



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/054655

PROPOSAL: New Classroom to Existing School

LOCATION: 7 Golf Links Road, Geilston Bay

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 22 September 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 22 September 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 22 September 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New Classroom to existing school

Location:

7 Golf Links Rd

Address

Geilston Bay

Suburb/Town

Postcode 7015

Postcode

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

none

Current Use of Site:

School

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

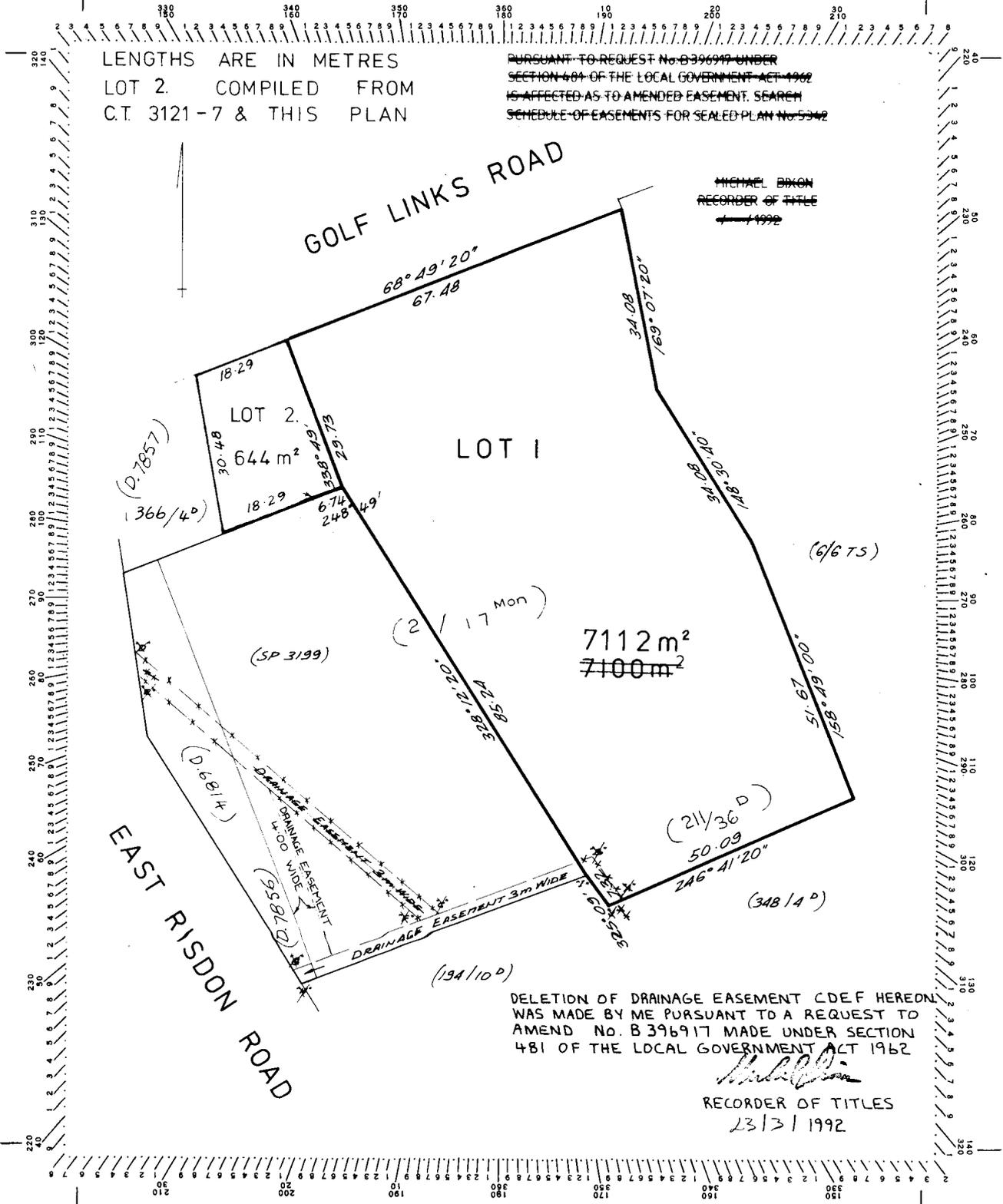
Signature.....

Personal Information Removed

Date..... 06/08/25

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

Owner: <i>M. C. Shelley</i>	PLAN OF SURVEY by Surveyor <i>C. L. Andrews</i> of land situated in the	Registered Number: <h1>S.P.5342</h1>
Title Reference: <i>3121/7 C.T.</i> <i>2880/55 C.T.</i>	TOWN OF LINDISFARNE	Effective from: <i>17-4-74</i>
Grantee: <i>Part of 2560 ac</i> <i>Granted to Thomas George Gregson</i>	Scale <i>1:750</i>	<i>M. Hutchinson</i> Recorder of titles



SEARCH OF TORRENS TITLE

VOLUME 5342	FOLIO 1
EDITION 4	DATE OF ISSUE 01-Aug-2019

SEARCH DATE : 06-Aug-2025

SEARCH TIME : 01.52 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Sealed Plan [5342](#)

Derivation : Part of 2,560 Acres Gtd. to T.G. Gregson.

Prior CT [3391/61](#)

SCHEDULE 1

[M751371](#) TRANSFER to CHRISTIAN EDUCATION MINISTRIES LTD
Registered 01-Aug-2019 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP [5342](#) EASEMENTS in Schedule of Easements

SP [5342](#) FENCING PROVISION in Schedule of Easements

NOTIFICATION Portion of the above right of drainage over the
lands marked drainage easement 3.00 wide has been
extinguished in consequence of the acquisition of
Portion of the servient land by notice No. 485199
Registered 10-Jun-1975 at noon

NOTICE: This Folio is affected as to amended
easements/covenants pursuant to Request to Amend No
\$B396917 made under Section 481 of the Local
Government Act 1962. Search Sealed Plan No [5342](#) .

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



SCHEDULE OF EASEMENTS

PLAN NO.

S.P.5342

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

FENCING PROVISION

In respect of the Lots shown hereon the Vendor MARGARET COUPE SHELLEY shall not be required to fence.

RIGHTS OF DRAINAGE

- 1. The Lot 1 is TOGETHER WITH a Right of Drainage over the Drainage Easement shown hereon...
2. The Lot 1 is subject to a right of drainage over the Drainage Easement passing through that Lot...

SIGNED by MARGARET COUPE SHELLEY

the Registered Proprietor of the land shown on the Plan in the presence of:

Law Clerk Moonah (signature)

Signature of Margaret Coupe Shelley

BANK OF NEW SOUTH WALES BY ITS ATTORNEY

Signature of Chief Manager

CHIEF MANAGER

Mortgagee under Memorandum of Mortgage No.A. 350740

Signed by IAN JEFFREY BEATON

acting under Power of Attorney No. 18948 who hereby declares he has received no notice of revocation of the said Power.

In the presence of

Justice of the Peace (signature)

SIGNED by KENNETH FRANCIS LOWRIE

in the presence of:

Law Clerk Moonah (signature)

Signature of K.F. Lowrie

Mortgagee under Memorandum of Mortgage No.A. 350741.

CORRECT for the purposes of "The Real Property Act 1862, as amended.

K.F. LOWRIE

Per: (signature)

Solicitor for the Applicant

The right of drainage above was amended to read "Together with a Right of Drainage over the Drainage Easement shown hereon" pursuant to a Request to Amend No. B.396917 made under Section 481 of The Local Government Act 1962.

Recorder of Titles (signature) 23-3-92

Certified correct for the purposes of the Real Property Act 1862, as amended.

K.F. LOWRIE

Per:

Subdivider/Solicitor for the Subdivider

This is the schedule of easements attached to the plan of

comprising part of the land in

Certificate of title Volume 2880 Folio 55

(Insert Title Reference)

Sealed by Clarence Municipal Council, Bellerive on 6th FEBRUARY 1974

[Signature]
Council Clerk/Town Clerk

80740

PINNACLE

06/08/2025

Dear Sir/Madam,

Re:7 Golf Links Rd, Geilston Bay

Development Overview:

The proposed development is for a new Food Tech teaching facility at the school. The proposal is designed to match in with the existing 2 classroom buildings on the site. It will provided with a gravel pathway from existing hardstand area for access and will rely on existing facilities and parking for the school.

8.2

Use : Educational and Occasional Care

8.3.1

A1: Hours of operational are 8am to 4pm weekdays

A2: External lighting for security purposes will be baffled, all other lighting will be within permitted hours of A2.

A3: N/A

P4: Proposed development is within an existing development with this proposed use. The classroom will not increase the traffic generated as the classroom is only providing an additional educational provision for the students. The intensity of the development is considered reasonable for size of the school allotment and does not remove any amenity for the students.

8.5.1

A1: Setbacks are 29m from front and +3m from the side boundary

A2: compliant diagrams provided on elevations

A3: Site coverage is 38.75%

A4: N/A

A5: N/A

P6: The proposal contains 3 wall mounted outdoor AC wall units of a residential scale (non-commercial) which wont emit noise levels higher than a residential use. External roof mounted exhausts provided of residential scale which wont emit noise levels higher than a residential use.

Dear Sir/Madam,

PLANNING APPLICATION - PDPLANPMTD-2025/054655 - 7 Golf Links Road, Geilston Bay

In response to your correspondence dated 26/08/25
I have addressed your requests as follows:

ITEM	COUNCIL REQUEST	DEVELOPMENT RESPONSE
1	<p>8.5.1 NON-DWELLING DEVELOPMENT – A6/P6</p> <ul style="list-style-type: none"> · It is noted that a written submission was provided in response to this clause. The performance criteria requires one of four mandatory outcomes; namely that air conditioning, air extraction, pumping, heating or refrigeration systems or compressors be designed, located, baffled or insulated to not cause an unreasonable loss of amenity. Further information or amended plans are required to clarify which of these is proposed; · The submission proposes air conditioning and air extraction of a residential scale. This does not appear to be supported by the quantity of cooking stations proposed; and · The submission does not appear to address (c) or (d). Given above, further information would be required to assess the proposal in relation to both these sub-clauses. 	<p>(a) Design and Location</p> <ul style="list-style-type: none"> • All compressors (AC outdoor units) are wall-mounted externally and placed in security cages to minimise tampering and noise intrusion. • Exhaust risers are ducted vertically to roof-mounted fans, ensuring discharge is directed away from neighbouring properties. <p>(b) Baffling and Insulation</p> <ul style="list-style-type: none"> • Supply and exhaust grilles include hinge cores and honeycomb filters, which act as sound baffles and reduce noise breakout. • Make-up air grilles include backdraft dampers, which prevent reverse airflow and noise leakage. • Security cages also provide partial sound deflection for outdoor AC units and rubber isolation pads. <p>(c) Noise and Vibration</p> <ul style="list-style-type: none"> • Roof-mounted exhaust fans and external AC condensers will be selected to comply with AS 2107:2016 internal noise levels for schools and EPA Tasmania noise emission limits at boundaries. • A calculated assessment of the specified models is provided at the end of this report. • Condensate drains are directed to approved points, avoiding vibration or nuisance.

PINNACLE

(d) Odour and Amenity

- All exhaust systems are fitted with grease filters and odour control elements, ensuring food odours are appropriately treated and expelled above roof level.
- Discharge points are positioned well above adjoining residential areas, avoiding amenity loss.

Calculation for specific model: Specified A/C Unit for Haier Tempo

Predicted sound pressure levels from three Haier Tempo outdoor condensers are ~51 dB(A) at 3 m to boundary and ~38.5 dB(A) at 13 m to the nearest dwelling (worst-case). The dwelling receiver complies. To satisfy residential amenity at the 3 m boundary, we will provide an acoustic service enclosure to the condensers (min. 8–12 dB(A) insertion loss), specify anti-vibration mounts, and enable night/quiet mode after hours. These measures reduce boundary levels to ≤ 40 dB(A), ensuring no unreasonable loss of amenity and compliance with 8.5.1 P6.

Calculation for specific models: three roof-mounted exhaust fans: the RCD190-VEE (1) and the RCV560-VEE (2)

Predicted sound pressure levels at 6.4 m (site boundary to fan units) are **47.4 dB(A)** and **38.4 dB(A)** respectively, and at 21 m (nearest dwelling to fan units) are **37.1 dB(A)** and **28.1 dB(A)**. Both fans are therefore compliant with typical Tasmanian environmental noise criteria, which specify a maximum of 50 dB(A) during daytime and 40–45 dB(A) at night for residential receivers. The development is not expected to result in environmental nuisance. The proposal satisfies relevant planning scheme performance criteria in relation to noise emissions from mechanical plant.

I trust the provided information addresses the matters identified in the further information request and ask that the council now accept the submitted documentation as a valid application under LUPA.

Kind Regards,



Jason Nickerson

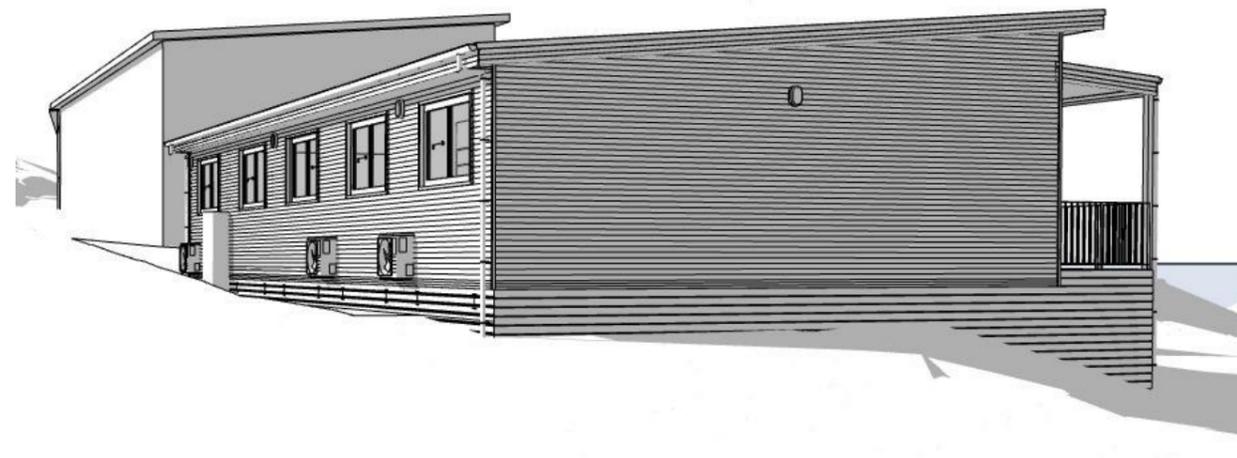
Director

PINNACLE

Type of construction required C2D2 NCC Vol. I 2022		
Rise in storeys	Class of building 2, 3, 9	Class of building 5, 6, 7, 8
4 or more	A	A
3	A B	A B C
2	B C	B C C
1	C	C

Changes List

Issue	Description of change	Date	Designer
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Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

7 Golf Links Rd, Geilston Bay, Tas 7015

Owner(s) or Clients	Christian Education Ministries Ltd	Title Reference	5342/1
Building Classification	9b	Zoning	General Residential
Construction Type	C	Land Size	7095m ²
No. of Storeys	1	Design Wind Speed	N2
Designer	Jason Nickerson CC6073Y	Soil Classification	M
Total Floor Area (Combined)	1103.04m ² Deck 30.24m ²	Climate Zone	7
Alpine Area	N/A	Corrosion Environment	Low
Other Hazards	Road or railway attenuation area, Airport obstacle limitation area, Flood-prone areas	Bushfire Attack Level (BAL)	Low

ID	Sheet Name	Issue
A.01	Existing Site Plan	DA - 01
A.02	Site Plan	DA - 01
A.03	Site Plan (Enlarged)	DA - 01
A.04	Floor Plan	DA - 01
A.05	Elevations	DA - 01
A.06	Elevations	DA - 01
A.07	Roof Plan	DA - 01

Legend

-  - Electrical Connection
-  - Electrical Turret
-  - Sewer Connection
-  - Stormwater Connection
-  - Telstra Connection
-  - Telstra Pit
-  - Water Meter
-  - Water Stop Valve
-  - Fire Hydrant
-  - Solar Bollard Light
-  - Spotlight with sensor

Survey Notes from Surveyor

THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR PINNACLE DRAFTING FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.

DUE TO THE NATURE OF THE TITLE BOUNDARY INFORMATION, IF ANY STRUCTURES ARE DESIGNED ON OR NEAR A BOUNDARY WE WOULD RECOMMEND A RE-MARK SURVEY BE COMPLETED AND LODGED WITH THE LAND TITLES OFFICE TO SUPPORT THE BOUNDARY DEFINITION.

SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER BYDA ONLY" ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.

THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/ DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.



Building Area

Proposed Food Tech Gross Area:	151.20
Proposed Deck Area:	30.24
Existing Science Building Area:	126.00
Site Areas	
Existing Deck Area:	95.81
Site Area:	709.9 m ²
Building Footprint Gross Area:	1662.89
Site Area:	1646.79 m ²
Existing Building Gross Area:	36.90%
Total Impervious Area:	1.103.04 m²



PINNACLE DRAFTING & DESIGN
 7/3 Abernart Way, Cambridge 7170
 03 6248 4218
 admin@pinnacle drafting.com.au
 www.pinnacle drafting.com.au
 Licence: CC6073Y

Existing Site Plan

Revision: DA - 01
 Approved by: JRD

EXISTING SW MANHOLE 10250
 RL: 127.64
 INV: 126.44

STORMWATER GRATED PIT
 LID: 26.66
 INV: 26.26

Scale:
 1:250 @ A2
 Pg. No:
 A.01

Proposal: Proposed Classroom
 Client: Christian Education Ministries Ltd
 Address: 7 Golf Links Rd, Geilston Bay, Tas 7015

Date: 01/07/2025
 Drawn by: JRN
 Job No: 48-2025
 Engineer: CES
 Building Surveyor: TBA

Issue	Date	Designer



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Legend

- Electrical Connection
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Existing Deck Area:	95.81
Existing Classroom Gross Area:	662.89
Existing Building Gross Area:	36.90
Total	1,103.04 m²

Site Areas

Site Area	7095 m ²
Building Footprint	1103.04 m ²
Driveway Area	1646.79 m ²
Total Impervious Area	38.75%



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Site Plan

Revision: DA - 01
 Approved by: JRD

Scale: 1:250 @ A2
 Pg. No: A.02

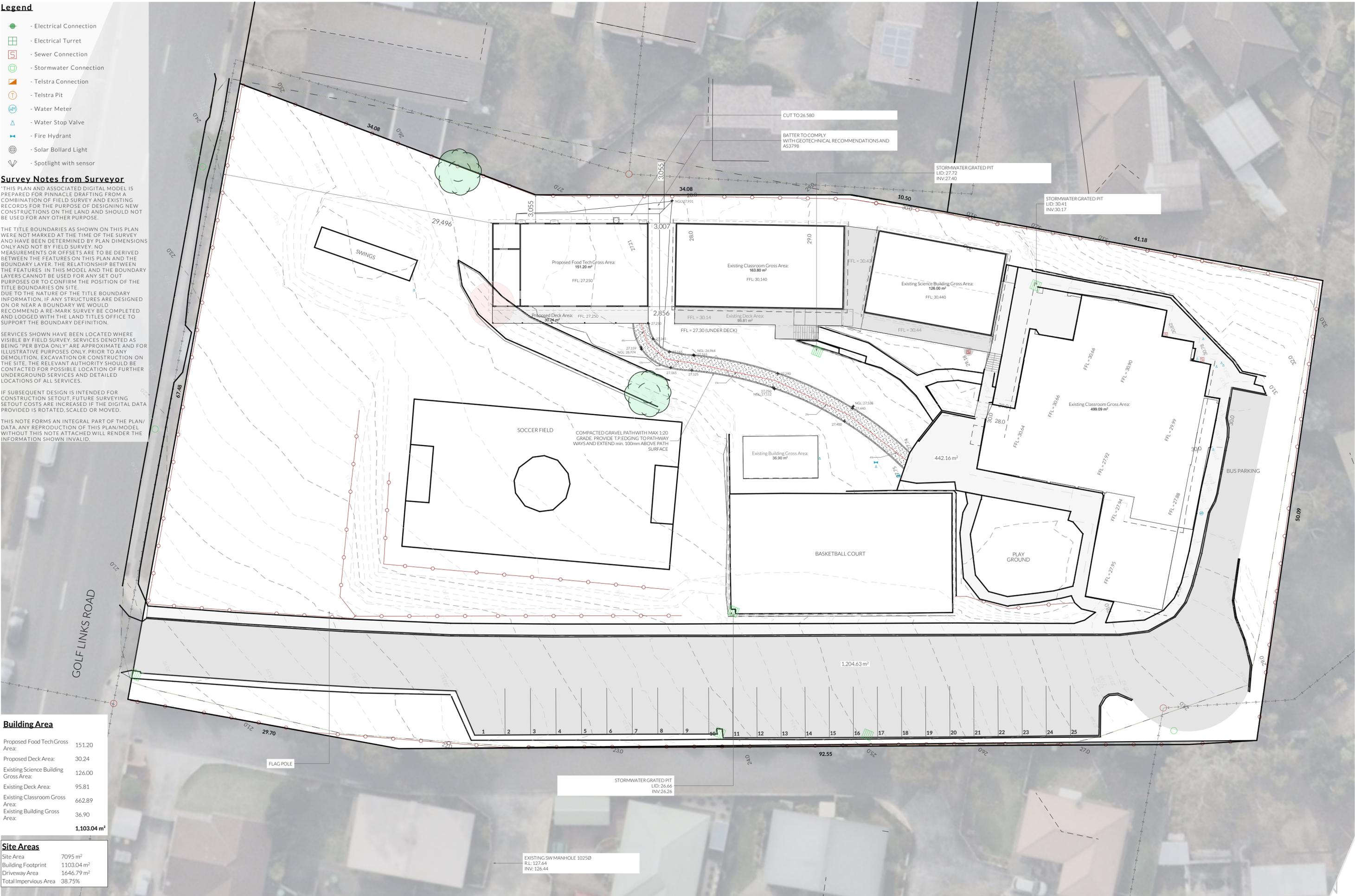
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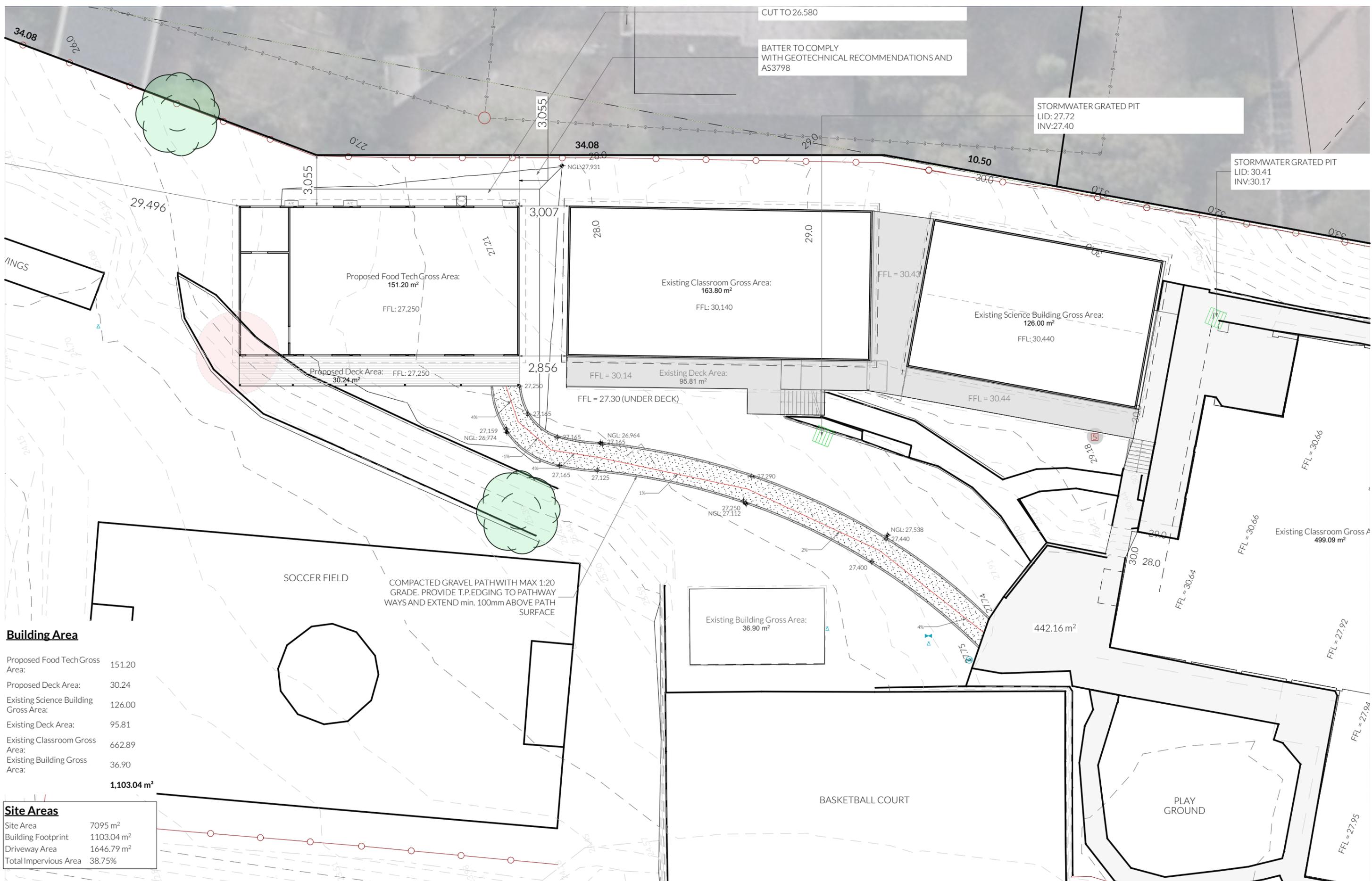
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Building Area

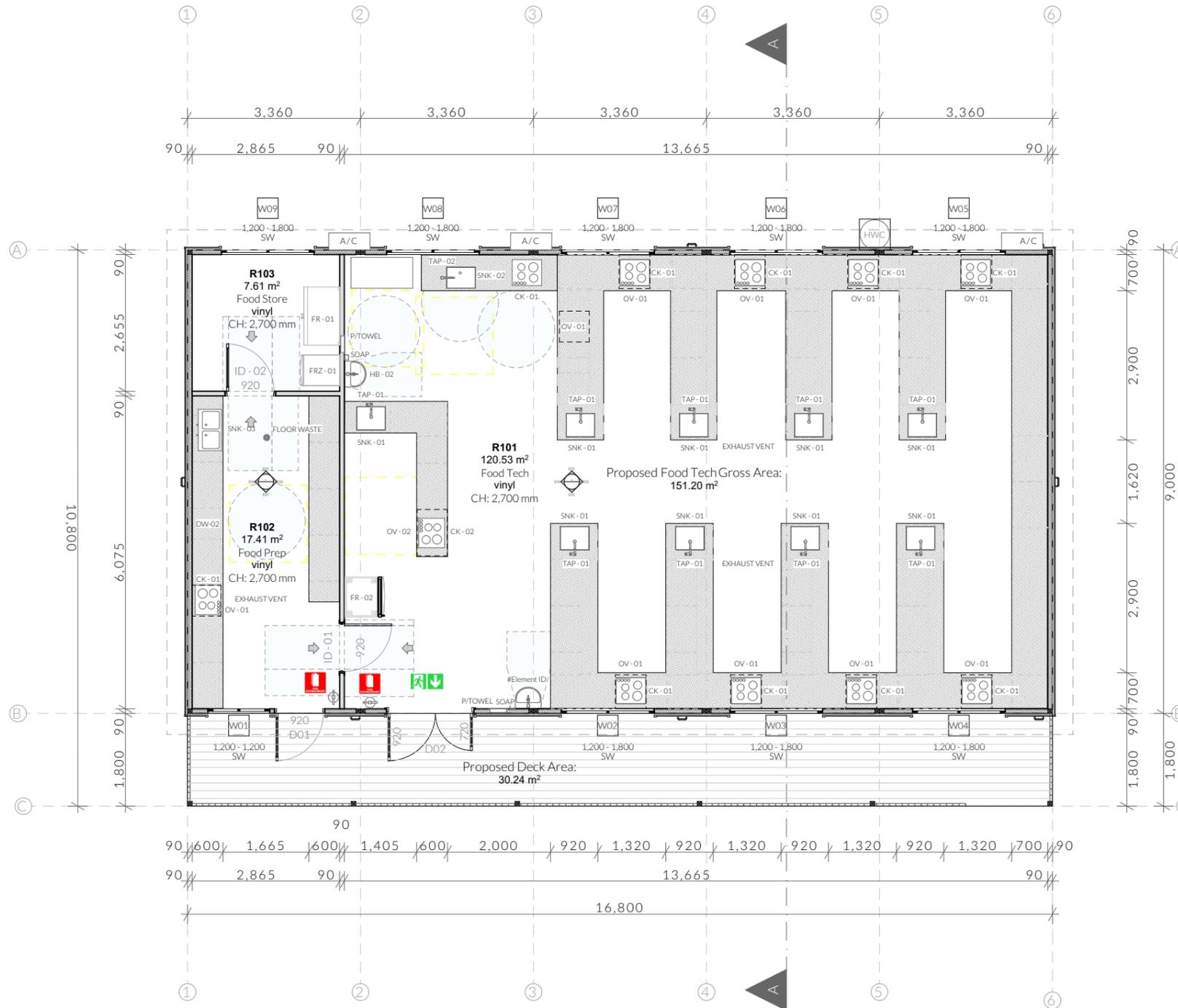
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Total Building Area:	1,103.04 m²

Site Areas

Site Area	7095 m ²
Building Footprint	1103.04 m ²
Driveway Area	1646.79 m ²
Total Impervious Area	38.75%

LEGEND

-  Access Panel
-  TGS
-  Exit Sign
-  Fire Extinguisher
-  Batts to wall



Building Area

Proposed Food Tech Gross Area: 151.20
 Proposed Deck Area: 30.24

Internal Room Areas

Food Tech 120.53
 Food Prep 17.41
 Food Store 7.61

Doorway identification (Clause 10.1) - AS1428.1:2021

All doorways shall have a minimum luminance contrast of 30% provided between-

- (a) door leaf and door jamb; or
- (b) door leaf and adjacent wall; or
- (c) architrave and wall; or
- (d) door leaf and architrave; or
- (e) door jamb and adjacent wall

The minimum width of the area of luminance shall be 50mm.

Explanation: where it is necessary to achieve sufficient contrast between building elements, this can usually be achieved by using very dark or very light materials.

Continuous accessible paths of travel (Clause 3.1) - AS1428.1:2021

Unless otherwise specified (such as at doors, curved ramps and similar), the minimum unobstructed width of a continuous accessible path of travel shall be 1000 mm and the following shall not intrude into the minimum unobstructed width of a continuous accessible path of travel:

- (a) Fixtures and fittings such as lights, awnings, windows that, when open, intrude into the circulation space, telephones, skirtings and similar objects.
- (b) Essential fixtures and fittings such as fire hose reels, fire extinguishers and switchboards.
- (c) Door handles less than 900 mm above the finished floor level.

Tactile Ground Surface Indicators(TGSIs)

Tactile ground surface indicators (TGSIs) to warn people of hazards shall be in accordance with AS/NZS 1428.4.1. Locations of TGSIs are indicated as per plans. Refer to Legend.

Note: Stair Construction

Stairs must comply with-

- clause 8.1 of AS 1428.1:2021, including the notes; and
- clause 8.2 of AS 1428.1:2021

Stair Risers: Min/Max = 115mm/190mm
 Public Stair Goings: Min/Max = 250mm/355mm
 Quantity Calculation Required ((2xRiser)+Goings):
 Min/Max = 550mm/700mm
 Minimum of 2 risers and maximum of 18 in a flight;
 Not permit a 125mm sphere to pass through between treads;
 Solid construction (i.e. not perforated) if more than 10m high or more than 3 storeys;
 No winders (except internally of a residential apartment);

Artificial Lighting

Artificial lighting must be provided -

- (a) in required stairways, passageways, and ramps; and
- (b) if natural light of a standard equivalent to that required by F6D3 is not available, and the periods of occupation or use of the room or space will create undue hazard to occupants seeking egress in an emergency, in- (iii) Class 3, 5, 6, 7, 8 and 9 buildings - to all rooms that are frequently occupied, all spaces required to be accessible, all corridors, lobbies, internal stairways, other circulation spaces and paths of egress.

The artificial lighting system must comply with AS/NZS 1680.0.

Heights of rooms & other spaces F5D2 of NCC VOL 1 2022

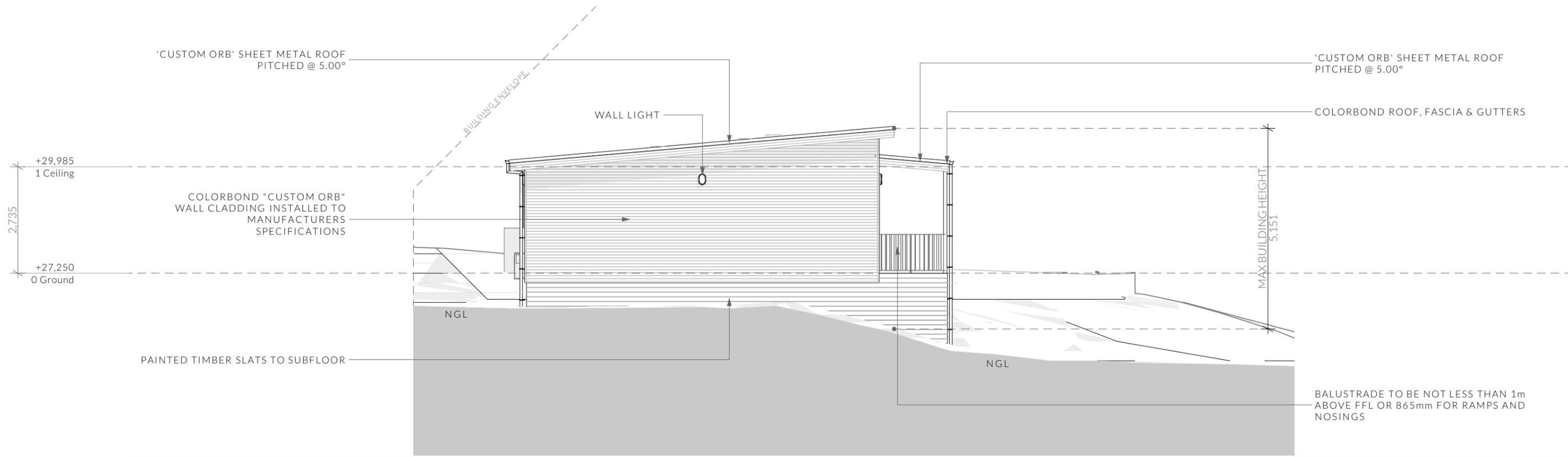
The height of rooms and other spaces in a Class 5, 6, 7 or 8 building must be not less than-

- (a) for a bathroom, shower room, sanitary compartment, other than an accessible adult change facility, airlock, tea preparation room, pantry, store room, garage, car parking area, or the like - 2.1 m; and
- (b) for a commercial kitchen - 2.4 m; and
- (c) above a stairway, ramp, landing or the like - 2 m measured vertically above the nosing line of stairway treads or the floor surface of the ramp, landing or the like; and for a required accessible adult change facility - 2.4 m.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol I. Builder to contact Pinnacle before undertaking works.

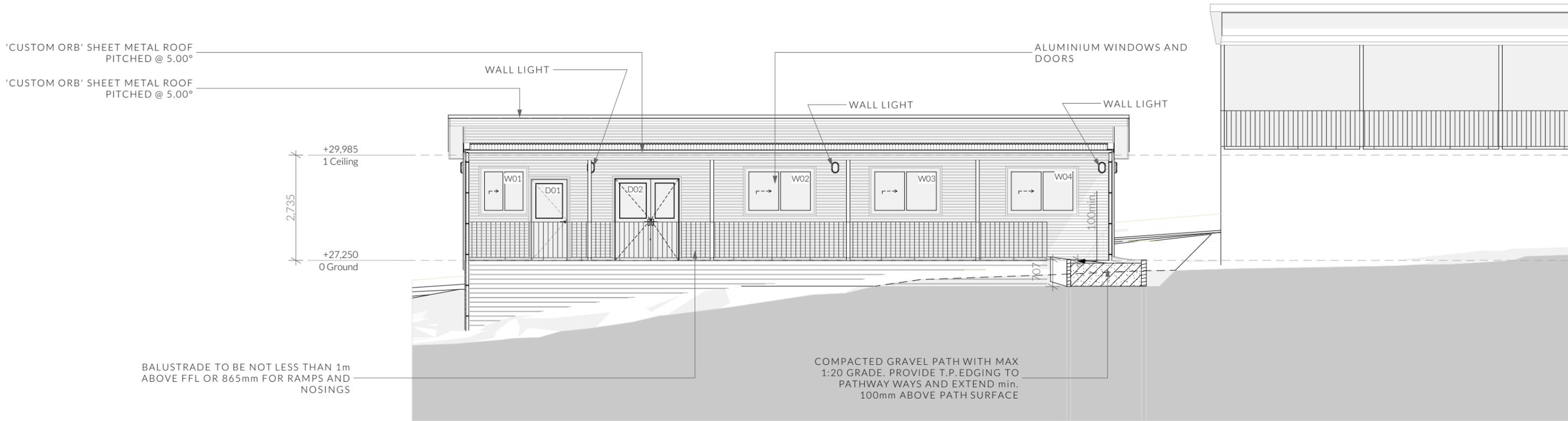
NOT FOR CONSTRUCTION

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North Elevation

1:100

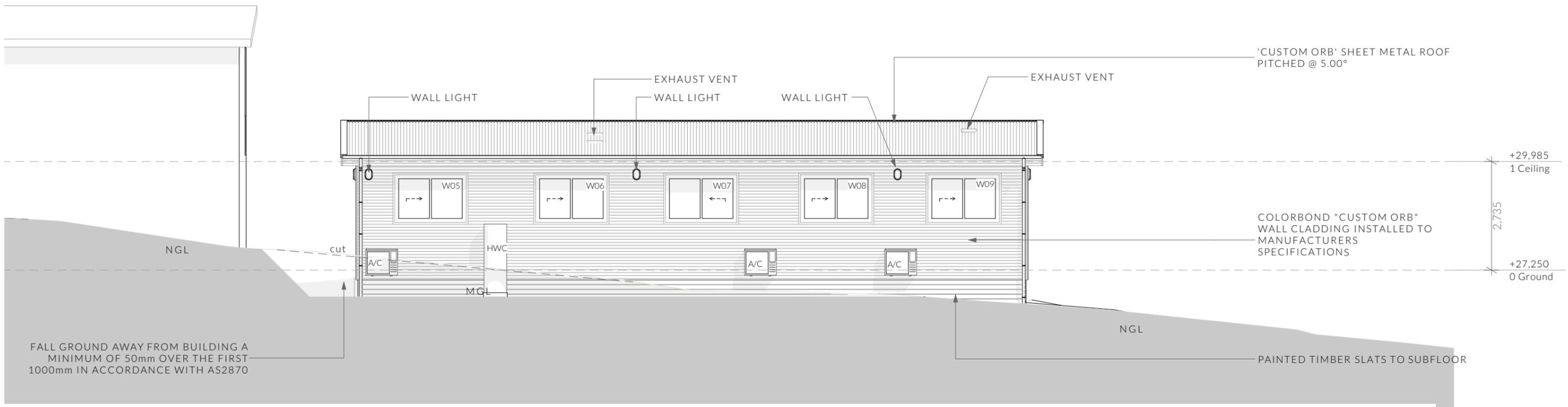


West Elevation

1:100

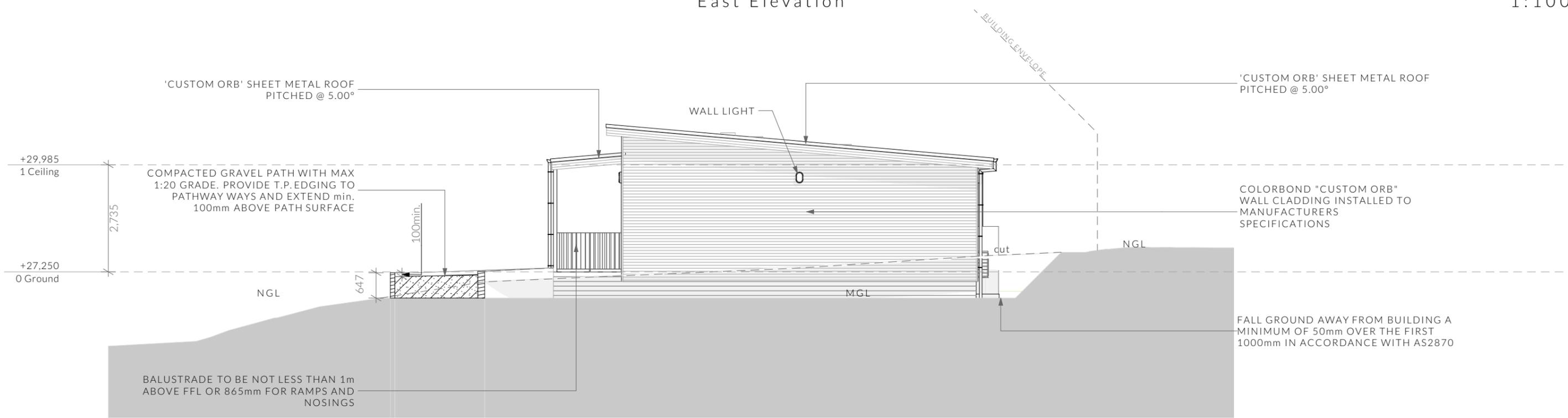
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East Elevation

1:100



South Elevation

1:100

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Document Set ID: 5680288 Version: 2, Version Date: 07/08/2025	NOTE: Refer to cover page for further details on changes.													

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3.

Downpipes shown are indicative only, builder to refer to Civil/Hydraulic plans for exact location.

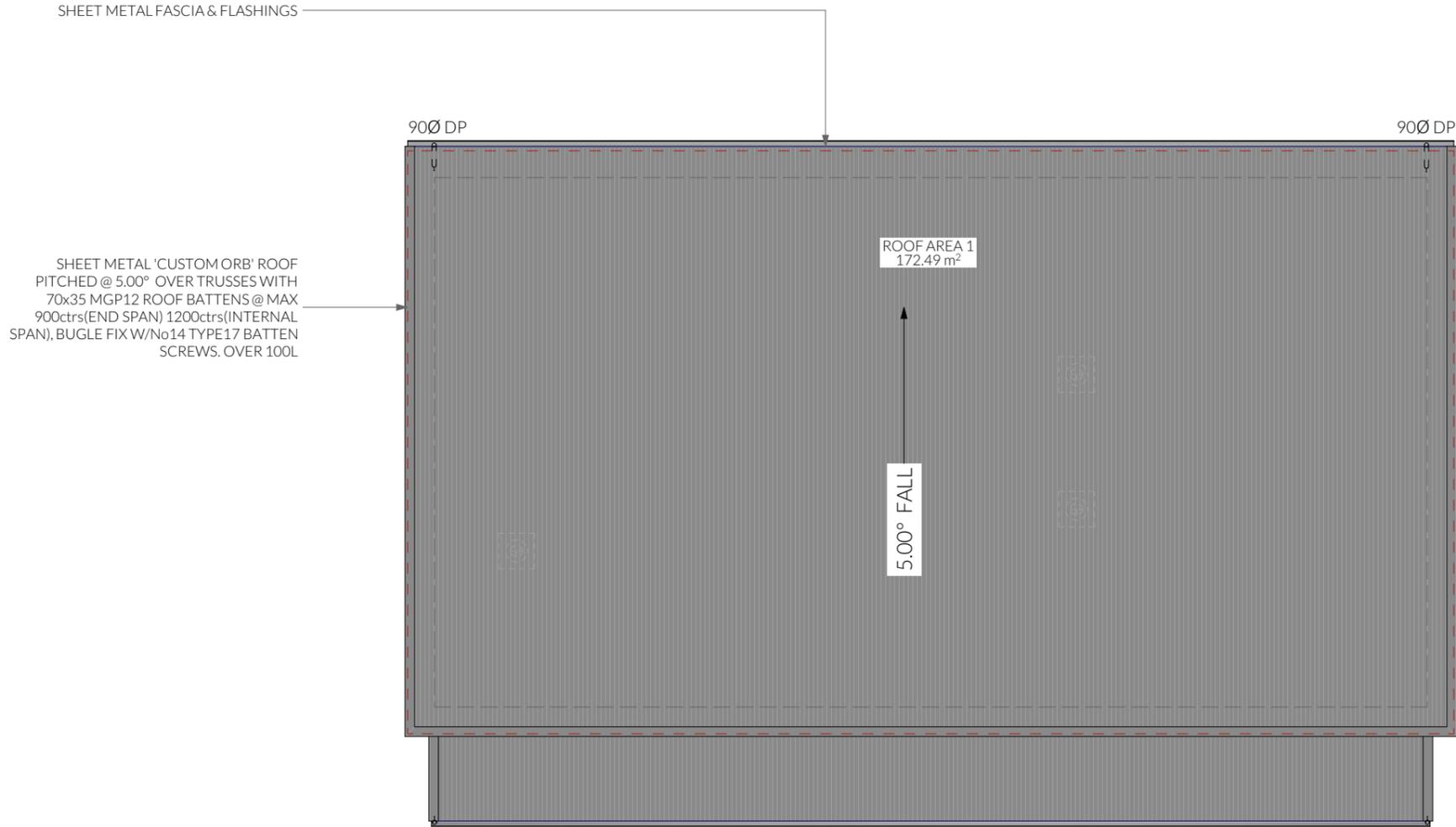
Roofing Cladding

All metal roof cladding, including flashing, capping, and fixings, must be designed and installed in strict accordance with:

- AS 1562.1 - Design and installation of sheet roof and wall cladding: Metal.
- AS 2179.1 - Specifications and performance - Flashing and cappings - Manufactured flashings and cappings.
- AS 3566.1 - Self-drilling screws for the building and construction industries - General requirements and mechanical properties.
- Relevant provisions of the National Construction Code (NCC) 2022.

Material Selection: Materials for roof cladding, flashings, cappings, and fixings must be suitable for the intended application, compliant with the aforementioned standards, and consider local environmental factors and corrosive environment classification to ensure performance and durability.

Installation: Adhere to manufacturer's recommendations and methods prescribed in the standards, ensuring waterproofing, wind resistance, and structural integrity. This encompasses correct fixing methods, support spacings, sealing, flashing techniques, and the use of appropriate cappings



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