



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/053072

PROPOSAL: Four Shipping Containers (Retrospective)

LOCATION: 200 Axiom Way, Acton Park

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 28 October 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 28 October 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 28 October 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our Privacy Policy, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

3 x 6m x 6m SHIPPING CONTAINERS FOR STORAGE.

Location:

Address: 200 AXIOM WAY C
Suburb/Town: ACTON PARK Postcode: 7170

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

If you had pre-application discussions with a Council Officer, please give their name

RYAN

Current Use of Site:

RESIDENTIAL / RURAL

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application.
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement:

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Applicant's
Signature:

Personal Information Removed

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
138902	85
EDITION	DATE OF ISSUE
6	14-Dec-2024

SEARCH DATE : 11-Jun-2025
SEARCH TIME : 01.19 PM

DESCRIPTION OF LAND

City of CLARENCE
Lot 85 on Sealed Plan 138902
Derivation : Part of 1000 Acres Located to J.Jewell
Prior CT 137575/1

SCHEDULE 1

M986905 TRANSFER to MARK EDWIN BLAKE and LYNNE TERESA BLAKE
as tenants in common in equal shares Registered
14-Dec-2022 at 12.01 PM

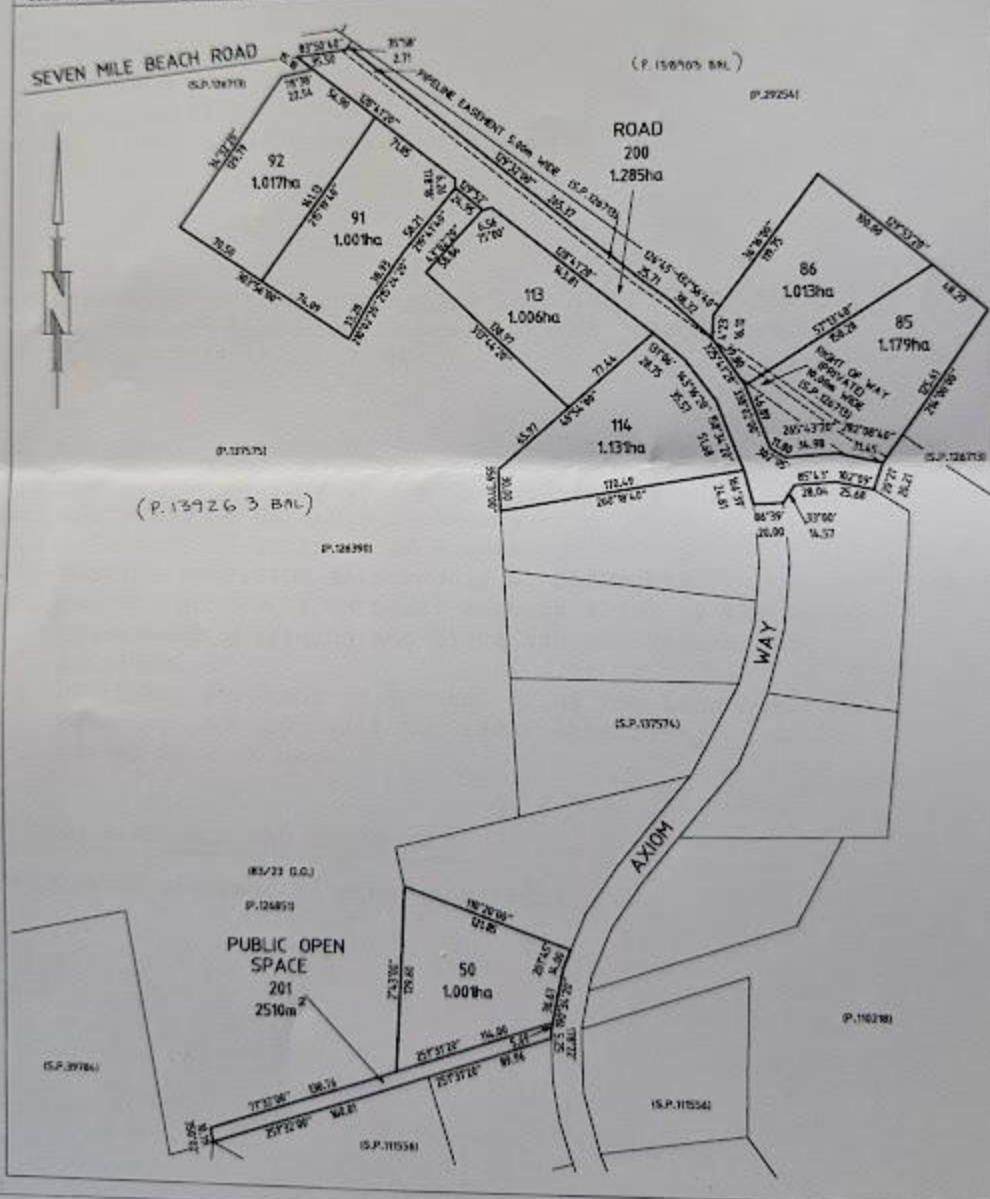
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP138902 EASEMENTS in Schedule of Easements
SP138902 COVENANTS in Schedule of Easements
SP138902 FENCING PROVISION in Schedule of Easements
SP138902 COUNCIL NOTIFICATION under Section 83(5) of the Local
Government (Building and Miscellaneous Provisions)
Act 1993.
C403611 AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
03-Sep-2002 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER TORONTO PASTORAL COY. PTY.LTD. FOLIO REFERENCE C.T.137575/1 & C.T.29254/3	PLAN OF SURVEY BY SURVEYOR CRAIG B. ROGERSON FIRST FLOOR NO 11 BAYFIELD STREET ROSNY PARK PH 6244-6254 FAX 6244-6221 MOB. 0518-120-794 LOCATION CITY OF CLARENCE SCALE 1 2500 LENGTHS IN METRES	REGISTERED NUMBER SP138902 APPROVED EFFECTIVE FROM 4 APR 2003  Recorder of Titles
GRANTEE PART OF 1000A OR OPs Gth John Jewel Part of 97-0-0 Gth TO W. GARLICK		
MAPSHEET MUNICIPAL (5425-4/5) CODE No. 107 (5215-45)	LAST UPD No. FGLB4	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 138902

PAGE 1 OF 2 PAGE/S
2EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Easements

Lots 85, 86 and 200 on the plan are each subject to pipeline rights as defined in Sealed Plan No. 126713 and appurtenant to lot 1 on the said Sealed Plan No. 126713 over those parts of the said lots 85 and 86 shown marked on the plan as "Pipeline Easement 5.00 wide".

Rights of Way

Lot 85 is subject to a right of carriageway over the Right of Way (Private) 10.00m wide appurtenant to lot 86.

Lot 85 is together with a right of carriageway over the Right of Way (Private) 10.00m wide shown passing through lot 86.

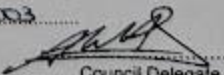
Lot 86 is subject to a right of carriageway over the Right of Way (Private) 10.00m wide appurtenant to lot

85. Lot 86 is together with a right of carriageway over the Right of Way (Private) 10.00 wide shown passing through Lot 85.

Lots 85 and 86 on the plan are each subject to a right of carriageway (appurtenant to Lot 1 on Sealed Plan No. 126713) over the Right of Way (Private) 10.00 wide shown passing through such lots.

SEE ANNEXURE

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Toronto Pastoral Coy. Pty Ltd FOLIO REF: 137575/1 SOLICITOR & REFERENCE: Dobson Mitchell & Allport (Chris Perriman)	PLAN SEALED BY: Clarence City Council DATE: 27 Feb 2003 20-2002/15 REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

PIN OR STAPLE HERE
DO NOT GUM THIS
FORM TO THE INSTRUMENT

ANNEXURE PAGE

PAGE 2 OF 2 PAGES

Vol. 137575 Fol. 1

Covenants

SP 138902

The owner of each lot on the plan covenants with the Vendor Toronto Pastoral Coy. Pty Ltd and the owner or owners for the time being of every other lot on the plan to the intent that the burden of these covenants may run with and bind the covenantor's lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot on the plan and the balance of the lands comprised in certificate of title Volume 137575 folio 1 after acceptance of the plan to observe the following stipulations namely:-

after excepting thereout the lots on the plan

1. not to erect on the lot any dwelling house, building or structure using any exterior building material that contrasts with the rural environment;
2. not to remove trees from the lot without the prior consent of the Clarence City Council ("Council");
3. not to erect more than one residential building on the lot without the prior approval of Council;
4. not to further subdivide the lot, and
5. not to erect a dwelling house above the 60m contour level without first entering into an intermittent water supply agreement with Council. A water tank and pressure pump must be installed to serve the dwelling, to the satisfaction of the Clarence City Council's Group Manager Asset Management.

Fencing Provision

In respect of each lot shown on the plan, the Vendor Toronto Pastoral Coy. Pty Ltd shall not be required to fence.

DATED this day of

2002

The Common Seal of **TORONTO PASTORAL COY. PTY LTD** as registered proprietor of the lands in certificates of title volume 137575 folio 1 and volume 29254 folio 3 was hereunto affixed in accordance with its constitution in the presence of:



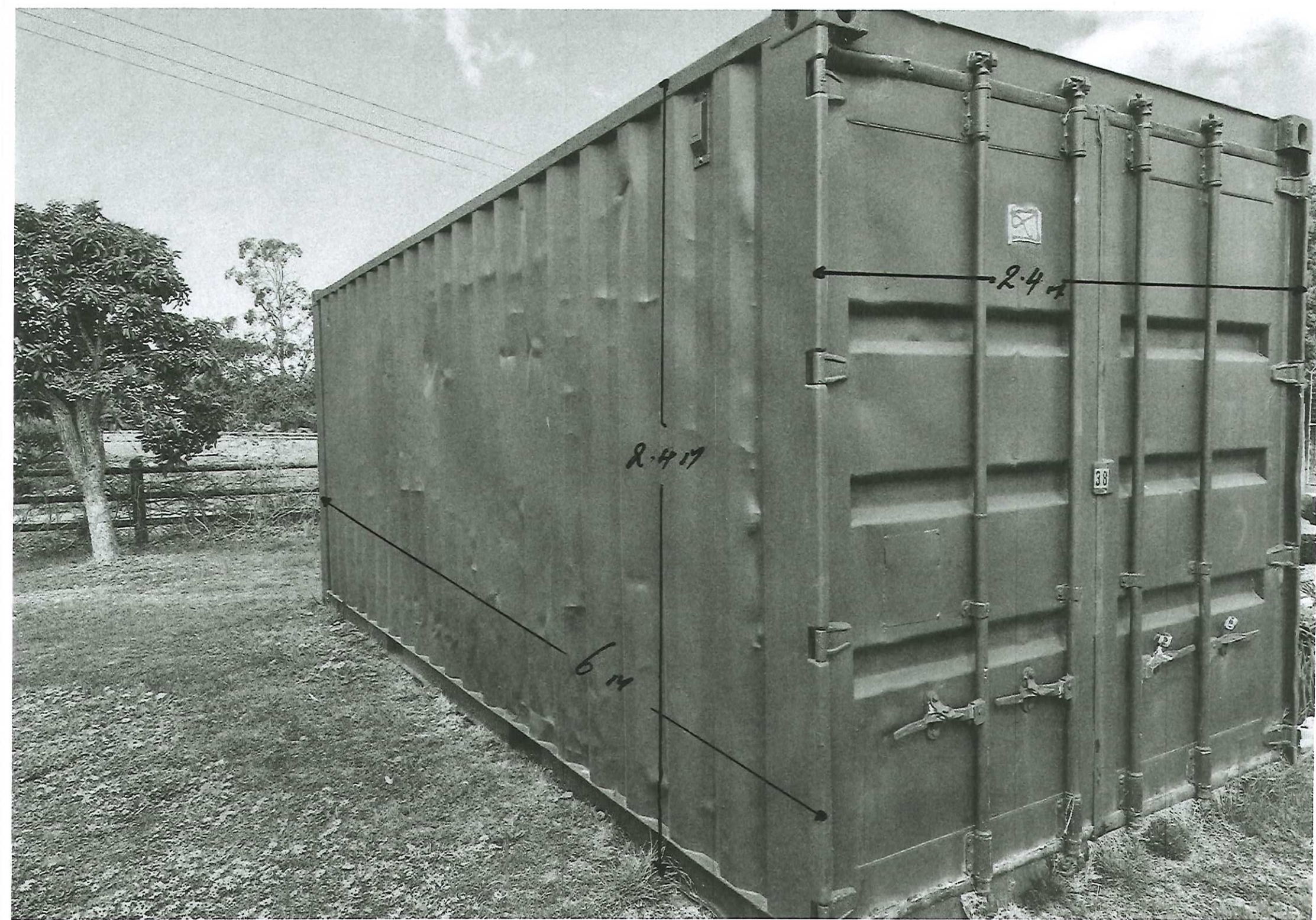
Director

Director/Secretary

NOTE:- Every annexed page shall be signed by the parties to the dealing, or where the party is a corporate body, be signed by the persons who have attested the affixing of the seal of that body to the dealing.

Version 1

THE BACK OF THIS PAGE MUST NOT BE USED



DO NOT SCALE
FROM DRAWING -
Builder to verify all
levels, boundaries,
set outs, dimensions
before construction.
All the building
specified in the plans
must comply with all
council regulations,
engineers
specification, building
surveyors
recommendations &
all Australian
Standards referred to
in drawings and
specifications. All
work, materials &
procedures must
comply with the
Building Code of
Australia

SCALE IS
1 MTR ÷ 0.715
= 1.39 MTR



SOUTH EAST ARCHITECTURAL DESIGN
CHRIS LUTTRELL
DESIGN & DRAUGHTING
CC2675 C
0417366820
chris.luttrell@bigpond.com
PO Box 100
Dodges Ferry, TAS, 7173

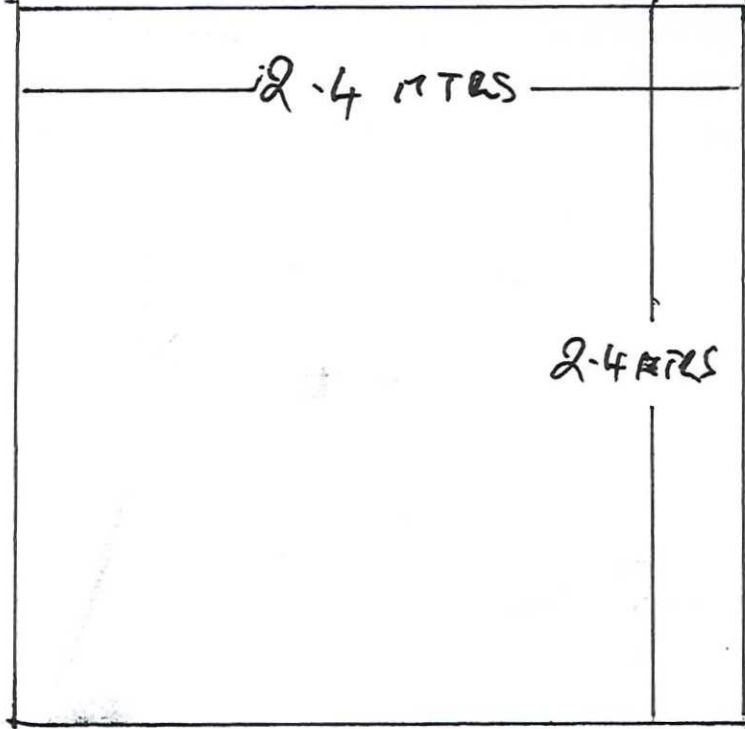
Vol 138902
Folio 8
1.79 Ha

PROJECT: SHED
CLASS 10 BUILDING
CLIENT: M & L Blake
ADDRESS: 200 Axiom Way
Acton Park
DRAWING: SITE PLAN

AMENDMENT NO: 2

DRAWN BY:
CHECKED BY:
SCALE: 1:2000
DATE: 2/3/2023
DRAWING NO. 1
PID, TR 1/3





200 AXIOM WAY

FRONT & REAR VIEWS - SAME DIMENSION

1 TO 25 SCALE

