



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/054807

PROPOSAL: Two Multiple Dwellings (One New & One Existing)

LOCATION: 8 Talune Street, Lindisfarne

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 24 September 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 24 September 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 24 September 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **New Dwelling (Multiple Dwelling)**

Location: **8 Talune St, Lindisfarne**

Personal Information Removed



Is the property on the Tasmanian Heritage Register? Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Dominique Dinel

Current use of site: **Dwelling**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☒ No ☐

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

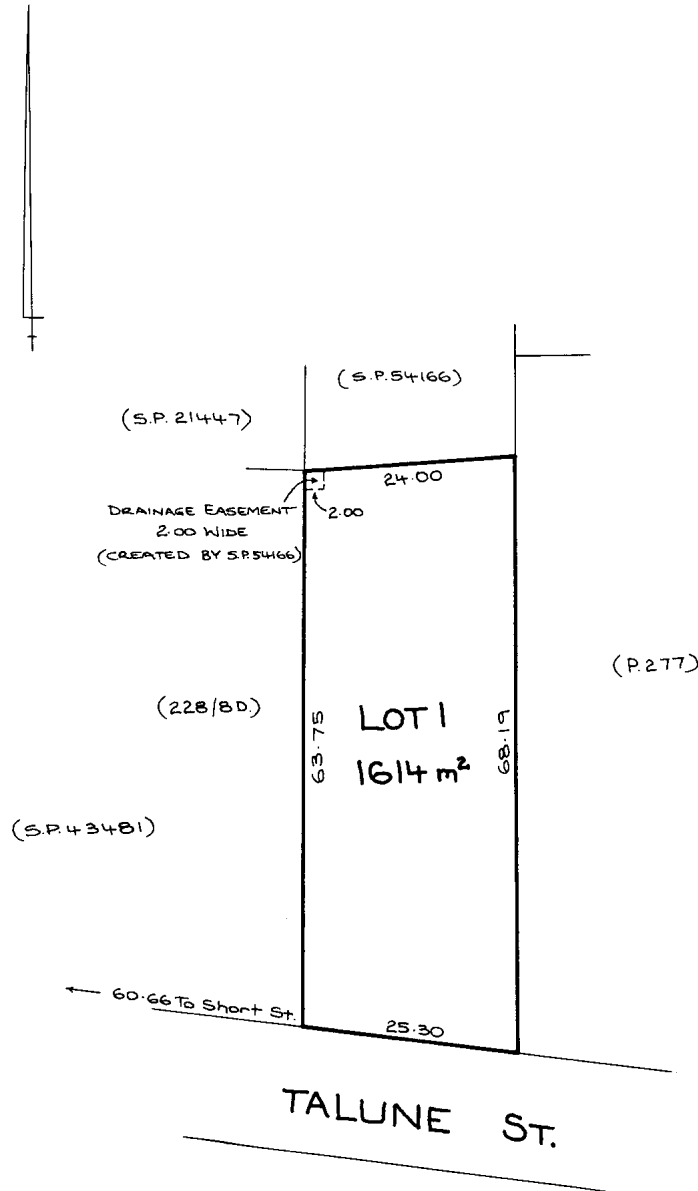
- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Owner:	PLAN OF TITLE of land situated in the CITY OF CLARENCE COMPILED FROM C.T. 2590-28 & S.P. 54166 & P277 SCALE 1:600 MEASUREMENTS IN METRES	Registered Number: D.54276
Title Reference: C.T. 2590-28		Approved: 8 APR 1992 <i>[Signature]</i>
Grantee:		Recorder of Titles



18492

SEARCH OF TORRENS TITLE

VOLUME 54276	FOLIO 1
EDITION 3	DATE OF ISSUE 14-Nov-2022

SEARCH DATE : 14-Aug-2025

SEARCH TIME : 12.31 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Diagram [54276](#)

Derivation : Part of 2560 Acres Gtd to T G Gregson

Prior CT [2590/28](#)SCHEDULE 1

[M992473](#) TRANSFER to JACQUELINE LAW and DAVID MCKENZIE LAW
Registered 14-Nov-2022 at noon

SCHEDULE 2

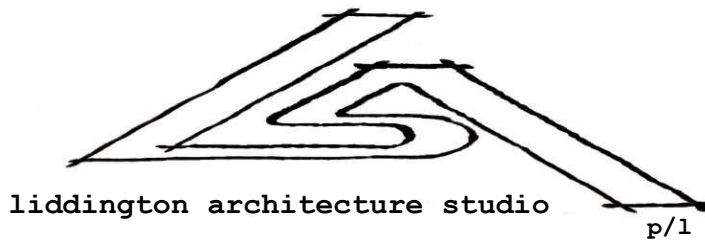
Reservations and conditions in the Crown Grant if any

SP [54166](#) BURDENING EASEMENT: Right of Drainage [appurtenant to
Lot 1 on SP [54166](#)] over the Drainage Easement shown
on D [54276](#)

[E322214](#) MORTGAGE to Macquarie Bank Limited Registered
14-Nov-2022 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



14 August 2025

Clarence City Council
PO Box 96
Rosny Park Tas 7018

Dear Sir / Madam.

RE: PROPOSED DEVELOPMENT/USE – DWELLING (Multiple: 1 Existing and 1 Proposed) AT 8 Talune Street, Lindisfarne. (54276/1)

Zone 8.0 - General Residential

Overlays:

C12.0 - Flood-prone areas – Flood Zone outside of building footprint. Refer Plans.

CLA-C16.0 - Airport obstacle limitation area – General residential with low reflectance roof. Refer plans.

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8.2 Use Table: Residential Multiple (Permitted)

8.1.1 ZONE PURPOSE STATEMENTS

“ To provide for residential use or development that accommodates a range of dwelling types where full infrastructure services are available or can be provided.”

The development proposes an additional residence to the title 54276/1, at 8 Talune Street, Lindisfarne. The title has a current dwelling to the South facing the road. The proposed dwelling is located to the North of the existing dwelling. There is a mixture of dwellings surrounding the title from a single dwelling to the West and multiple dwellings to the East.

8.4.1 Residential density for Multiple Dwellings:

A1

Multiple dwellings must have a site area per dwelling of not less than 325m²..

The proposal meets this requirement. Refer Plans and Title.

8.4.2 Setbacks and building envelope for all dwellings

A1 - Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:

There is a minimum 4.5m setback – refer plans

A2

A garage or carport for a dwelling must have a setback from a primary frontage of not less than:

There is a minimum 5.5m setback – refer plans

A3

A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:

a – The proposed building is contained within the building envelope – refer plans and elevations.

b – only have a setback of less than 1.5m from a side or rear boundary if the dwelling:

bi – does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; The proposed shed does not extend beyond a building built on or within 0.2m of the boundary or the adjoining property – refer plans.

bii – does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser). The proposed shed has a total length of less than 9m

8.4.3 Site coverage and private open space for all dwellings

A1 Dwellings must have:

a. a site coverage of not more than 50% (excluding eaves up to 0.6m wide);
All dwellings and outbuildings excluding eaves have a total area of 481m² the title is 1614m². Therefore the site coverage is 30%

b. for multiple dwellings, a total area of private open space of not less than 60m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).

Each dwelling has in excess of 60m² private open space – refer drawings.

A2

A dwelling must have private open space that:

a. is in one location and is not less than:

(i) 24m²; Yes – refer drawings

(ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); NA

b. has a minimum horizontal dimension of not less than:

(i) 4m; Yes – refer drawings

(ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); NA



- c. is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; [NA](#)
- d. has a gradient not steeper than 1 in 10. [Gradient is less than 1 in 10 refer Surveyed Levels.](#)

8.4.4 Sunlight to private open space of multiple dwellings

A1

A multiple dwelling, that is to the north of the private open space of another dwelling on the same site, required to satisfy A2 or P2 of clause 8.4.3, must satisfy (a) or (b), unless excluded by (c):

- a. the multiple dwelling is contained within a line projecting (see Figure 8.4):
 - (i) at a distance of 3m from the northern edge of the private open space; [Yes refer drawings.](#)
 - (ii) vertically to a height of 3m above existing ground level and then at an angle of 45 degrees from the horizontal; [Yes refer drawings.](#)
- b. the multiple dwelling does not cause 50% of the private open space to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June; [There is ample space between the proposed and existing buildings and the private open space has a minimum of 3 hours sunlight over more than 50% of the POS. Refer Site Plan for sun shadows on 21st of June. At 9:00am most of the POS is in shade due to the low sun angle. By 12:00 sunlight is well in excess of 50% of the space and sunlight on the POS continues to increase until 3:00pm.](#)
- c. this Acceptable Solution excludes that part of a multiple dwelling consisting of:
 - (i) an outbuilding with a building height not more than 2.4m; [Yes refer drawings.](#)
 - (ii) protrusions that extend not more than 0.9m horizontally from the multiple dwelling. [Yes refer drawings.](#)

8.4.5 Width of openings for garages and carports for all dwellings

[NA for this project – please refer to the drawings.](#)

8.4.6 Privacy for all dwellings

A1

A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a: [There are no proposed "balcony, deck, roof terrace, parking space or carport" proposed closer than 3m from a side boundary, 4m for a rear boundary. As per the site plan there is only circulation spaces closer than 3m to a side boundary.](#)

- (a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary; [Refer Site Plan.](#)
- (b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and [Refer Site Plan.](#)
- (c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m: [Refer Site Plan.](#)



- (i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or [Refer Site Plan](#).
- (ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site. [Refer Site Plan](#).

A2 - Please refer to the drawings. All glazed windows and doors exceed A2 minimum requirements.

A3 - Please refer to the drawings. Proposed design exceeds A3 minimum requirements.

8.4.7 Frontage fences for all dwellings

P1 Please refer to the Proposed Landscaping Plan for changes to the existing front fence.

8.4.8 Waste storage for multiple dwellings

A1 Please refer to the Proposed Site Plan for waste storage zones. Type (a) and proposed zones are in excess of the 1.5m³ minimum.

8.5 Development Standards for Non-dwellings - NA

8.6 Development Standards for Subdivision - NA

If you have any questions or require any additional information, please do not hesitate to ask.

**Personal Information
Removed**



ISSUE: DA01

length in millimeters at full size

150

100

50

40

30

20

10

200

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ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION.
ALL MATERIAL AND WORK PRACTICES SHALL COMPLY WITH CURRENT BCA/NCC AND AUSTRALIAN STANDARDS.

Project Details:

Title Reference: 54276 / 1

Areas:

Title: 1614m²

Existing house: 116m²

Proposed Dwelling: 285m²

Climate Zone: 7

BAL: NA - Residential

Soil Test: M

Wind Classification: N3

length in millimeters at full size

100

50

150

200

Project Details:

Title Reference: 54276 / 1

Areas:

Title: 1614m2

Existing house: 116m²

Proposed Dwelling: 285m²

Climate Zone: 7

BAL: NA - Residential

Soil Test: M

Wind Classification: N3

PROPOSED NEW DWELLING
8 TALUNE STREET
LINDISFARNE



project details

Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

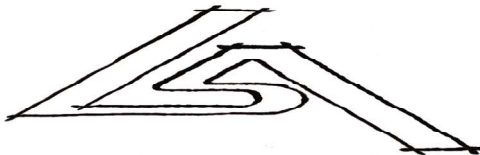
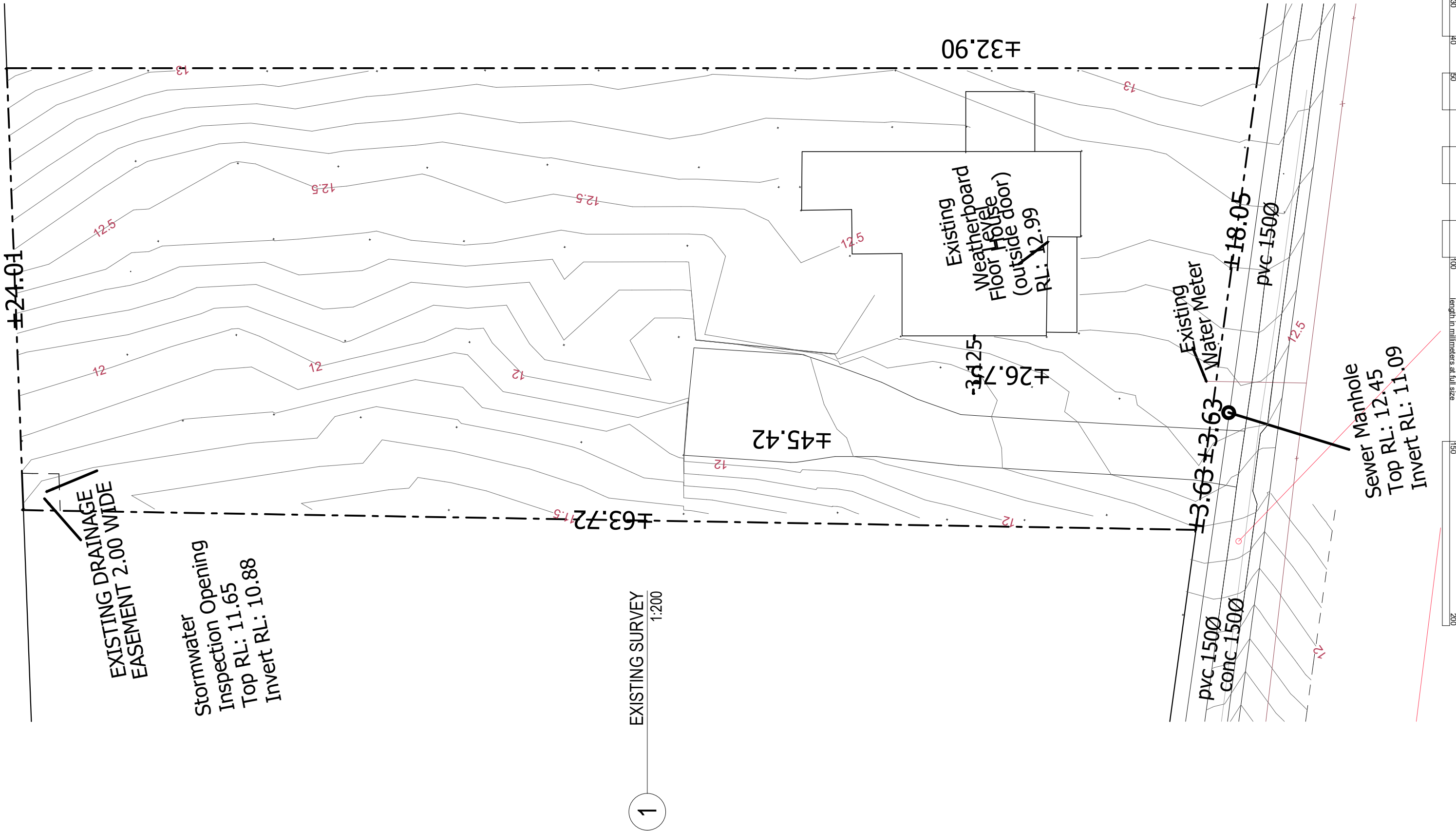
Project No: **2425-02** Drawing No. _____
Plot Date: 14/08/2025

NOTE: THESE DRAWINGS ARE
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WITH A CURRENT NATSPEC
SIMPLE DOMESTIC
SPECIFICATION

ISSUE: DA01

length in millimeters at full size

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project details

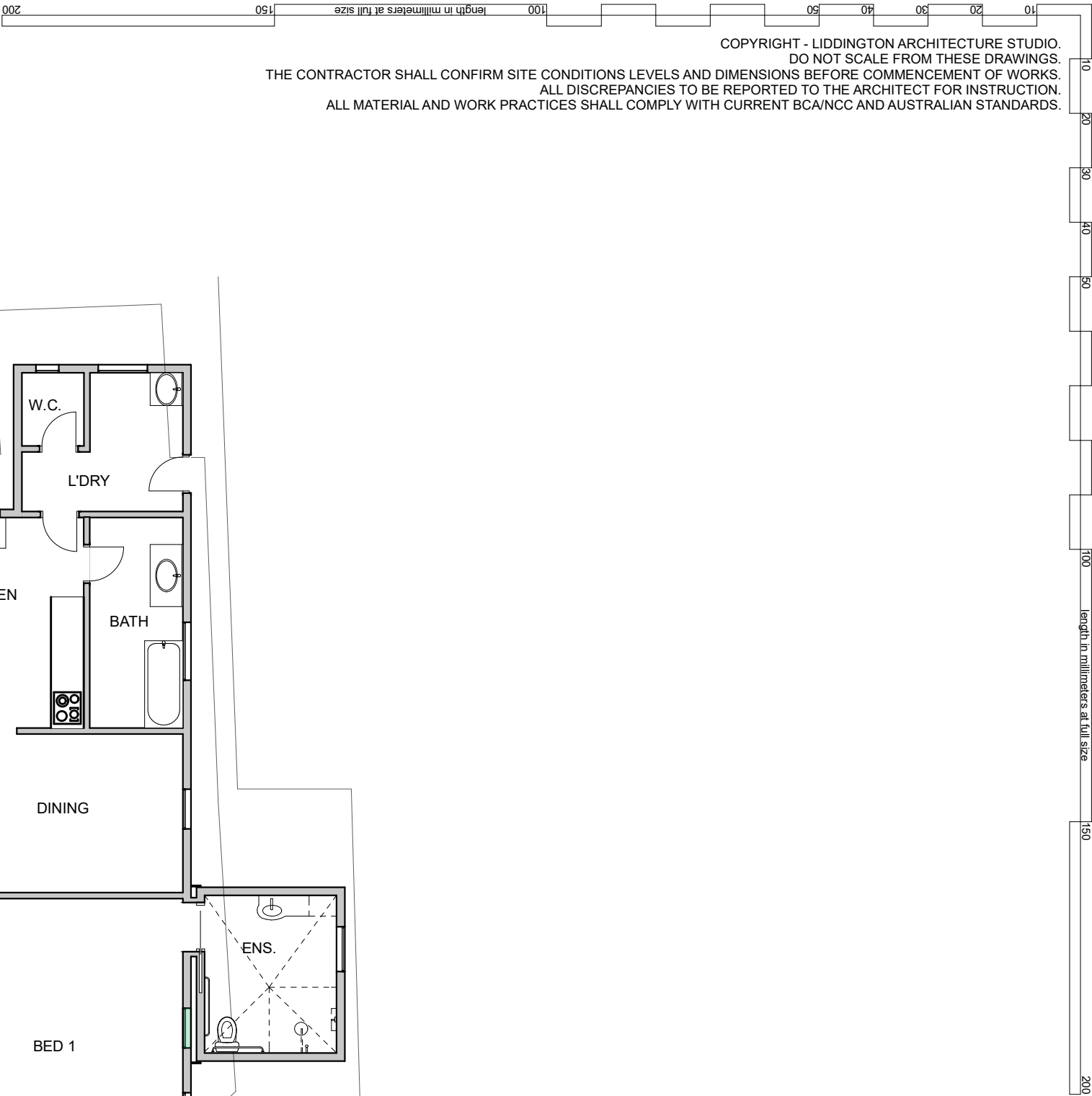
Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

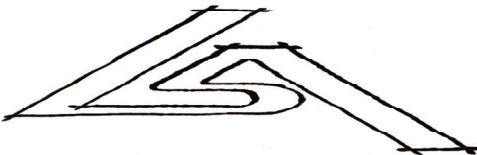
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Drawing No.: **14**
Plot Date: 14/08/2025

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1 EXISTING DWELLING PLAN
1:100



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project details

Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

Project No: 2425-02
Drawing No.: 15
Plot Date: 14/08/2025

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000 150 100 50 40 30 20 10 length in millimeters at full size

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1 Existing Dwelling South
1:100



2 Existing Dwelling East
1:100



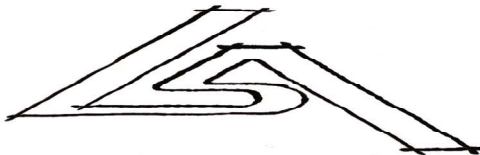
EXISTING NORTHERN VIEW



EXISTING NORTHERN VIEW



EXISTING WESTERN VIEW



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project details

Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

Project No: 2425-02
Drawing No.: 16
Plot Date: 14/08/2025

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SIMPLE DOMESTIC
SPECIFICATION

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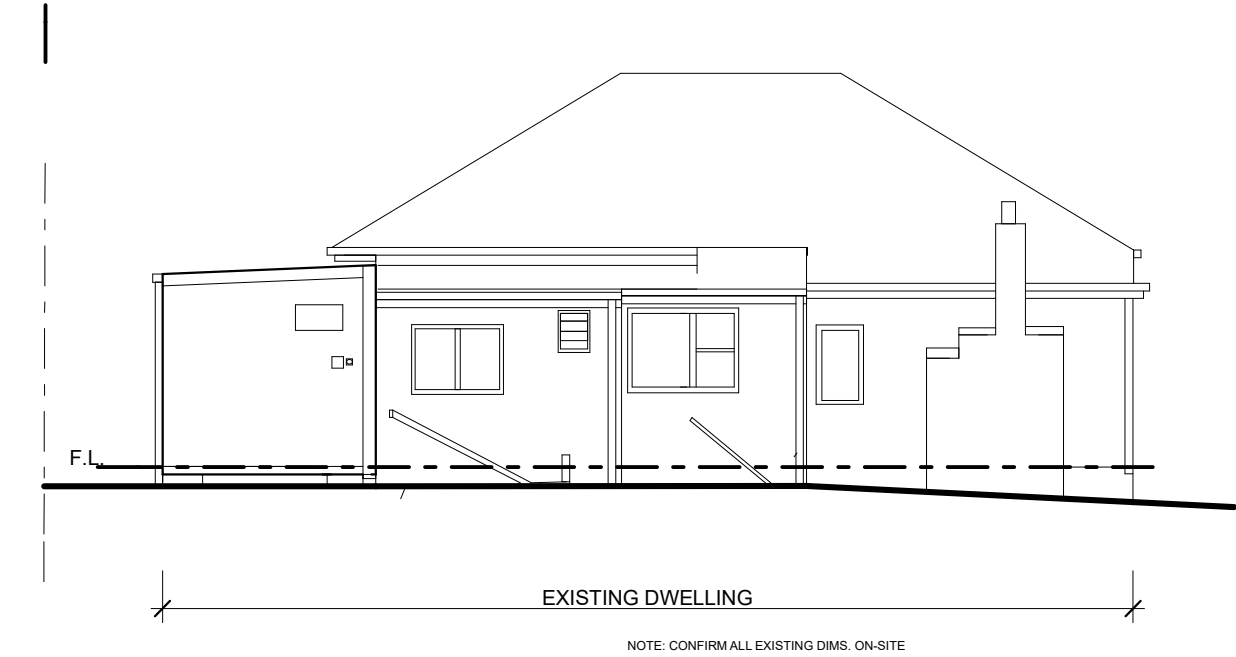
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length in millimeters at full size

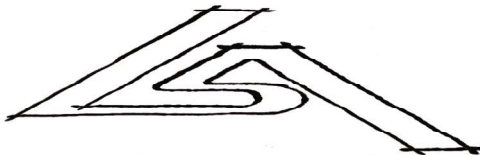
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1 Existing Dwelling North
1:100



2 Existing Dwelling West
1:100



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p. 0467 174 330 e. peter@liddington.com.au

project details

Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

Project No: 2425-02
Drawing No.: 17
Plot Date: 14/08/2025

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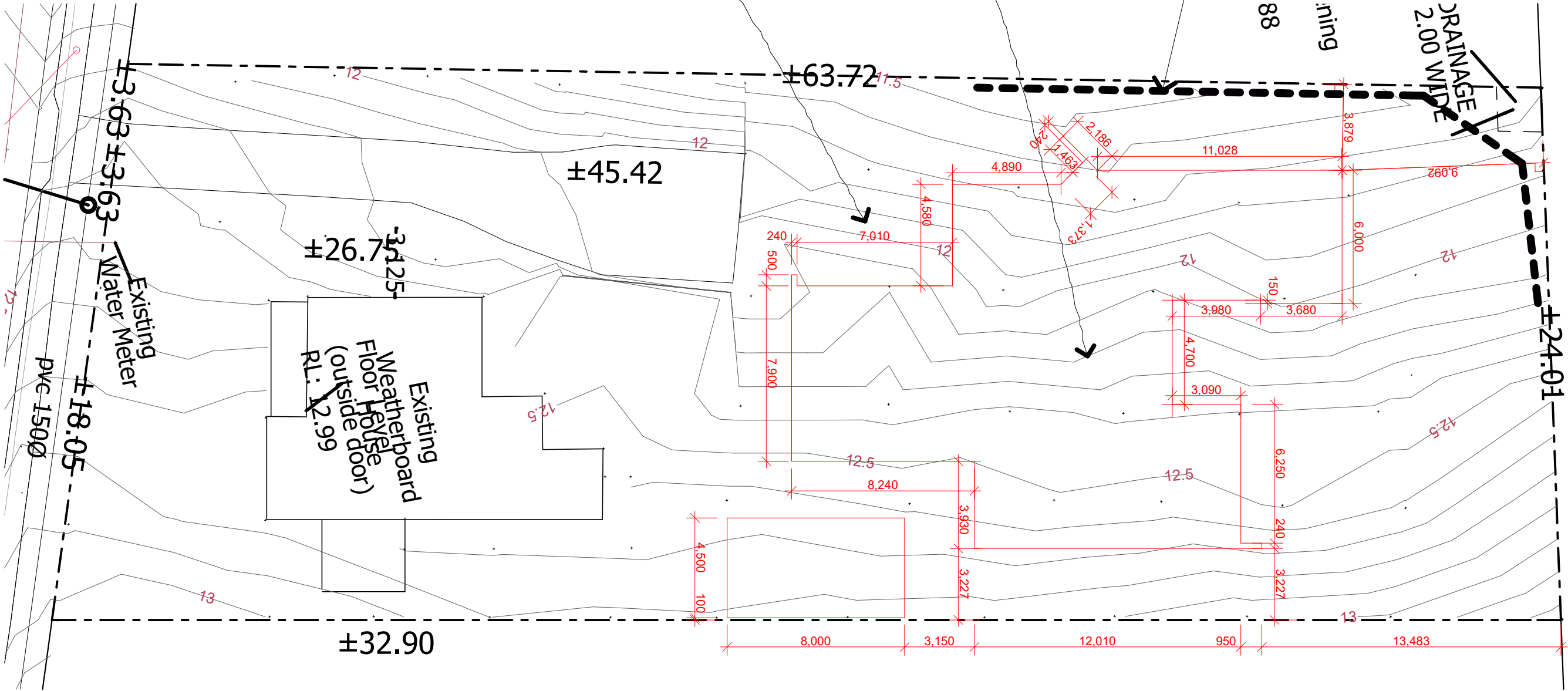
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SWMP
DASHED LINE DENOTES;
SEDIMENT FENCE - GEO FABRIC ATTACHED TO
PINE PLATE HELD IN PLACE WITH STAR
DROPPERS

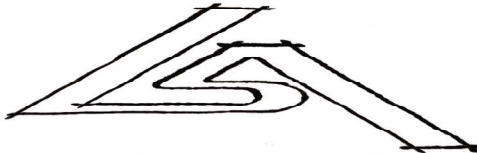
(IF REQ. EXTENT AND SLOPE OF SITE MAY
PROVIDE ADEQUATE CATCHMENT FOR ANY
SOIL & WATER RUN OFF)

SET OUT NOTE: PLEASE NOTE SET OUT
DIMENSIONS ARE TO EXTERNAL BRICKWORK AND
EXTERNAL 90mm TIMBER FRAME FOR CLAD WALLS.

SET OUT NOTE:
ELECTRICAL THROUGH
SLAB - AS REQ. REFER
ELECTRICAL PLAN



SET OUT & SWMP PLAN 1:200



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project details

Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

Project No: 2425-02
Drawing No.: 102
Plot Date: 14/08/2025

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NEW LETTERBOX.
BRICK: DANIEL ROBERTSON,
TRADITIONAL GREY BLEND
WITH WARM LIGHT GREY
MORTAR.

SLIMLINE WATER TANKS. IF
REQUIRED BY HYDRAULIC
ENGINEER FOR S.W.
RETENTION.

HATCHED LINE DENOTES
NEW 1.8m HIGH BOUNDARY
FENCE. EITHER
COLORBOND "WALLABY" OR
TREATED PINE PAILINGS -
CONFIRM WITH OWNER

PROPOSED MULCH ZONE
WITH SELECT DWARF FRUIT
TREES

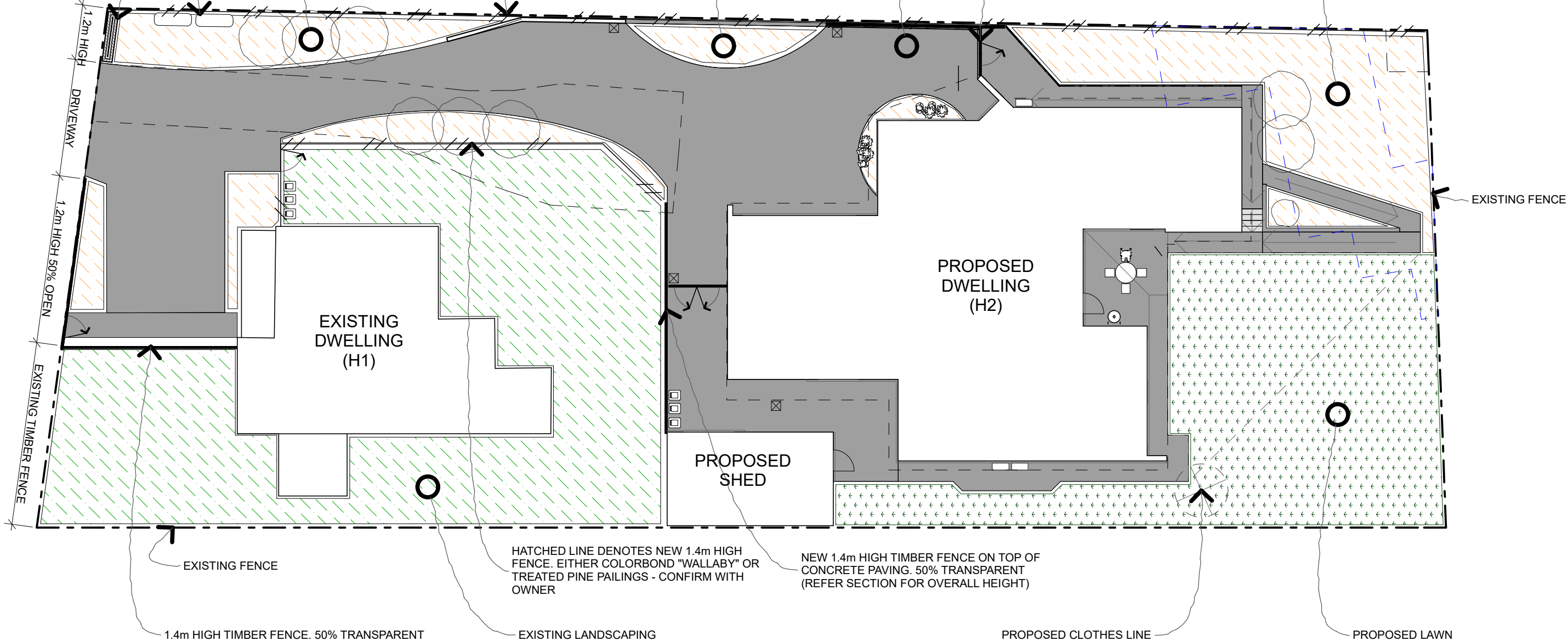
PROPOSED MULCH ZONE

PROPOSED CONCRETE
PAVING

NEW 1.4m HIGH TIMBER
FENCE ON TOP OF
CONCRETE PAVING. 50%
TRANSPARENT (REFER
SECTION FOR OVERALL
HEIGHT)

PROPOSED MULCH ZONE
WITH SELECT DWARF FRUIT
TREES

1
LANDSCAPING
1:200



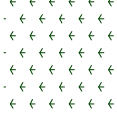
KEY



EXISTING



MULCH
ZONE



GRASS /
LAWN



CONCRETE

project details

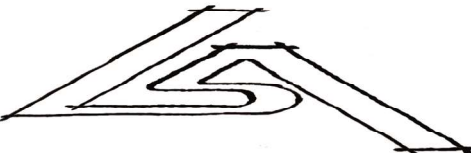
Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

Project No:
2425-02

Drawing No.:
103

Plot Date: 14/08/2025



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e. peter@liddington.com.au

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length in millimeters at full size 200 150 100 50 40 30 20 10

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SLIMLINE WATER TANK FOR CHARGED S.W. SYSTEM FROM BOTH DWELLING ROOFED AREAS. (3m L, 0.85 W, 1.48 H). 4.7m FROM FRONT BOUNDARY

PROPOSED DWELLING 12 DEGREE ROOF

1

PROPOSED SITE PLAN
1:200

DASHED LINE DENOTES EXISTING DRIVE TO BE REMOVED

H1
P1

H1
P2

EXISTING DWELLING (H1)

P.O.S.

62.41 m²

VISITOR

H2
P1

H2
P2

SL

SL

SL

PRIVATE OPEN SPACE

5.521

PARKING FOR EXISTING DWELLING

PROPOSED SHED 12 DEGREE ROOF

PROPOSED SOLAR PANELS

NEIGHBOURING DWELLINGS AND EXTERNAL STRUCTURES

KEY: SUNLIGHT

KEY: SL = SKY LIGHT

9am 21st June

12:00 21st June

3pm 21st June

project details

Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

Project No:
2425-02
Plot Date: 1/09/2025

Drawing No.:
104

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p. 0467 174 330

e. peter@liddington.com.au

Tas CC1880-0
Document Set ID: 5679500
Version: 1, Version Date: 02/09/2025

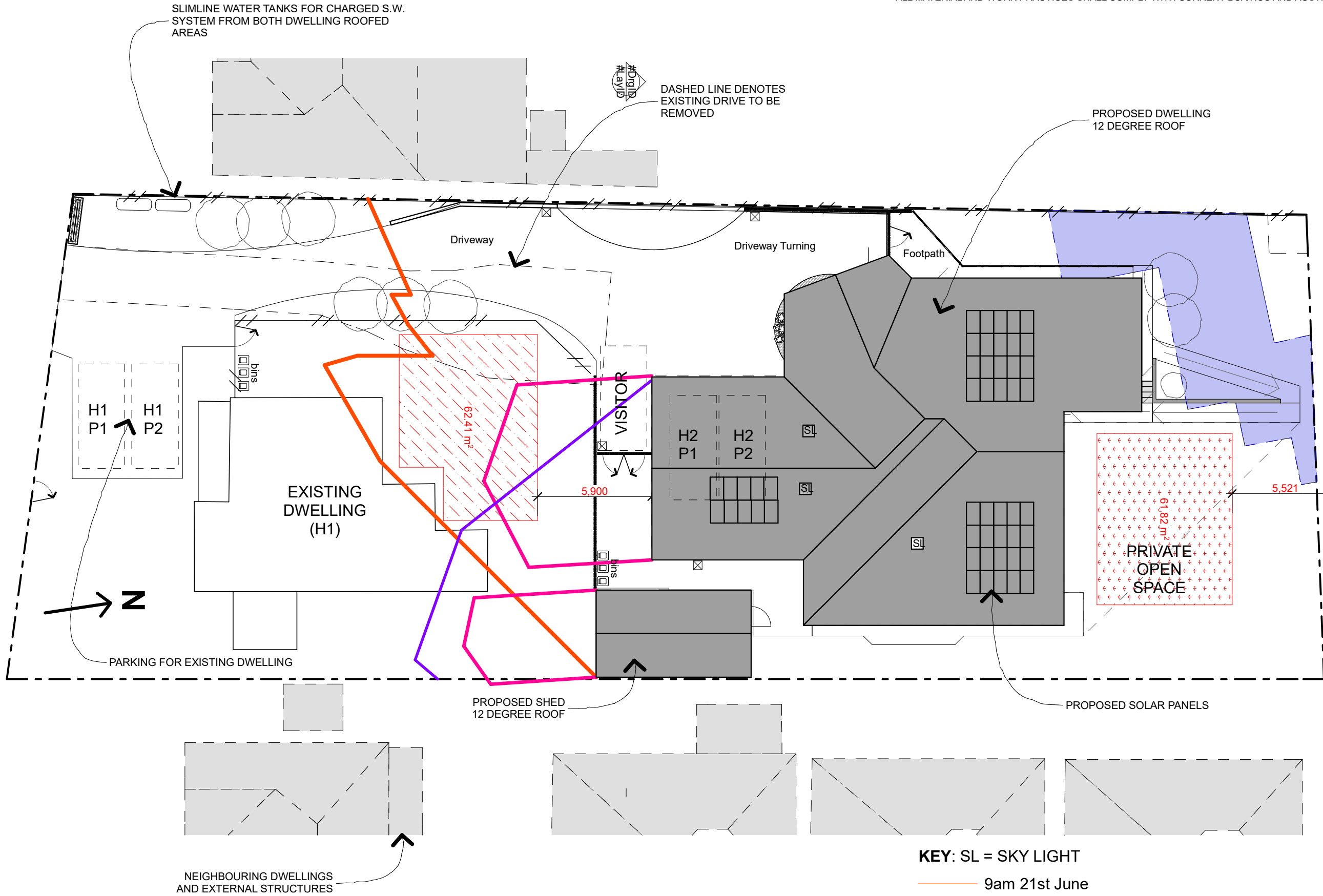
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length in millimeters at full size

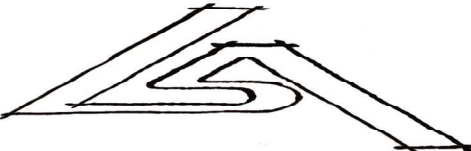
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1
PROPOSED SITE PLAN
1:200



KEY: SL = SKY LIGHT

9am 21st June
12:00 21st June
3pm 21st June



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project details

Owner: David and Jackie Law
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Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

Project No: 2425-02
Drawing No.: 104
Plot Date: 14/08/2025

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SIMPLE DOMESTIC
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ISSUE: DA01

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ARCHITECT FOR INSTRUCTION.
AND AUSTRALIAN STANDARDS.

1
FLOOR PLAN
1:100

TOTAL AREA: 284.65 m²

BLUE DASHED LINE DENOTES
FLOOD OVERLAY - OUTSIDE OF
PROPOSED BUILDING FOOTPRINT.

GRASS PLAY
AREA

project details

Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

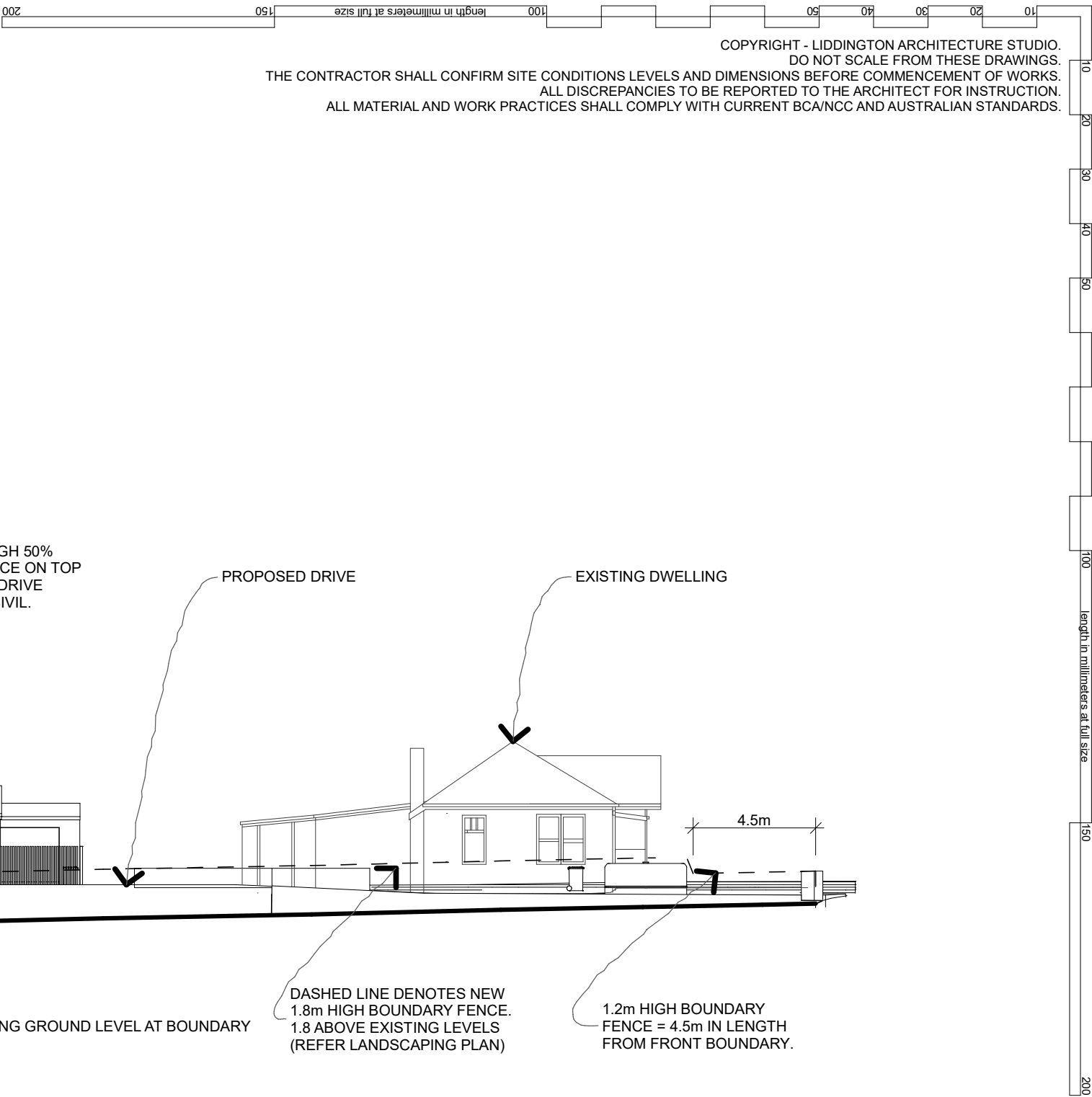
Project No:
2425-02
Plot Date: 14/08/2025
Drawing No.:
105

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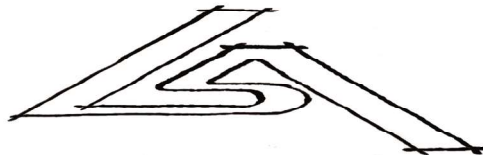
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SPECIFICATION

ISSUE: DA01



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ALL MATERIAL AND WORK PRACTICES SHALL COMPLY WITH CURRENT BCA/NCC AND AUSTRALIAN STANDARDS.

1 West Site Elevation
1:200



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project details

Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

Project No:
2425-02
Plot Date: 1/09/2025

Drawing No.:
201

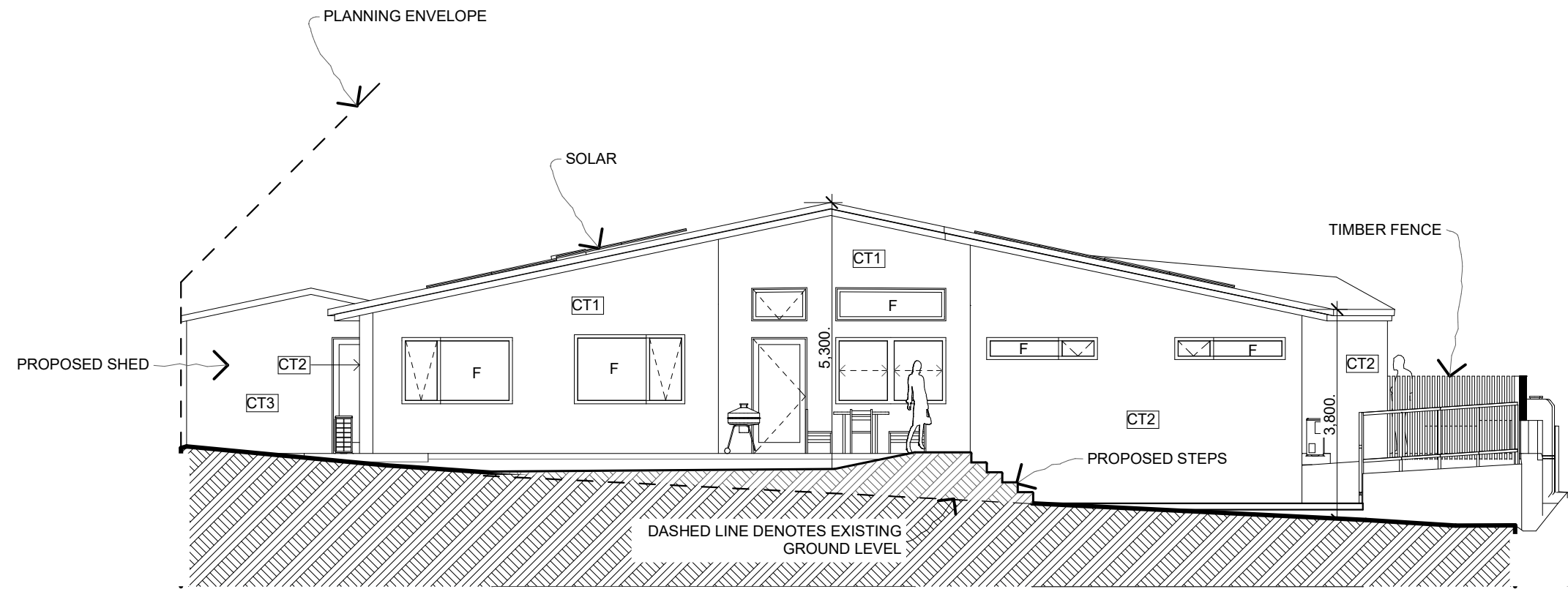
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SIMPLE DOMESTIC
SPECIFICATION

ISSUE: DA01

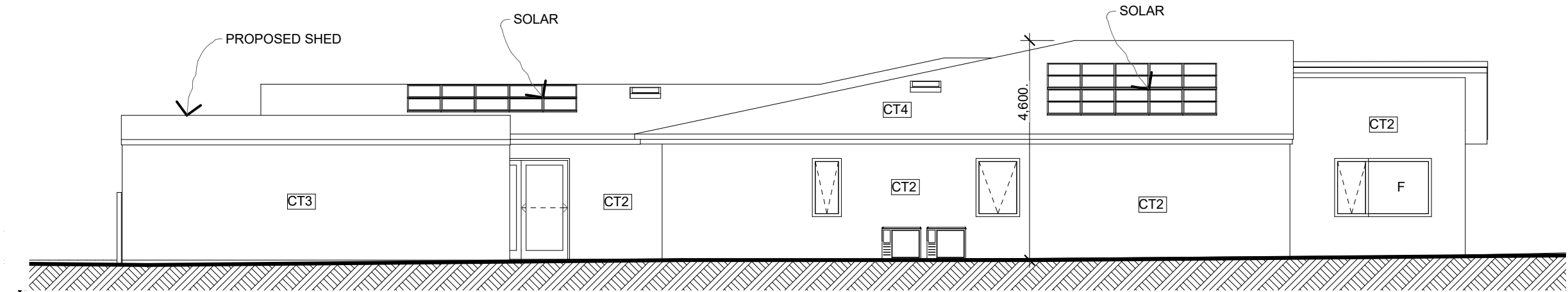
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length in millimeters at full size

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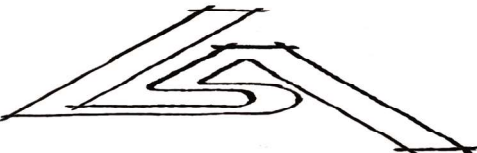
- KEY
- CT1 - TIMBER CLADDING,
SILVER OR GREY OIL
FINISH.
- CT2 - BRICKWORK, D.R.
TRAD. GREY BLEND WITH
LIGHT GREY MORTAR.
- CT3 - STEEL CLADDING,
COLORBOND WALLABY.
- CT4 - STEEL ROOFING,
COLORBOND WALLABY,
INC FASCIA AND
GUTTERS.



1 North Elevation
1:100



2 East Elevation
1:100



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project details

Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

Project No: 2425-02
Drawing No.: 202
Plot Date: 14/08/2025

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length in millimeters at full size

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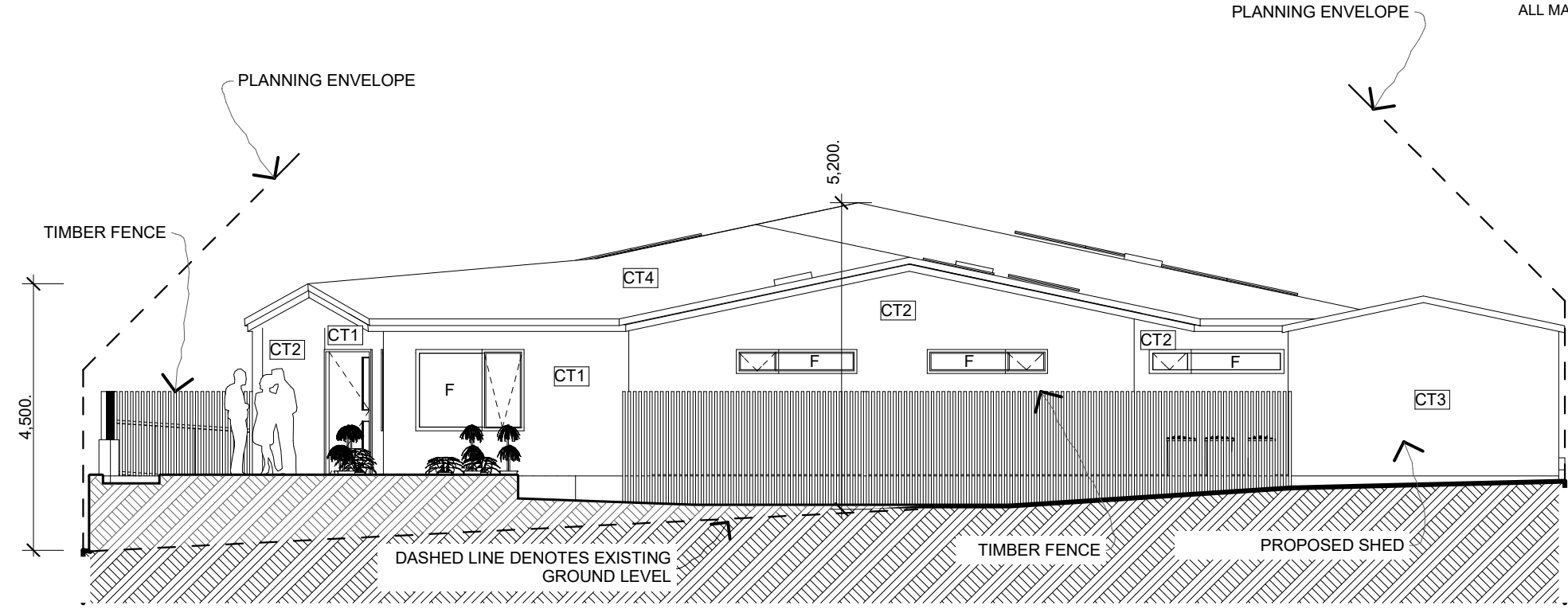
KEY

CT1 - TIMBER CLADDING,
SILVER OR GREY OIL
FINISH.

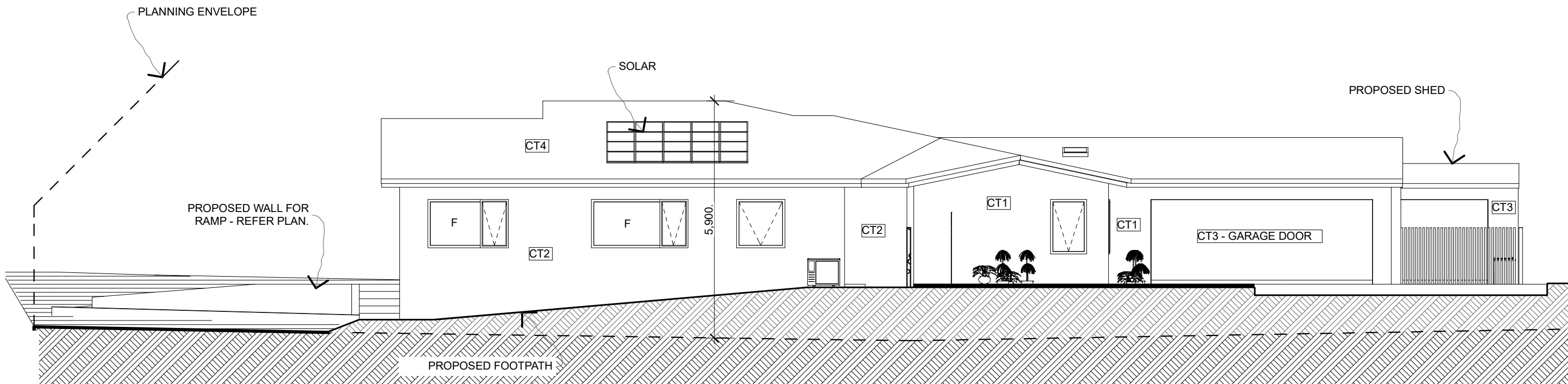
CT2 - BRICKWORK, D.R.
TRAD. GREY BLEND WITH
LIGHT GREY MORTAR.

CT3 - STEEL CLADDING,
COLORBOND WALLABY.

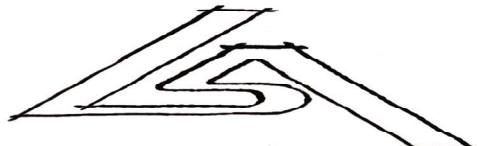
CT4 - STEEL ROOFING,
COLORBOND WALLABY,
INC FASCIA AND
GUTTERS.



1 South Elevation
1:100



2 West Elevation
1:100



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project details

Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

Project No: 2425-02
Drawing No.: 203
Plot Date: 14/08/2025

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WITH A CURRENT NATSPEC
SIMPLE DOMESTIC
SPECIFICATION

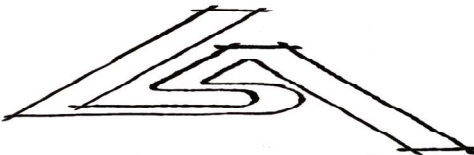
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1

NORTH EAST

TOPSOIL FROM SITE RE-USED AS FILL



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project details

Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

Project No:
2425-02
Plot Date: 14/08/2025

Drawing No.:
801

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SIMPLE DOMESTIC
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ISSUE: DA01

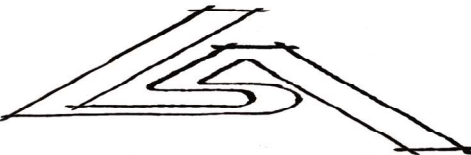
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length in millimeters at full size

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100 length in millimeters at full size
150
200

1 NORTH WEST
RAMP



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project details

Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

Project No:
2425-02
Plot Date: 14/08/2025

Drawing No.:
802

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SIMPLE DOMESTIC
SPECIFICATION

ISSUE: DA01

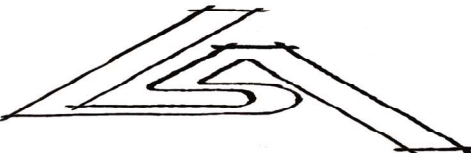


1

SOUTH WEST

GARDEN BED

PARKING



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project details

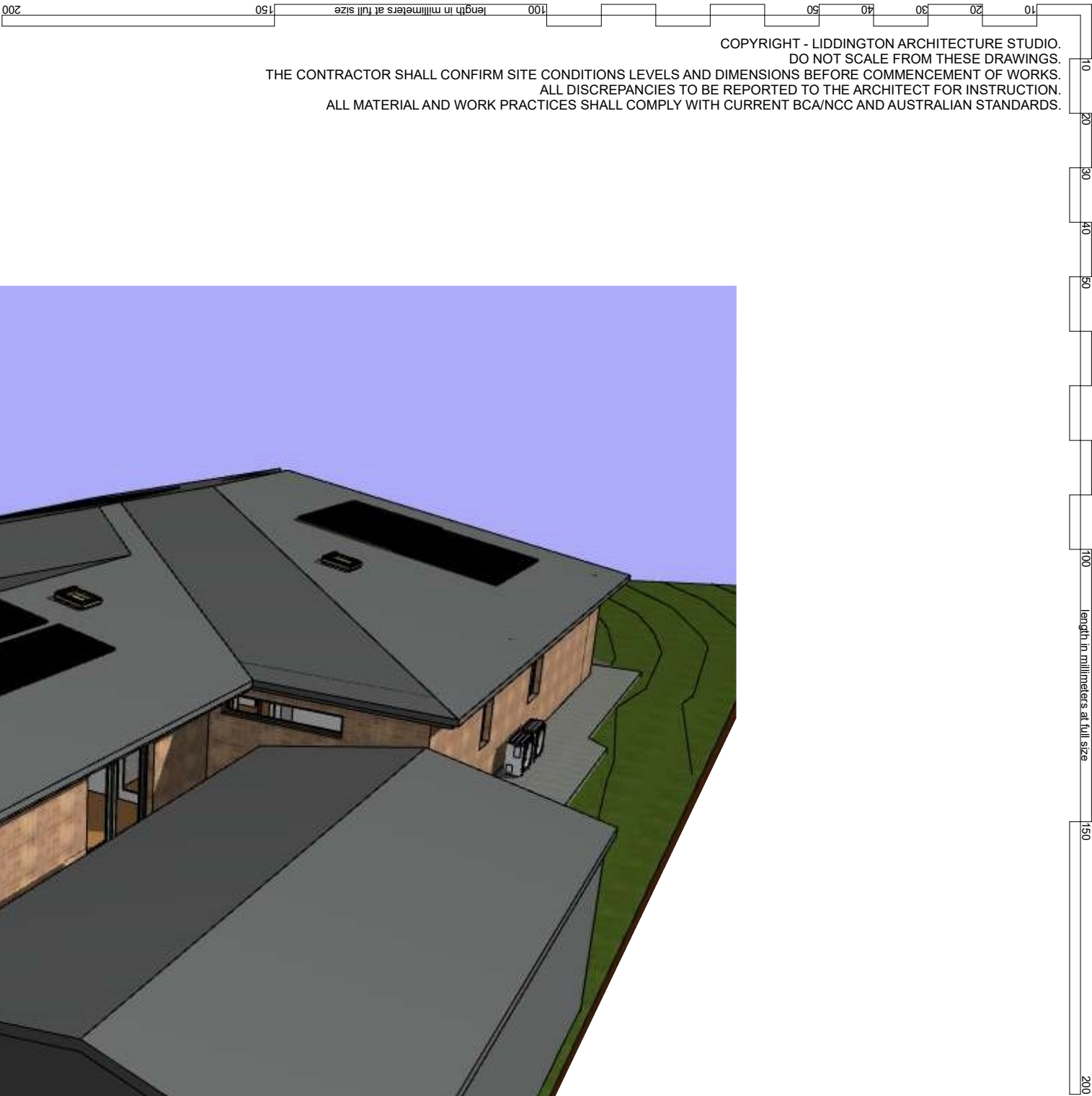
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Project Type: NEW DWELLING (MULTIPLE DWELLING)

Scale: as noted @ A3
Date: 2025
Project Status: DA

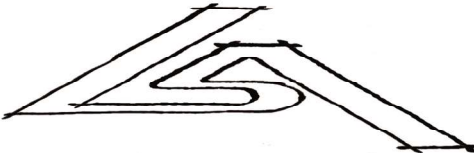
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Drawing No.: 803
Plot Date: 14/08/2025

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1 SOUTH EAST



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project details

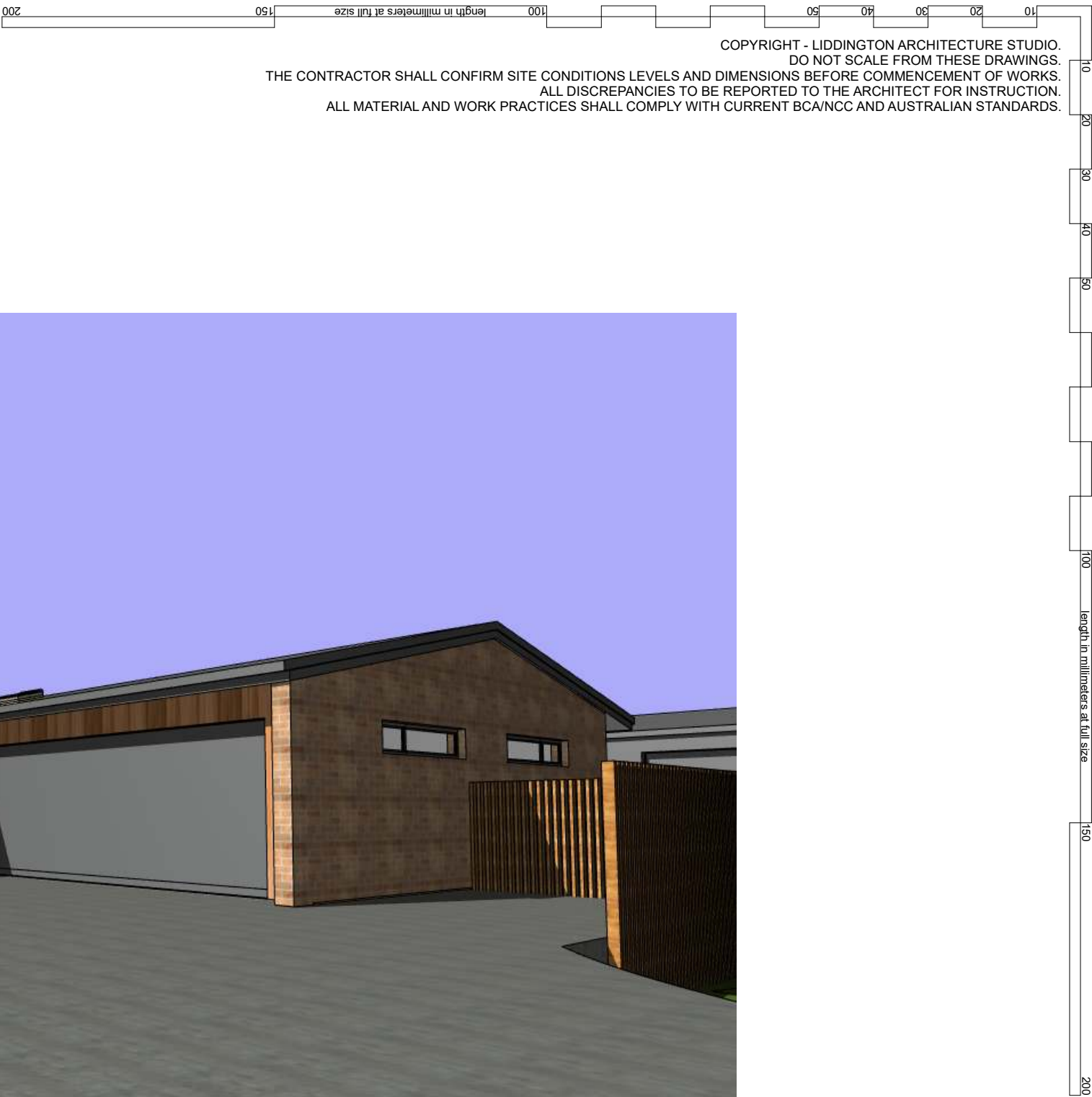
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Date: 2025
Project Status: DA

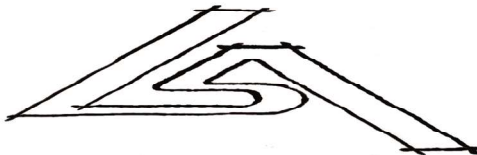
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Plot Date: 14/08/2025

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1 ENTRY VIEW TOPSOIL FROM SITE RE-USED AS FILL FOR NEW GARDEN BEDS



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project details

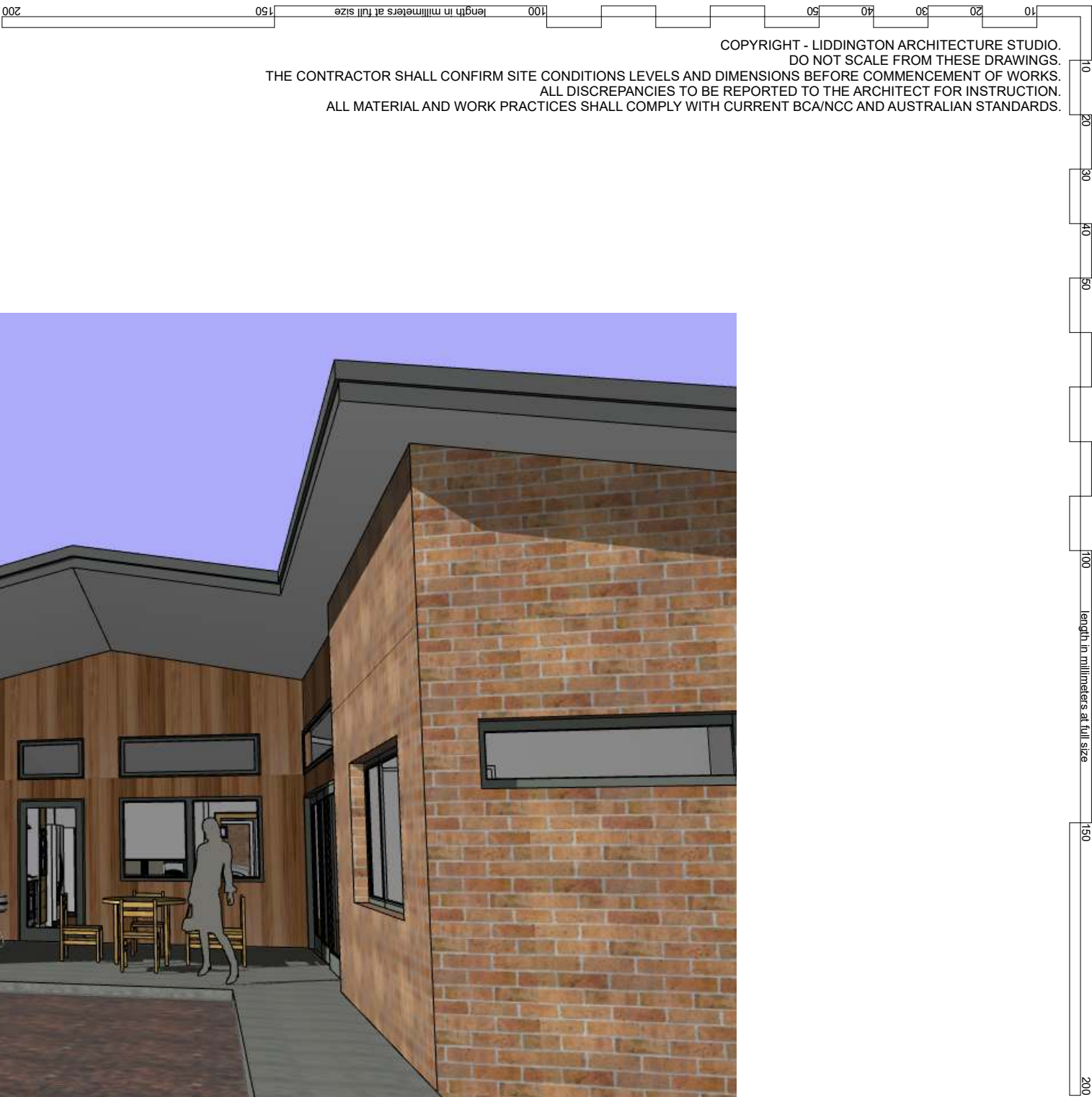
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Scale: as noted @ A3
Date: 2025
Project Status: DA

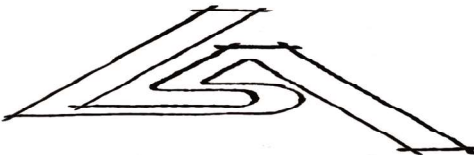
Project No: 2425-02
Drawing No.: 805
Plot Date: 14/08/2025

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SPECIFICATION

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1 PATIO VIEW



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project details


Owner: David and Jackie Law
Address: 8 Talune St Lindisfarne. TAS
Project Type: NEW DWELLING (MULTIPLE DWELLING)

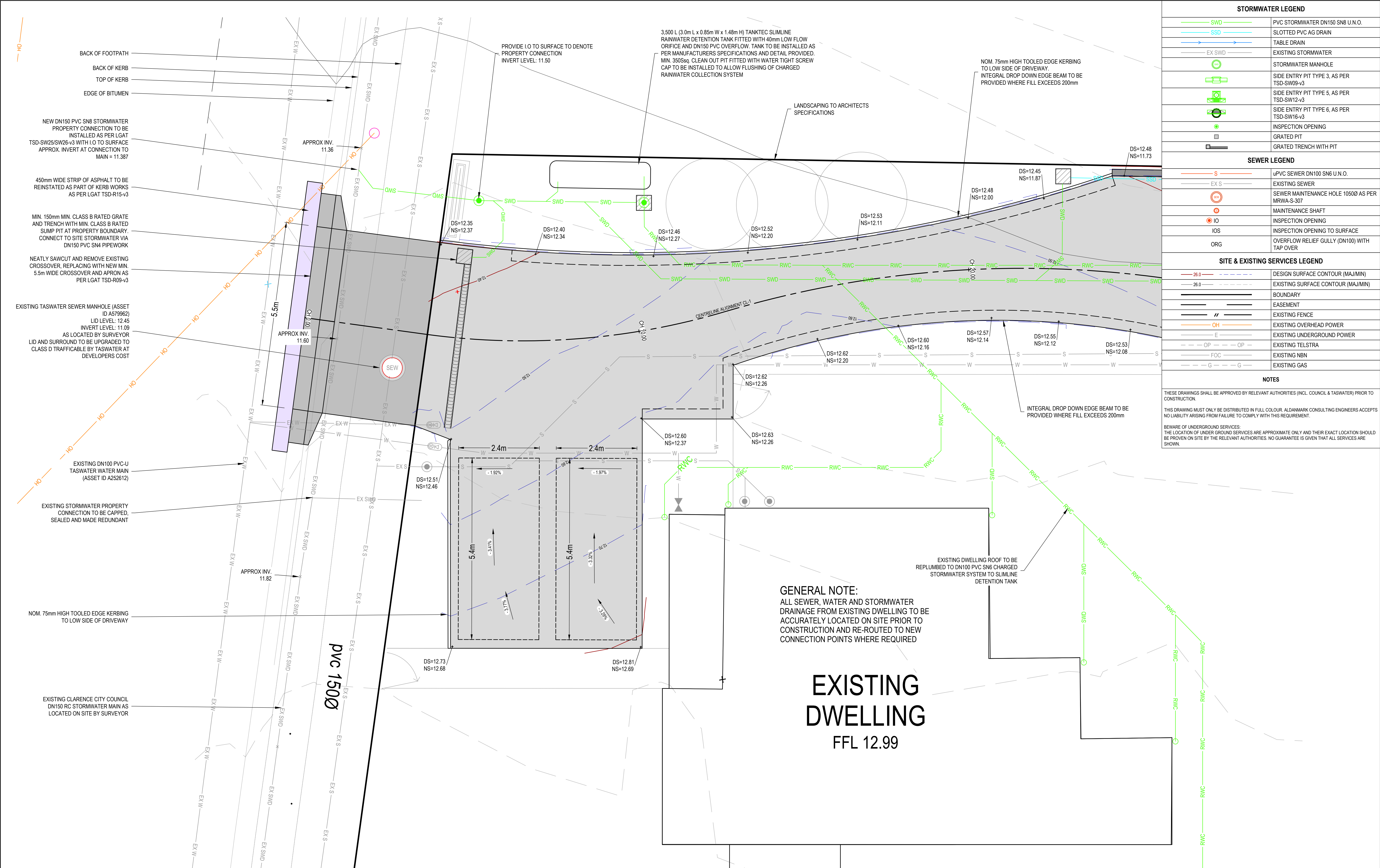
Scale: as noted @ A3
Date: 2025
Project Status: DA

Project No: 2425-02
Drawing No.: 806
Plot Date: 14/08/2025

CIVIL DRAWINGS
DAVID AND JACKIE LAW
8 TALUNE STREET
LINDISFARNE

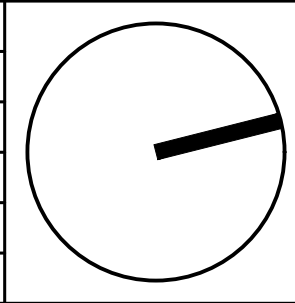
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C101	SITE PLAN	A	5/08/2025
C102	ROAD AND STORMWATER PLAN - SHEET 1	A	5/08/2025
C103	ROAD AND STORMWATER PLAN - SHEET 2	A	5/08/2025
C104	SEWER AND WATER PLAN - SHEET 1	A	5/08/2025
C105	SEWER AND WATER PLAN - SHEET 2	A	5/08/2025
C201	LONG SECTIONS - SHEET 1	A	5/08/2025
C401	CONSTRUCTION DETAILS	A	5/08/2025

			DRAWN:	DE	<div><div>Lower Ground 199 Macquarie Street Hobart TAS 7000 03 6234 8666 mail@aldanmark.com.au www.aldanmark.com.au</div></div>	PROJECT:	DAVID AND JACKIE LAW	ADDRESS:	8 TALUNE STREET LINDISFARNE	SHEET: COVER					
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REV	ISSUE	DATE	APPROVAL												

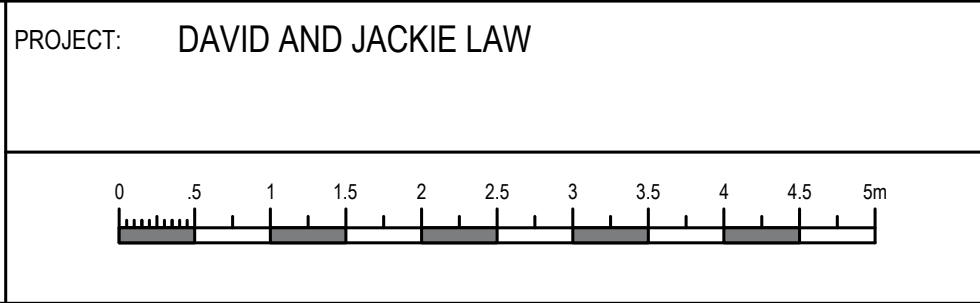


STORMWATER LEGEND	
	PVC STORMWATER DN150 SN8 U.N.O.
	SLOTTED PVC AG DRAIN
	TABLE DRAIN
	EXISTING STORMWATER
	STORMWATER MANHOLE
	SIDE ENTRY PIT TYPE 3, AS PER TSD-SW09-v3
	SIDE ENTRY PIT TYPE 5, AS PER TSD-SW12-v3
	SIDE ENTRY PIT TYPE 6, AS PER TSD-SW16-v3
	INSPECTION OPENING
	GRATED PIT
	GRATED TRENCH WITH PIT
SEWER LEGEND	
	UPVC SEWER DN100 SN6 U.N.O.
	EXISTING SEWER
	SEWER MAINTENANCE HOLE 10500 AS PER MRWA-S-307
	MAINTENANCE SHAFT
	INSPECTION OPENING
	INSPECTION OPENING TO SURFACE
	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJ/MIN)
	EXISTING SURFACE CONTOUR (MAJ/MIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING GAS
NOTES	
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			DRAWN:	DE
			CHECKED:	LG
			DESIGN:	DE
			CHECKED:	
A	DEVELOPMENT APPROVAL	5/08/2025	VERIFIED:	
REV	ISSUE	DATE	APPROVAL	



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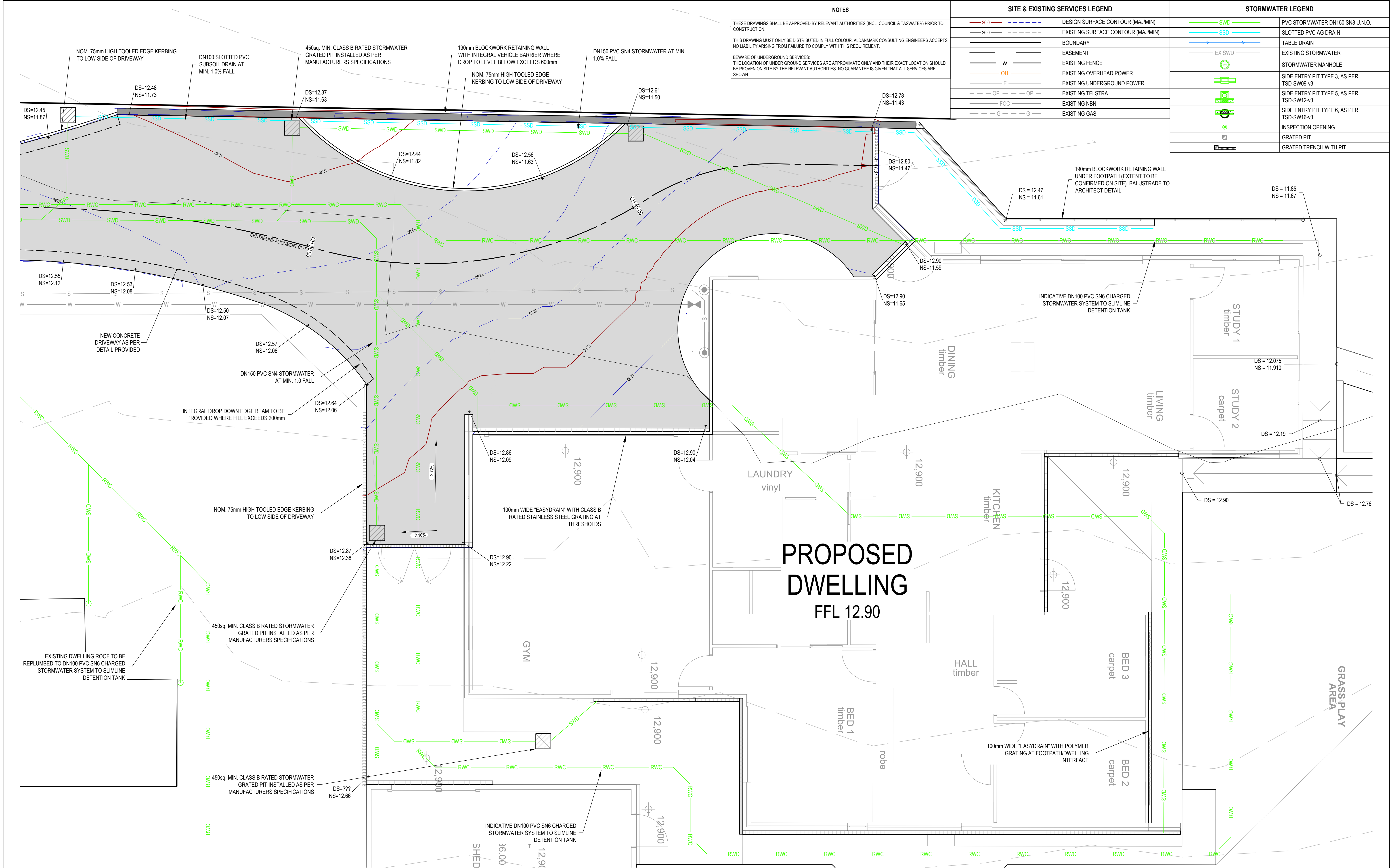


ADDRESS: 8 TALUNE STREET
LINDISFARNE

CLIENT: DAVID & JACKIE LAW

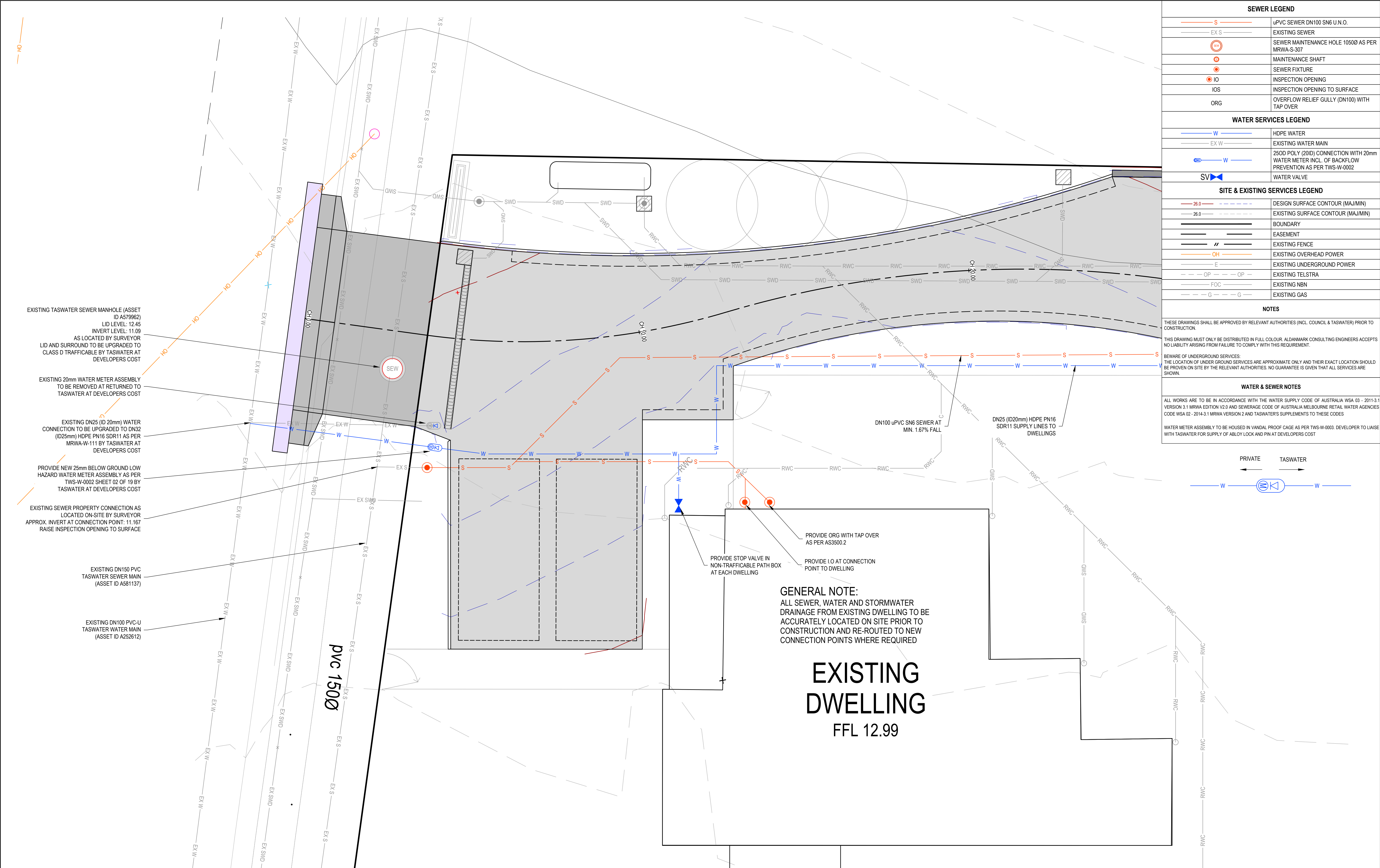
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PROJECT No: 25 E 62 - 1	SHEET: C102	REV: A	





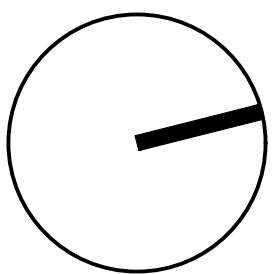
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THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.			DESIGN SURFACE CONTOUR (MAJ/MIN)		PVC STORMWATER DN150 SN8 U.N.O.
THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.			EXISTING SURFACE CONTOUR (MAJ/MIN)		SLOTTED PVC AG DRAIN
BEWARE OF UNDERGROUND SERVICES: THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.			BOUNDARY		TABLE DRAIN
			EASEMENT		EXISTING STORMWATER
			EXISTING FENCE		STORMWATER MANHOLE
			EXISTING OVERHEAD POWER		SIDE ENTRY PIT TYPE 3, AS PER TSD-SW09-v3
			EXISTING UNDERGROUND POWER		SIDE ENTRY PIT TYPE 5, AS PER TSD-SW12-v3
			EXISTING TELSTRA		SIDE ENTRY PIT TYPE 6, AS PER TSD-SW16-v3
			EXISTING NBN		INSPECTION OPENING
			EXISTING GAS		GRATED PIT
					GRATED TRENCH WITH PIT

ROAD AND STORMWATER PLAN - SHEET 2		SCALE 1:50 (A1)		PROJECT: DAVID AND JACKIE LAW		ADDRESS: 8 TALUNE STREET LINDISFARNE		SHEET: ROAD AND STORMWATER PLAN - SHEET 2	
DRAWN: DE		CHECKED: LG		DESIGN: DE		CLIENT: DAVID & JACKIE LAW		SCALE: 1:50	
CHECKED: VERIFIED:		DATE: 5/08/2025		APPROVAL:		PROJECT No: 25 E 62 - 1		TOTAL SHEETS: 8	
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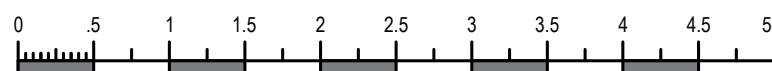
SEWER AND WATER PLAN - SHEET 1
SCALE 1:50 (A1)

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			CHECKED:	LG
			DESIGN:	DE
			CHECKED:	
A	DEVELOPMENT APPROVAL	5/08/2025	VERIFIED:	
REV	ISSUE	DATE	APPROVAL	



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PROJECT: DAVID AND JACKIE LAW



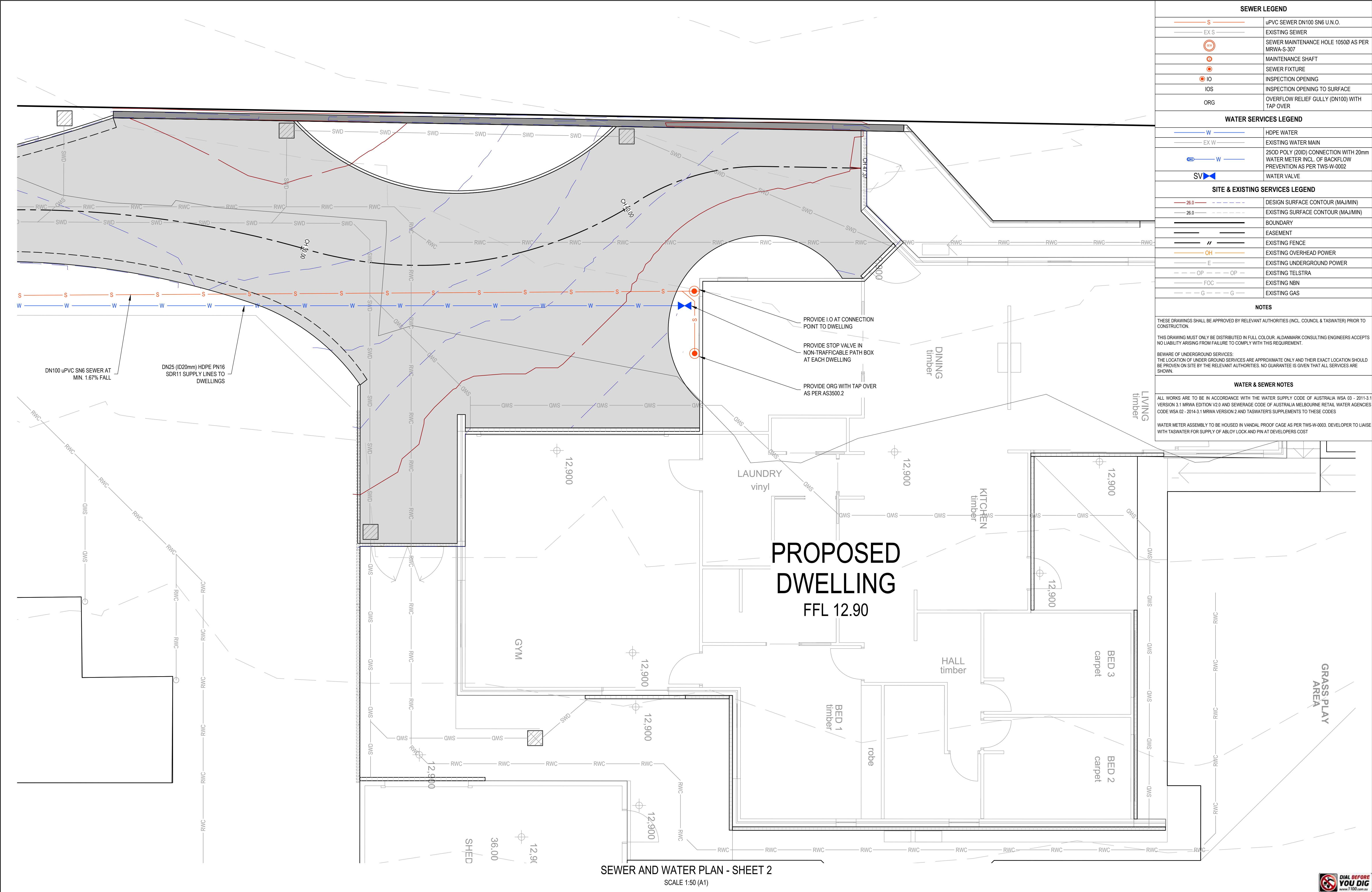
ADDRESS: 8 TALUNE STREET
LINDISFARNE

CLIENT: DAVID & JACKIE LAW




SHEET: SEWER AND WATER PLAN - SHEET 1

SCALE: 1:50	TOTAL SHEETS: 8	SIZE: A1
PROJECT No: 25 E 62 - 1	SHEET: C104	REV: A





SEWER LEGEND	
	uPVC SEWER DN100 SN6 U.N.O.
	EXISTING SEWER
	SEWER MAINTENANCE HOLE 1050Ø AS PER MRWA-S-307
	MAINTENANCE SHAFT
	SEWER FIXTURE
	INSPECTION OPENING
	INSPECTION OPENING TO SURFACE
	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
WATER SERVICES LEGEND	
	HDPE WATER
	EXISTING WATER MAIN
	250D POLY (20ID) CONNECTION WITH 20mm WATER METER INCL. OF BACKFLOW PREVENTION AS PER TWS-W-0002
	WATER VALVE
SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJ/MIN)
	EXISTING SURFACE CONTOUR (MAJ/MIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING GAS
NOTES	
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WATER & SEWER NOTES	
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 - 2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02 - 2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES	
WATER METER ASSEMBLY TO BE HOUSED IN VANDAL PROOF CAGE AS PER TWS-W-0003. DEVELOPER TO LIAISE WITH TASWATER FOR SUPPLY OF ABLOY LOCK AND PIN AT DEVELOPERS COST	

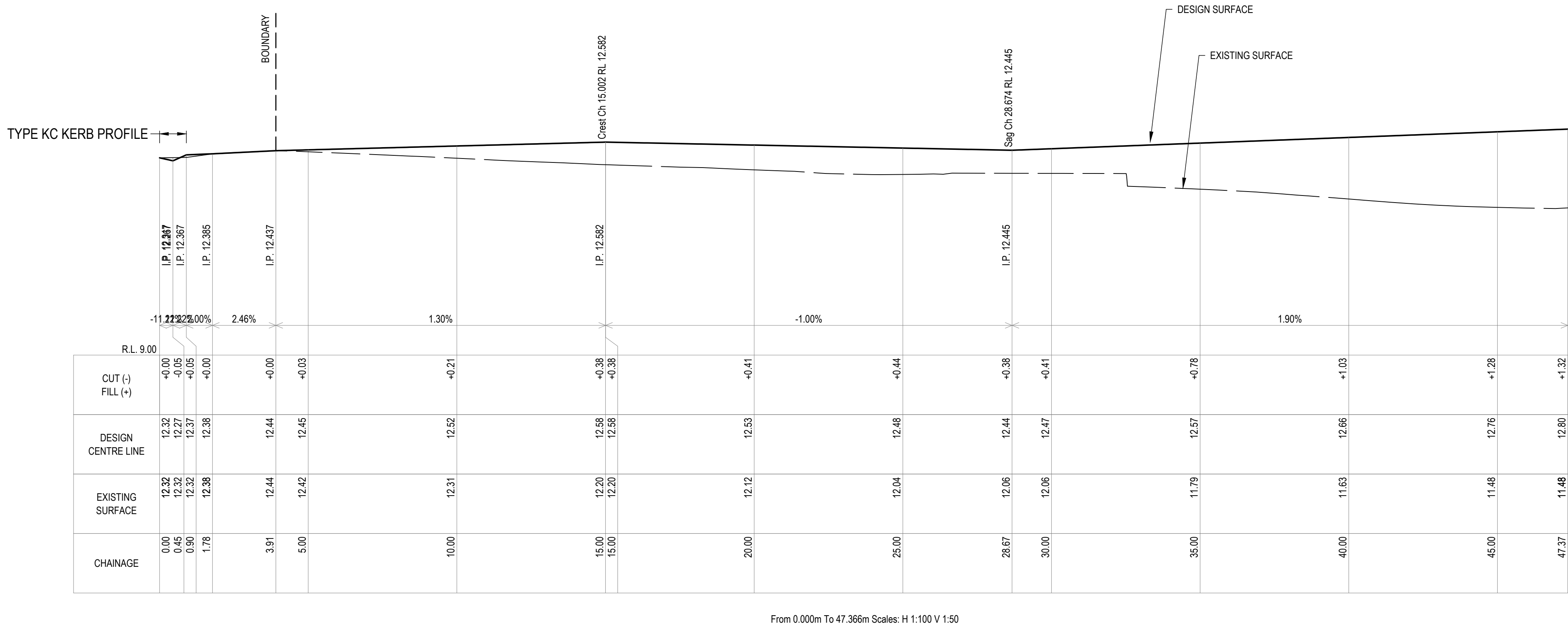
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A	DEVELOPMENT APPROVAL			5/08/2025	VERIFIED:												
REV	ISSUE			DATE	APPROVAL												

NOTES

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LONG SECTIONS - SHEET 1

SCALE AS INDICATED

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			CHECKED:	LG
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A	DEVELOPMENT APPROVAL	5/08/2025	VERIFIED:	
REV	ISSUE	DATE	APPROVAL	

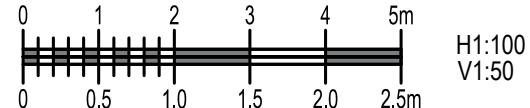


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PROJECT: DAVID AND JACKIE LAW

ADDRESS: 8 TALUNE STREET
LINDISFARNE

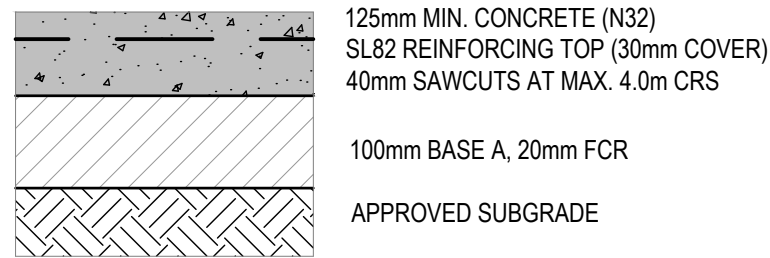
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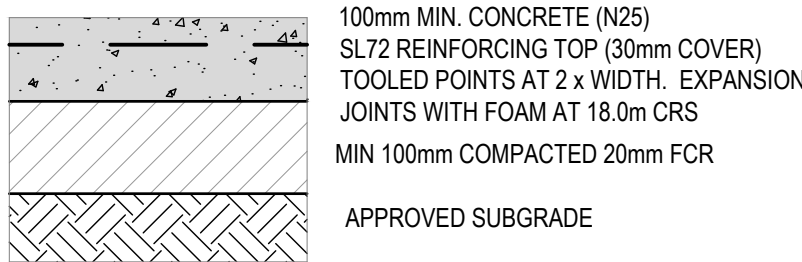
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SCALE: AS INDICATED	TOTAL SHEETS: 8	SIZE: A1
PROJECT No: 25 E 62 - 1	SHEET: C201	REV: A

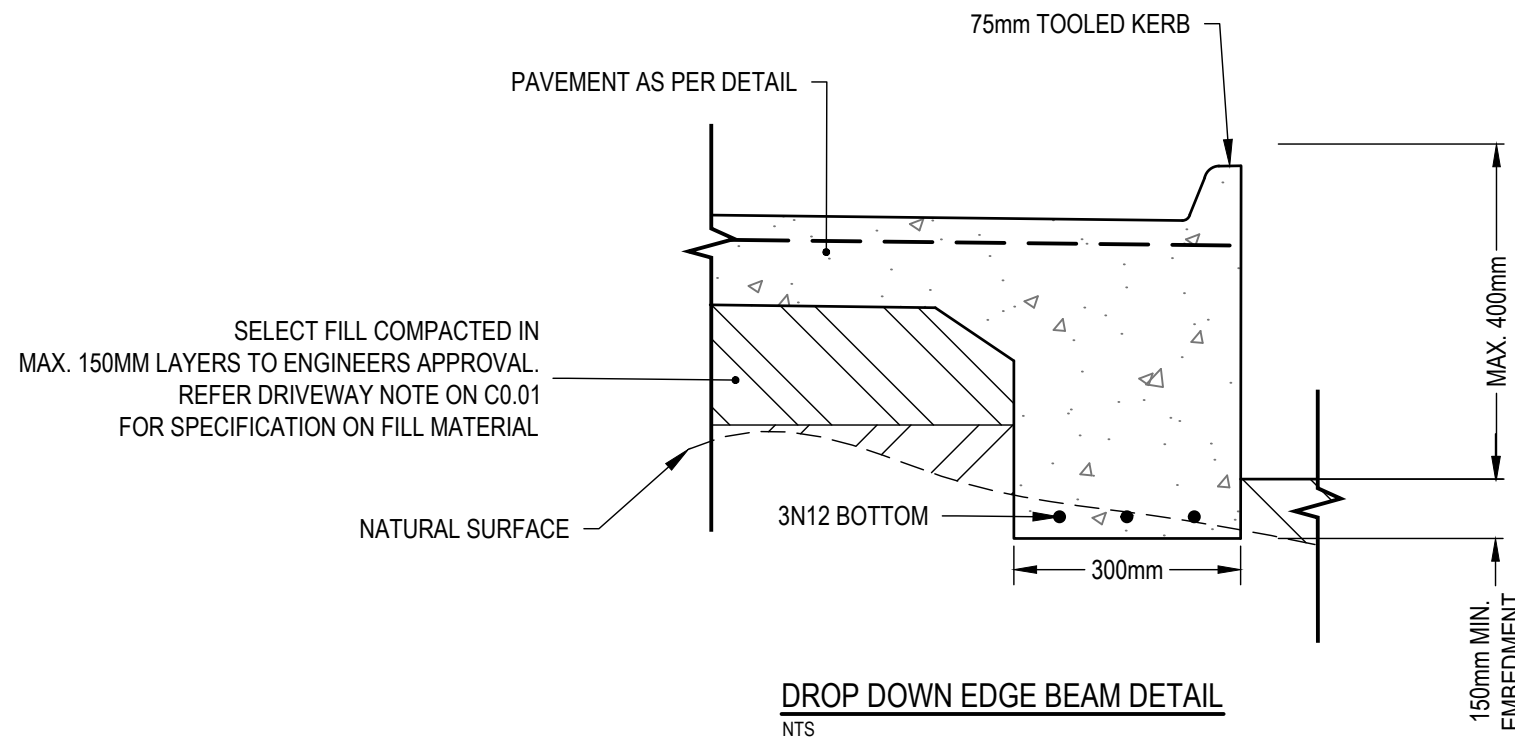


NOTE: CONCRETE PAVEMENT NOT DESIGNED FOR SPECIAL SURFACE FINISHES SUCH AS EXPOSED AGGREGATE.

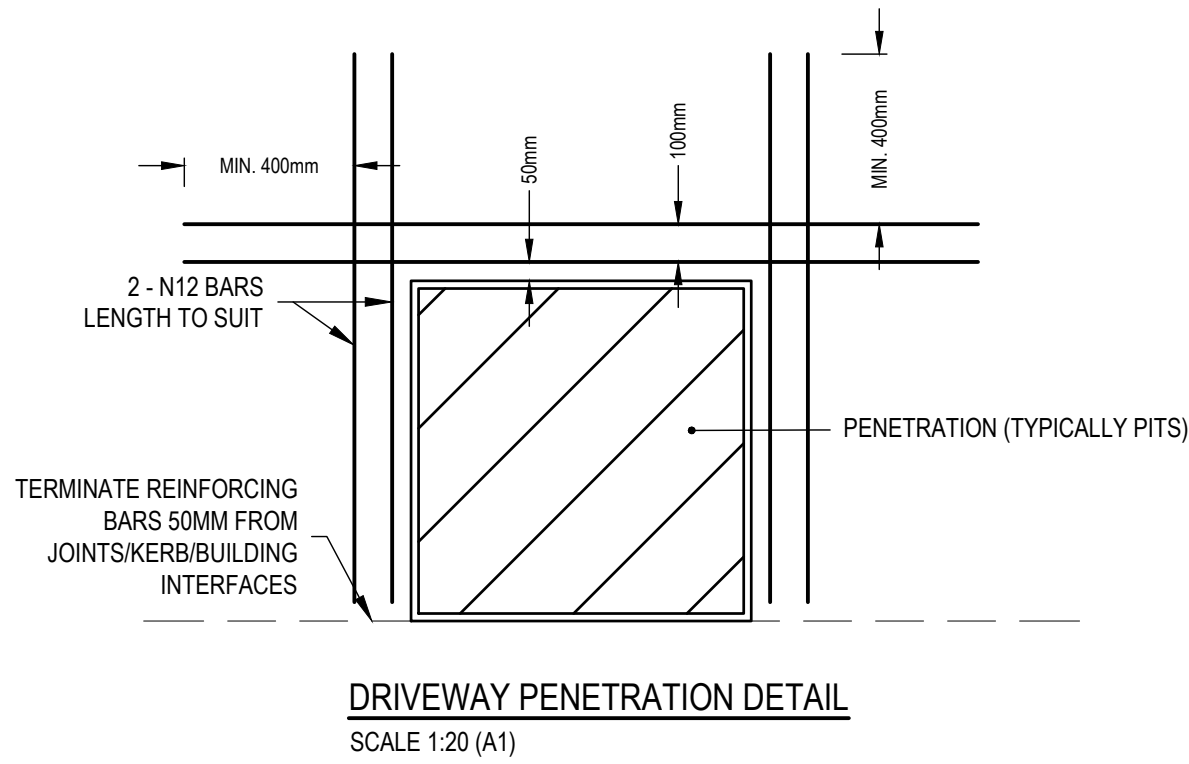
CONCRETE PAVEMENT DETAIL



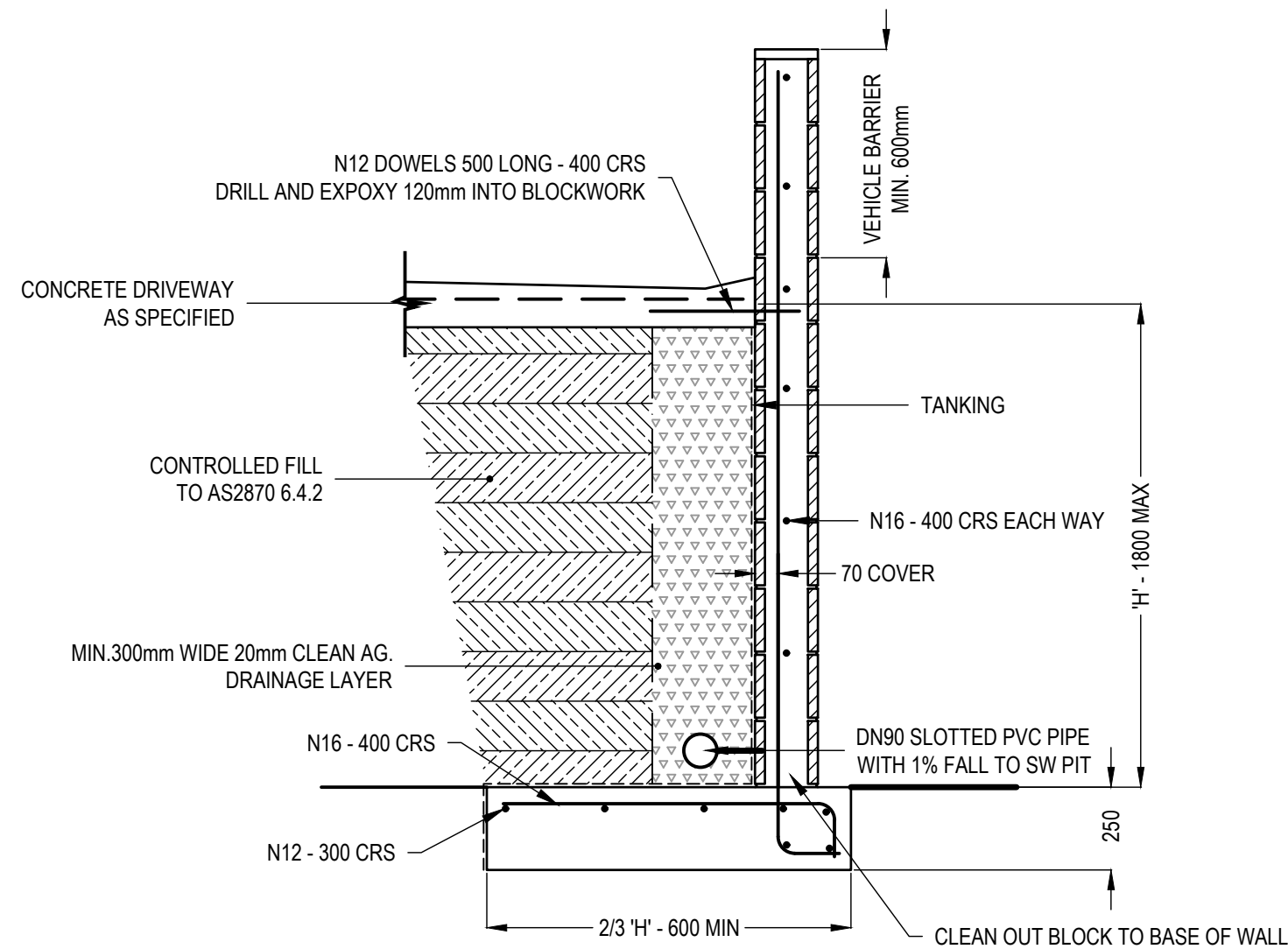
CONCRETE FOOTPATH DETAIL



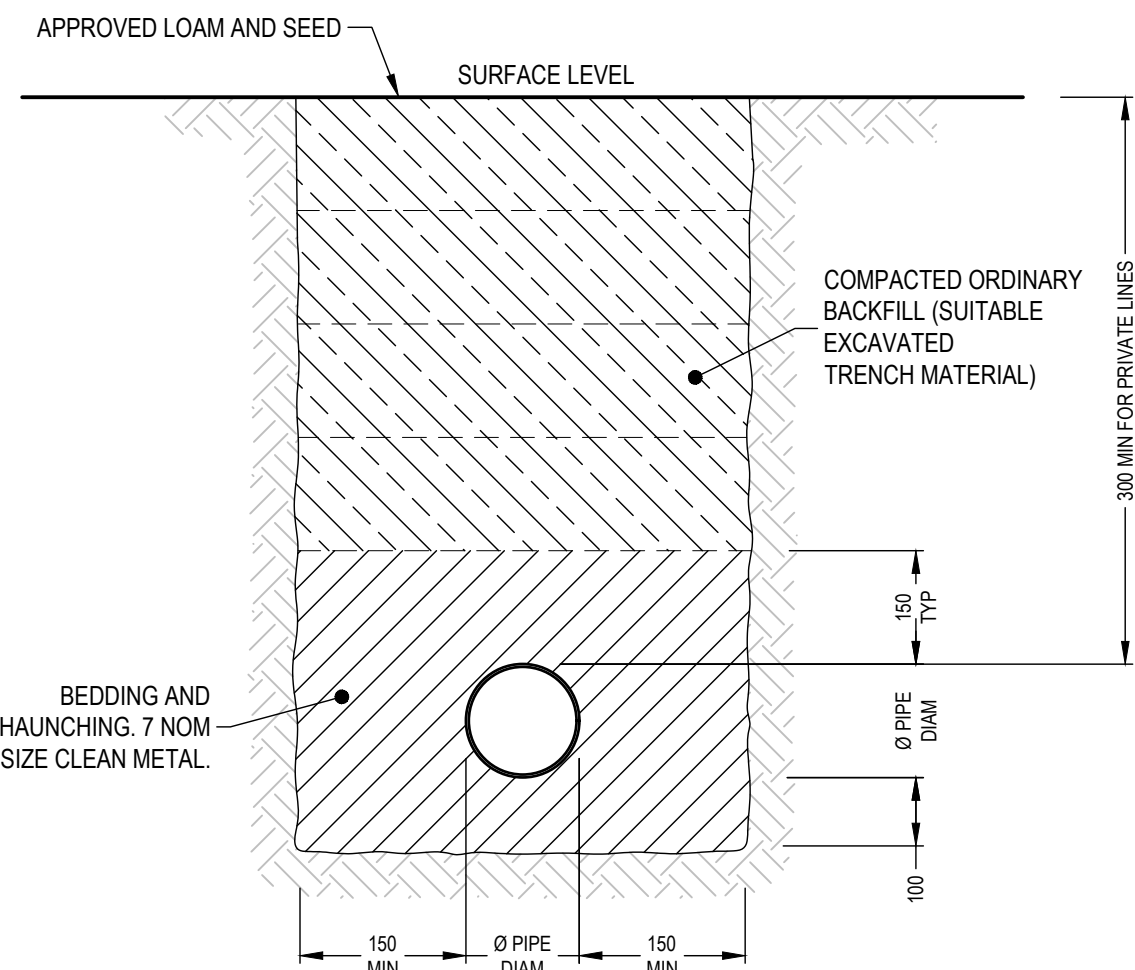
DROP DOWN EDGE BEAM DETAIL
NTS



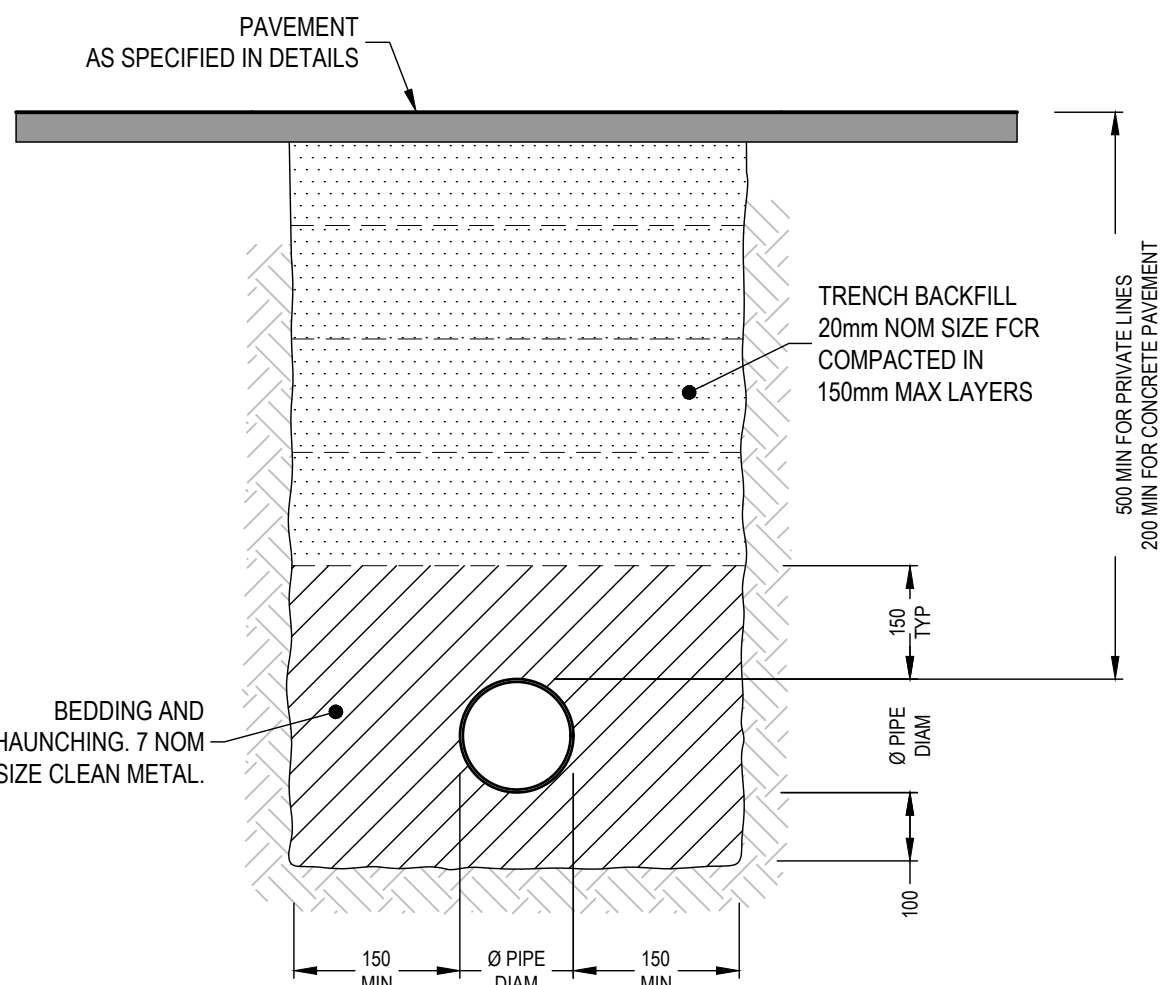
DRIVEWAY PENETRATION DETAIL
SCALE 1:20 (A1)



RETAINING WALL DETAIL
WITH BLOCKWORK VEHICLE BARRIER
SCALE 1:20 (A1)



TYPICAL CROSS SECTION - NON TRAFFICABLE
SCALE 1:10 (A1)



TYPICAL CROSS SECTION - TRAFFICABLE
SCALE 1:10 (A1)

NOTES

THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

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THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

SHEET TITLE
SCALE

			DRAWN:	DE
			CHECKED:	LG
			DESIGN:	DE
			CHECKED:	
A	DEVELOPMENT APPROVAL	5/08/2025	VERIFIED:	
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SHEET: CONSTRUCTION DETAILS

SCALE: AS INDICATED	TOTAL SHEETS: 8	SIZE: A1
PROJECT No: 25 E 62 - 1	SHEET: C401	REV: A



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STORMWATER REPORT

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REVISION	DATE	REVISION DETAILS	PREPARED	VERIFIED	APPROVED
A	29/07/2025	Development Approval	DE		

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1. INTRODUCTION

Aldanmark have been engaged to provide a stormwater report for the proposed development at 8 Talune Street, Lindisfarne.

The development must comply with the stormwater quantity requirements of the Clarence City Council Stormwater Management Procedure for new developments.

This report aims to demonstrate that the development at 8 Talune Street, Lindisfarne complies with the above stormwater quality and quantity requirements.

2. SITE OVERVIEW

The site contains one existing dwelling, carport structure and existing concrete driveway area. The existing site stormwater system discharges to the stormwater lot connection, located at the front of property along Talune Street. The existing DN150 Clarence City Council (CCC) stormwater main was located on site and depths obtained. Details of the existing connection, existing main and proposed stormwater connection can be seen in the Aldanmark Engineering Civil Drawings Sheets C101 and C102.

An additional dwelling is proposed to be constructed at the rear of the site, as well as new concrete driveway and parking areas. The increase in impervious area within the site is expected to increase the quantity of site stormwater runoff.

3. CATCHMENT MODEL

3.1 MODIFIED RATIONAL METHOD

The modified rational method was applied within the software Autodesk Storm and Sanitary Analysis (SSA) to determine the increase in runoff between the pre-development and post-development conditions. The SSA model was then used to determine the volume and configuration of on-site detention required to reduce the site runoff below the pre-development condition for the 5% AEP storm.

3.2 DESIGN RAINFALL DEPTHS (GCC CRITICAL DURATION)

Rainfall depths for the model were retrieved from the Bureau of Meteorology website (<http://www.bom.gov.au/water/designRainfalls/revised-efd/>). Multiple durations of the 5% AEP storm were analysed to determine the critical storm duration.

TABLE 1: DESIGN RAINFALL DEPTHS

DESIGN RAINFALL EVENT	DESIGN RAINFALL (mm/hr)
5% AEP 5 minute	85.5
5% AEP 10 minute	64.4
5% AEP 20 minute	44.6
5% AEP 30 minute	35.0

3.3 SITE CATCHMENTS

The site catchments assumed for the modified rational method calculations were determined from the architectural site plan prepared by Liddington Architecture Studio dated 18/07/2025. Runoff coefficients were adopted for each catchment area as per common industry practice.

TABLE 2: PRE-DEVELOPMENT SITE CATCHMENTS

CATCHMENT	AREA (m ²)	RUNOFF COEFFICIENT C
Pre-development impervious roofed areas	202.65	1.00
Pre-development impervious paved areas	108.00	0.90
Pre-development pervious areas	1305.96	0.40

TABLE 3: POST-DEVELOPMENT SITE CATCHMENTS

CATCHMENT	AREA (m ²)	RUNOFF COEFFICIENT C
Post-development impervious roofed areas	480.37	1.00
Post-development impervious paved areas	404.78	0.90
Post-development pervious areas	731.46	0.40

3.4 DETENTION MODEL RESULTS

The results of the Stormwater and Sanitary Analysis model showed that the post-development site runoff is increased by 7.42 L/s over pre-existing runoff quantities, as shown in Table 4.

To reduce the post-development site outflow below pre-development quantities, an on-site detention system comprising one rainwater detention tank connected to the roof area of both dwellings was simulated in Autodesk SSA. The model results showed that a tank with a maximum capacity of 3,500 L and an orifice diameter of 40mm provides sufficient storage and detention for the full range of 5% AEP storm-event. Full specifications for the required on-site detention system are given in Table 5.

Figure 1 below shows the site outflow hydrograph for the pre-development condition compared to the post-development condition mitigated by on-site detention.

TABLE 4: PEAK FLOW RATE SUMMARY

SCENARIO	SITE RUNOFF (L/s)	CRITICAL DURATION
Pre-development	19.37	5-minute
Post-development unmitigated	26.79	5-minute
Post-development with OSD	17.91	5-minute

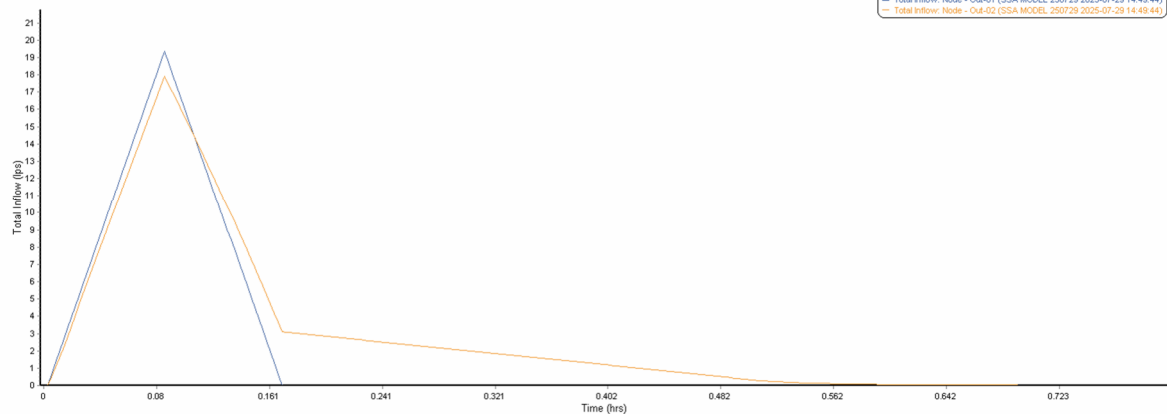


FIGURE 1: SITE RUNOFF HYDROGRAPHS (5% AEP, 5-MIN DURATION)

TABLE 5: DETENTION TANK PARAMETERS

TANK ID	RW Tank 1
DESCRIPTION	3,545L Slimline Rainwater tank (TankTec)
BASE AREA (m²)	2.55
TANK HEIGHT (m)	1.48
INLET HEIGHT (m)	1.48
DETENTION CAPACITY (L)	3,545
ORIFICE DIAMETER (mm)	40
OVERFLOW PIPE DIAMETER (mm)	150
PEAK DISCHARGE RATE (L/s)	3.2 (5% AEP, 5-min Duration)
MAX. VOLUME 5% AEP (L)	2,728 L (5% AEP, 10-min Duration)
EMPTYING TIME (mins)	Approx. 44
CONTRIBUTING ROOF AREA (m²)	480.37

TABLE 6: DETENTION TANK MAXIMUM VOLUMES

STORM AEP AND DURATION	RW TANK 1 VOL. (L)
5% AEP 5-min	2,269
5% AEP 10-min.	2,728
5% AEP 15-min	2,652
5% AEP 20-min	2,524
5% AEP 25-min.	2,371
5% AEP 30-min	2,218

4. CONCLUSION

This report has demonstrated that the proposed development at 8 Talune Street, Lindisfarne complies with the stormwater quantity conditions of the Clarence City Council Stormwater Management Procedure for New Development.

Note:

- No assessment has been undertaken of Council's stormwater infrastructure and its capacity.
- This report assumes the Council stormwater main has capacity for the pre-development peak discharge.
- It is the responsibility of Council to assess their infrastructure and determine the impact (if any) of altered inflows into their stormwater network.

Please contact me at devans@aldanmark.com.au if you require any additional information.

Yours faithfully,



Danton Evans BEng (Hons)
Civil Engineer