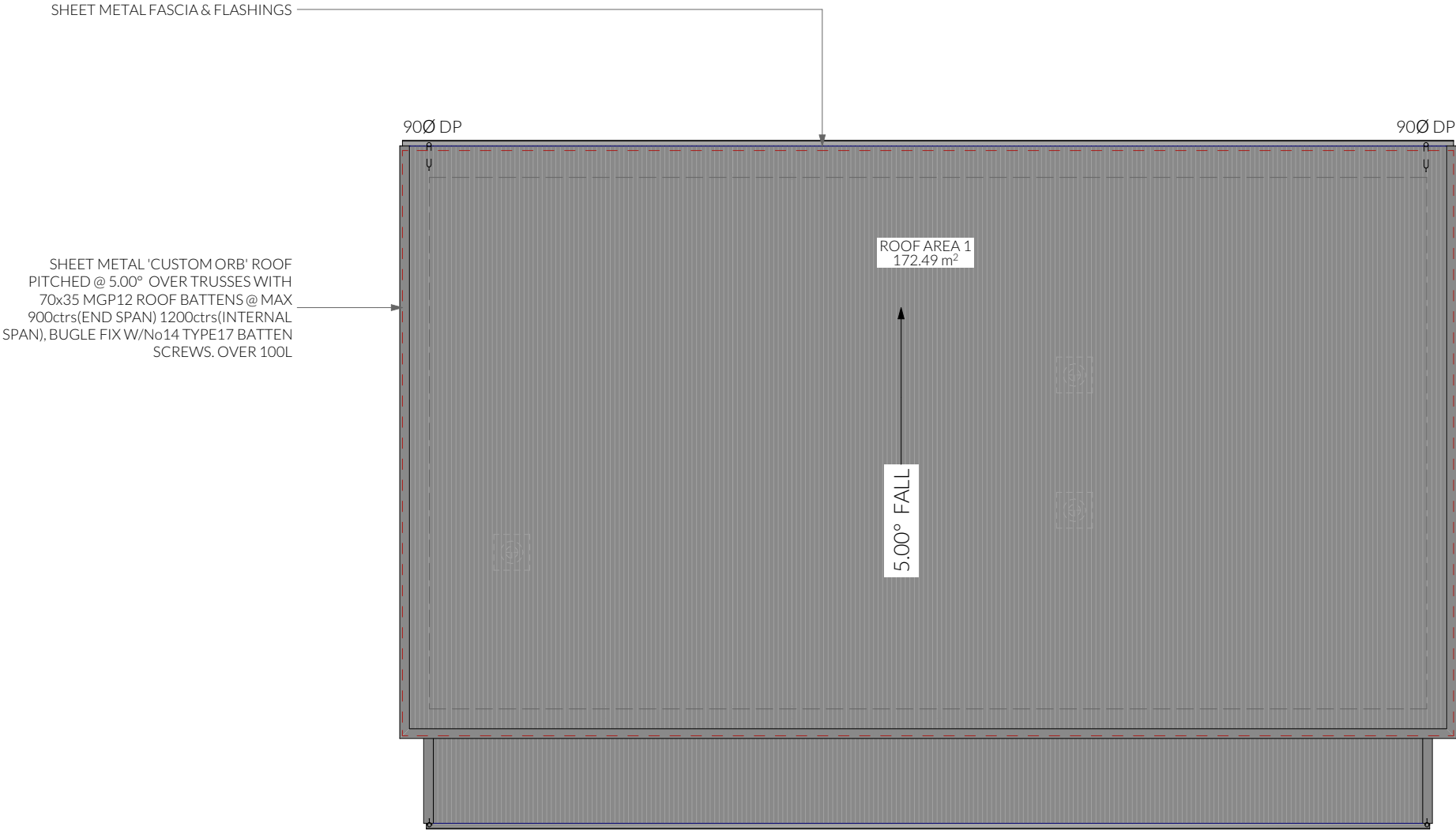
Downpipes shown are indicative only, builder to refer to Civil/Hydraulic plans for exact location.

**Roofing Cladding**  
All metal roof cladding, including flashing, capping, and fixings, must be designed and installed in strict accordance with:

- AS 1562.1 - Design and installation of sheet roof and wall cladding: Metal.
- AS 2179.1 – Specifications and performance – Flashing and cappings – Manufactured flashings and cappings.
- AS 3566.1 – Self-drilling screws for the building and construction industries – General requirements and mechanical properties.
- Relevant provisions of the National Construction Code (NCC) 2022.

Material Selection: Materials for roof cladding, flashings, cappings, and fixings must be suitable for the intended application, compliant with the aforementioned standards, and consider local environmental factors and corrosive environment classification to ensure performance and durability.

Installation: Adhere to manufacturer's recommendations and methods prescribed in the standards, ensuring waterproofing, wind resistance, and structural integrity. This encompasses correct fixing methods, support spacings, sealing, flashing techniques, and the use of appropriate cappings



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