



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/053703

PROPOSAL: Dwelling

LOCATION: 33 Tunah Street, Howrah

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 28 October 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 28 October 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 28 October 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: New residential dwelling

Location: **33 Tunah Street, Howrah**

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Ryan Peterson

Current use of site:

Vacant land

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☐

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 178665	FOLIO 2
EDITION 4	DATE OF ISSUE 13-Jul-2024

SEARCH DATE : 02-Jul-2025

SEARCH TIME : 08.30 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 2 on Sealed Plan 178665

Derivation : Part of 730 Acres Gtd. to F. Butler & Anor.

Prior CT 174742/200

SCHEDULE 1

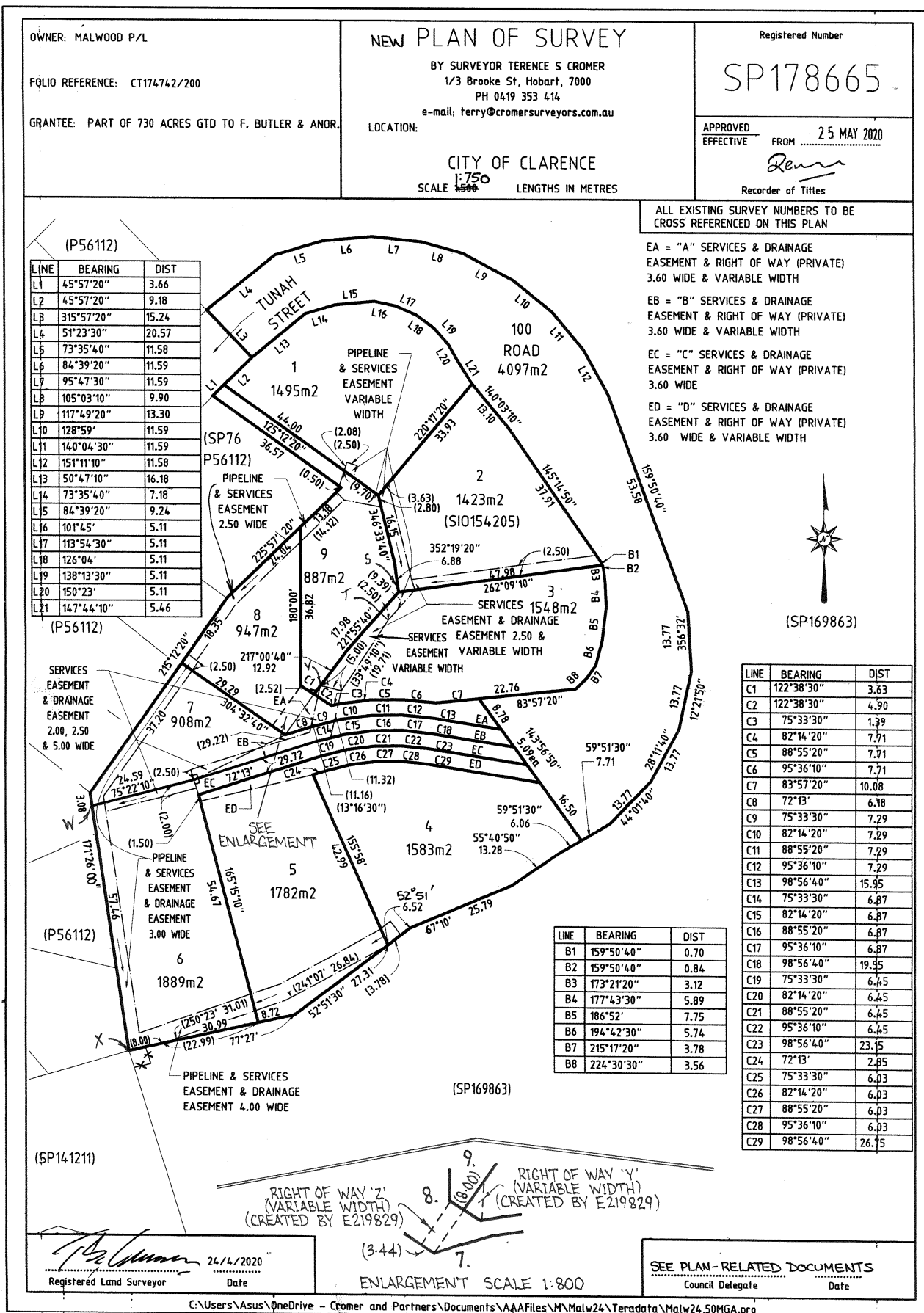
N199862 TRANSFER to SHARON HAZEL PICKEN and NIGEL PAUL PICKEN
Registered 13-Jul-2024 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP178665 EASEMENTS in Schedule of Easements
SP178665 COVENANTS in Schedule of Easements
SP178665 FENCING PROVISION in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



SCHEDULE OF EASEMENTS	Registered Number SP 178665
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 9 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 1 is:

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE & SERVICES EASEMENT VARIABLE WIDTH ("the Easement Land") passing through that lot on the plan.

Lot 2 is:

SUBJECT TO a Right of Drainage (as hereinafter defined) in gross in favour of Clarence City Council over the land marked SERVICES EASEMENT & DRAINAGE EASEMENT 2.50 WIDE & VARIABLE WIDTH passing through that lot on the plan.

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE & SERVICES EASEMENT VARIABLE WIDTH ("the Easement Land") passing through that lot on the plan.

Lot 3 is: Lot 3 is subject to a pipeline and services easement in favour of TasWater over the PIPELINE & SERVICES EASEMENT VARIABLE WIDTH shown passing through such Lot.

SUBJECT TO a Right of Drainage (as hereinafter defined) in gross in favour of Clarence City Council over the land marked SERVICES EASEMENT & DRAINAGE EASEMENT 2.50 WIDE & VARIABLE WIDTH passing through that lot on the plan.

in favour of Clarence City Council

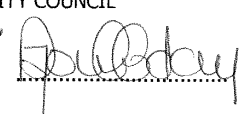
SUBJECT TO a Services Easements (as hereinafter defined) over the land marked SERVICES EASEMENT & DRAINAGE EASEMENT 2.50 WIDE & VARIABLE WIDTH passing through that lot on the plan, SERVICES EASEMENT VARIABLE WIDTH and SERVICES EASEMENT & DRAINAGE EASEMENT 5.00 WIDE shown passing through such Lot.

Lot 4 is:

SUBJECT TO a Right of Drainage in gross in favour of Clarence City Council over the land marked PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 4.00 WIDE passing through that lot on the plan.

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 4.00 WIDE ("the Easement Land") passing through that lot on the plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: MALWOOD P/L FOLIO REF: 174742/200 SOLICITOR & REFERENCE: MURDOCH CLARKE	PLAN SEALED BY: CLARENCE CITY COUNCIL DATE: 27 March 2020 SD - 2011/30 201715 REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 9 PAGES	Registered Number SP 178665
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Lot 5 is:

TOGETHER WITH a Right of Carriageway over the "A" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 8 on the plan.

TOGETHER WITH a Service Easement (as hereinafter defined) over the "A" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 8 on the plan.

TOGETHER WITH a Right of Carriageway over the "B" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 7 on the plan.

TOGETHER WITH a Service Easement (as hereinafter defined) over the "B" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 7 on the plan.

TOGETHER WITH a Right of Carriageway over the "C" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE shown passing through Lot 6 on the plan.

TOGETHER WITH a Service Easement (as hereinafter defined) over the "C" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE shown passing through Lot 6 on the plan.

SUBJECT TO a Right of Carriageway (appurtenant to Lots 6, 7 and 8 on the plan) over the "D" SERVICES & DRAINAGE EASEMENT and RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through that lot on the plan.

SUBJECT TO a Service Easement (as hereinafter defined) (appurtenant to Lots 6, 7 and 8 on the plan) over the "D" SERVICES & DRAINAGE EASEMENT and RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through that lot on the plan.

SUBJECT TO a Right of Drainage in gross in favour of Clarence City Council over the land marked PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 4.00 WIDE shown passing through that lot on the plan.

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 4.00 WIDE ("the Easement Land") shown passing through that lot on the plan.

Lot 6 is:

TOGETHER WITH a Right of Carriageway over the land marked "A" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 8 on the plan.

TOGETHER WITH a Service Easement (as hereinafter defined) over the land marked "A" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 8 on the plan.

TOGETHER WITH a Right of Carriageway over the land marked "B" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 7 on the plan.

TOGETHER WITH a Service Easement (as hereinafter defined) over the land marked "B" SERVICES & DRAINAGE

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 7 on the plan.

TOGETHER WITH a Right of Carriageway over the land marked "D" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 5 on the plan.

TOGETHER WITH a Service Easement (as hereinafter defined) over the land marked "D" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 5 on the plan.

SUBJECT TO a Right of Carriageway (appurtenant to Lots 5, 7 and 8) over the land marked "C" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE shown passing through Lot 6 on the plan.

SUBJECT TO a Service Easement (as hereinafter defined) (as appurtenant to Lots 5, 7, and 8) over the land marked "C" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE shown passing through Lot 6 on the plan.

SUBJECT TO a Service Easement (as hereinafter defined) (as appurtenant to Lots 5, 7, and 8) over the land marked SERVICES EASEMENT & DRAINAGE EASEMENT 2.00, 2.50 & 5.00 WIDE shown passing through Lot 6 on the plan.

SUBJECT TO a Right of Drainage in gross in favour of Clarence City Council over the land marked SERVICES EASEMENT & DRAINAGE EASEMENT 2.00, 2.50 & 5.00 WIDE shown passing through Lot 6 on the plan.

SUBJECT TO a Right of Drainage in gross in favour of Clarence City Council over the land marked PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 4.00 WIDE and PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE passing through that lot on the plan.

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 4.00 WIDE and PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan.

Lot 7 is:

TOGETHER WITH a Right of Carriageway over the land marked "A" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 8 on the plan.

TOGETHER WITH a Service Easement (as hereinafter defined) over the land marked "A" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 8 on the plan.

TOGETHER WITH a Right of Carriageway over the land marked "C" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE shown passing through Lot 6 on the plan.

TOGETHER WITH a Service Easement (as hereinafter defined) over the land marked "C" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE shown passing through Lot 6 on the plan.

TOGETHER WITH a Right of Carriageway over the land marked "D" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE AND VARIABLE WIDTH shown passing through Lot 5 on the plan.

TOGETHER WITH a Service Easement (as hereinafter defined) over the land marked "D" SERVICES & DRAINAGE

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EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE AND VARIABLE WIDTH shown passing through Lot 5 on the plan.

SUBJECT TO a Right of Carriageway (appurtenant to Lots 5, 6 and 8 on the plan) over the land marked "B" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE AND VARIABLE WIDTH shown passing through Lot 7 on the plan.

SUBJECT TO a Service Easement (as hereinafter defined) (appurtenant to Lots 5, 6 and 8 on the plan) over the land marked "B" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE AND VARIABLE WIDTH shown passing through Lot 7 on the plan.

SUBJECT TO a Right of Drainage in gross in favour of Clarence City Council over the land marked SERVICES EASEMENT & DRAINAGE EASEMENT 2.00, 2.50 & 5.00 WIDE shown passing through Lot 7 on the plan.

SUBJECT TO a Service Easement (as hereinafter defined) (appurtenant to Lots 5, 6 and 8 on the plan) over the land marked SERVICES EASEMENT & DRAINAGE EASEMENT 2.00, 2.50 & 5.00 WIDE shown passing through Lot 7 on the plan.

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan.

SUBJECT TO a Right of Drainage in gross in favour of Clarence City Council over the land marked PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE shown passing through that lot on the plan.

Lot 8 is:

TOGETHER WITH a Right of Carriageway over the land marked "B" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE AND VARIABLE WIDTH shown passing through Lot 7 on the plan.

TOGETHER WITH a Service Easement (as hereinafter defined) over the land marked "B" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE AND VARIABLE WIDTH shown passing through Lot 7 on the plan.

TOGETHER WITH a Right of Carriageway over the land marked "C" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE shown passing through Lot 6 on the plan.

TOGETHER WITH a Service Easement (as hereinafter defined) over the land marked "C" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE shown passing through Lot 6 on the plan.

TOGETHER WITH a Right of Carriageway over the land marked "D" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 5 on the plan.

TOGETHER WITH a Service Easement (as hereinafter defined) over the land marked "D" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 5 on the plan.

SUBJECT TO a Right of Carriageway (appurtenant to Lots 5, 6 and 7 on the plan) over the land marked "A" SERVICES

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& DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 8 on the plan.

SUBJECT TO a Service Easement (as hereinafter defined) (appurtenant to Lots 5, 6 and 7) over the land marked "A" SERVICES & DRAINAGE EASEMENT & RIGHT OF WAY (PRIVATE) 3.60 WIDE & VARIABLE WIDTH shown passing through Lot 8 on the plan.

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan.

SUBJECT TO a Right of Drainage in gross in favour of Clarence City Council over the land marked PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE shown passing through that lot on the plan.

SUBJECT TO a Right of Drainage in gross in favour of Clarence City Council over the land marked PIPELINE & SERVICES EASEMENT 2.50 WIDE shown passing through that lot on the plan & over the land marked SERVICES EASEMENT & DRAINAGE EASEMENT 5.00 WIDE shown passing through such Lot.

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE & SERVICES EASEMENT 2.50 WIDE ("the Easement Land") passing through that lot on the plan.

Lot 9 is:

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE & SERVICES EASEMENT VARIABLE WIDTH passing through that lot on the plan;

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE & SERVICES EASEMENT 2.50 WIDE ("the Easement Land") passing through that lot on the plan.

COVENANTS

1-9

The owners of lots ~~8-12~~ on the plan covenant with the Vendors, Clarence City Council and the owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof shall be annexed to and devolved with each and every lot shown on the plan and with the Clarence City Council to observe the following stipulation:

Not to develop a habitable building on such lot unless it is located and constructed in accordance with BAL 19 in AS 3959-2009 Construction of Buildings in Bushfire Prone Areas.

FENCING PROVISION

In respect to the lots on the plan (except lots 100, ~~101 and 102~~) the Vendor (Malwood Pty Ltd) shall not be required

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to fence.

INTERPRETATION

"TasWater" means the Tasmanian Water and Sewerage Corporation Pty Limited its successors & assigns

"Pipeline and Services Easement" means-

THE FULL RIGHT AND LIBERTY for the TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained (which cannot be unreasonably refused) and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or

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- other object on or in the Easement Land;
- (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace anything that supported, protected or covered the Infrastructure.

"Infrastructure" means-

Infrastructure owned or for which TasWater is responsible and includes but is not limited to-

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or

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- restrictions with respect to the Easement Land or the Infrastructure;
- (f) anything reasonably required to support, protect or cover any of the Infrastructure;
 - (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
 - (h) where the context permits, any part of the Infrastructure.

"Service Easement" means the full free right of every person who is entitled to an estate or interest in possession indicated as the dominant tenement or any part thereof with which said rights shall be capable of enjoyment in common with the owner of the servient tenement the Clarence City Council, Telstra Corporation Limited, the Aurora Energy Pty Ltd, Her Majesty the Queen and TasWater to lay use and maintain forever water mains, pipes, drains, mains, channels, gutters, sewers, wires, cables and other conducting media of such size and number as shall from time to time be required in the strips of land shown on the plan hereon and marked "Service Easement" and the right for their surveyors and workmen from time to time and at all times hereafter to enter into upon the said strips of land or any part thereof bringing upon the Service Easement such material machinery and other things as it shall think fit and proper to inspect the condition thereof and to repair amend and cleanse PROVIDED HOWEVER that any damage occasioned thereby shall be made good.

"Right of Drainage" means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water form any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

SITE INFORMATION

Title Reference Number:	178665/2	Volume / Folio
Wind Classification:	TBC	Refer to Site Assessment Report
Soil Classification:	TBC	Refer to Site Assessment Report
Climate Zone:	TBC	Refer to NCC
BAL Level:	TBC	Non 'Bushfire Prone Area'
Alpine Area:	NA	Refer to NCC
Corrosion Environment:	High	For steel subject to the influence of salt water, breaking surf or heavy industrial areas, NCC. Vol. 2 Part 7.2.2 (sheet roofing) & Part 6.3.9 (structural steel). Cladding and fixings to manufacturer's recommendations.
Other Hazards:	TBC	Refer to Geotechnical reports regarding landslip and dispersive soils.

NCC/ BCA. 2022 Note:

All NCC references are to National Construction Code NCC, 2022 Volume 2 & Housing Provisions.

FLOOR AREA

Site Area:	1423m2
Ground floor	129.5m2
First floor	163.5m2
Total floor area:	293m2
Garage	84.5m2
Rumpus	51.5m2
Roof Area:	351m2
Deck Area:	110.5m2
Site Coverage Area:	288.5m2 (16%)

DRAWING SCHEDULE

ID	Layout Name
01	Cover
02	Site and Plumbing Plan
03	Floor Plan- Ground
04	Floor Plan- First
05	Elevations
06	Elevations
07	Planning Response- 10.4.3 Setback (P1)
08	Planning Response- 10.4.3 Setback (P2)
09	Planning Response- 12.6.1 Flood-prone hazard area
10	Planning Response- Clause 14.7.1 Building height (P1)
11	Planning Response- Clause 14.7.4 Bird Strike
12	3D Perspective



Electrical Connection
Communication Pit—

-Water Connection

Outline of building shown dashed

Sewer Manhole

Sewer Inspection Opening

Stormwater Inspection Opening

Stormwater Connection

stormwater Manhole—

STORMWATER EASEMENT

BOUNDARY 47.98m

Stormwater Manhole

LEGEND

Existing pipes — — — — —
 Stormwater pipe 100mm UPVC — — — — —
 Ag drain 100mm socked slotted — — — — —
 Wastewater drain 100mm UPVC - - - - -
 Water pipe —————

GENERAL NOTES

Land Survey

All boundaries and contours subject to survey

This drawing is intended for planning purposes and must not be relied upon for survey's nor detailed set-out

Any services must be located onsite prior to any excavation

Exact locations of existing buildings and boundaries are subject to survey and must be confirmed onsite prior to construction

Existing trees to be retained unless noted otherwise.

Bulk excavation must not impede on nearby structures, neighbouring property nor boundary fences

Surface drainage shall be designed and constructed to avoid water ponding against or near the footing in accordance with AS2870. The ground in the immediate vicinity of the perimeter footing, including the ground uphill from the slab on cut-and-fill sites, shall be graded to fall 50 mm minimum away from the footing over a distance of 1m and shaped to prevent ponding of water. Where filling is placed adjacent to the building, the filling shall be compacted and graded to ensure drainage of water away from the building.

All works must be in accordance with relevant Australian Standards, the National Building Code, manufacturers specification and all other relevant regulatory bodies including local council

Soil & Water Management Strategies

Downpipes to be connected into Council stormwater or tanks as soon as the roof is installed.

Exact stormwater connection location to be confirmed onsite.

Install AG drain prior to footing excavation. See Drainage Plan for detailed location.

Any excavated material placed up-slope of AG drain. To be removed when building works are complete and/or used as fill on site for any low points. Install a sediment fence on the downslope side of material.

Set-out

The detailed set-out of new and existing structures, setbacks and the confirmation of measurements are the responsibility of the builder and or consulting surveyor.

PROJECT NOTES

Bushfire

Refer to AS3959-2018 and Bushfire Assessment for relevant BAL notes.

33 Tunah Street, Howrah TAS 7018

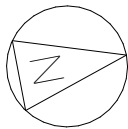
Nigel & Sharon Picken

axishomes

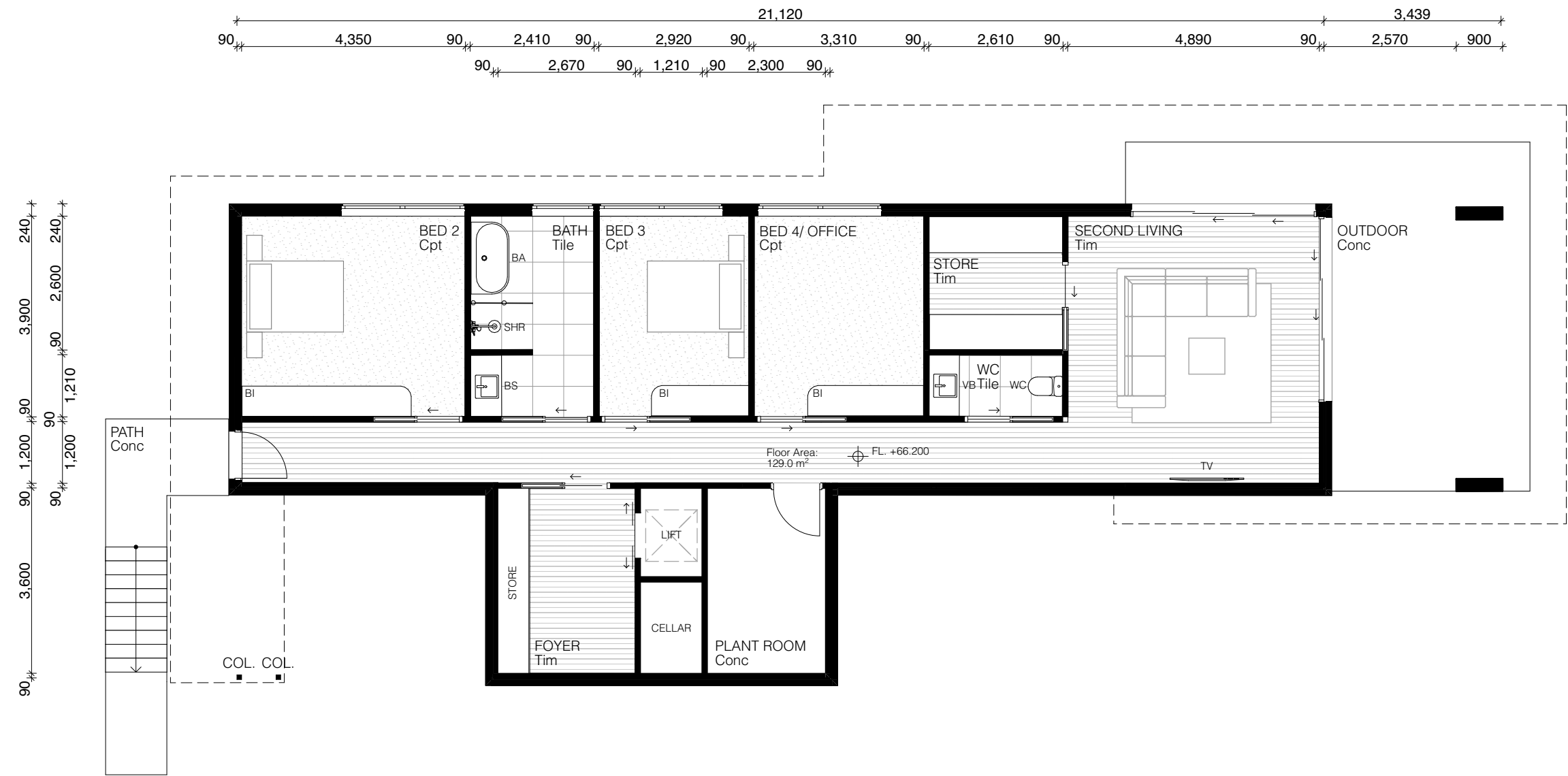
www.axishomes.com
ABN 31 639 378 751
Ph 0476 662 062
info@axishomes.com

Date Published **31/7/2025**
Drawing Status **DA**
Drawing Scale **1:200 at A3**
Drawn by **NT**

DA1
PAGE
2 of 12



Floor Plan- Ground
scale 1:100



LEGEND

- Existing
- Proposed
- To be Demolished
- Existing levels
- New levels
- FL - Floor level
(top of particle board / slab)

Fixtures & Fittings

- BI Built-in Cupboard
- BS Basin
- CJ Control joint
- CT Cooktop
- CL Ceiling level
- DP Down pipe
- FL Floor level
- FR Fridge
- FP Fire Pit
- HWC Hot Water Cylinder
- IB Island Bench
- LDRY Laundry
- MB Meter box
- SKYL Skylight
- SHR Shower
- S Sink
- TR Trough
- TV Television
- WC Toilet
- WH Wood Heater
- WIR Walk-in Robe
- WIP Walk-in Pantry

Material/ Finish

- Conc Concrete paving slab.
- Cpt Carpet
- Paving Paving
- Scrn Aluminium batten screen
- Tile Floor tile
- Tim Timber flooring

GENERAL NOTES

Finished landscaping must prevent water build up near footings, onto nearby structures and the driveway by providing sufficient fall and drainage systems in accordance with Australian Standards

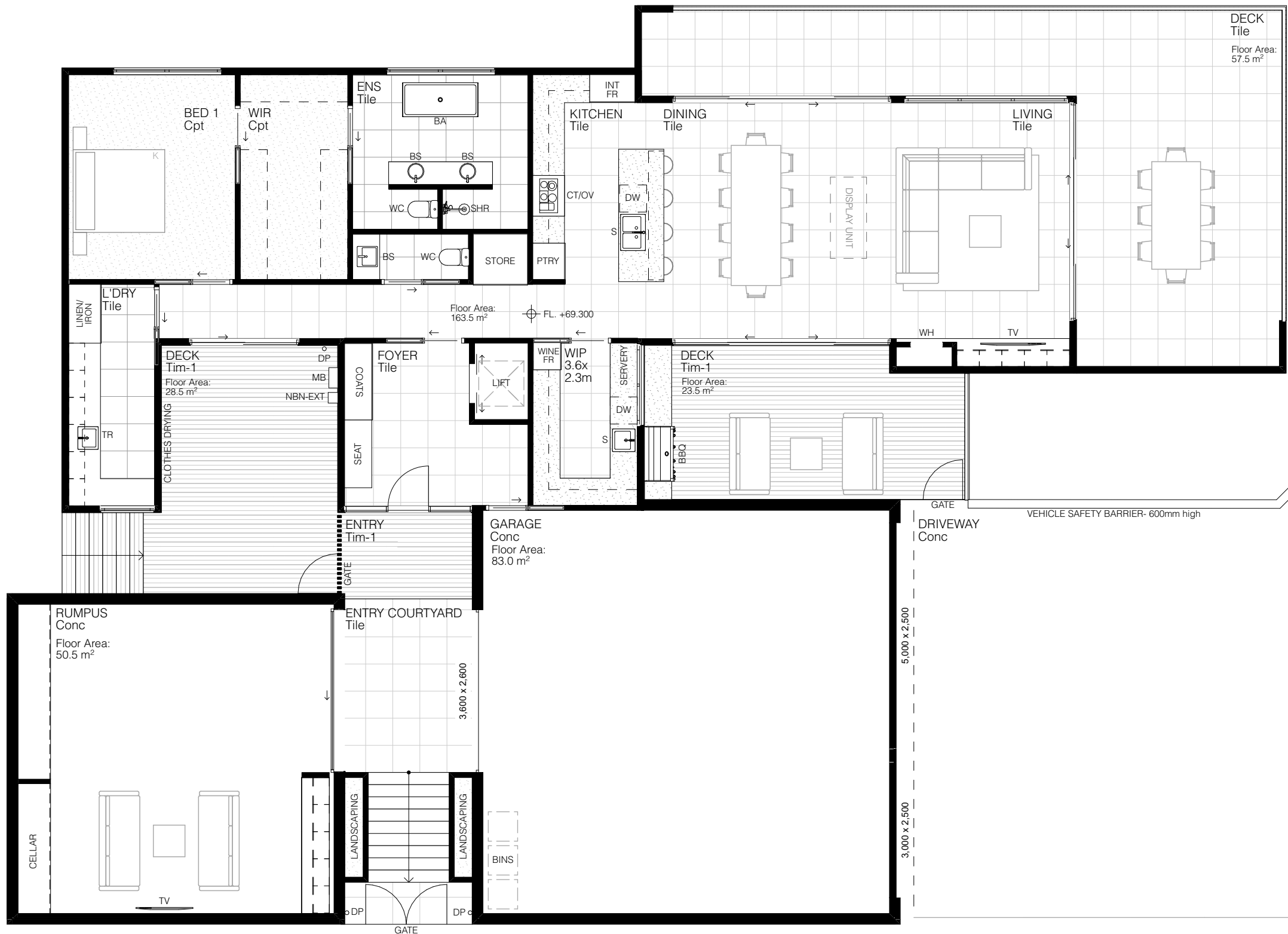
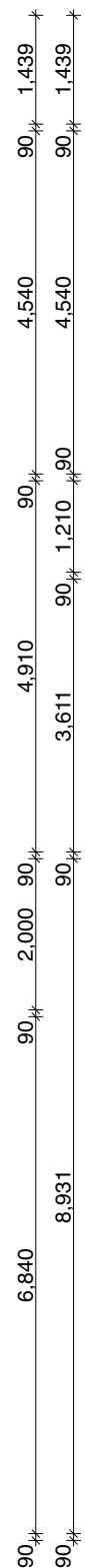
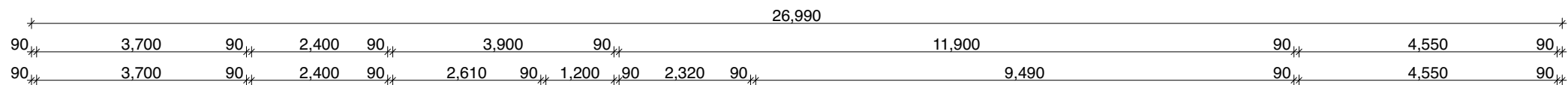
All works must be in accordance with relevant Australian Standards, the National Building Code, manufacturers specification and all other relevant regulatory bodies including local council.

Refer to Builder's scope of works for joinery inclusions.

PROJECT NOTES

Bushfire

Refer to AS3959-2018 and Bushfire Assessment for relevant BAL notes.



Existing
Proposed
To be Demolished

- ⊕ Existing levels
⊕ New levels
FL - Floor level
(top of particle board / slab)

BI	Built-in Cupboard
BS	Basin
CJ	Control joint
CT	Cooktop
CL	Ceiling level
DP	Down pipe
FL	Floor level
FR	Fridge
FP	Fire Pit
HWC	Hot Water Cylinder
IB	Island Bench
LDRY	Laundry
MB	Meter box
SKYL	Skylight
SHR	Shower
S	Sink
TR	Trough
TV	Television
WC	Toilet
WH	Wood Heater
WIR	Walk-in Robe
WIP	Walk-in Pantry

Conc	Concrete paving slab.
Cpt	Carpet
Paving	Paving
Scrn	Aluminium batten screen
Tile	Floor tile
Tim	Timber flooring

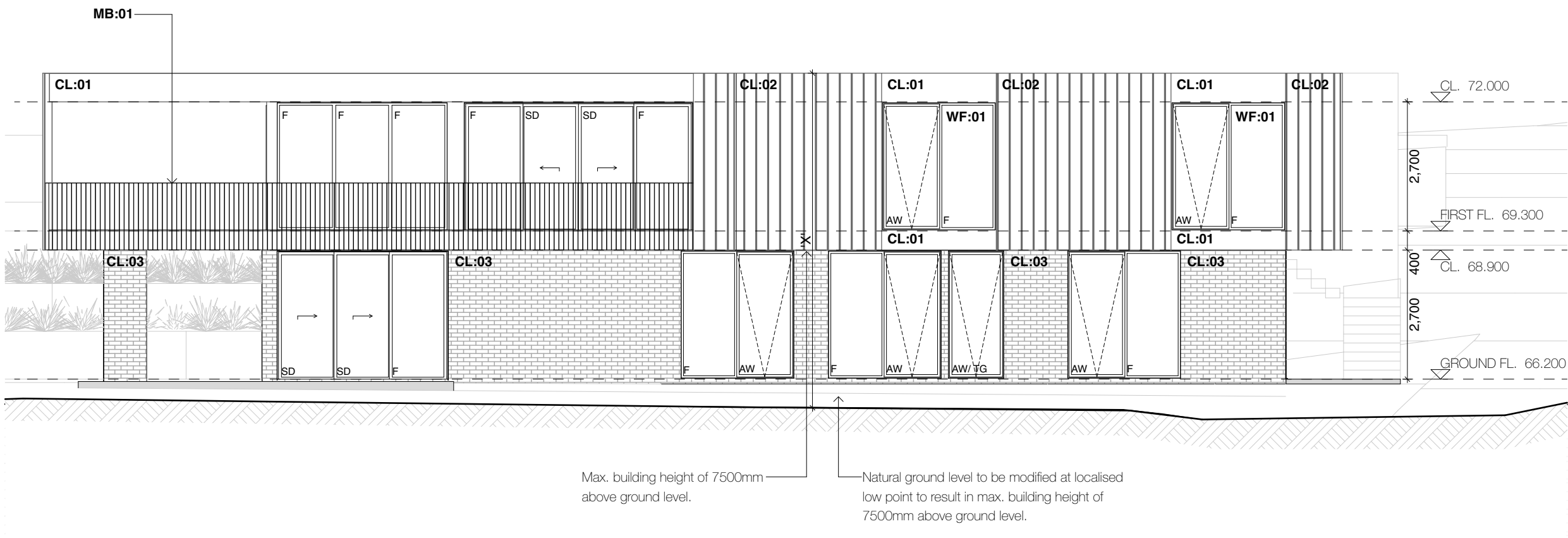
Finished landscaping must prevent water build up near footings, onto nearby structures and the driveway by providing sufficient fall and drainage systems in accordance with Australian Standards

All works must be in accordance with relevant Australian Standards, the National Building Code, manufacturers specification and all other relevant regulatory bodies including local council.

Refer to Builder's scope of works for joinery inclusions.

Bushfire
Refer to AS3959-2018 and Bushfire Assessment for relevant BAL notes.

South-West Elevation
scale1:100



LEGEND

- AW - Awning window
- BAL - Balustrade
- CJ - Control joint
- CL - Ceiling level
- DP - Downpipe
- F - Fixed window
- GD - Glass door
- FFL - Finished Floor level
- SD - Sliding door
- SW - Sliding window
- TAP - Water tap
- TG - Translucent Glazing

SCHEDULE

- CL:01 Lightweight Cladding. Paint finish. Colour: Mid-Grey
- CL:02 Metal Cladding Colour: Mid-Grey
- CL:03 Masonry Colour: Grey
- CL:04 Lightweight Cladding- Vertical Timber
- MB:01 Metal Balustrade Colour: Dark Grey
- WF:01 Window and External Doors Type: Double glazed aluminium frame Glass Tint: TBC Frame colour: Dark Grey
- SC:01 Vertical Screen/ Gate Material: Aluminium Colour: Dark Grey Size: TBCxTBC

PROJECT NOTES

Refer to AS3959-2018 and Bushfire Assessment for relevant BAL notes.

CLA-S14.7.3 Fences, Retaining Walls and Paving

Objective:

- (a) To allow for residential development that makes a visual and landscape transition between conserved bushland upslope and standard suburban development downslope.
- (b) To provide for residential use on larger bushland conservation lots.

Performance Criteria

P1

Within the Low Density Residential Zone, the location, height or widths of retaining walls, paved areas and boundary fences and the nature and colour of construction material may be varied, having regard to:

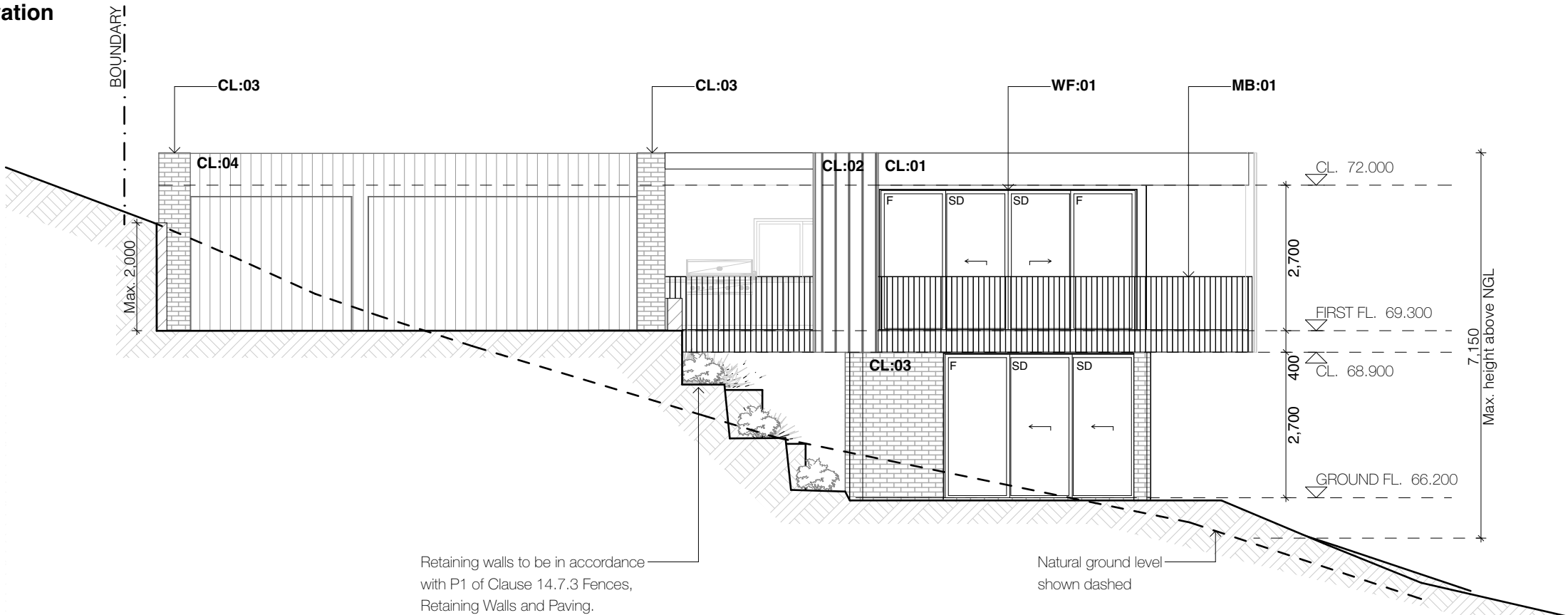
- (a) the location of the item;
- (b) the item not being visually prominent from public streets or public open space; and
- (c) any screening or partial screening of the item.

Response

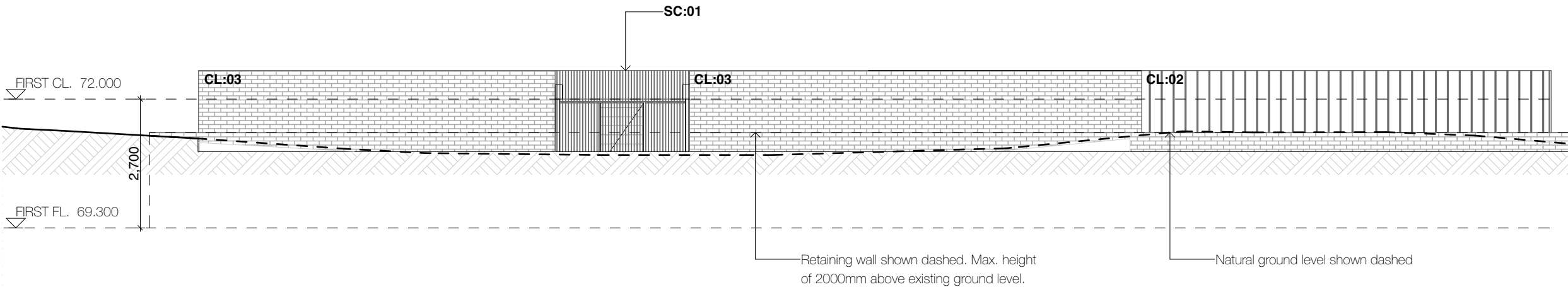
Retaining walls are not more than 2m above the existing ground level.

Retaining walls and paved areas are constructed of low reflectivity materials and dark natural materials.

North-East Elevation
scale1:100



South-East Elevation
scale1:100



LEGEND

- AW - Awning window
- BAL - Balustrade
- CJ - Control joint
- CL - Ceiling level
- DP - Downpipe
- F - Fixed window
- GD - Glass door
- FFL - Finished Floor level
- SD - Sliding door
- SW - Sliding window
- TAP - Water tap
- TG - Translucent Glazing

SCHEDULE

- CL:01 Lightweight Cladding. Paint finish. Colour: Mid-Grey
- CL:02 Metal Cladding Colour: Mid-Grey
- CL:03 Masonry Colour: Grey
- CL:04 Lightweight Cladding- Vertical Timber
- MB:01 Metal Balustrade Colour: Dark Grey
- WF:01 Window and External Doors Type: Double glazed aluminium frame Glass Tint: TBC Frame colour: Dark Grey
- SC:01 Vertical Screen/ Gate Material: Aluminium Colour: Dark Grey Size: TBCxTBC

PROJECT NOTES

Refer to AS3959-2018 and Bushfire Assessment for relevant BAL notes.

CLA-S14.7.3 Fences, Retaining Walls and Paving

Objective:

- (a) To allow for residential development that makes a visual and landscape transition between conserved bushland upslope and standard suburban development downslope.
- (b) To provide for residential use on larger bushland conservation lots.

Performance Criteria

P1

Within the Low Density Residential Zone, the location, height or widths of retaining walls, paved areas and boundary fences and the nature and colour of construction material may be varied, having regard to:

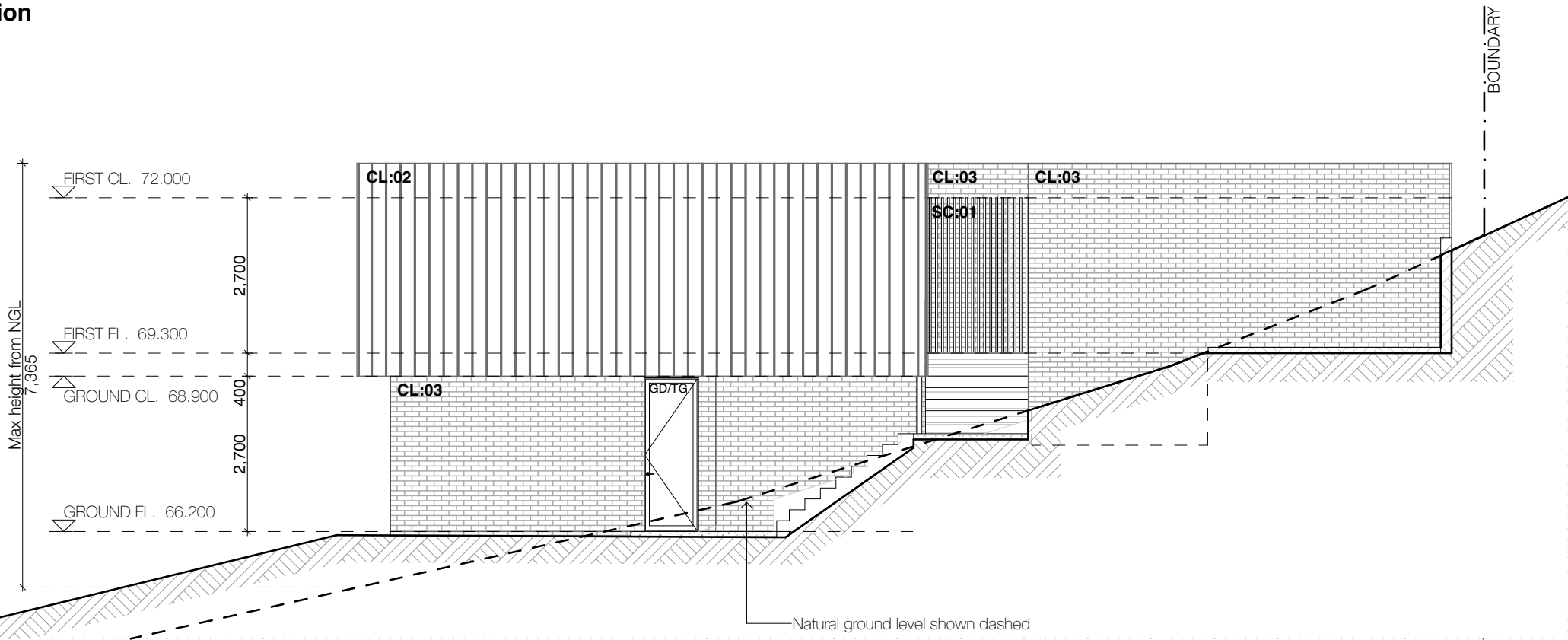
- (a) the location of the item;
- (b) the item not being visually prominent from public streets or public open space; and
- (c) any screening or partial screening of the item.

Response

Retaining walls are not more than 2m above the existing ground level.

Retaining walls and paved areas are constructed of low reflectivity materials and dark natural materials.

South Elevation
scale1:100



10.4.3 Setback

Objective:
That the siting of dwellings is compatible with the streetscape and does not cause an unreasonable loss of amenity for adjoining properties.

Performance Criteria

P1
The siting of a dwelling must be compatible with the streetscape and character of development existing on established properties in the area, having regard to:
(a) the topography of the site;
(b) the setbacks of surrounding buildings;
(c) the height, bulk and form of existing and proposed buildings;
(d) the appearance when viewed from roads and public open space adjacent to the site; and
(e) the safety of road users.

Response

Please refer to the Site Plan – Front Setback, which identifies an existing property (14 Tunah Street) in the area with a similar front setback to the proposed garage, demonstrating compatibility with the surrounding streetscape.



Street View - 14 Tunah Street

Please refer to Section D, which demonstrates how the visual bulk and form of the dwelling have been reduced by recessing the building into the ground, thereby minimising its impact when viewed from the road and public open space.

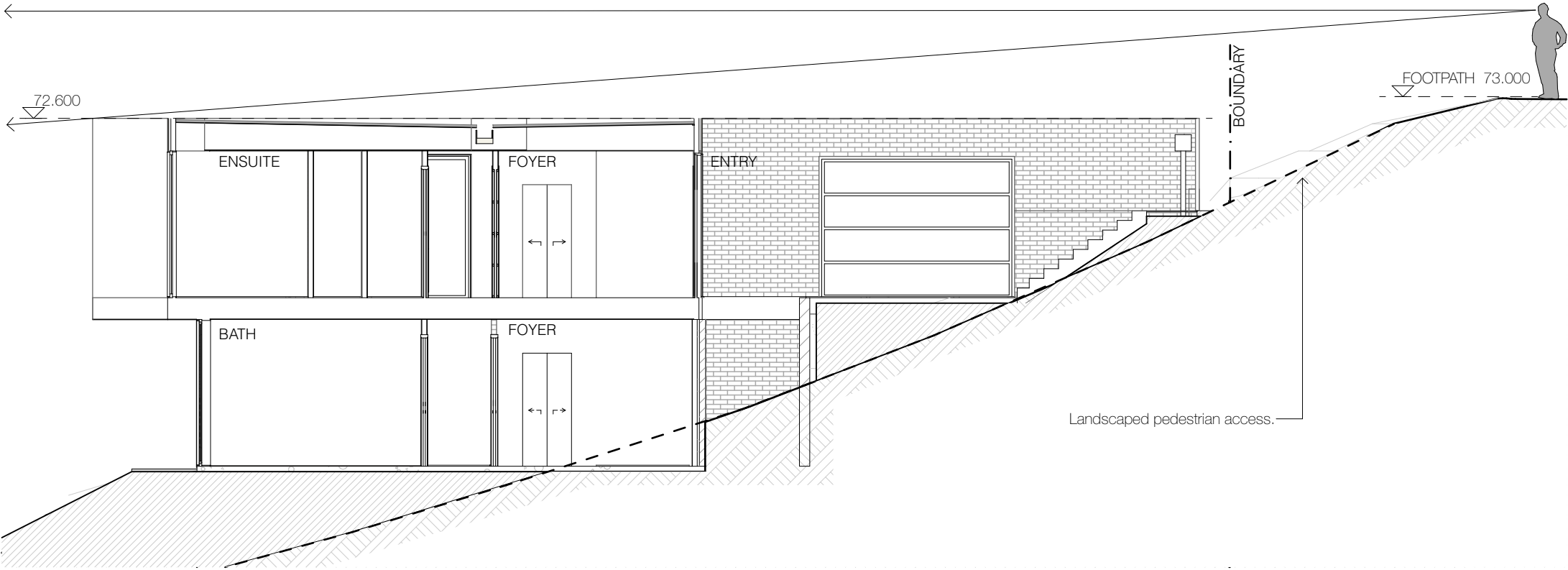
Footpath height- 73.00 AHD
Height of Dwelling- 72.50 AHD

Positioning the dwelling further from the street results in an increase to the building height above NGL and reduced side boundary setbacks. This has been considered to have additional loss of amenity to adjoining properties and character of the streetscape.

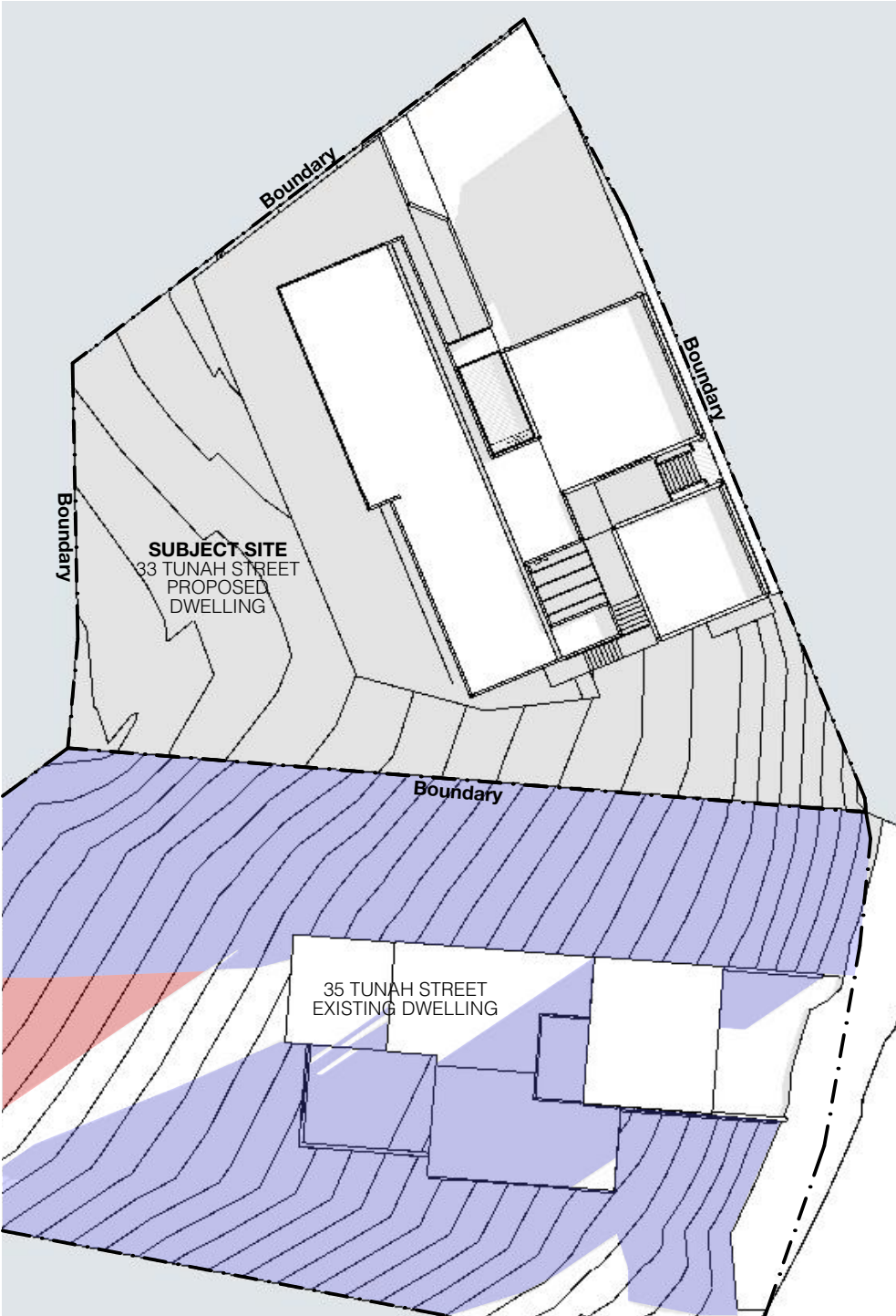


SUBJECT SITE
33 Tunah Street

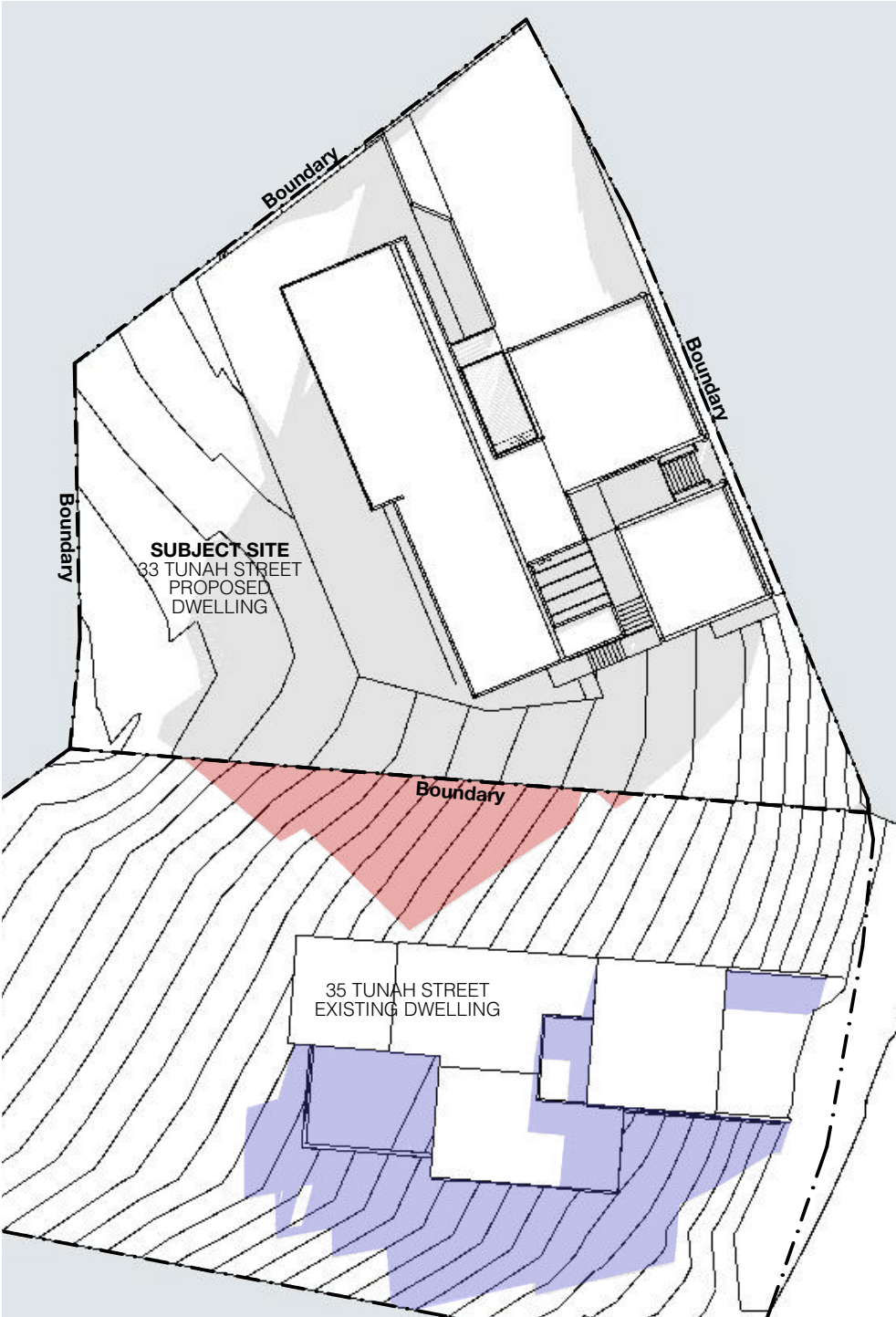
Site Plan - Front Setback



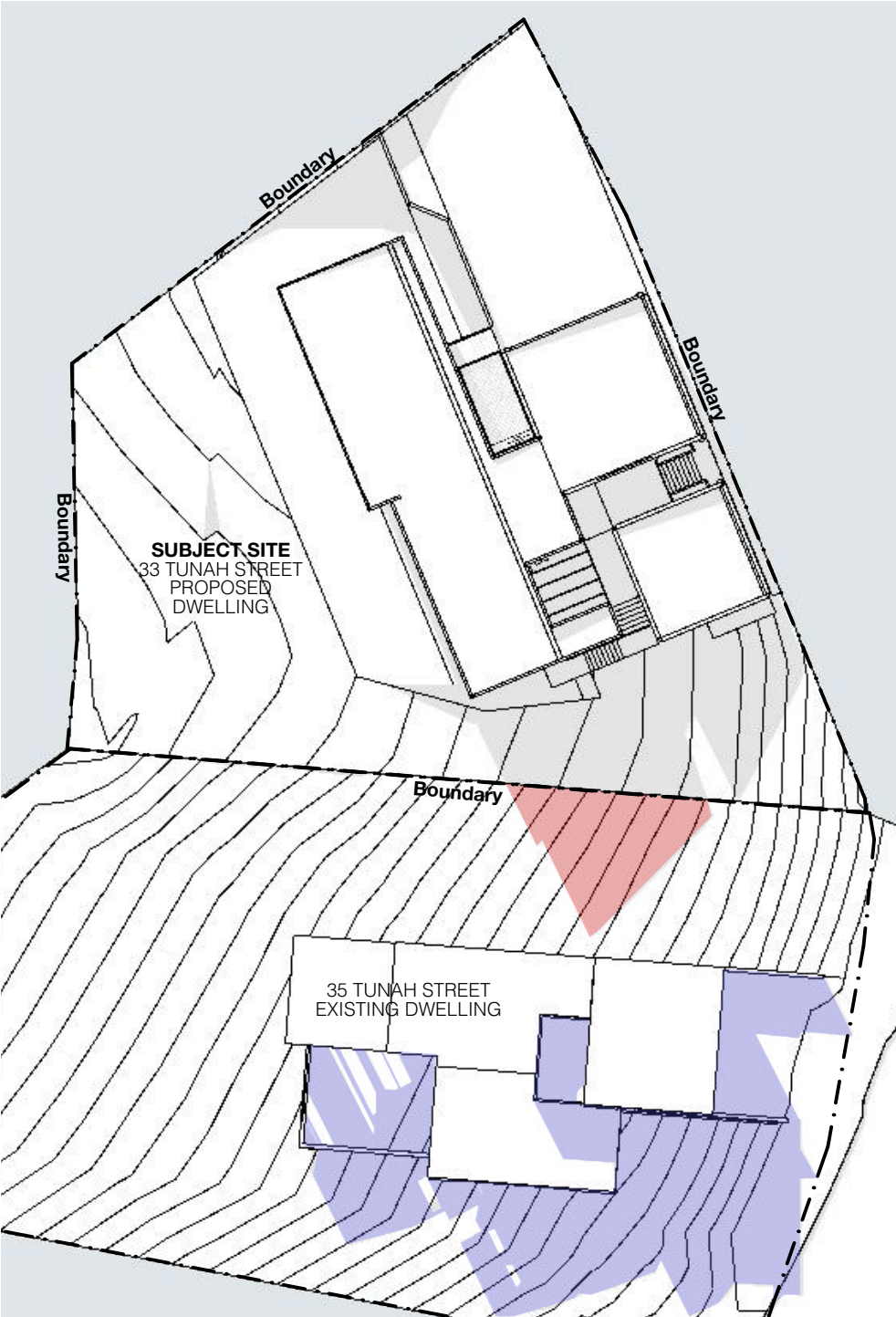
Section A
scale1:100



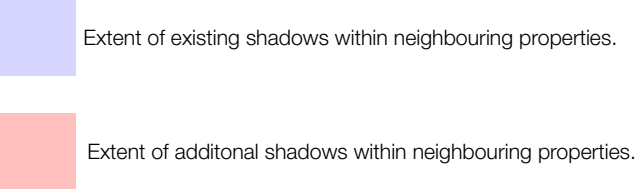
Shadow Diagram- June 21 9am



Shadow Diagram- June 21 12pm



Shadow Diagram- June 21 3pm



10.4.3 Setback

Objective:
That the siting of dwellings is compatible with the streetscape and does not cause an unreasonable loss of amenity for adjoining properties.

P2
The siting of a dwelling must not cause an unreasonable loss of amenity to adjoining properties, having regard to:
(a) the topography of the site;
(b) the size, shape and orientation of the site;
(c) the setbacks of surrounding buildings;

(d) the height, bulk and form of existing and proposed buildings;
(e) the existing buildings and private open space areas on the site;
(f) sunlight to private open space and windows of habitable rooms on adjoining properties; and
(g) the character of development existing on established properties in the area.

Response
Please refer to the shadow diagrams illustrating that the proposed buildings does not cause unreasonable loss of sunlight to adjoining properties.

C12.6.1 Buildings and works within a flood-prone hazard area

Objective:

That:

- (a) building and works within a flood-prone hazard area can achieve and maintain a tolerable risk from flood; and
- (b) buildings and works do not increase the risk from flood to adjacent land and public infrastructure.

Performance Criteria

P1.1

Buildings and works within a flood-prone hazard area must achieve and maintain a tolerable risk from a flood, having regard to:

- (a) the type, form, scale and intended duration of the development;
- (b) whether any increase in the level of risk from flood requires any specific hazard reduction or protection measures;
- (c) any advice from a State authority, regulated entity or a council; and
- (d) the advice contained in a flood hazard report.

P1.2

A flood hazard report also demonstrates that the building and works:

- (a) do not cause or contribute to flood on the site, on adjacent land or public infrastructure; and
- (b) can achieve and maintain a tolerable risk from a 1% annual exceedance probability flood event for the intended life of the use without requiring any flood protection measures.

Response

Flood mapping has not been updated since subdivision works have been completed.

The Stormwater report for the subdivision has been sent by Hutchings Spurr Engineers to the Clarence City Council Development Engineer (Geoff Cuthbert).

CLA-S14.7.3 Building Height

Objective:
(a) To allow for residential development that makes a visual and landscape transition between conserved bushland upslope and standard suburban development downslope.

(b) To minimise the visual impact of residential development on larger bushland lots.

Performance Criteria
P1

Within the Low Density Residential Zone, Landscape Conservation Zone and Open Space Zone:

(a) building height more than 4.5m may be approved where the design, external colours and materials of buildings combine with walls and fences so as to unobtrusively blend with the natural landscape and minimise visual intrusion; and

(b) materials and surfaces should be:
(i) of low light reflectivity; and
(ii) of dark natural colour (such as black, grey, brown and green);
or
(iii) of dark appearance throughout the day due to shading,

and building height must be not more than 7.5m.

Response
These finishes have been carefully selected to blend with the surrounding natural landscape and minimise visual impact when viewed from both the bushland and the valley below.

The external colours, materials, and finishes are of low light reflectivity, primarily in muted grey tones and natural colours. Please refer to the elevations for the specific cladding types and their locations.

Building heights above Natural Ground Level (NGL) are based on estimated measurements informed by preliminary structural design. Final engineering may result in minor adjustments. The proposed maximum height above NGL is 7,500mm.



CL:01, CL:02, MB:01, SC:01, WF:01
Material: Various
Colour: Mid-Grey



CL:03
Material: Masonry
Colour: Grey



CL:04
Material: Timber

CLA-S14.7.4 Bird Strike

Objective:
That development minimises the risk of bird strike.

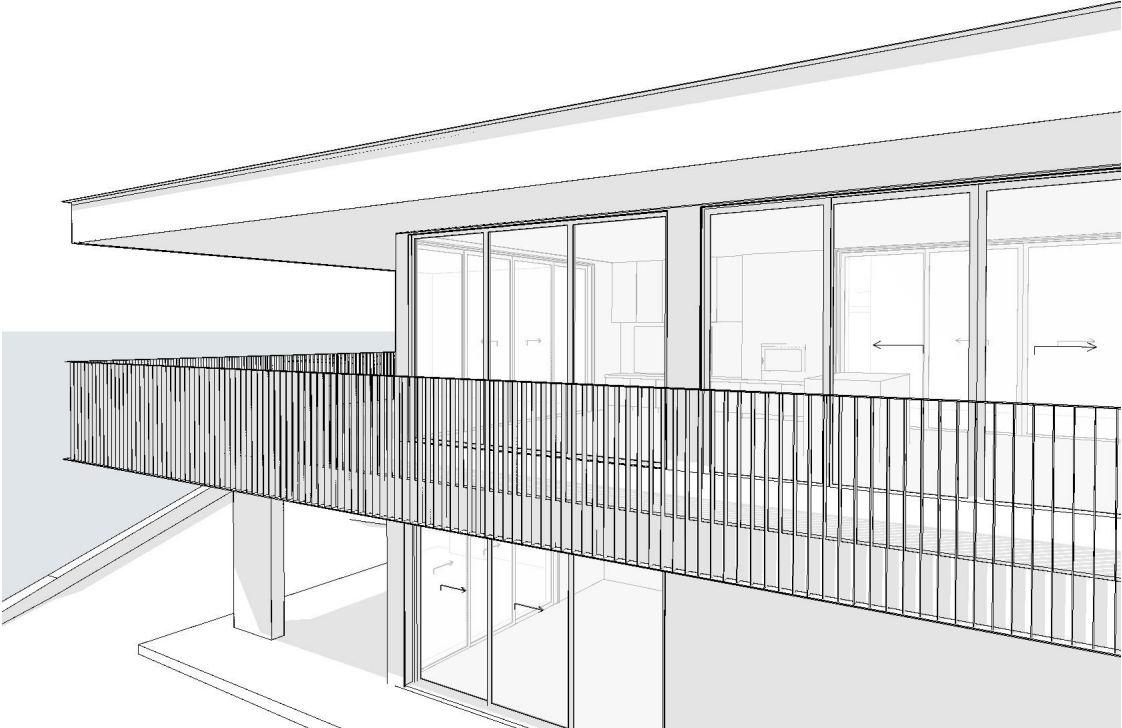
Acceptable Solution A1
Boundary fences, adjoining a road or public reserve with a height more than 1.2m and other boundary fences with a height of more than 2.1m must not be constructed of wire mesh.

Owner to ensure compliance with acceptable solution A1 regarding boundary fence construction.

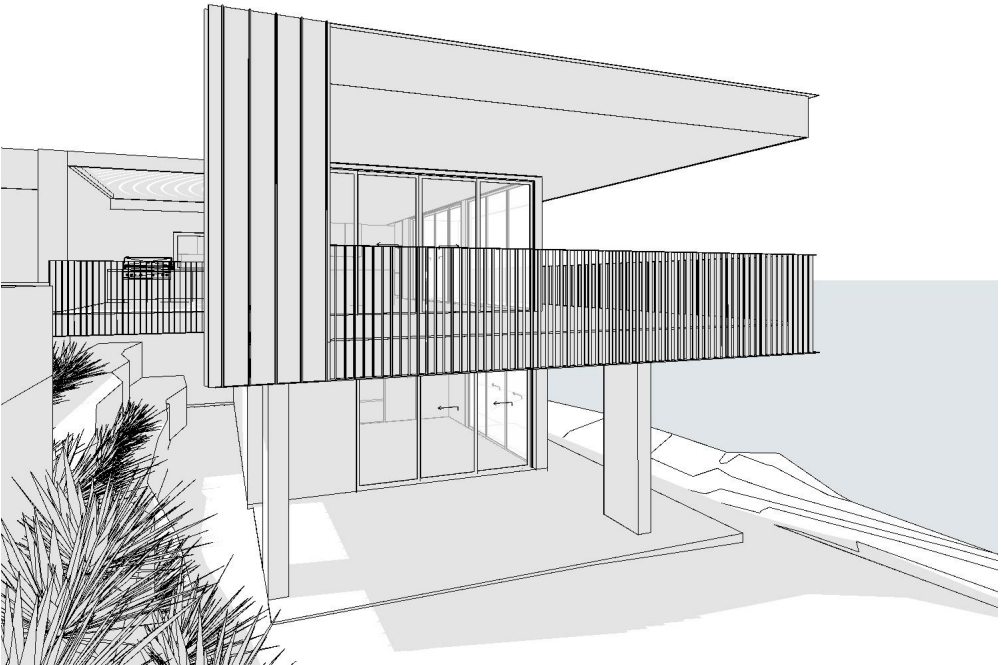
Acceptable Solution A2
Buildings and structures are designed and managed to minimise bird strike by:

- (a) eliminating or obscuring all transparent or highly reflective obstacles that are not readily perceptible by birds in flight, such as uncovered corner or opposing windows that allow sight ines through buildings; and
- (b) using low reflective glass on external surfaces; or
- (c) angling glass surfaces to reflect the ground or built fabric rather than the sky or habitat.

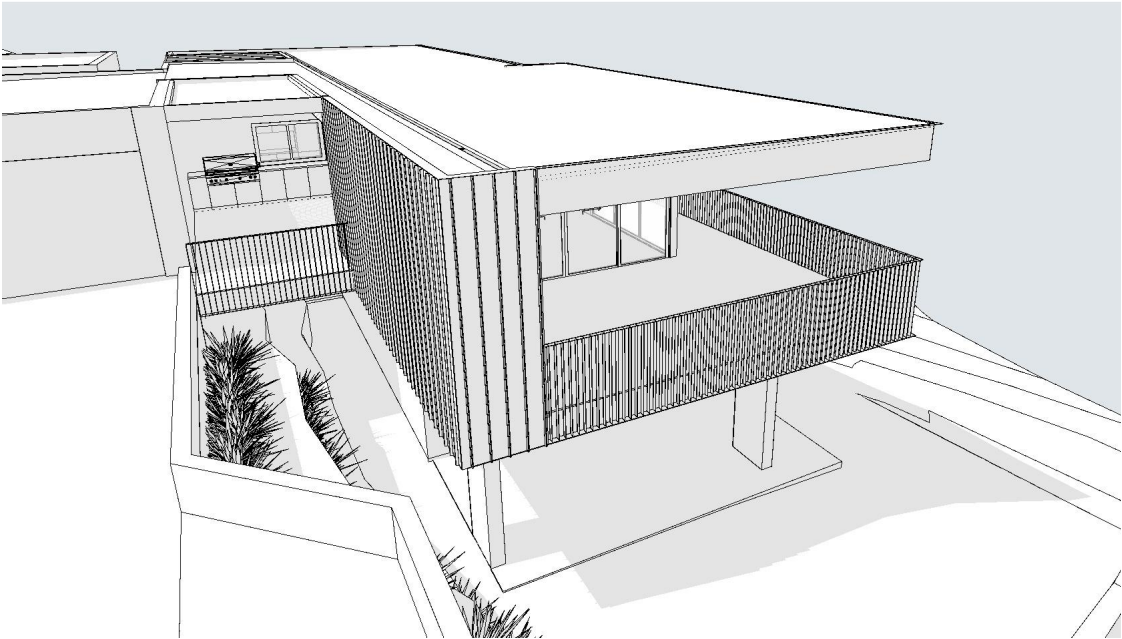
Response
Corner windows are obscured by framed corners and the metal balustrade (MB:01)- please refer to 3D 01 & 3D 02.
Corner windows are covered by eave and deck overhang- please refer to 3D 03.
Opposing windows obstructed by solid walls.
All glazing to be low reflective glass.



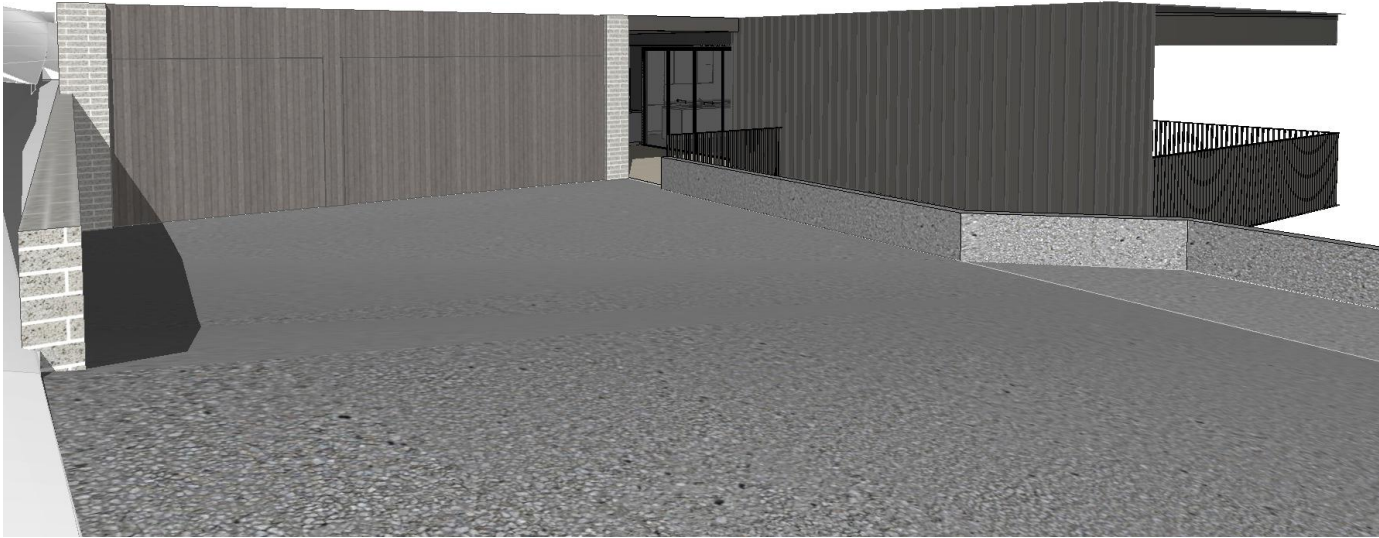
3D 01



3D 02



3D 03



Flood Hazard Report

33 Tunah Street, Howrah



DOCUMENT DETAILS

Prepared For
Axis Homes

Prepared By
David Morley

Date
30th September 2025

Arete Project Number
2025-C25-PR02

DOCUMENT HISTORY

Revision	Date	Description
D1	30/09/2025	Initial Issue

Prepared By
David Morley

Reviewed By
Ruben Moon

1. Introduction

This report was prepared to address the Flood-prone Areas Code request below, made in the Clarence City Council planning RFI PDPLANPMTD-2025/053703 dated 15th July 2025:

Request:

C12.6.1 Development and works within a flood-prone hazard area:

- *Please provide for a flood hazard report to address performance criteria P1.1 and P1.2*

This report was prepared by David Morley Beng (Hons) Civil MIEAust. David is a qualified civil engineer with the appropriate qualifications and expertise for the nature of this report.

2. Site Details

The subject site, 33 Tunah Street, consists of a single vacant residential lot (title reference 178665/2) with a total area of 1423 m².

The lot is part of a new residential subdivision. The lot is steep with an average slope of 28% to the south-west. The site is affected by the Clarence City Council Flood-prone Area Code overlay.

The proposal is for the construction of a new two-storey house.

3. Flood Hazard Assessment

The Clarence City Council Flood-Prone Areas code overlay shows an overland flow path through the site towards the south-western corner of the lot. The Clarence City Council Flood Mapping GIS states maximum flow depths of 0.4m within the site.



Figure 1: Flood-Prone Areas Overlay

The Flood-Prone Areas Code overlay was prepared prior to the construction of the subdivision and therefore does not reflect the newly constructed piped drainage network or the major drainage system consisting of the new road.

An inundation model was prepared using HEC-RAS software to determine the effects of the subdivision road on the mapped overland flow path, for 1% AEP plus climate change (1% AEP + CC) flood events. A Digital Elevation Model (DEM) including the subdivision road was created using a combination of Tasmanian Government LIDAR data captured prior to subdivision construction and the subdivision road design model as provided by the client.

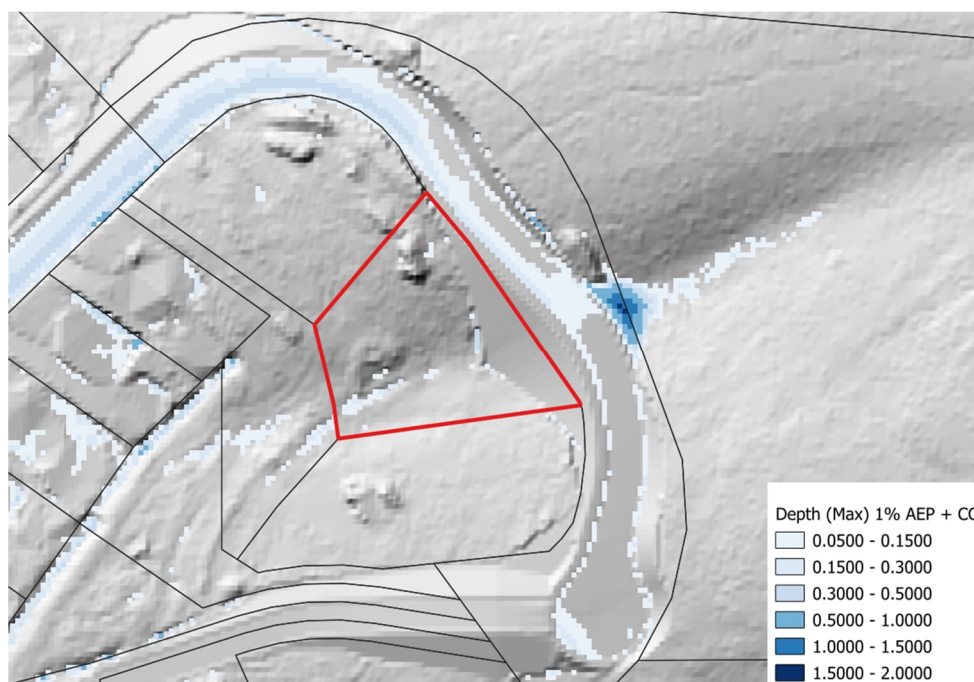


Figure 2: Model Results – Maximum Depth 1% AEP + CC

The 1% AEP + CC inundation model shows that the subdivision road acts to intercept upslope overland flow and direct flow away from the subject site. The model shows remaining minor flows within the site with a maximum depth and velocity of 200 mm and 0.5 m/s respectively.

Areas with a maximum flow depth exceeding 100 mm represent an insignificant footprint within the site (5m² total area) and are partially due to local depressions in the DEM used. All flow depth within the site originates from runoff within the site and does not represent any overland flow crossing Tunah Street.

Under the hazard rating framework provided in Australian Rainfall and Runoff 2019 Book 6, all surface flows within the site are classified as hazard level H1. The flows are therefore generally safe for people, vehicles and buildings.

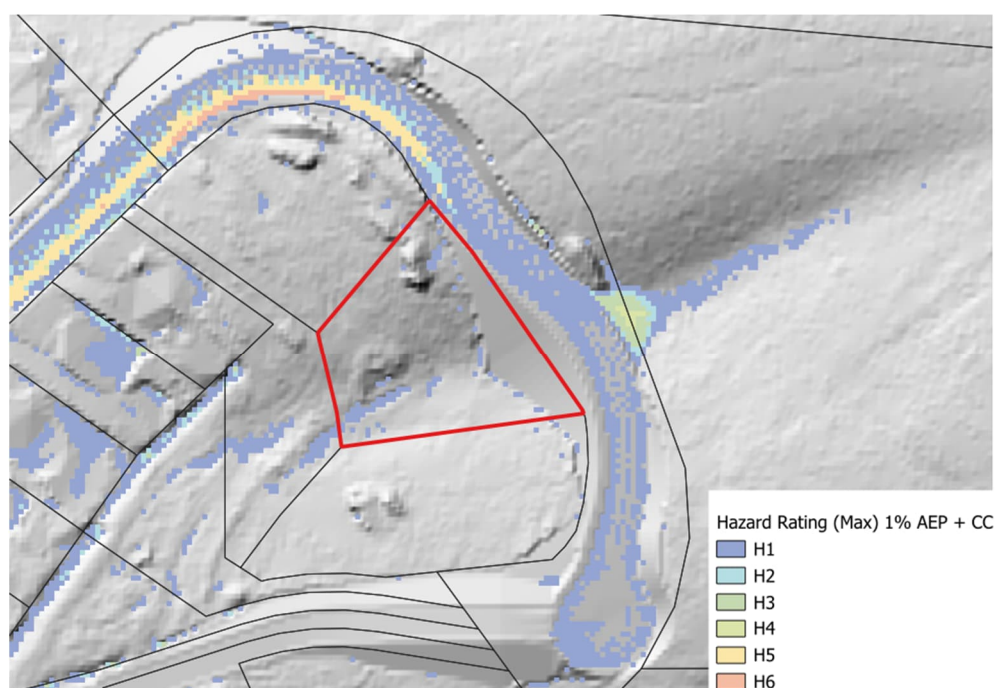


Figure 3: Model Results – Maximum Hazard Rating 1% AEP + CC

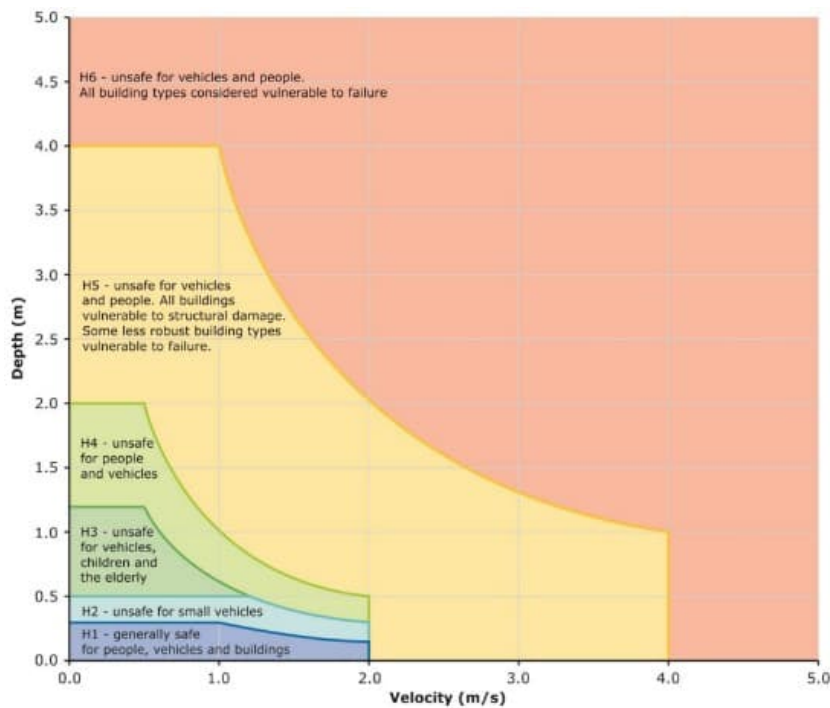


Figure 4: Hazard Rating Framework (ARR 2019)

The proposal does not involve any structure or change in site levels that will displace flood flows. The proposal therefore will not increase the risk of flooding at the site or adjacent sites.

The requirements of the National Construction Code relating to surface water drainage (NCC Housing Provisions Clause 3.3.3) shall be followed. Slabs-on-ground shall be a minimum of 150mm above adjacent ground levels, and ground shall slope away from the building at a minimum slope of 5%.

No flood protection works are required to maintain a tolerable risk from up to a 1% AEP flood event.

4. Tasmanian Planning Scheme Code Response

Responses to the relevant sections of C12 Flood-Prone Areas Code of the Tasmanian Planning Scheme are as follows:

Table 1: C12.6.1 Buildings and works within a flood-prone hazard area

Objective:	That: (a) Building and works within a flood-prone hazard area can achieve and maintain a tolerable risk from flood; and (b) Buildings and works do not increase the risk from flood to adjacent land and public infrastructure.
Performance Criteria P1.1	Response
Buildings and works with a flood-prone hazard area must achieve and maintain a tolerable risk from a flood, having regard to:	
(a) The type, form, scale and intended duration of the development;	The proposed building will maintain a tolerable risk from a flood as the newly constructed subdivision infrastructure intercepts the natural (mapped) overland flow path and prevents overland flow from entering the subject site. No specific hazard reduction or protection measures are required. Standard measures to protect the building from inundation are to be provided in accordance with the NCC.
(b) whether any increase in the level of risk from flood requires any specific hazard reduction or protection measures;	
(c) any advice from a State authority, regulated entity or a Council; and	
(d) the advice contained in a flood hazard report.	
Performance Criteria P1.2	Response
A flood hazard report also demonstrates that the building and works:	
(a) Do not cause or contribute to flood on the site, on adjacent land or public infrastructure; and	The development will achieve and maintain a tolerable risk from a 1% AEP flood event as the subdivision road diverts the path of 1% AEP overland flows away from the site.
(b) can achieve and maintain a tolerable risk from a 1% annual exceedance probability flood event for the intended life of the use without requiring any flood protection measures.	

5. Conclusion and Recommendations

Council flood mapping indicates that the site is subject to a minor overland flow path up to 0.4 m deep, however Council's flood modelling and mapping were undertaken prior to the development of the subdivision which intercepts the natural overland flow path and directs overland flow away from the site.

Inundation modelling was undertaken which verified the performance of the subdivision road to intercept and convey overland flows away from the site.

All requirements of the National Construction Code relating to external finished surface levels and minimum fall away from buildings shall be followed. This shall be sufficient to mitigate any residual inundation risk.



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