



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/053913

PROPOSAL: Warehouse (Light Industrial)

LOCATION: 26 Cherokee Drive, Cambridge

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 28 October 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 28 October 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 28 October 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: PROPOSED WAREHOUSE

Location: 26 CHEROKEE DRIVE, CAMBRIDGE.

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

—

Current use of site:

VACANT LAND

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

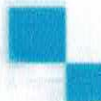
- ☒ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☒ Full description of the proposed use or development.
- ☒ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☒ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☒ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☒ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9500.

SEARCH OF TORRENS TITLE

VOLUME 185543	FOLIO 60
EDITION 3	DATE OF ISSUE 12-Jul-2025

SEARCH DATE : 31-Jul-2025

SEARCH TIME : 08.37 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 60 on Sealed Plan [185543](#)Derivation : Part of 1654 Acres Gtd. to Robert Pitcairn and
Thomas YoungPrior CT [181813/100](#)SCHEDULE 1[N263112](#) TRANSFER to JOEL EDWARD PHILLIPS and MEKEAH JADE
PHILLIPS Registered 12-Jul-2025 at 12.01 PMSCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP185543](#) EASEMENTS in Schedule of Easements[SP185543](#) COVENANTS in Schedule of Easements[SP185543](#) FENCING PROVISION in Schedule of Easements[SP164757](#), [SP176911](#) & [SP181813](#) COVENANTS in Schedule of
Easements[SP164757](#), [SP176911](#) & [SP181813](#) FENCING PROVISION in Schedule of
Easements[E420905](#) MORTGAGE to National Australia Bank Limited
Registered 12-Jul-2025 at 12.02 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER AIRPORT INDUSTRIAL PTY LTD

FOLIO REFERENCE C.T.181813/100

GRANTEE PART OF 1654 ACRES GTD TO ROBERT
PITCAIRN AND THOMAS YOUNG

PLAN OF SURVEY

BY SURVEYOR ANDREW STEPHEN BIRCH
ROGERSON AND BIRCH SURVEYORS
UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK
PH 6248-5898 MOB. 0419-594-966

CITY OF CLARENCE

SCALE 1: 3000 LENGTHS IN METRES

REGISTERED NUMBER

SP185543

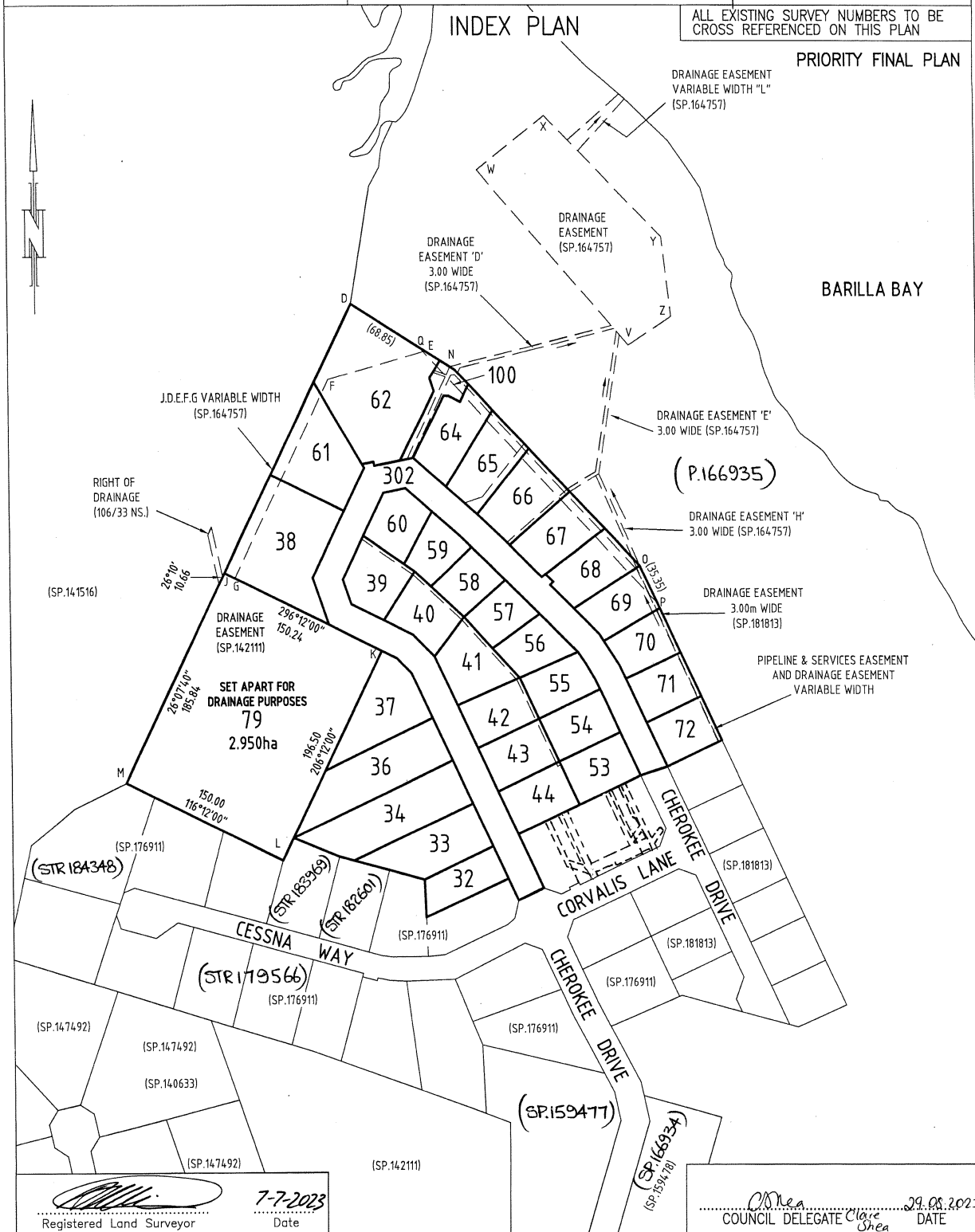
APPROVED
EFFECTIVE FROM - 6 SEP 2023

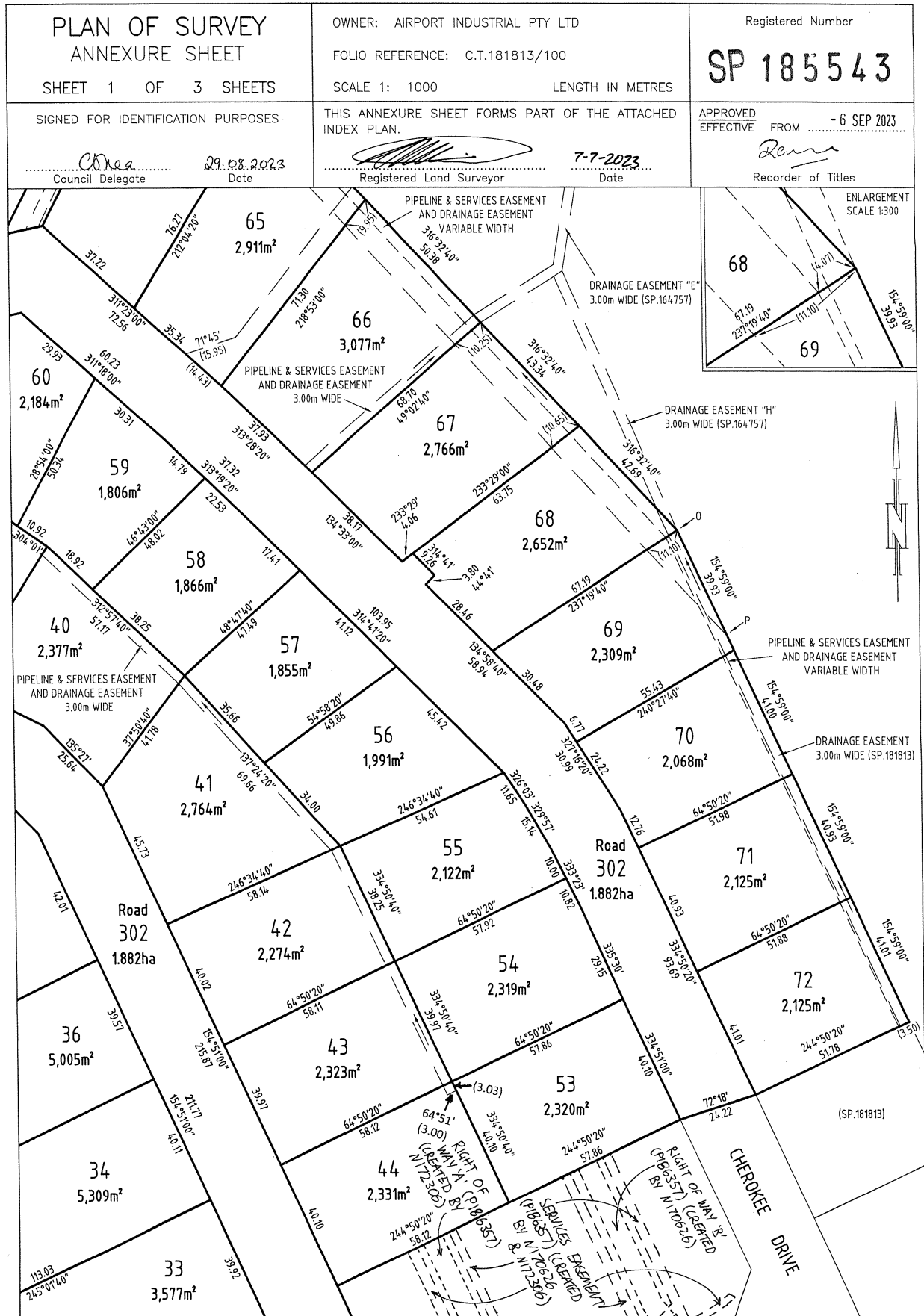
Deena
Recorder of Titles

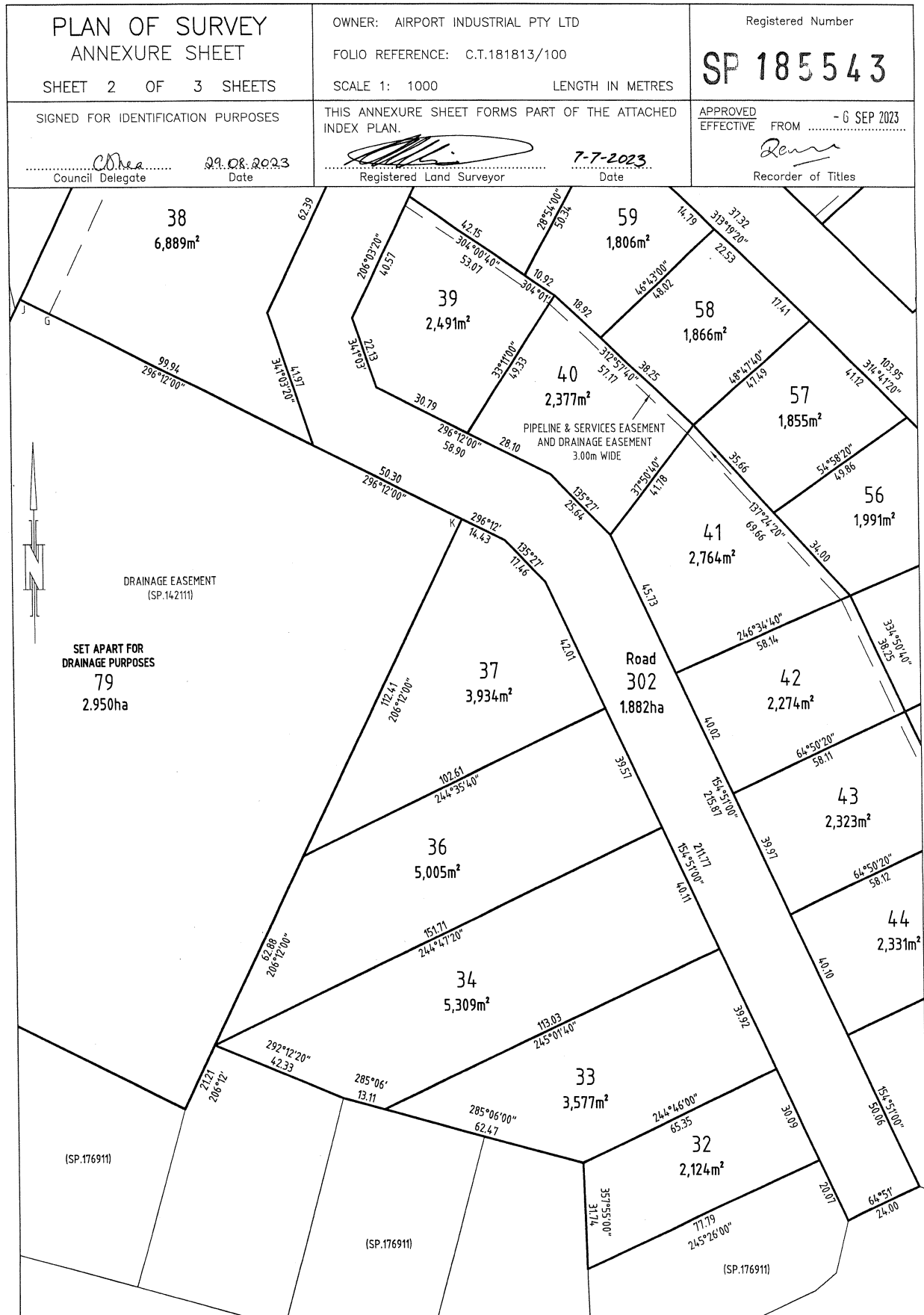
ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

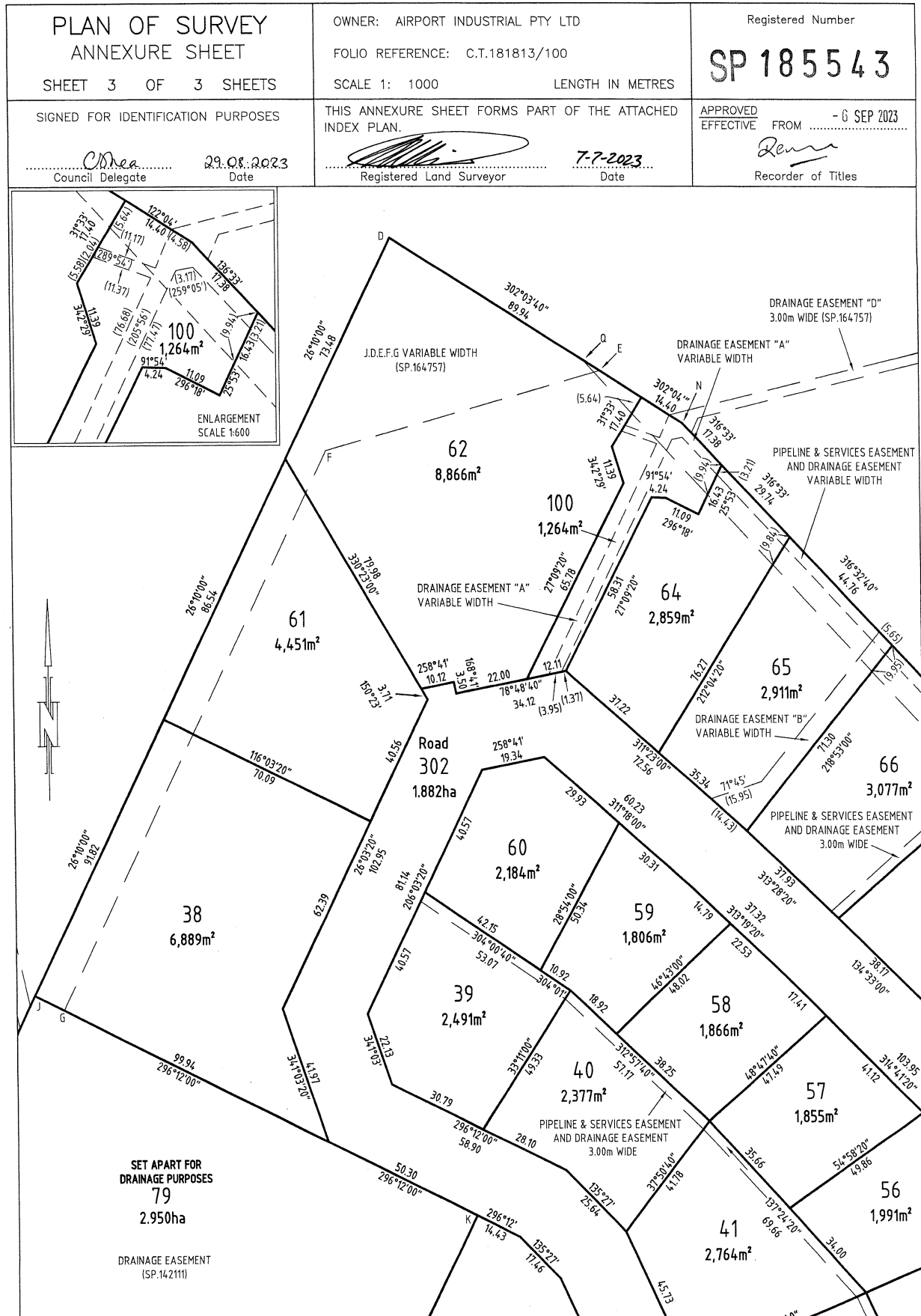
INDEX PLAN

PRIORITY FINAL PLAN









SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 185543
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PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 39 to 44 (inclusive) ("the Lot") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** shown on the Plan ("the Easement Land").

Lots 39 to 44 (inclusive) on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** on the Plan.

Lots 64 to 72 (inclusive) ("the Lot") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT VARIABLE WIDTH** shown on the Plan ("the Easement Land").

Lots 64 to 72 (inclusive) on the Plan ("the Lot") are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT VARIABLE WIDTH** shown on the Plan ("the Easement Land").

Lot 100 on the Plan is subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT "A" VARIABLE WIDTH** on the Plan.

Lot 66 ("the Lot") is subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** shown on the Plan ("the Easement Land").

Lot 66 on the Plan is subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** on the Plan.

Lot 65 on the Plan is subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT "B" VARIABLE WIDTH** on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REF: CT 181813-100 SOLICITOR & REFERENCE: Page Seager (DAS 120166)	PLAN SEALED BY: Clarence City Council DATE: 29th August 2023 REF NO. SD-2008/95 <i>C. Shea</i> Council Delegate <i>Clare Shea</i>
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 6 PAGES	Registered Number SP 185543
SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REFERENCE: CT 181813-100	

Lots 68 to 72 (inclusive) on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT 3.00m WIDE (SP.181813)** on the Plan.

Each lot on the Plan is together with the right to construct and maintain upon the piece of land marked Right of Drainage on P159487 a drain for the purpose of draining storm and surface water from the said lots and also the right at all times hereafter to enter into and upon the said land for the purpose of cleansing and repairing the said drain and as shown on the Plan as **RIGHT OF DRAINAGE (106/33 NS.)**.

Each lot on the Plan is together with a right of drainage over the land marked **DRAINAGE EASEMENT 'D' 3.00 WIDE (SP.164757)** on the Plan.

Each lot on the Plan is together with a right of drainage over the land marked **DRAINAGE EASEMENT 'E' 3.00 WIDE (SP.164757)** on the Plan.

Each lot on the Plan is together with a right of drainage over the land marked **DRAINAGE EASEMENT 'H' 3.00 WIDE (SP.164757)** on the Plan.

Each lot on the Plan is together with a right of drainage over the land marked **DRAINAGE EASEMENT VARIABLE WIDTH "L" (SP.164757)** on the Plan.

Each lot on the Plan is together with a right of drainage over the **DRAINAGE EASEMENT (SP.164757) "VWXYZ"** on the Plan.

Lot 79 on the Plan is subject to a right of drainage appurtenant to Lot 2 on Sealed Plan 142111 over the land marked **DRAINAGE EASEMENT (SP.142111) "JKLM"** on the Plan.

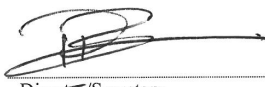
COVENANTS

The owners of each lot on the Plan covenant with the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234)) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

- 1) Not to develop any such lot for any use which is inconsistent with airport activity and which results in the attraction of birds or vermin.
- 2) Not to permit the external surfaces of any building or structure to be finished with external materials other than non-glare external colours and finishes.
- 3) Not to permit any external lighting for any development on any of the lots unless it is shielded to prevent upward illuminations,

The owners of lots 62, 64, 65, 66, 67, 68, 69 and 100 on the Plan covenant with the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234)) and the owners for the time being of every other lot shown on the Plan to the intent that the


 Director


 Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 6 PAGES	Registered Number SP 185543
SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REFERENCE: CT 181813-100	

burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

- 1) Not to erect or cause to ~~the~~^{be} erected or place any building or structure which exceeds a height of 8 metres above natural ground level within the area marked "NOPQ" on the Plan.

The owners of lots 38, 61 and 62 on the Plan covenant with the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234)) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

- 1) Not to develop any part of their lot within the area marked "J.D.E.F.G VARIABLE WIDTH (SP.164757)" on the Plan other than by way of driveway and services access and landscaping.

FENCING PROVISION

In respect of the Lots shown on the plan the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234)) shall not be required to fence.

DEFINITIONS

In this Schedule of Easements, the following terms have the meanings ascribed to them below:

Drainage Easement means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

"Pipeline and Services Easement" is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;


 Director


 Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 6 PAGES	Registered Number SP 185543
SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REFERENCE: CT 181813-100	

- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;


Director


Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

07

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 6 PAGES	Registered Number SP 185543
SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REFERENCE: CT 181813-100	

- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“**TasWater**” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.



Director

Director/Secretary

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 10 PAGES	Registered Number SP 185543
SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REFERENCE: CT 181813-100	

EXECUTED by **AIRPORT INDUSTRIAL PTY LTD**)
(**ACN 159 442 234**) as registered proprietor of the land)
comprised in Folio of the Register Volume 181813)
Folio 100 pursuant to section 127 of the *Corporations Act*)
2001 (Cth) by:)


.....
Director Signature

RONALD AULBEN BROOKS
.....
Director Full Name (print)


.....
Director/Secretary Signature

PAUL ROBERT BROOKS
.....
Director/Secretary Full Name (print)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

02

p r o j e c t

Proposed Warehouse
at 26 Cherokee Drive, Cambridge.

c l i e n t

Cora P Pty. Ltd.

p r o j e c t. n o.

25.11

d a t e:

September 2025

DRAWING SCHEDULE

REVISION

sk01	- SITE PLAN	A
sk02	- SITE DRAINAGE PLAN	A
sk03	- SITE LANDSCAPE PLAN	B
sk04	- SITE TURNING PLAN	B
sk05	- SOIL & WATER MANAGEMENT PLAN	A
sk06	- FLOOR PLAN	-
sk07	- ELEVATIONS - Sheet 1	-
sk08	- ELEVATIONS - Sheet 2	-

GENERAL PROJECT INFORMATION

TITLE	CT. 185543/60
LAND AREA	2145 sq.m.
PROPOSED BUILDING AREA	600 sq.m.
ZONING	18.0 LIGHT INDUSTRIAL
CLASS OF BUILDING	CLASS 8
TYPE OF CONSTRUCTION	TYPE C CONSTRUCTION
DESIGN WIND SPEED	N3
SOIL TEST CLASSIFICATION	CLASS 'P' SITE. REFER GES SOIL TEST
CLIMATE ZONE	7
CORROSION ENVIRONMENT	CLASSIFICATION: HIGH - NCC TABLE 6.3.9
BUSHFIRE ASSESSMENT	TO BE ADVISED
PLANNING OVERLAYS	- AIRPORT OBSTACLE LIMITATION AREA - AIRPORT NOISE EXPOSURE AREA
SAFEGUARD OF AIRPORTS CODE	- MAX. BUILDING HEIGHT IS RL. 15.56 AHD. (MAX. LIMIT RL. 47.00 AHD)



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TAS BUILDING DESIGN Pty. Ltd.

Kevin J. Roberts

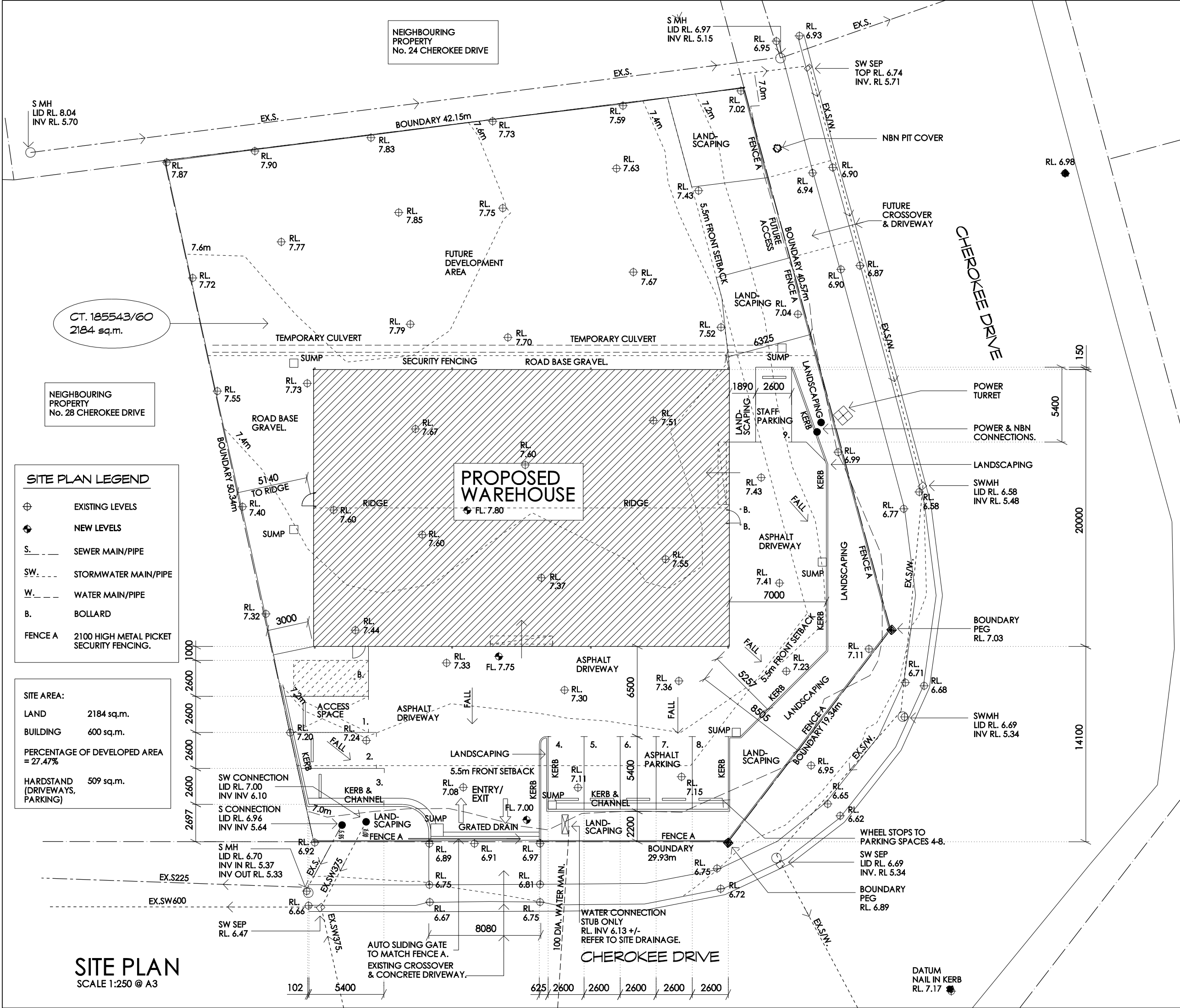
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a. p.o.box 2018
howrah
7018

e. tas.buildingdesign@bigpond.com

cc 652

residential
commercial



REVISION A: - 25/09/2025
- WAREHOUSE POSITION MOVED
- LANDSCAPING AREAS ADDED TO FRONT BOUNDARY

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residential
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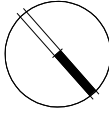
Project and Address:
**Proposed Warehouse
at 26 Cherokee Drive,
Cambridge.**

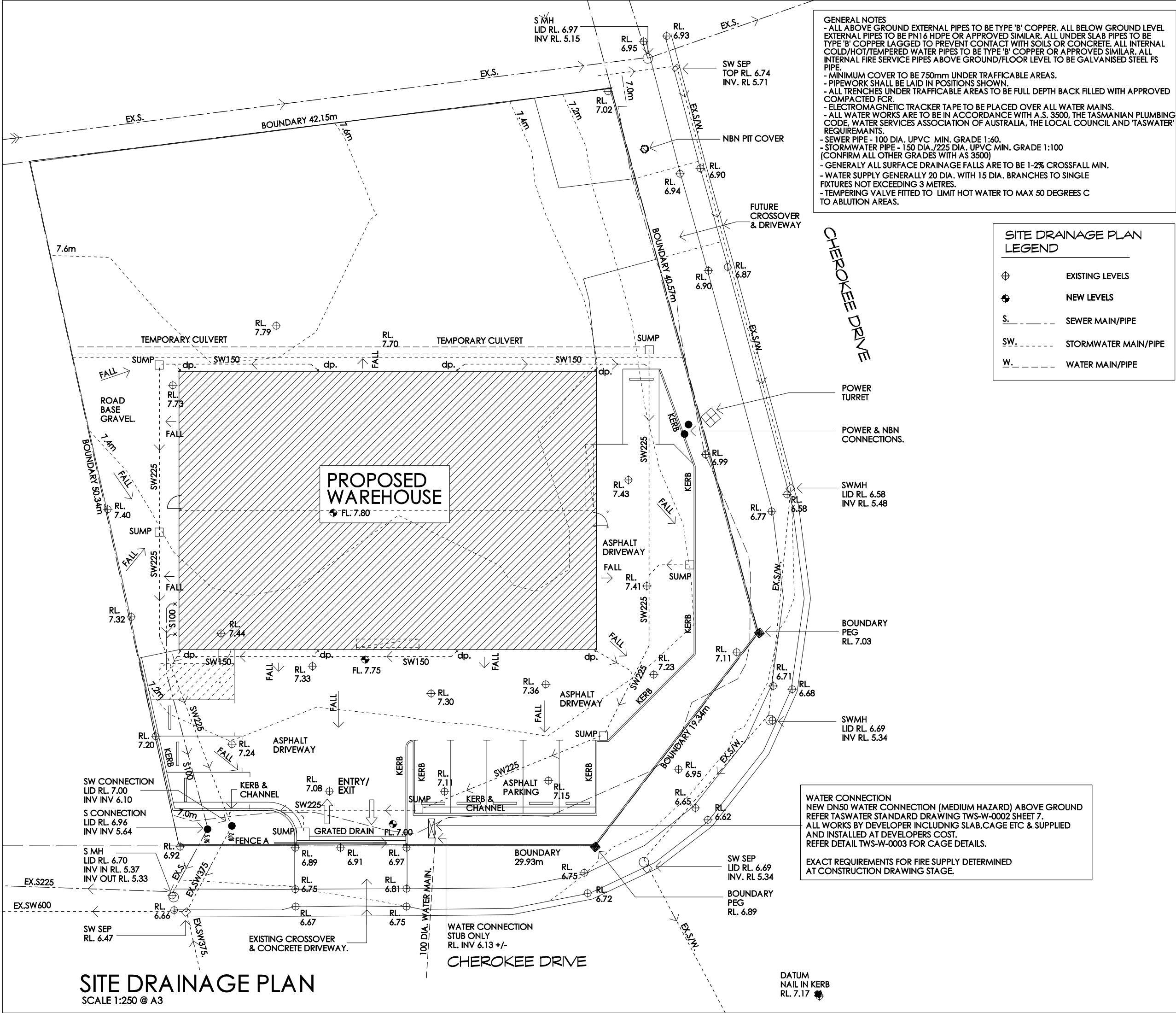
Client:
Cora P Pty. Ltd.

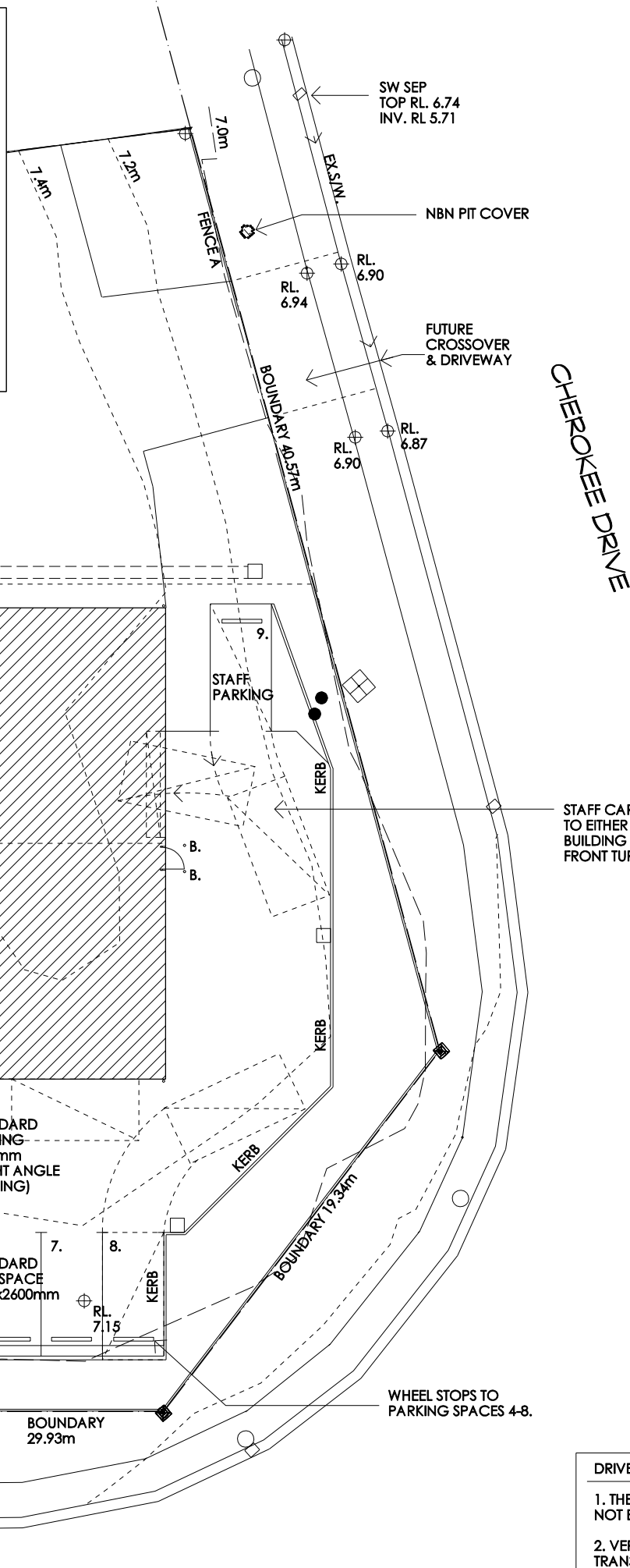
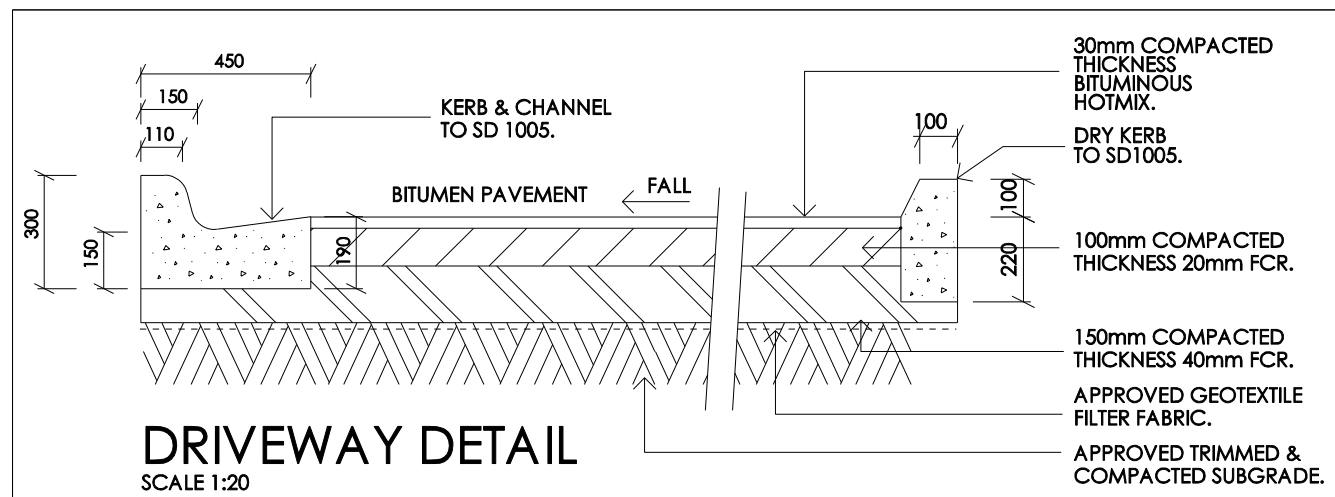
Drawing Title:
Site Plan

Please note: - Verify all dimensions on site. Figured
dimensions take precedence over scale readings.

Plot Date: 25/09/2025	Drawn: KJR
Approval: preliminary	Scale: 1:250 @ A3

 NORTH	Project No.: 25.11	Rev. A
	Drawing No.: sk01	





SITE TURNING PLAN
SCALE 1:250 @ A3

CHEROKEE DRIVE

DRIVEWAY/PARKING NOTES

1. THE FINISHED GRADIENT SHALL NOT EXCEED 1 IN 5 (20%)
2. VERTICAL ALIGNMENT SHALL INCLUDE TRANSITION CURVES TO AS 2890.1 C1 2.5.3 (c) AT ALL GRADE CHANGES GREATER THAN 12.5 %.
3. MANOEUVRING AREAS TO HAVE A MAXIMUM GRADIENT OF 10%.

REVISION A: - 01/08/2025
- DELIVERY VEHICLE TURNING AREA SHOWN WITH NOTE ADDED.

REVISION B: - 25/09/2025
- WAREHOUSE POSITION MOVED
- LANDSCAPING AREAS ADDED TO FRONT BOUNDARY

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Kevin J. Roberts

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residential commercial

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Project and Address:
**Proposed Warehouse
at 26 Cherokee Drive,
Cambridge.**

Client:
Cora P Pty. Ltd.

Drawing Title:
Site Turning Plan

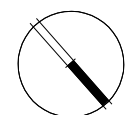
Please note: - Verify all dimensions on site. Figured dimensions take precedence over scale readings.

Plot Date: 25/09/2025

Drawn: KJR

Approval: preliminary

Scale: 1:250 @ A3

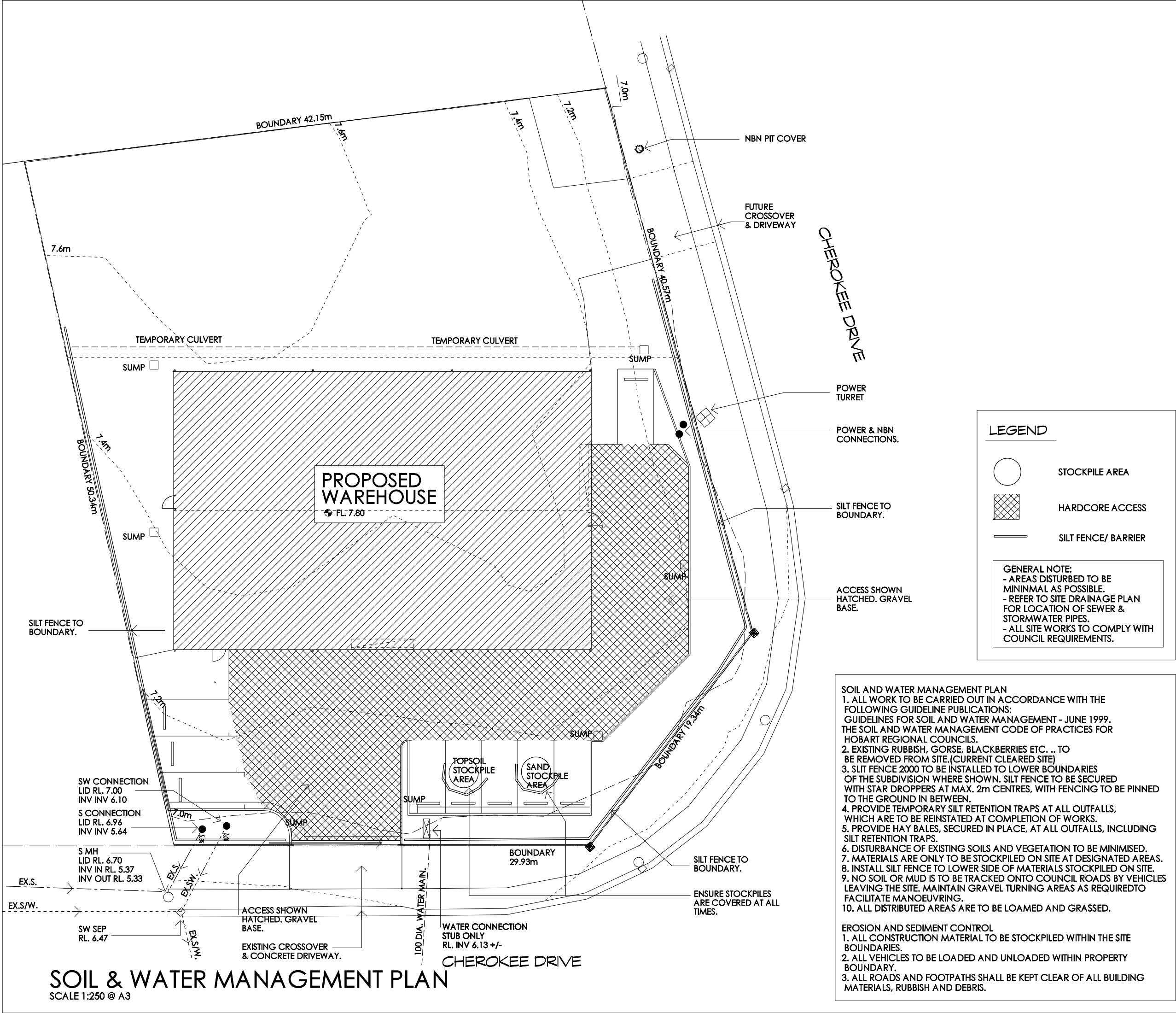


NORTH

Project No.:
25.11

Drawing No.:
sk04

Rev.
B



REVISION A: - 25/09/2025
- WAREHOUSE POSITION MOVED
- LANDSCAPING AREAS ADDED TO FRONT BOUNDARY

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TAS BUILDING DESIGN PTY. LTD.

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Project and Address:
**Proposed Warehouse
at 26 Cherokee Drive,
Cambridge.**

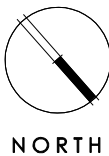
Client:
Cora P Pty. Ltd.

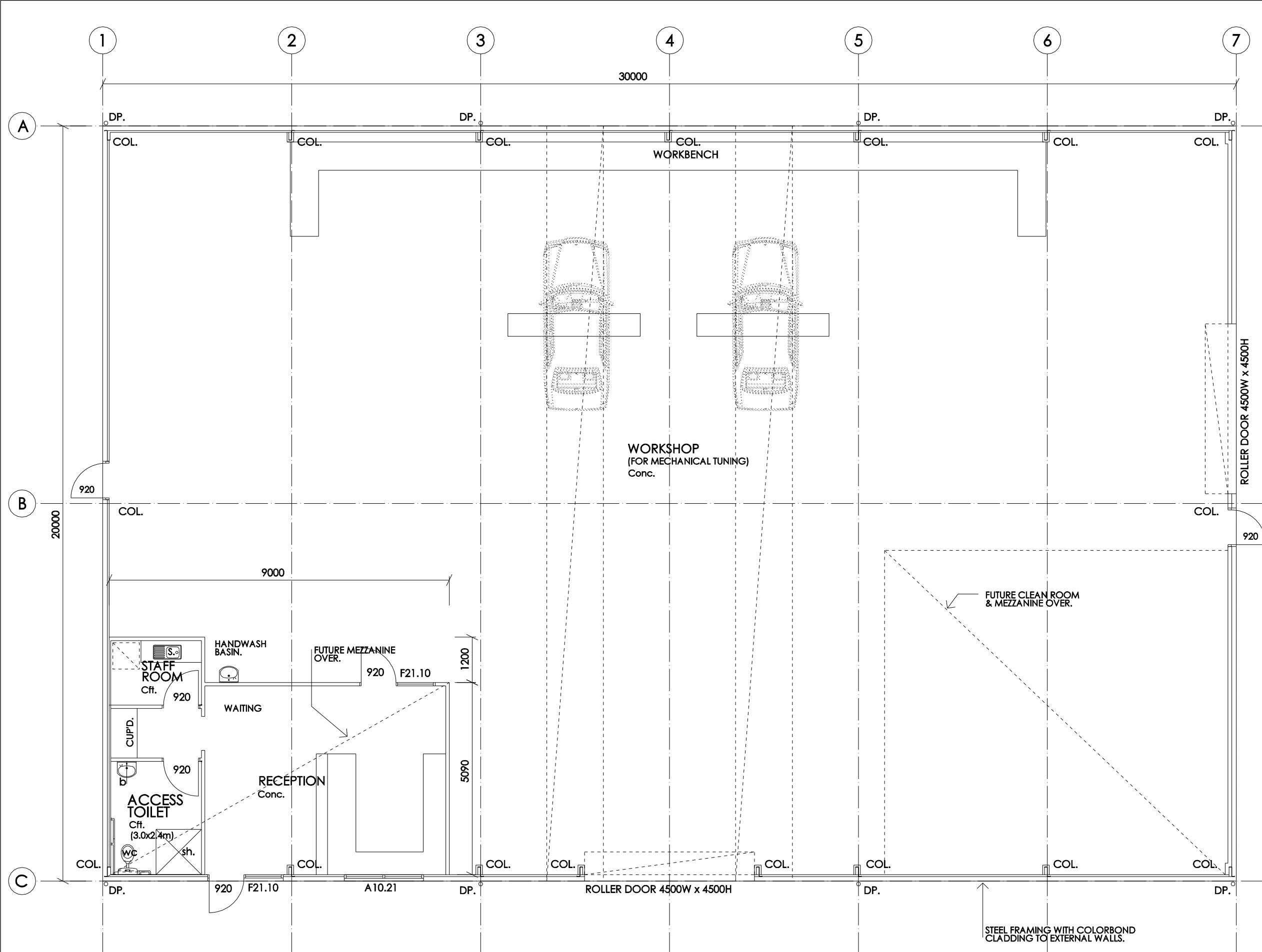
Drawing Title:
**Soil & Water
Management Plan**

Please note: - Verify all dimensions on site. Figured
dimensions take precedence over scale readings.

Plot Date: 25/09/2025 Drawn: KJR
Approval: preliminary Scale: 1:250 @ A3

Project No.:
25.11
Drawing No.: sk05 Rev. A





FLOOR PLAN
SCALE 1:100

AREA:	
FLOOR AREA:	600 sq.m.

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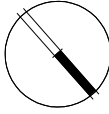
Project and Address:
Proposed Warehouse
at 26 Cherokee Drive,
Cambridge.

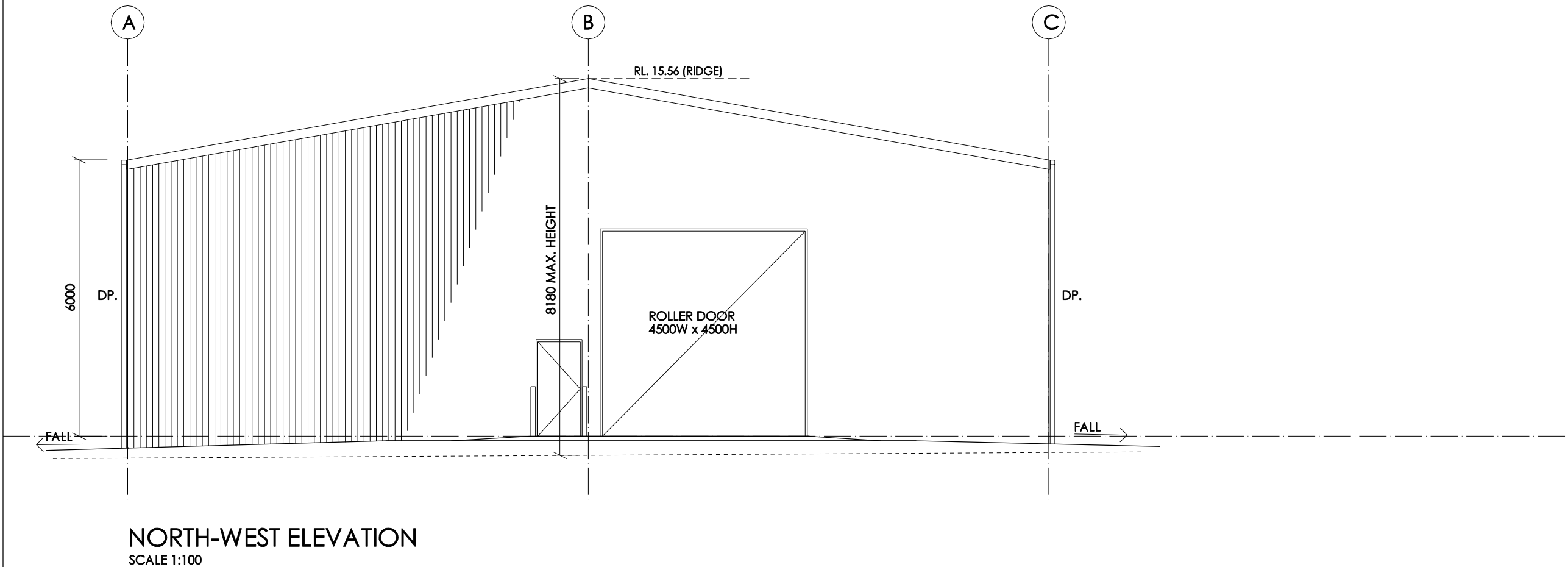
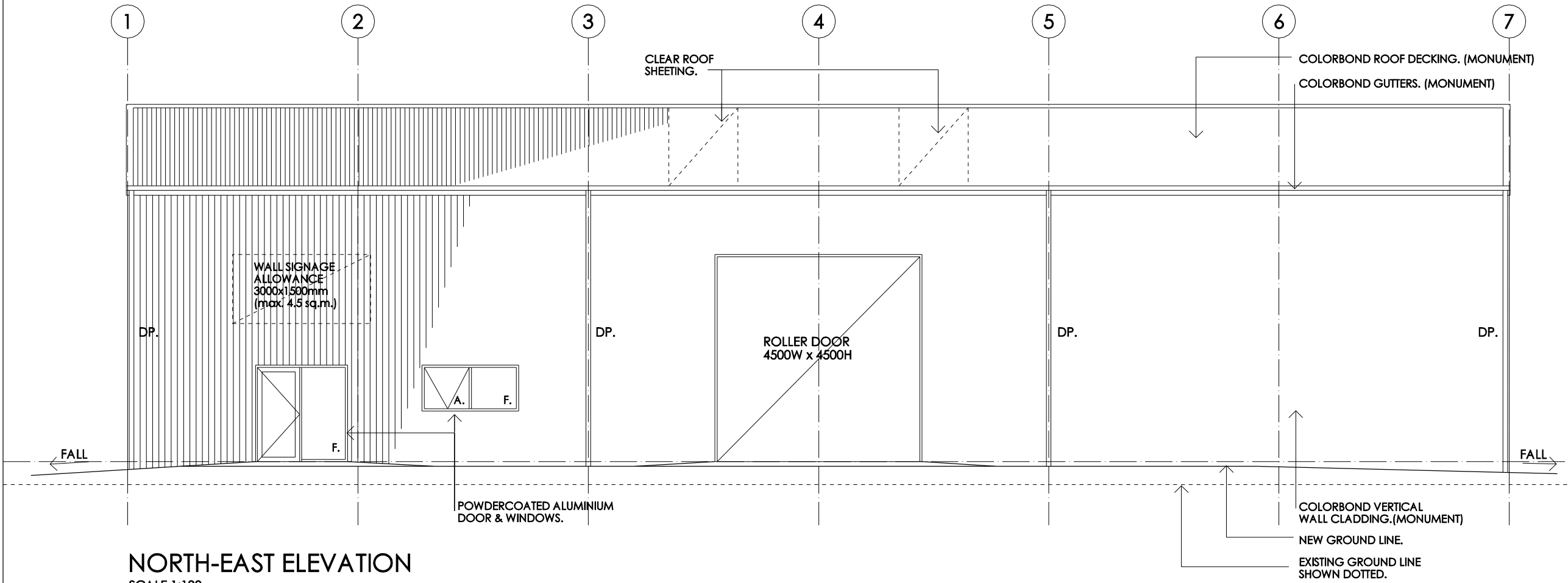
Client:
Cora P Pty. Ltd.

Drawing Title:
Floor Plan

Please note: - Verify all dimensions on site. Figured
dimensions take precedence over scale readings.

Plot Date:	Drawn: KJR
Approval: preliminary	Scale: 1:100 @ A3

 NORTH	Project No.:	25.11
	Drawing No.:	sk06
	Rev.	-



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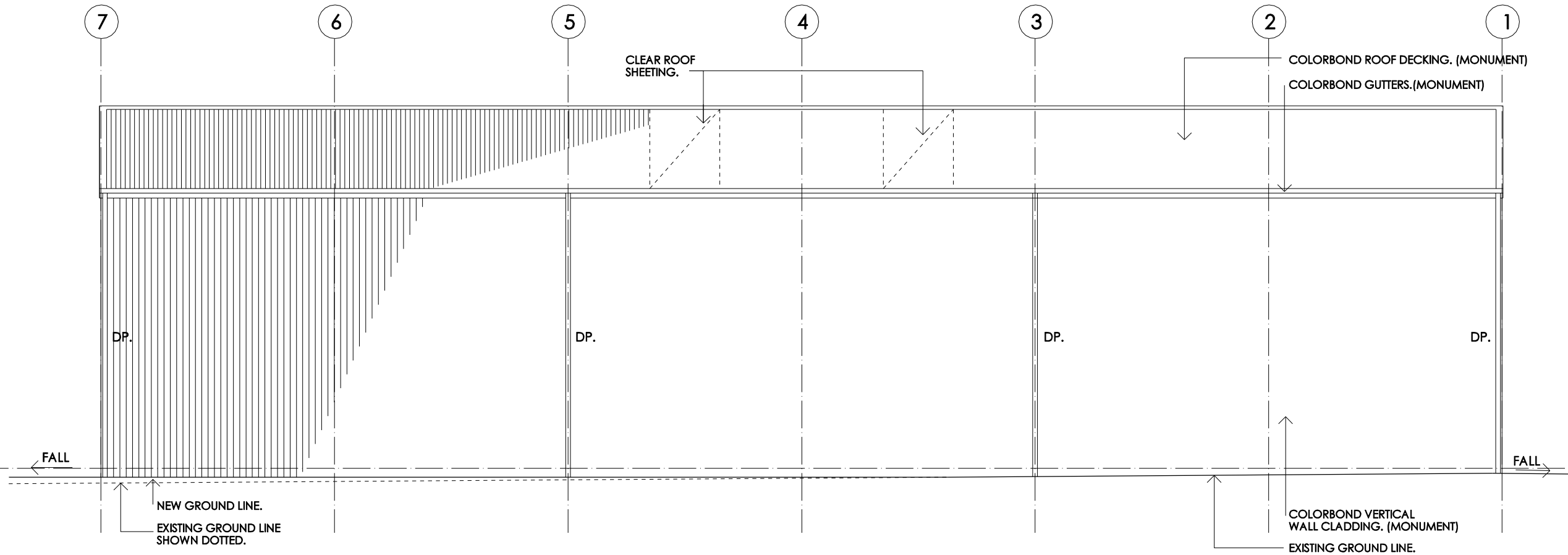
Project and Address:
**Proposed Warehouse
at 26 Cherokee Drive,
Cambridge.**

Client:
Cora P Pty. Ltd.

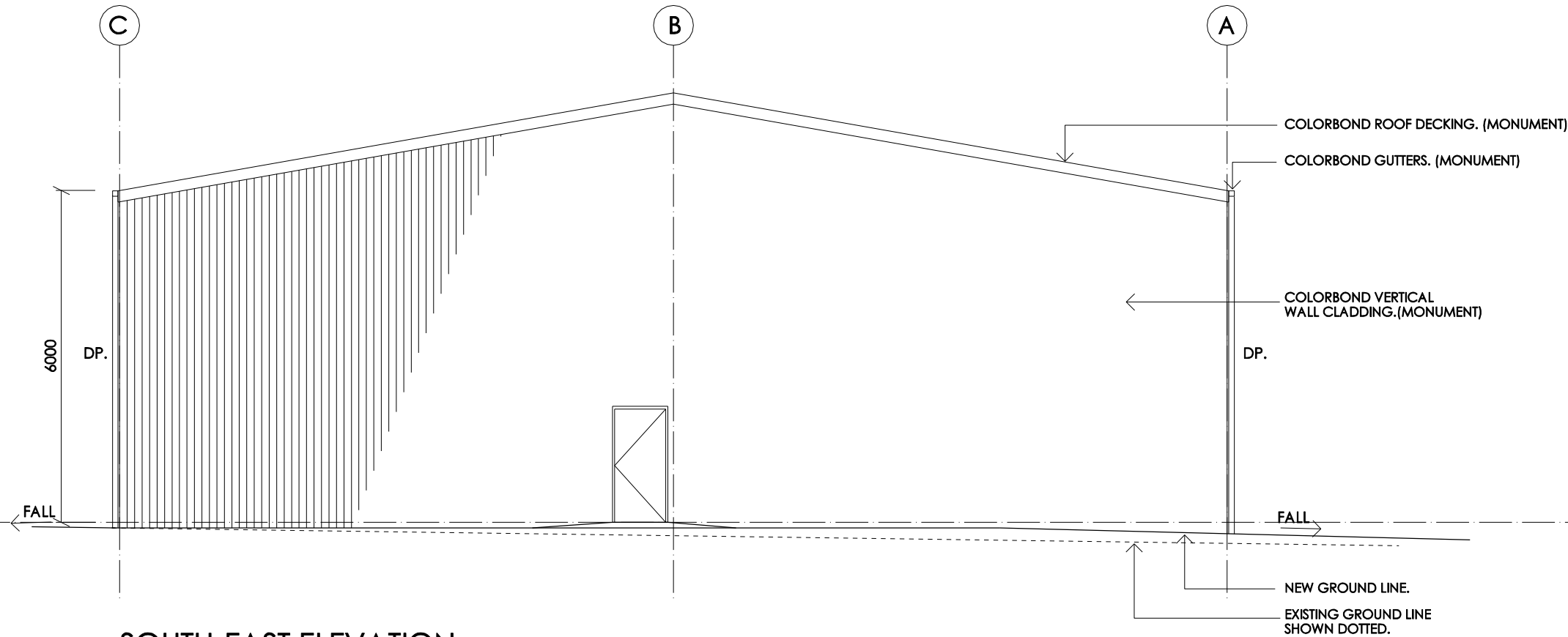
Drawing Title:
Elevations - Sheet 1

Please note: - Verify all dimensions on site. Figured
dimensions take precedence over scale readings.

Plot Date:	Drawn: KJR
Approval: preliminary	Scale: 1:100 @ A3
Project No.:	25.11
Drawing No.:	sk07
Rev.	-



SOUTH-WEST ELEVATION
SCALE 1:100



SOUTH-EAST ELEVATION
SCALE 1:100

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Project and Address:
**Proposed Warehouse
at 26 Cherokee Drive,
Cambridge.**

Client:
Cora P Pty. Ltd.

Drawing Title:
Elevations - Sheet 2

Please note: - Verify all dimensions on site. Figured
dimensions take precedence over scale readings.

Plot Date:	Drawn: KJR
Approval: preliminary	Scale: 1:100 @ A3
Project No.: 25.11	Drawing No.: sk08
	Rev.: -

Planning Submission

Proposed Development

at

26 Cherokee Drive, Cambridge, Tas.

for

Platinum Tuning

Tas Building Design Pty. Ltd.
P.O.Box 2018
Howrah 7018
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0408882283

July 2025

Proposed Development at
26 Cherokee Drive, Cambridge – Planning Submission

contents

1. site Location/background
2. environmental impact/design statement
3. development information
 - a. car-parking/deliveries
 - b. number of staff
 - c. operating hours
 - d. equipment
 - e. waste production and disposal
 - f. signage
 - g. colours
 - h. landscaping/fencing/lighting
 - i. drainage
 - j. staging
4. conclusion

appendix

- i. - planning application
- ii - certificate of title information

attachments

Cover page (Location Plan)
sk01 – Site Plan
sk02 – Site Drainage Plan
sk03 – Site Landscape Plan
sk04 – Site Turning Plan
sk05 - Soil and Water Management Plan
sk06 – Floor Plan
sk07 – Elevations – Sheet 1
sk08 – Elevations – Sheet 2

1. - site location/background

The Proposed Development for a Automotive Tuning Workshop is located at 26 Cherokee Drive, Cambridge. The proposed development location fronts Cherokee Drive on a Light Industrial corner allotment in a near new subdivision. The site falls gradually to the north/west and has an existing entrance from the northern boundary.

2.- environmental impact/design statement

The existing vacant site is currently zoned Light Industrial and has been recently purchased by my client.

The location of the Proposed Development is positioned fronting Cherokee Drive and is within an increasingly populated industrial building area with many other warehouse type developments completed or under construction. There will be minimal traffic movements, mainly food deliveries.

The surrounding properties are all warehouse/industrial type buildings. The site is an ideal location for the Automotive Tuning operations.

The design consists of one main warehouse building with 'Monument' colour. The building is single storey possibly with options of mezzanine storage at a later stage.

In reference to Tas Planning Scheme (Clarence) 18.4

18.4.1 - A1/A2 – Height complies

18.4.2 - A1/A2/A3 – Setbacks complies

18.4.3 - A1 – Fencing complies

18.4.4 - A1 – Outdoor storage areas complies

18.4.5 - A1 – Landscaping complies

3. – development information

a. – car-parking/deliveries

The proposed development provides for 9 onsite parking spaces. With 2 dedicated vehicle hoists – 8 car spaces area required plus 1 car space per 4 staff. The existing access will provide the entry and exit.

Deliveries will be limited however there is comfortable turning on site for general deliveries.

b. – number of staff

A maximum of 3 employees/staff per day.

c. – operating hours

The operating hours will occur generally between 7.00am and 5.00pm Monday- Friday with potential hours over the weekend periods 10.00am-3.00pm.

d. – equipment

The automotive tuning workshop will generally have the various mechanical tools, hoists etc.

e. – waste production and disposal

Waste production will be limited compared to a normal mechanical workshop as oils, fluids are not generally part of the services. Any waste removal will be provided from a private waste firm accessing the site once a fortnight/month in relation to any oils/fluids.

f. – signage

Wall signage has been allocated to the main frontage compliant to Tas Planning Scheme C1 Signage maximum of 4.5sq.m.

g. – colours-

Refer to the elevations for colours. Predominately colours will be 'Monument'.

h. landscaping/fencing/lighting

The proposed site is will have a 2100 high metal screening for security with an auto sliding gate. Basic landscaping provides a with nominated trees, shrubs and grasses provide a green contrast without limiting exposure to the site. Refer to the Part Site Landscape Plan.

The site will provide low level flood lighting for the building and car parking areas. Compliant to the Airports Code.

i – drainage

Refer to the Part Site Drainage Plan for stormwater and water design. Engineering design and final stormwater design/calculations will be prepared for the construction drawings.

j – staging

The project will be built as one stage however the site has future development area to the south which will be reviewed once this development is completed and operational. Most likely development will be another smaller strata type of warehouse.

5. conclusion

The Proposed Development for an Automoitve Tuning Workshop will provide a new larger workshop area for the growing business. The development will provide future jobs, growth and valuable investment for the Clarence City Council area.



Image of proposed fencing.

I will await councils response.

Your sincerely,

Kevin Roberts
TAS BUILDING DESIGN Pty. Ltd.
Date: 31/07/2025