



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/054676

PROPOSAL: Three Multiple Dwellings & Outbuilding

LOCATION: 21 Cosgrove Drive, Richmond (with access over 19 &
23 Cosgrove Drive, Richmond)

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 17 November 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 17 November 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 17 November 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: 3 Units & Shed Development

Location: 21 Cosgrove Drive, Richmond

Personal Information Removed



Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Vacant**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

App

Date

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 139533	FOLIO 40
EDITION 7	DATE OF ISSUE 18-Sep-2020

SEARCH DATE : 30-Oct-2025

SEARCH TIME : 09.23 AM

DESCRIPTION OF LAND

Town of RICHMOND

Lot 40 on Sealed Plan [139533](#)

Derivation : Part of 569A-2R-0P Gtd to T.D.Cosgrove

Prior CTs [137701/40](#) and [133964/41](#)

SCHEDULE 1

[M809342](#) TRANSFER to ROSS JAMES CALVERT and CASEY MAREE
CALVERT Registered 05-Mar-2020 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP[139533](#) EASEMENTS in Schedule of Easements
SP[33161](#), SP[53642](#), SP[117890](#), SP[131435](#), SP[133964](#), SP[137701](#),
SP[139533](#) COVENANTS in Schedule of Easements
SP[139533](#) FENCING PROVISION in Schedule of Easements
SP[53642](#) SP[102239](#) FENCING PROVISION in Schedule of Easements
SP[53642](#) SP[102239](#) COUNCIL NOTIFICATION under Section 468(12) of
the Local Government Act 1962
SP[117890](#) FENCING PROVISION in Schedule of Easements
SP [131435](#) FENCING PROVISION in Schedule of Easements
[C192571](#) FENCING PROVISION in Transfer
SP [137701](#) FENCING PROVISION in Schedule of Easements
[E235225](#) MORTGAGE to B&E Ltd Registered 18-Sep-2020 at 12.01
PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER DAVID EDWARD RANDOLPH CREESE
CLINT MURRAY WEBB and JANICE CATHRINE WEBB
PETER RAYMOND SMITH and TRACEY ANNE SMITH
FOLIO REFERENCE
CTs 117890/26, 28, 29, 30, 36, 37, 38, 39, 41 & 42
CTs 131435/40 & 101
GRANTEE PART OF 569-2-0 GTD. TO
THOMAS DANIEL COSGROVE
WHOLE OF LOT 1002 794m² and LOT 1003 440m²
GTD. TO THE CROWN

PLAN OF SURVEY

BY SURVEYOR CRAIG B. ROGERSON
LEVEL 3 No 6 BAYFIELD STREET ROSNY PARK
PH 6244-6256 FAX 6244-6221 MOB. 0418-120-796
LOCATION

CITY OF CLARENCE

SCALE 1: 1000 LENGTHS IN METRES

Registered Number

SP 133964

~~APPROVED~~
EFFECTIVE FROM 28 FEB 2001

Alice Kawa

Recorder of Titles

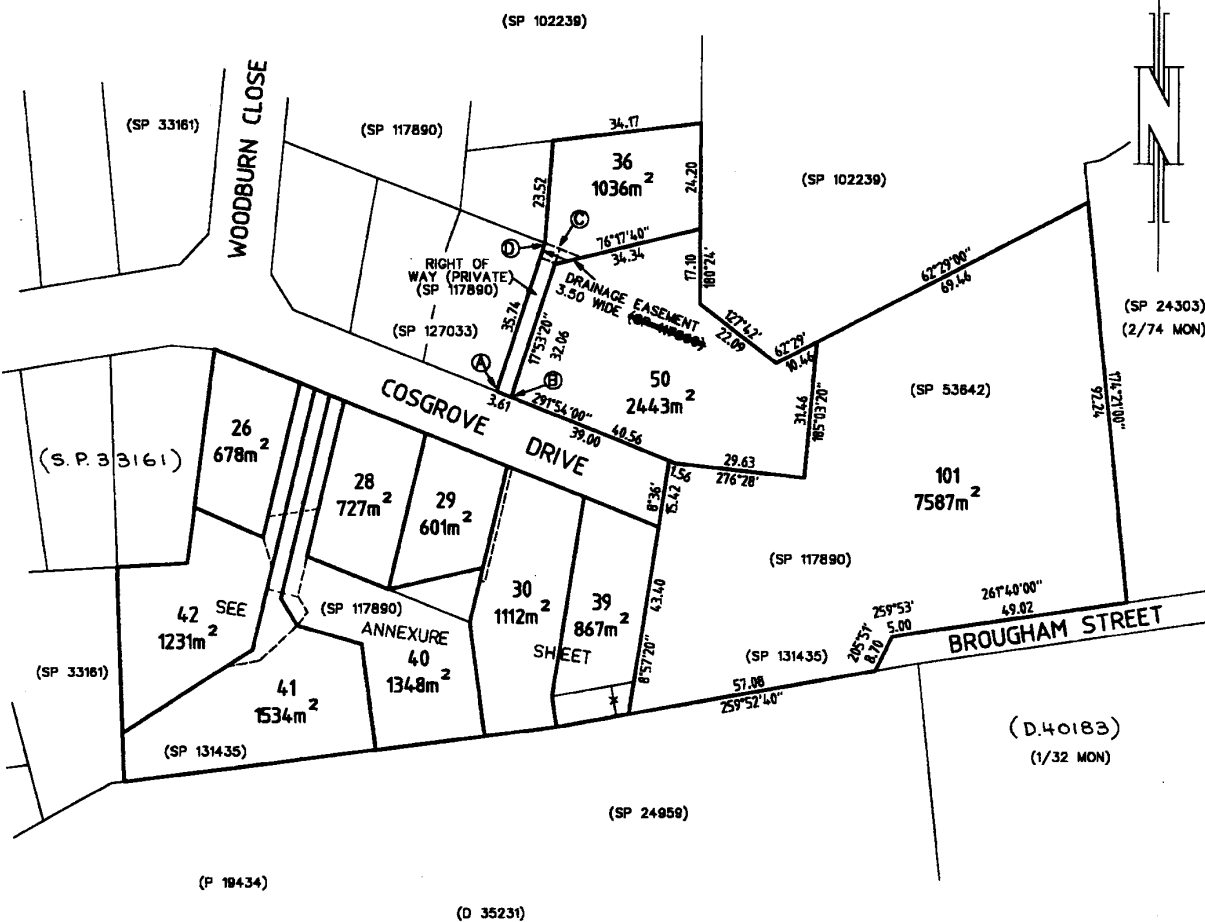
MAPSHEET MUNICIPAL
CODE No. 107 / 5226-15

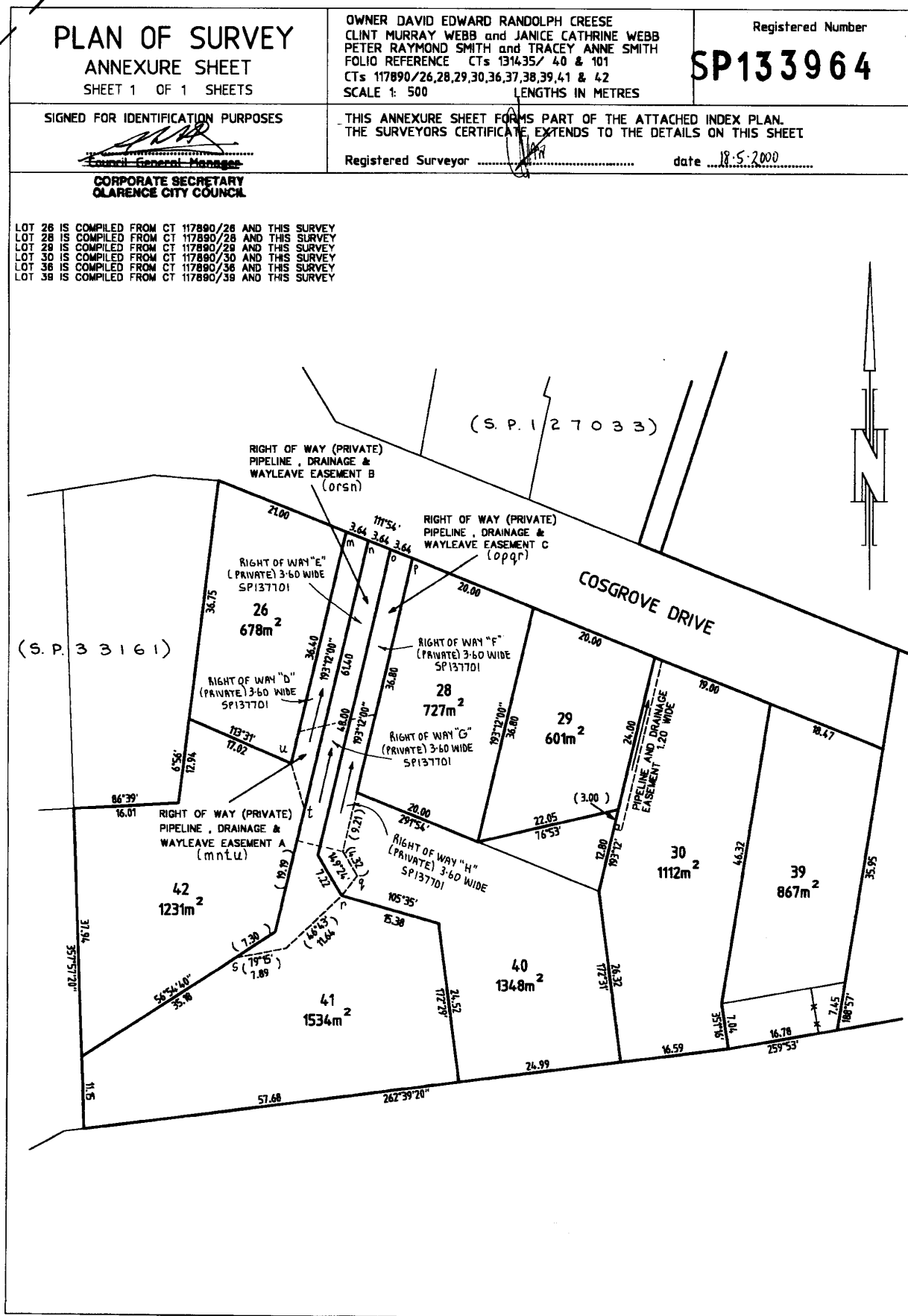
LAST UPI No. FA137 - FA140, FA149,
FA145 - FA147, FA151,
FA153, FA154, FA157

LAST PLAN S.P. 117890,
No. S.P. 131435

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

LOT 26 IS COMPILED FROM CT 117890/26 AND THIS SURVEY
LOT 28 IS COMPILED FROM CT 117890/28 AND THIS SURVEY
LOT 29 IS COMPILED FROM CT 117890/29 AND THIS SURVEY
LOT 30 IS COMPILED FROM CT 117890/30 AND THIS SURVEY
LOT 36 IS COMPILED FROM CT 117890/36 AND THIS SURVEY
LOT 39 IS COMPILED FROM CT 117890/39 AND THIS SURVEY





SEARCH OF TORRENS TITLE

VOLUME 139533	FOLIO 41
EDITION 7	DATE OF ISSUE 14-Dec-2024

SEARCH DATE : 01-Jul-2025

SEARCH TIME : 12.39 PM

DESCRIPTION OF LAND

Town of RICHMOND

Lot 41 on Sealed Plan 139533

Derivation : Part of 569A-2R-0P Gtd to T.D.Cosgrove

Prior CT 133964/41

SCHEDULE 1

N123556 & N225198 TRANSFER to DION RAYMOND CREESE

Registered 14-Dec-2024 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP139533 EASEMENTS in Schedule of Easements

SP33161, SP53642, SP117890, SP131435, SP133964, SP137701,

SP139533 COVENANTS in Schedule of Easements

SP139533 FENCING PROVISION in Schedule of Easements

SP53642 SP102239 FENCING PROVISION in Schedule of Easements

SP53642 SP102239 COUNCIL NOTIFICATION under Section 468(12) of
the Local Government Act 1962

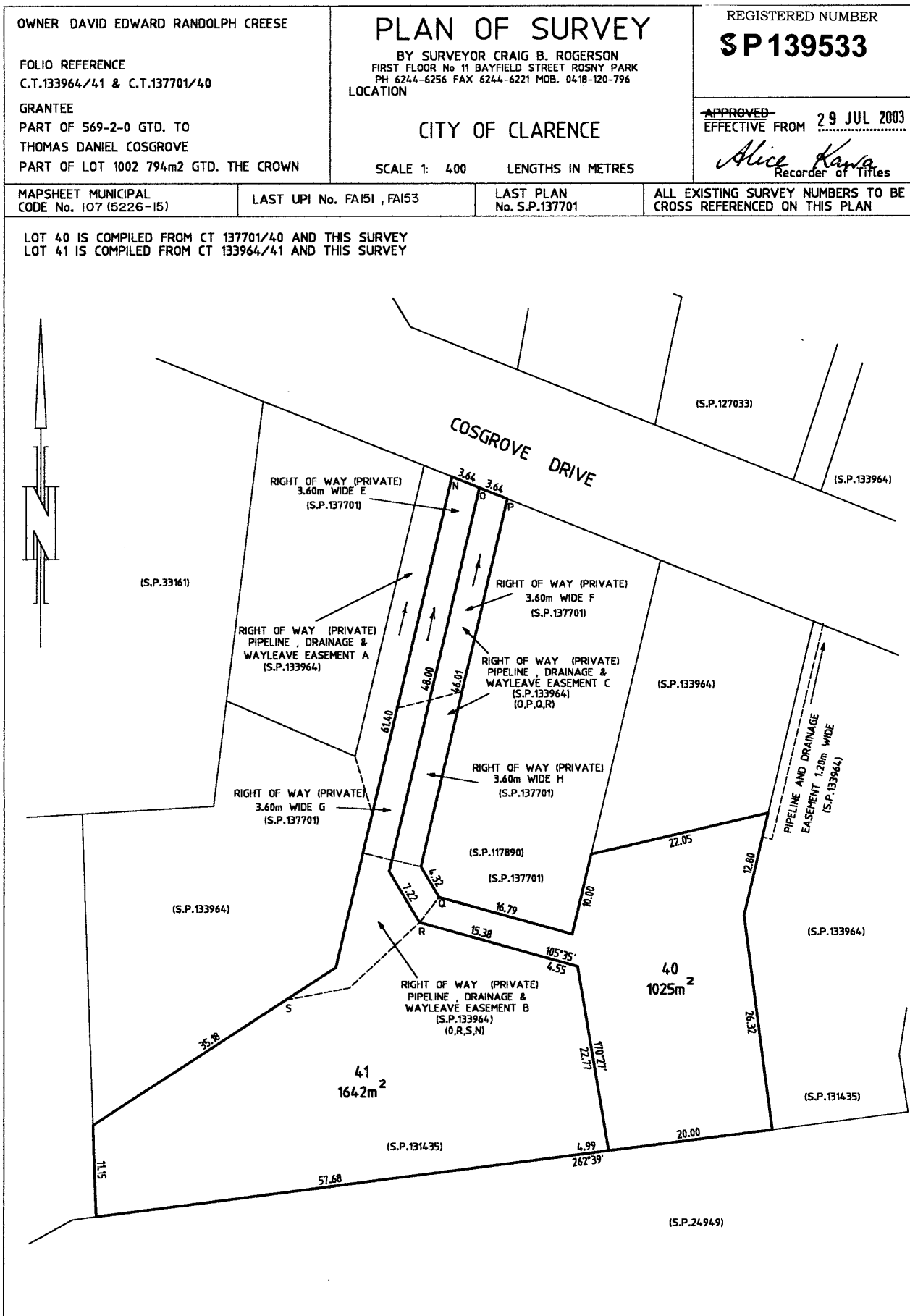
SP117890 FENCING PROVISION in Schedule of Easements

SP 131435 FENCING PROVISION in Schedule of Easements

C192571 FENCING PROVISION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 139533

PAGE 1 OF 1 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 40 on the Plan is: -

- a) Together with a right of drainage and a pipeline easement (as defined in Sealed Plan No. 133964) over the Pipeline and Drainage Easement 1.20 wide shown on the plan.
- b) Together with a right of carriageway
a right of drainage and
a pipeline easement (as defined in Sealed Plan No. 133964) over the Right of Way (Private)
Pipeline, Drainage and Wayleave Easements marked A and B on the plan.

Subject to the three easements (b) abovementioned (appurtenant to Lot 42 on Sealed Plan 133964 and Lot 41 on this plan and a Wayleave Easement for Aurora Energy Pty Ltd as defined in Sealed Plan No. 133964 over the Right of Way (Private) Pipeline Drainage and Wayleave Easement marked C on the plan.

Subject to a Wayleave Easement (as defined in Sealed Plan No. 133964) for Aurora Energy Pty Ltd over the Right of Way (Private) Pipeline Drainage and Wayleave Easement marked C on the plan.

Subject to a right of carriageway (appurtenant to Lot 28 on Sealed Plan No. 137701) over the Right of Way (Private) marked H on the plan.

Subject to a right of carriageway (appurtenant to Lots 26 & 28 on Sealed Plan No. 137701) over the Right of Way (Private) marked F on the plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: DAVID EDWARD RANDOLPH CREESE FOLIO REF: Volume 133964 Folio 41 and Volume 137701 Folio 41 SOLICITOR & REFERENCE: Creese Crisp & Fay - Ian Creese	PLAN SEALED BY: Clarence City Council DATE: 2-6-2003 SD 0000/38 REF NO.  Council Delegate CORPORATE SECRETARY CLARENCE CITY COUNCIL
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 2 PAGES	Registered Number SP 139533
SUBDIVIDER: DAVID EDWARD RANDOLPH CREESE FOLIO REFERENCE: Volume 133964 Folio 41 and Volume 137701 Folio 41	

Lot 41 on the plan is:

Together with:-

a right of carriageway
a right of drainage and a pipeline easement (as defined in Sealed Plan No. 133964) over the Rights of Way (Private) Pipeline Drainage and Wayleave Easements marked A and C on the plan.

Subject to the same three easements abovementioned (appurtenant to Lot 42 on Sealed Plan 133964, Lot 40 on this plan and part of Lot 40 on Sealed Plan No. 133964 which forms part of Lot 41 on this plan) and a Wayleave Easement (as defined in Sealed Plan No. 133964) for Aurora Energy Pty Ltd over the Right of Way (Private) Pipeline Drainage and Wayleave Easement marked B on the plan.

Subject to a right of carriageway (appurtenant to Lots 26 & 28 on Sealed Plan 137701) over the Right of Way (Private) marked E on the plan.

Subject to a right of carriageway (appurtenant to Lot 28 on Sealed Plan 137701) over the Right of Way (Private) marked G on the plan.

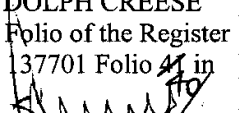
COVENANTS

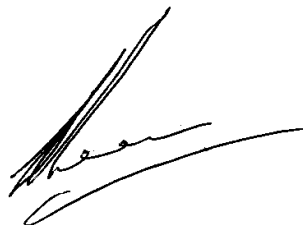
The Lots on the Plan (which formerly comprised part of Sealed Plans 33161, 53642, 117890, 131435, 133964 & 137701) are affected by covenants set forth in those Sealed Plans.

FENCING PROVISION

In respect of the Lots shown on the Plan the Vendor (David Edward Randolph Creese) shall not be required to fence.

SIGNED by DAVID EDWARD RANDOLPH CREESE)
the registered proprietor of the land in Folio of the Register)
Volume 133964 Folio 41 and Volume 137701 Folio 41 in)
the presence of:)

Witness: 
Name: Vivenne Jones
Add: 16 Bellock Street Lauderdale
Occup: Office Manager



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

SEARCH OF TORRENS TITLE

VOLUME 133964	FOLIO 42
EDITION 8	DATE OF ISSUE 14-Jun-2023

SEARCH DATE : 30-Oct-2025

SEARCH TIME : 09.20 AM

DESCRIPTION OF LAND

Town of RICHMOND

Lot 42 on Sealed Plan [133964](#)

Derivation : Part of 569A-2R-0P Gtd to T.D.Cosgrove

Prior CTs [117890/42](#) and [117890/26](#)SCHEDULE 1

[M668034](#) & [N139516](#) TRANSFER to LEWIS CHARLES LAWLER and ANDREW
JAMES LEE-WRIGHT Registered 14-Jun-2023 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP [133964](#) EASEMENTS in Schedule of EasementsSP[33161](#), SP[53642](#), SP[117890](#), SP[133964](#) COVENANTS in Schedule of
EasementsSP[117890](#) FENCING PROVISION in Schedule of EasementsSP[53642](#) SP[102239](#) FENCING PROVISION in Schedule of EasementsSP[53642](#) SP[102239](#) COUNCIL NOTIFICATION under Section 468(12) of
the Local Government Act 1962SP [137701](#) BURDENING EASEMENT: Right of Carriageway[appurtenant to Lot 26 on Sealed Plan No. [137701](#)]

over Right of Way (Private) 3.60 wide D shown on

Sealed Plan No. [133964](#)UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER DAVID EDWARD RANDOLPH CREESE
CLINT MURRAY WEBB and JANICE CATHRINE WEBB
PETER RAYMOND SMITH and TRACEY ANNE SMITH
FOLIO REFERENCE
CTs 117890/26, 28, 29, 30, 36, 37, 38, 39, 41 & 42
CTs 131435/40 & 101
GRANTEE PART OF 569-2-0 GTD. TO
THOMAS DANIEL COSGROVE
WHOLE OF LOT 1002 794m² and LOT 1003 440m²
GTD. TO THE CROWN

PLAN OF SURVEY

BY SURVEYOR CRAIG B. ROGERSON
LEVEL 3 No 6 BAYFIELD STREET ROSNY PARK
PH 6244-6256 FAX 6244-6221 MOB. 0418-120-796
LOCATION

CITY OF CLARENCE

SCALE 1: 1000 LENGTHS IN METRES

Registered Number

SP 133964

APPROVED EFFECTIVE FROM 28 FEB 2001

Alice Kawa
Recorder of Titles

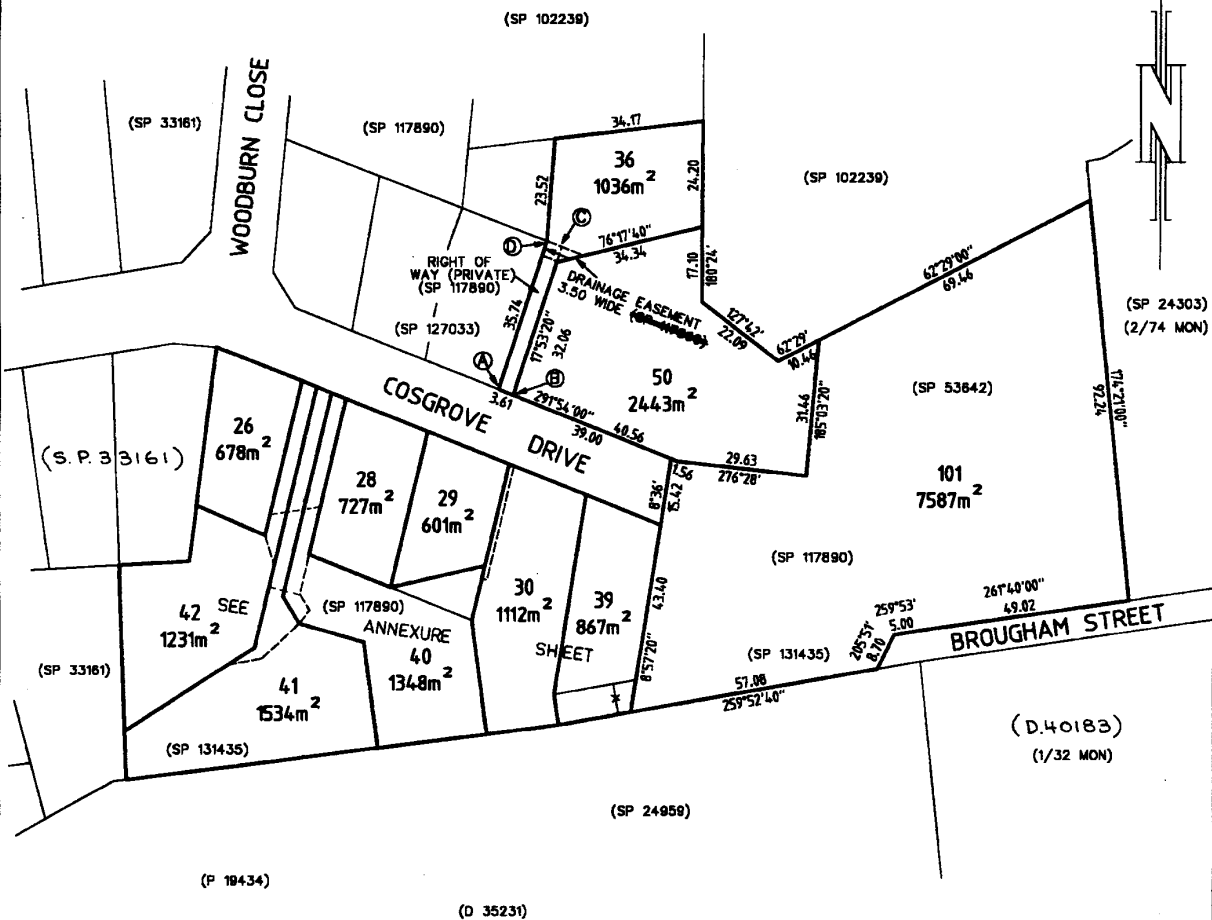
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CODE No. 107 / 5226-15

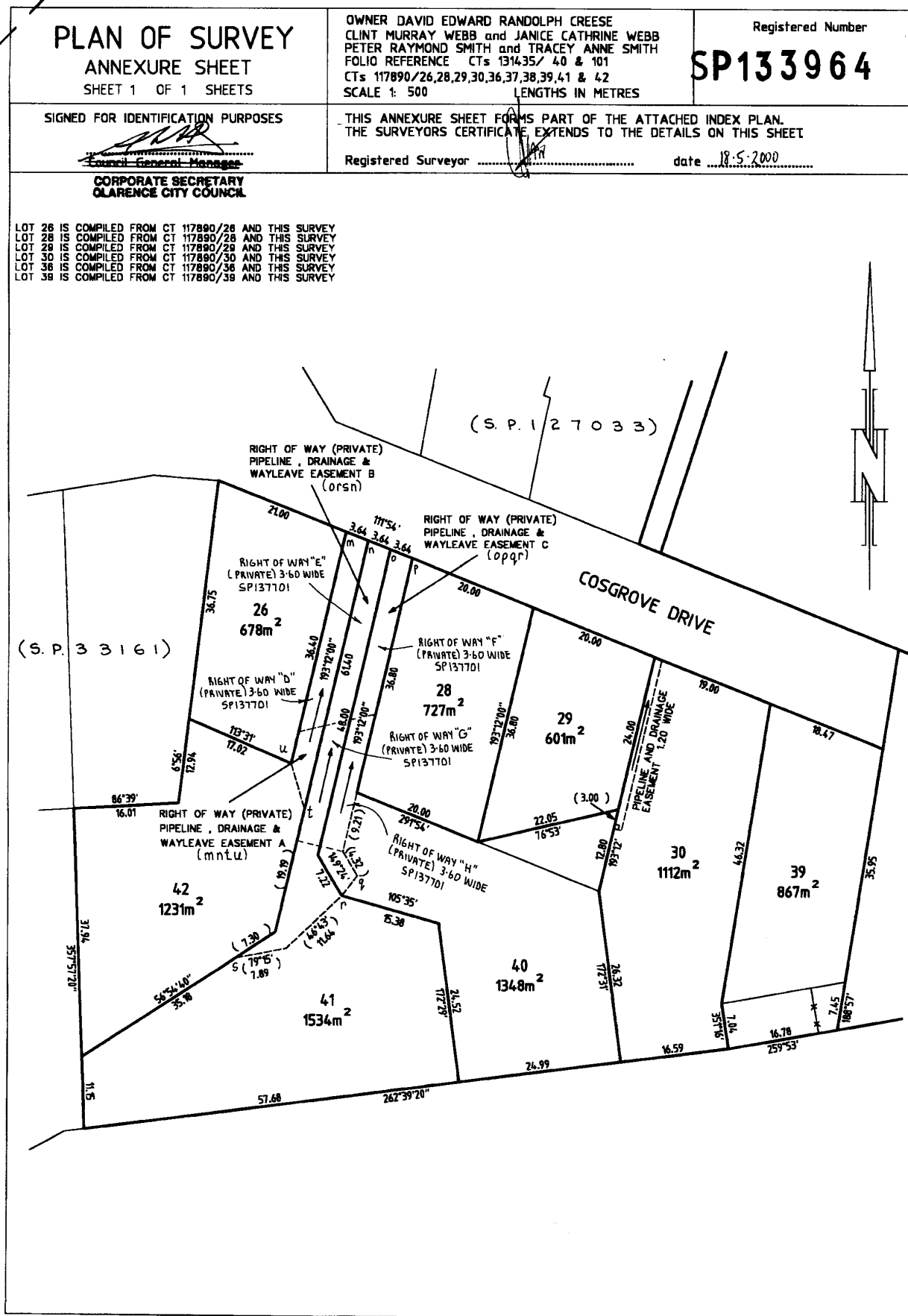
LAST UPI No. FA137 - FA140, FA149,
FA145 - FA147, FA151,
FA153, FA154, FA157

LAST PLAN S.P. 117890,
No. S.P. 131435

ALL EXISTING SURVEY NUMBERS TO BE
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LOT 36 IS COMPILED FROM CT 117890/36 AND THIS SURVEY
LOT 39 IS COMPILED FROM CT 117890/39 AND THIS SURVEY





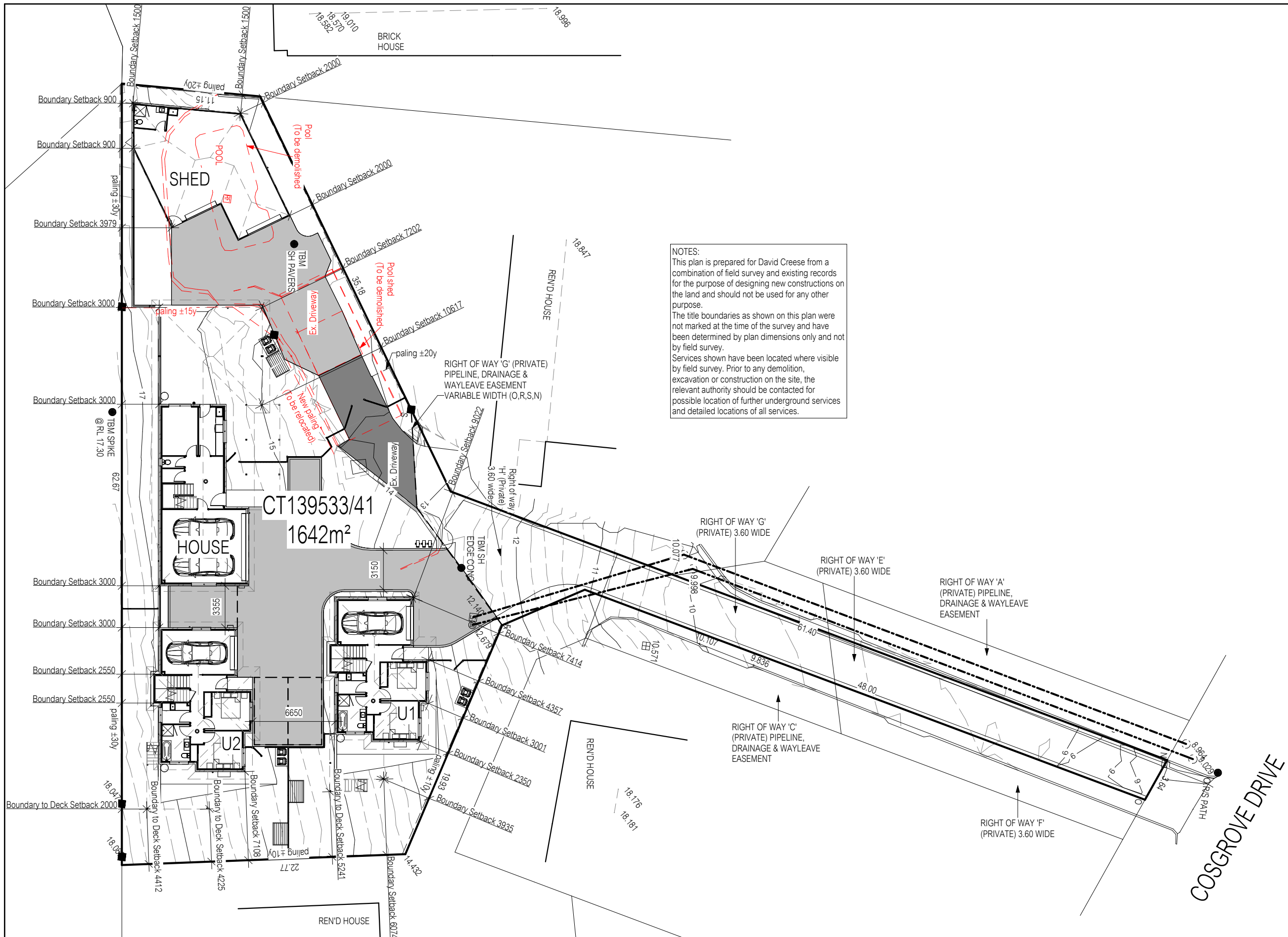
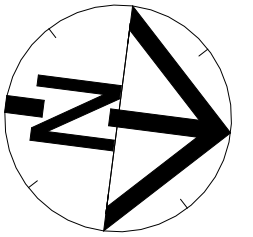


AP2024-2422 - PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND

SHEET		DRAWING TITLE
01		LOCATION PLAN
01a		SITE PLAN
01b		DRAINAGE PLAN
01c	A	PERSPECTIVE VIEWS
01d		MANOEUVRING SHEET 1
01e		MANOEUVRING SHEET 2
01f		MANOEUVRING SHEET 3
01g		SOIL & WATER MANAGEMENT PLAN
02	A	HOUSE GROUND FLOOR PLAN
02a	A	HOUSE FIRST FLOOR PLAN
03	A	HOUSE ELEVATIONS SHEET 1
03a	A	HOUSE ELEVATIONS SHEET 2
04	A	UNIT 1 GROUND FLOOR PLAN
04a		UNIT 1 FIRST FLOOR PLAN
05	A	UNIT 1 ELEVATIONS
06	A	UNIT 2 GROUND FLOOR PLAN
06a		UNIT 2 FIRST FLOOR PLAN
07	A	UNIT 2 ELEVATIONS
08		SHED PLANS
09	A	SHED ELEVATIONS
09a		BUILDING ENVELOPES

B	COUNCIL RFI - Provide Shadow Diagrams (Separate Drawing Set)	3 Oct. 2025	ST	CK	Separate Set
A	Client Changes - Change Shed cladding to be Colorbond, modify House cladding to be vertical to match Units and provide brickwork to upper floor of House where over garage. Relocate meter boxes away from entrances. Update all relevant plans.	7 Aug. 2025	ST	SW	01c, 02 - 04, 05, 06, 07, 09
	DA PLAN SET	15 July 2025	KV/ST	ST/RJ	01 - 09
No.	Amendment	Date	Drawn	Checked	Sheet

Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info	Soil Classification: TBC Title Reference: CT139533/41 Floor Areas: Refer Floor Plans Porch / Deck Areas: Refer Floor Plans Wind Speed: TBC Climate Zone: 7 Alpine Zone: N/A Corrosion Environment: LOW Certified BAL: NOT BUSHFIRE PRONE Designed BAL: NOT BUSHFIRE PRONE (Refer to Standard Notes for Explanation)	COVER SHEET	
	ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CREESE DEVELOPMENT 21 Cosgrove Drive RICHMOND			AP2024-2422
			Date	15 July 2025	Sheet
			Scale		00/09



NOTES:
This plan is prepared for David Creese from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.
The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey.
Services shown have been located where visible by field survey. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

TBM RS KERB 8.982
O RS KERB 9.010
O RS KERB 'CCC' 8.995

No.	Date	Int.	Amendment changes as per cover sheet
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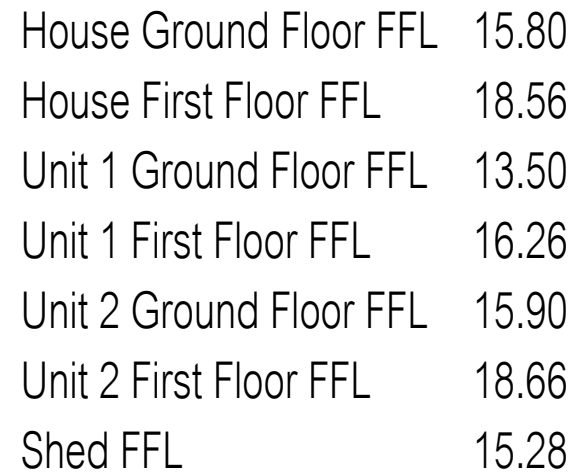
- Notes
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Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info
PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND



LOCATION PLAN		
Drawn	KV	AP2024-2422
Date	20 January 2025	Sheet
Scale	1 : 300	01/09



Waste Storage
8.4.8 - A1
Min 1.5m² per unit (3 units)
4.50m² provided

POS
8.4.3 - A2(a)(i)
24m²
(min. dimension 4.0 m)
Max. Gradient = 1:10

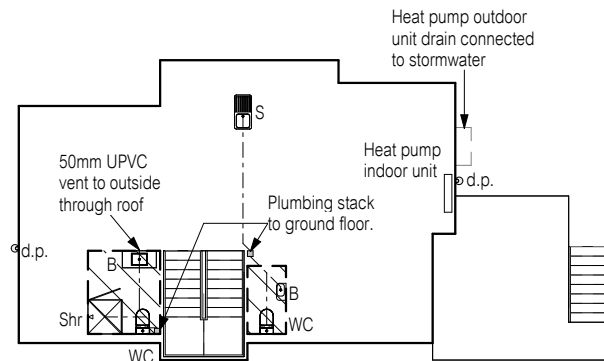
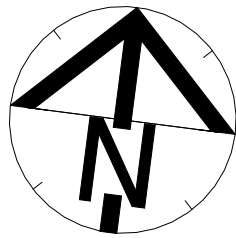
U1 Total POS
8.4.3 - A1(b)
128.83m²

POS
8.4.3 - A2(a)(i)
24m²
(min. dimension 4.0 m)
Max. Gradient = 1:10

U1 Total POS
8.4.3 - A1(b)
142.50m²

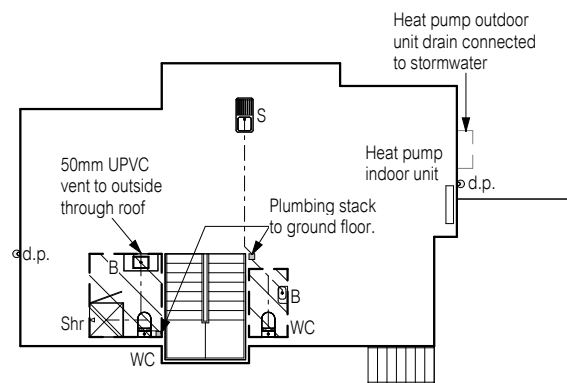


Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		SITE PLAN		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CREESE DEVELOPMENT 21 Cosgrove Drive RICHMOND		Drawn	KV	AP2024-2422
					Date	20 January 2025	Sheet
					Scale	1 : 200	01a/09



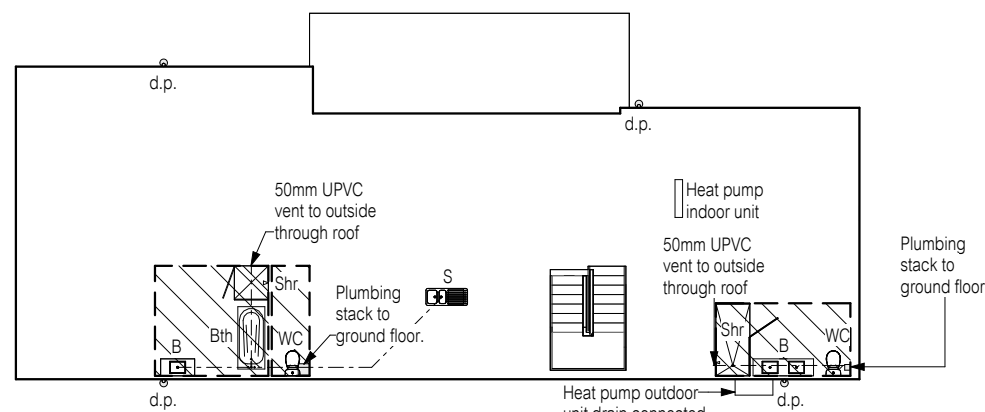
Unit 1 First Floor Drainage

SCALE: 1 : 200



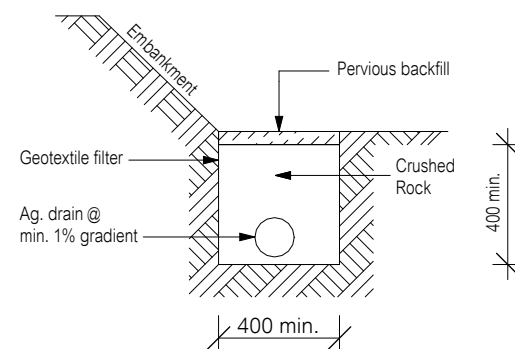
Unit 2 First Floor Drainage

SCALE: 1 : 200



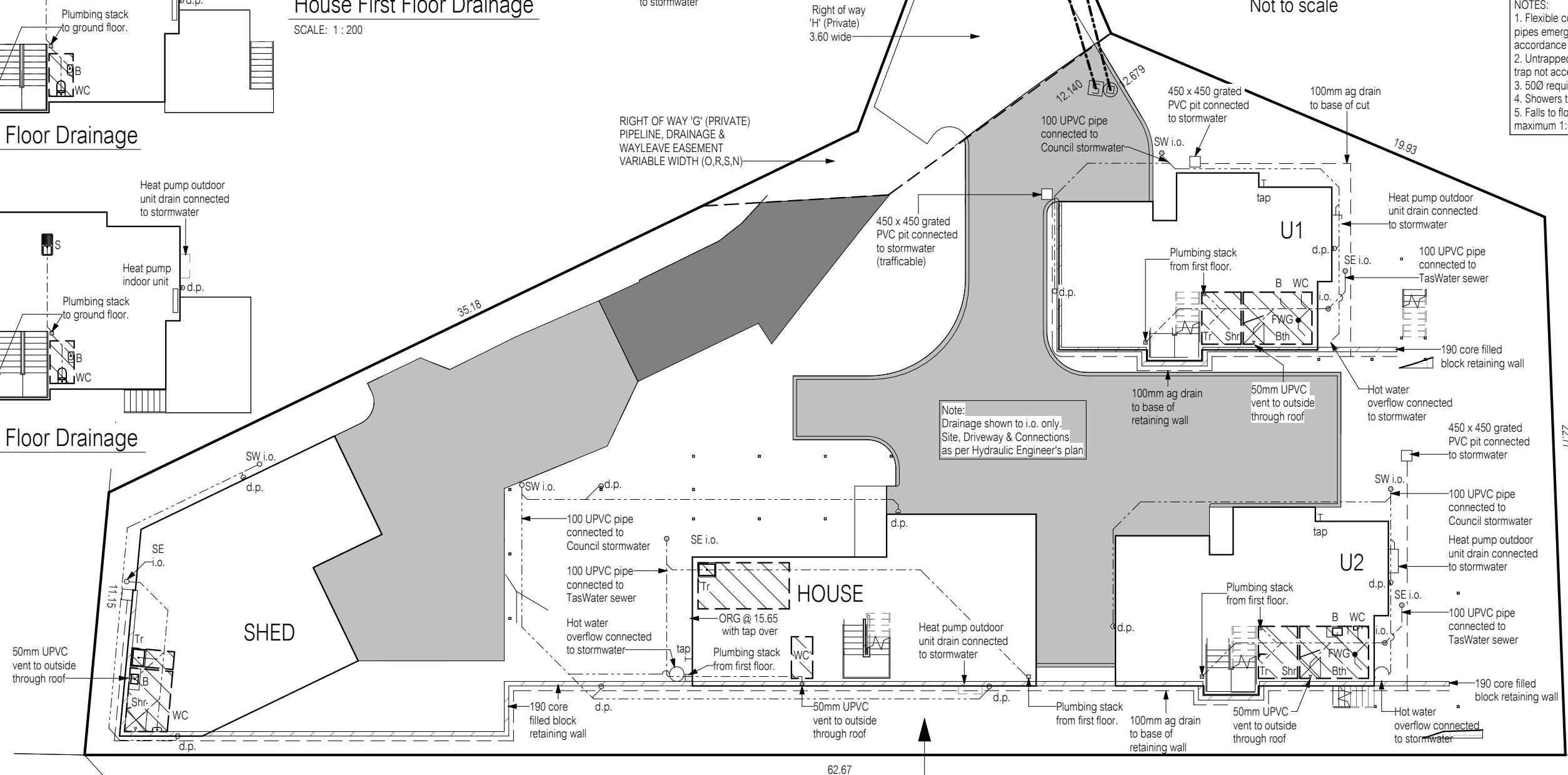
House First Floor Drainage

SCALE: 1 : 200



TYPICAL AG. DRAIN DETAIL
(≥1800 FROM HOUSE)
Not to scale

DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	400
Bth	Bath	400 (incl. trap)
Shr	Shower	400 (Note 3)
S	Sink	500
Tr	Trough	400
WC	Water Closet Pan	1000
d.p.	Downpipe	900
ORG	Overflow Relief Gully	1000
FWG	Floor Waste Gully	650 (Note 2)
----- Sewer Line (1000 UPVC) (unless noted otherwise)		
----- Stormwater Line (1000 UPVC) (unless noted otherwise)		
----- Stormwater Line (1500 UPVC) (unless noted otherwise)		
NOTES:		
1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.		
2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.		
3. 500 required for multiple shower heads.		
4. Showers to comply with N.C.C. 10.2.14.		
5. Falls to floor waste to be minimum 1:80 & maximum 1:50		



CT139533/41
1642m²

Refer to Roof Plan for
downpipe calculations

All works are to be in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to these codes.

0 2 4 6 8m
1:200

Soil classification: TBC			Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		DRAINAGE PLAN	
Refer to Soil Report for nominated founding depth and description of founding material.				- Wet areas to comply with NCC 10.2 and AS3740	ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au		PROPOSED CREESE DEVELOPMENT 21 Cosgrove Drive RICHMOND	Drawn
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3					Date		15 July 2025	Sheet
Amendment changes as per cover sheet					Scale		1 : 200	01b/09



A	7 Aug. 2025	ST
No.	Date	Int.

Amendment changes as per cover sheet

Shadows shown for stylisations purpose only

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Client / Project info

PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND



PERSPECTIVE VIEWS

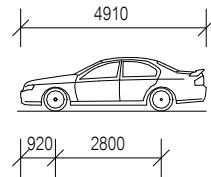
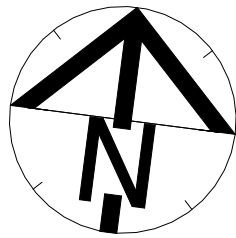
Drawn ST AP2024-2422

Date 7 March 2025 Sheet

Scale

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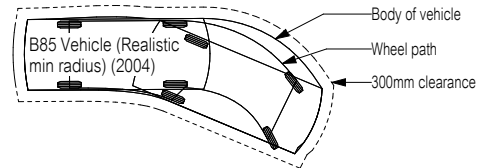
01c/09



B85 Vehicle (Realistic min radius) (2004)

Overall Length 4.910m
Overall Width 1.870m
Overall Body Height 1.421m
Min Body Ground Clearance 0.159m
Track Width 1.770m
Lock to Lock Time 4.00s
Curb to Curb Turning Radius 5.750m

* Manoeuvring has been achieved using 'autotrack 10' Manoeuvring software.



Right of way 'H' (Private)
3.60 wide

RIGHT OF WAY 'G' (PRIVATE)
PIPELINE, DRAINAGE &
WAYLEAVE EASEMENT
VARIABLE WIDTH (O,R,S,N)

Ex. Driveway

35.18

paving ±20y

11.15

SHED

Outline of first floor

Deck Outline

HOUSE

House P7

House P6

Visitor P5

U2 P4

U2 P3

B85 Vehicle (Realistic min radius) (2004)

B85 Vehicle (Realistic min radius) (2004)

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62.67

CT139533/41
1642m²

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ANOTHER PERSPECTIVE PTY LTD
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Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info
PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND

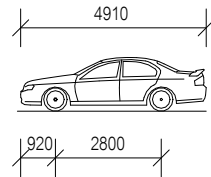
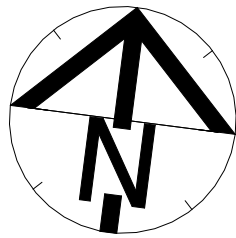


MANOEUVRING SHEET 1

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Date	11 July 2025	Sheet
Scale	1 : 200	

01d/09

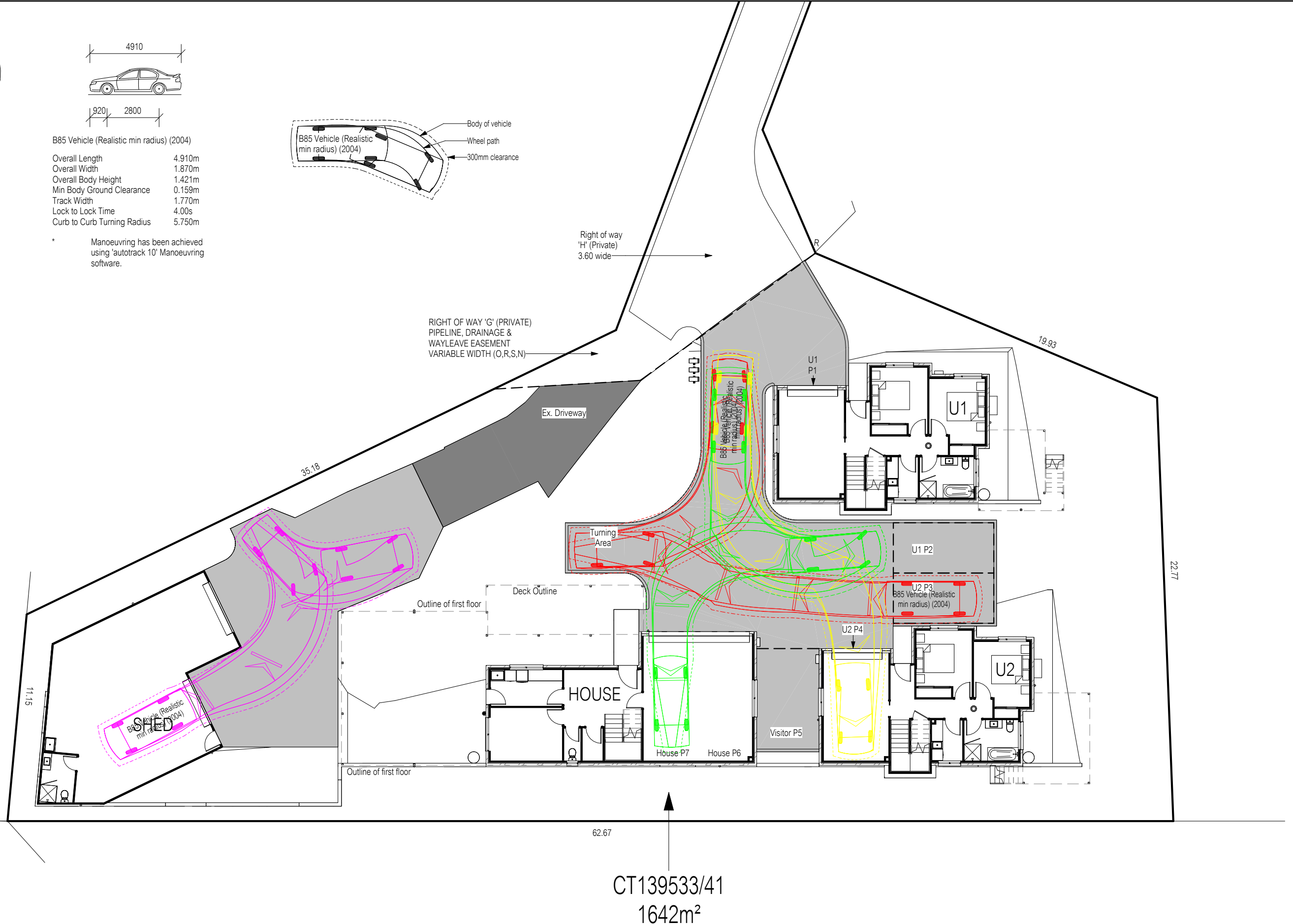
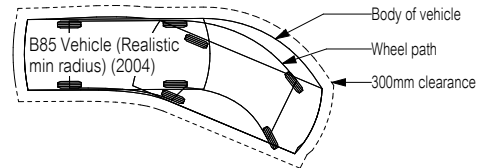
No.	Date	Int.	Amendment changes as per cover sheet
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Lock to Lock Time	4.00s
Curb to Curb Turning Radius	5.750m

* Manoeuvring has been achieved using 'autotrack 10' Manoeuvring software.



CT139533/41
1642m²

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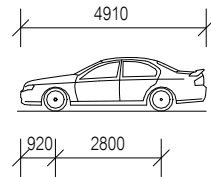
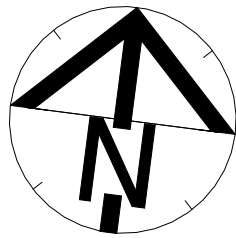


MANOEUVRING SHEET 2

Drawn	KV	AP2024-2422
Date	11 July 2025	Sheet
Scale	1 : 200	

01e/09

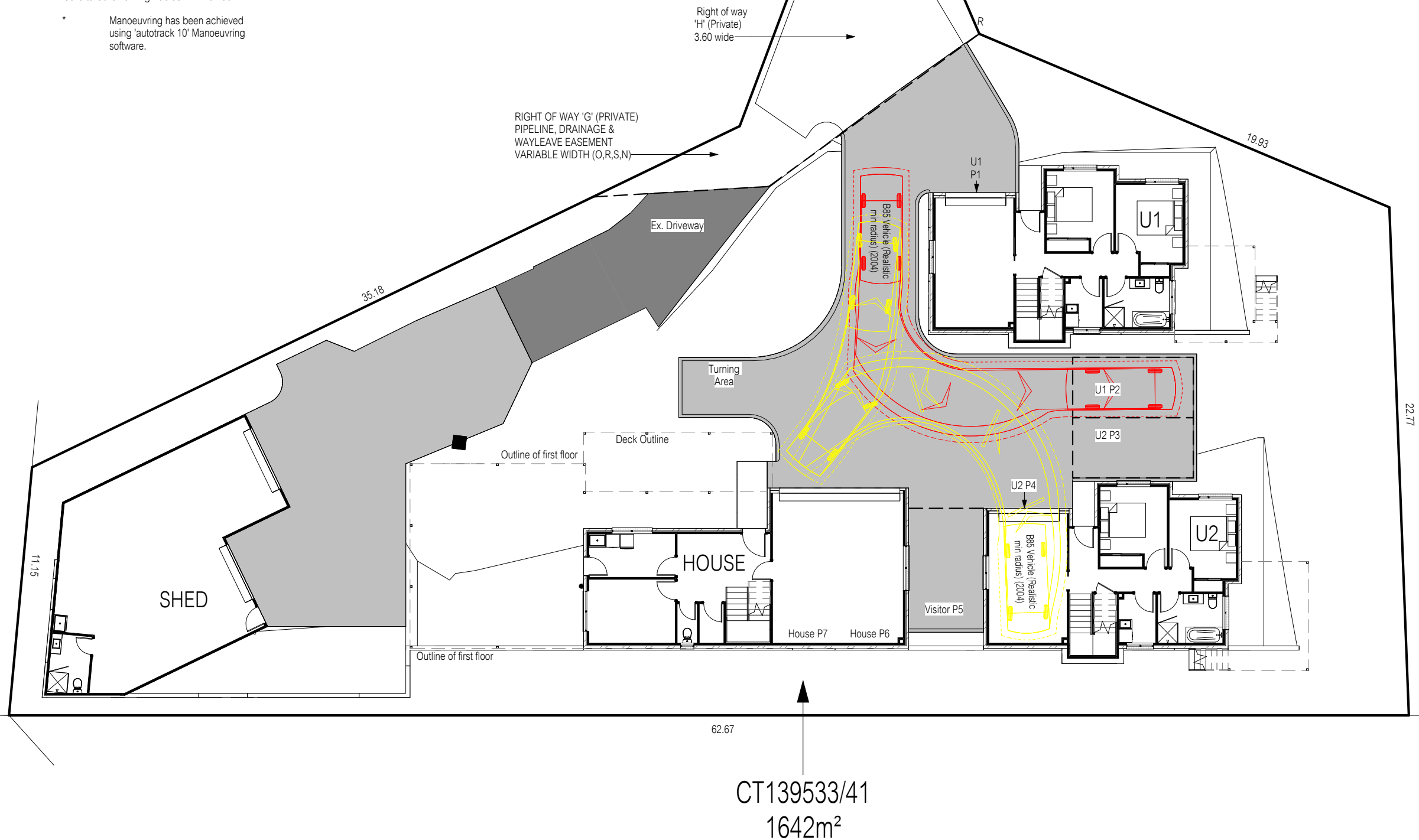
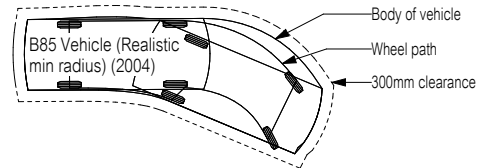
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PROPOSED CREESE DEVELOPMENT
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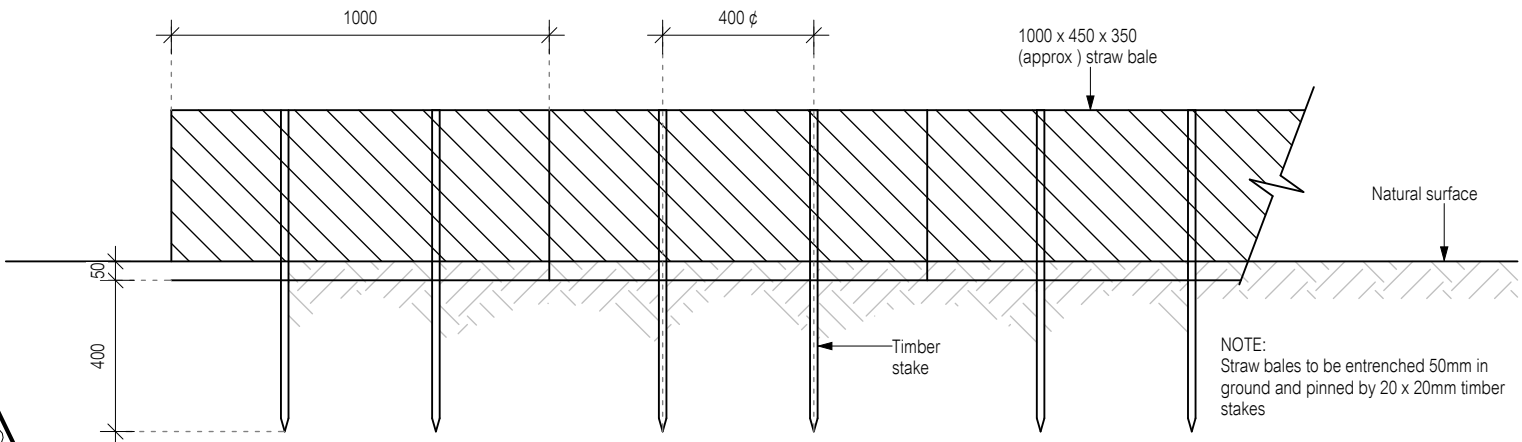
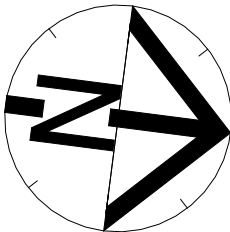


MANOEUVRING SHEET 3

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Date	11 July 2025	Sheet
Scale	1 : 200	

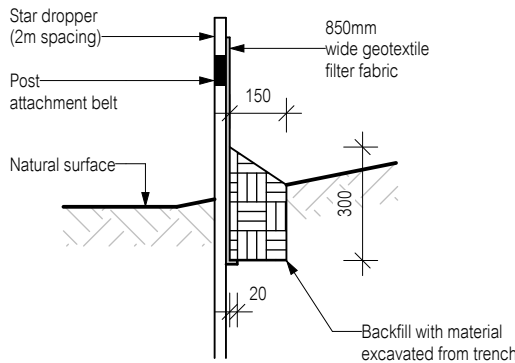
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No.	Date	Int.	Amendment changes as per cover sheet
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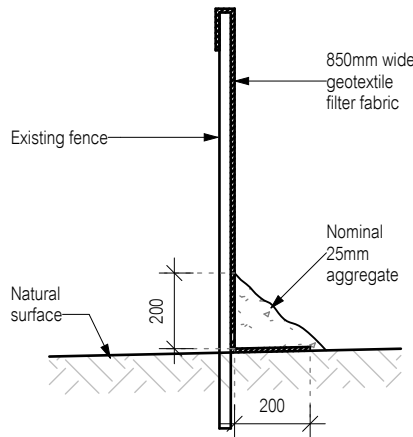
STRAW BALE SEDIMENT TRAP SECTION DETAIL

SCALE 1:20



SILT STOP TYPE 1

TEMPORARY FENCE 1:20



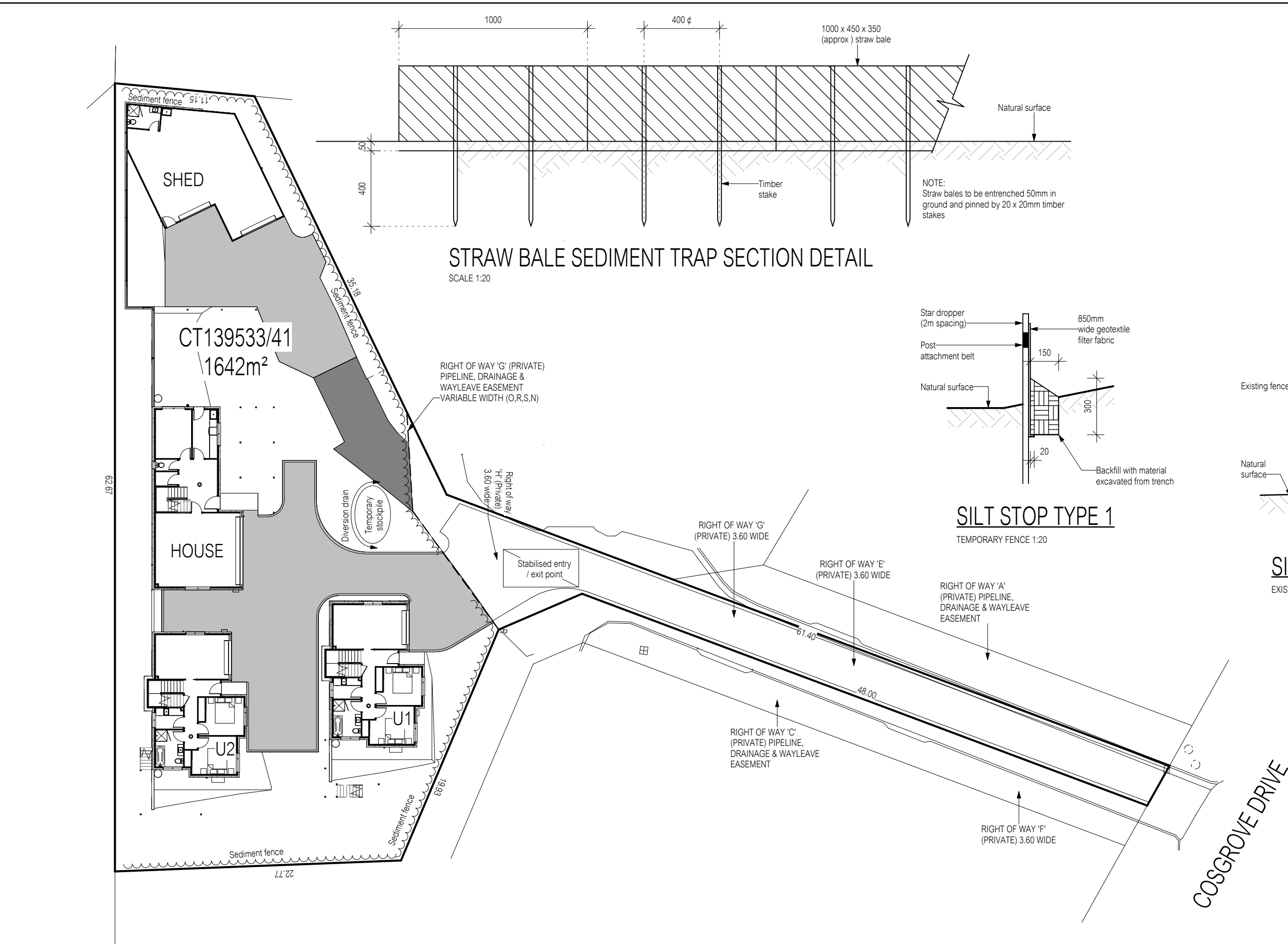
SILT STOP TYPE 2

EXISTING FENCE 1:20

NOTES:
1. Diversion drains are to be connected to a legal discharge point. (council Stormwater system, watercourse or road drain).
2. Sediment retention traps installed around the inlets to the Stormwater system to prevent sediment & other debris blocking the drains.

NOTES:
1. Erosion and sediment control structures to be inspected each working day and maintained in good working order.
2. All ground cover vegetation outside the immediate building area to be preserved during the building phase
3. All erosion and sediment control measures to be installed prior to commencement of major earthworks.
4. Stockpiles of clayey material to be covered with an impervious sheet.
5. Roof water downpipes to be connected to the permanent underground Stormwater drainage system as soon as practical after the roof is laid

NOTES:
Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site



No.	Date	Int.	Amendment changes as per cover sheet
-----	------	------	--------------------------------------

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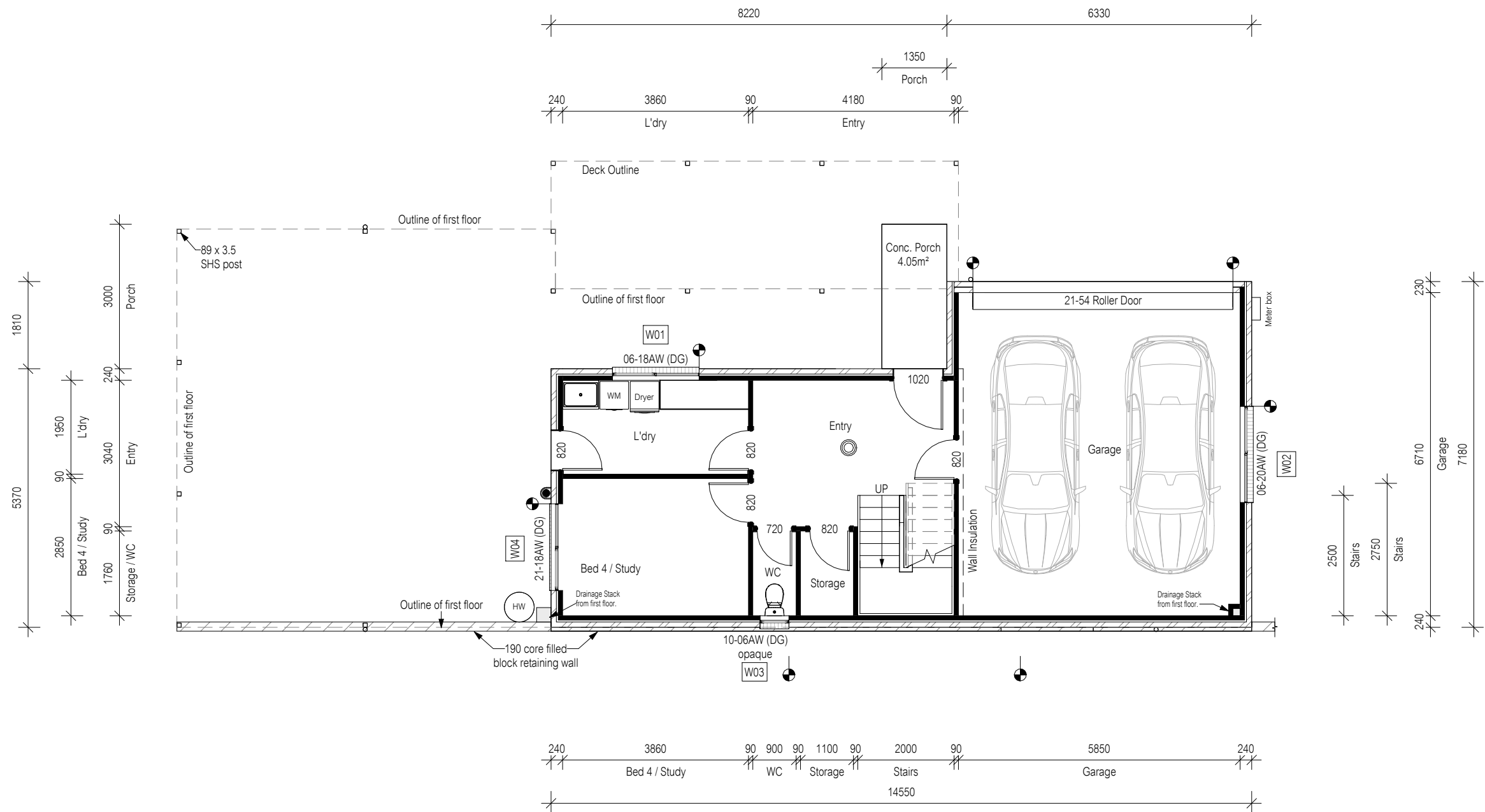
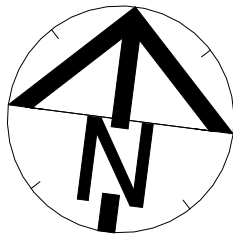
Client / Project info
PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND



SOIL & WATER MANAGEMENT PLAN

Drawn	KV	AP2024-2422
Date	07/21/25	Sheet
Scale	As indicated	

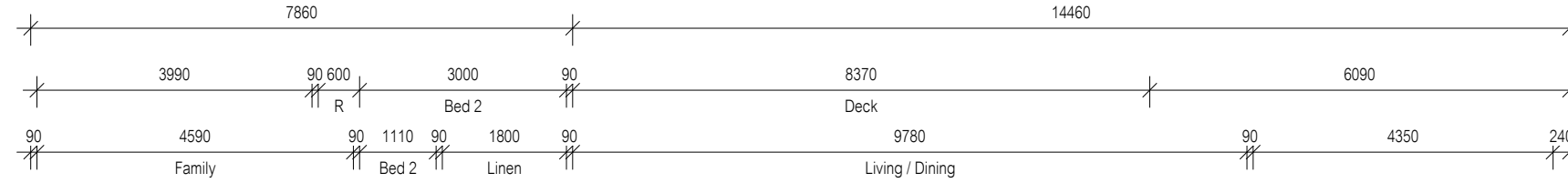
01g/09



A	7 Aug. 2025	ST
No.	Date	Int.

Floor Area = 89.59m²			Notes			Designer:			Client / Project info			HOUSE GROUND FLOOR PLAN		
Articulation joints			Builder to verify all dimensions and levels on site prior to commencement of work			ANOTHER PERSPECTIVE PTY LTD			PROPOSED CREESE DEVELOPMENT			Drawn KV		
Smoke Alarm (interconnected where more than 1)			All work to be carried out in accordance with the current National Construction Code.			PO BOX 171			21 Cosgrove Drive			Date 20 January 2025		
All window sizes to be checked and/or confirmed on site prior to ordering glazing units			All materials to be installed according to manufacturers specifications.			NORTH HOBART			RICHMOND			Scale 1 : 100		
Amendment changes as per cover sheet			Do not scale from these drawings.			LIC. NO. 685230609 (S. Turvey)			02/09			Copyright ©		
			No changes permitted without consultation with designer.			Ph: (03) 6231 4122								
						Fx: (03) 6231 4166								
						Email: info@anotherperspective.com.au								

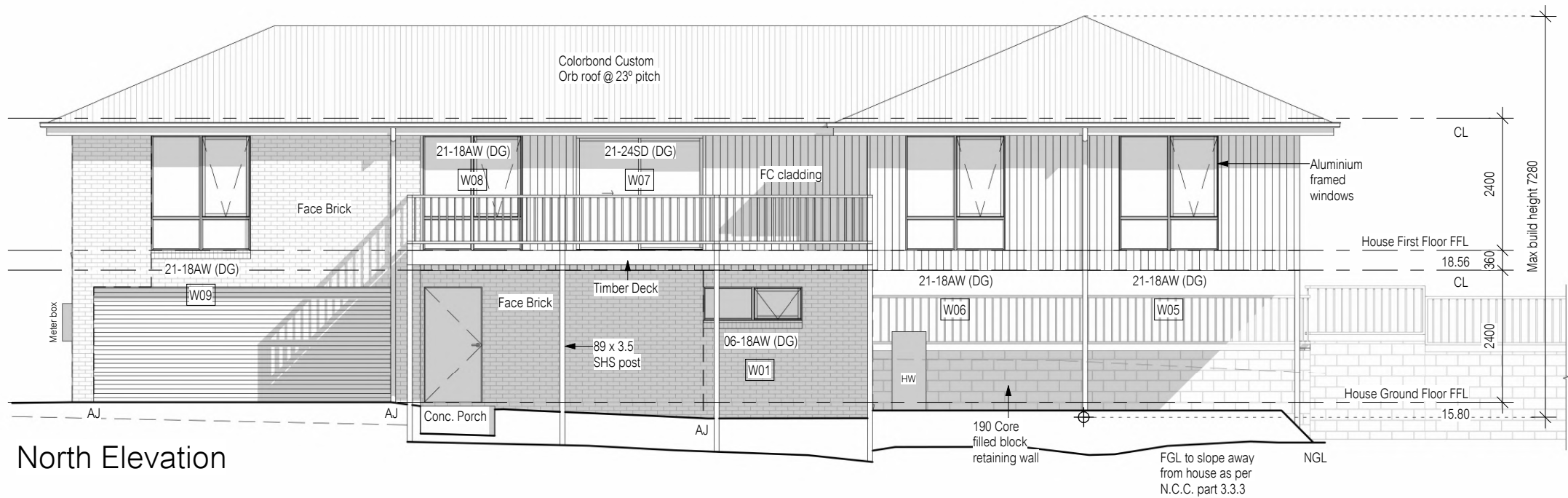




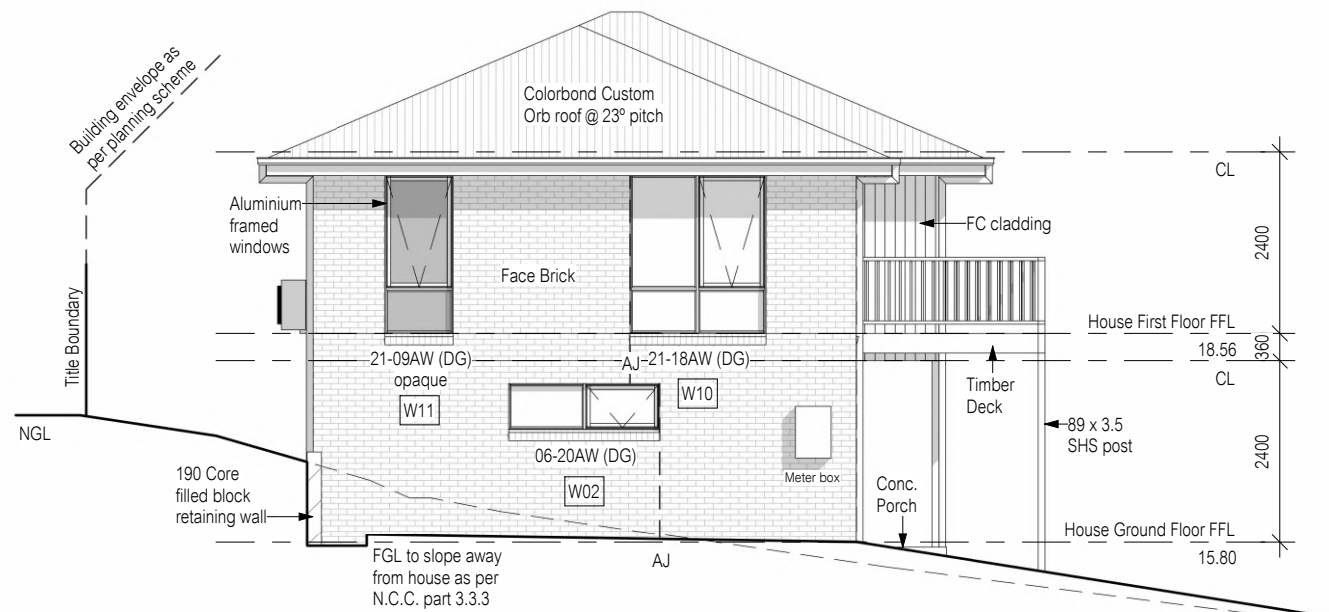
HOUSE FIRST FLOOR PLAN	
Drawn	kV
Date	20 January 2025
Scale	1 : 100
Copyright ©	

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



North Elevation



East Elevation

A	7 Aug. 2025	ST
No.	Date	Int.

Amendment changes as per cover sheet

LEGEND:

AJ - Articulation Joint
BV - Brick Vent

Shadows shown for stylisation purposes only

Notes

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PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND



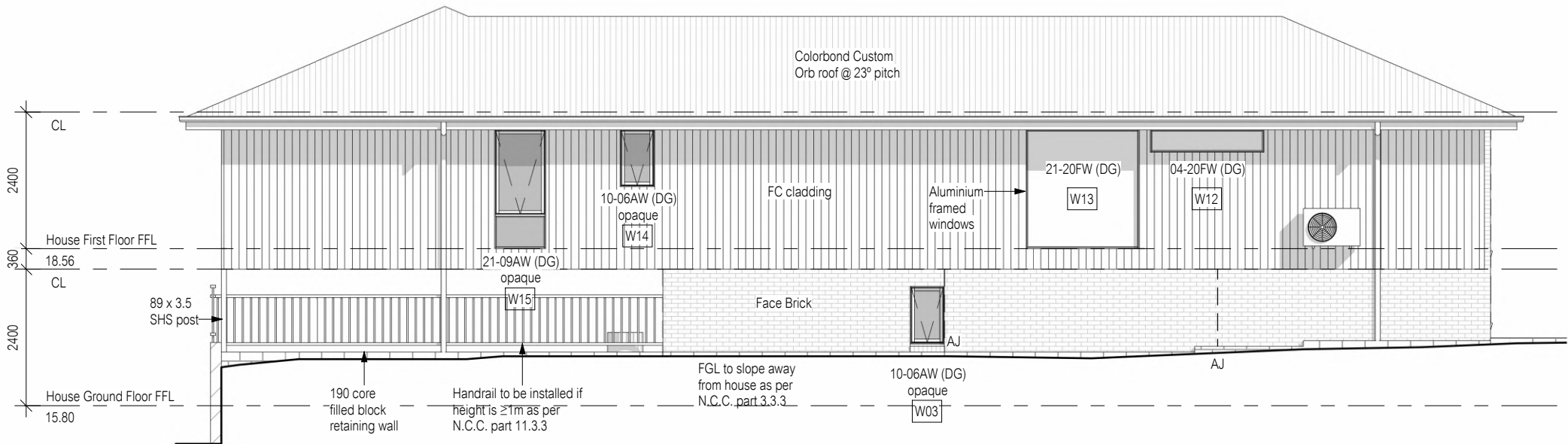
HOUSE ELEVATIONS SHEET 1

Drawn	KV	AP2024-2422
Date	15 July 2025	Sheet
Scale	1 : 100	

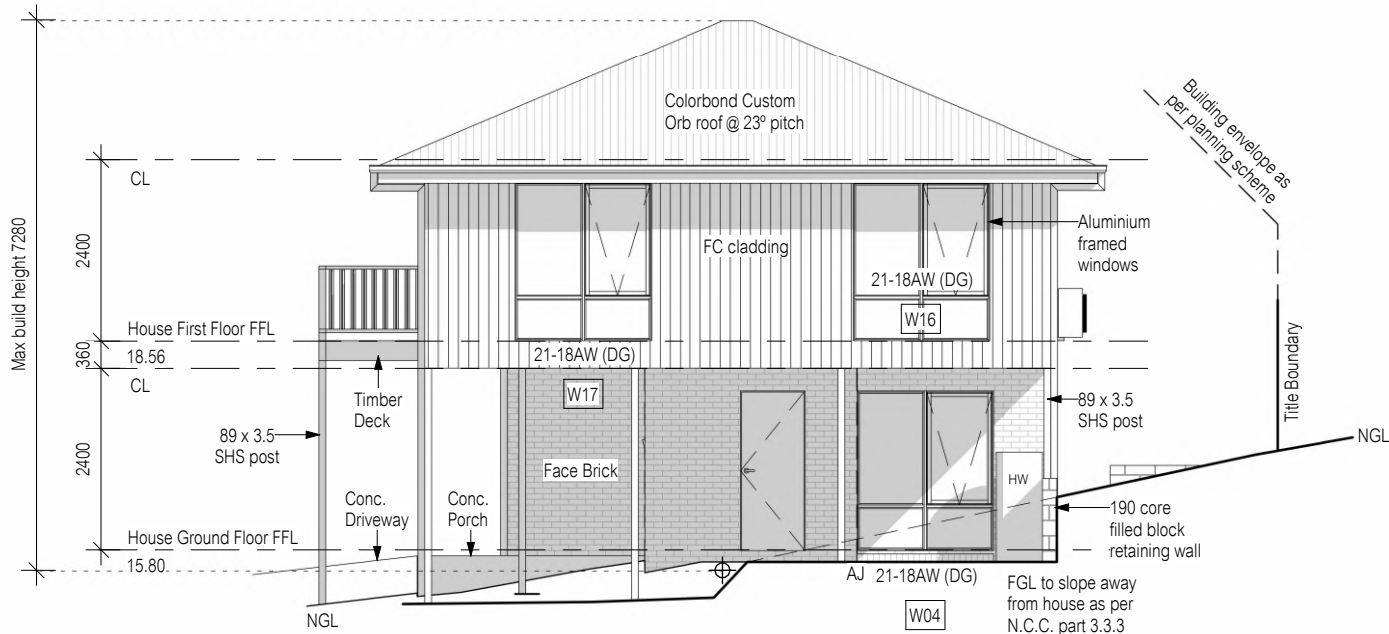
03/09

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



South Elevation



West Elevation

A	7 Aug. 2025	ST
No.	Date	Int.

Amendment changes as per cover sheet

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Designer:

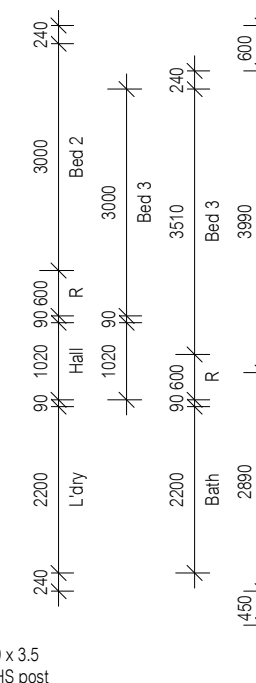
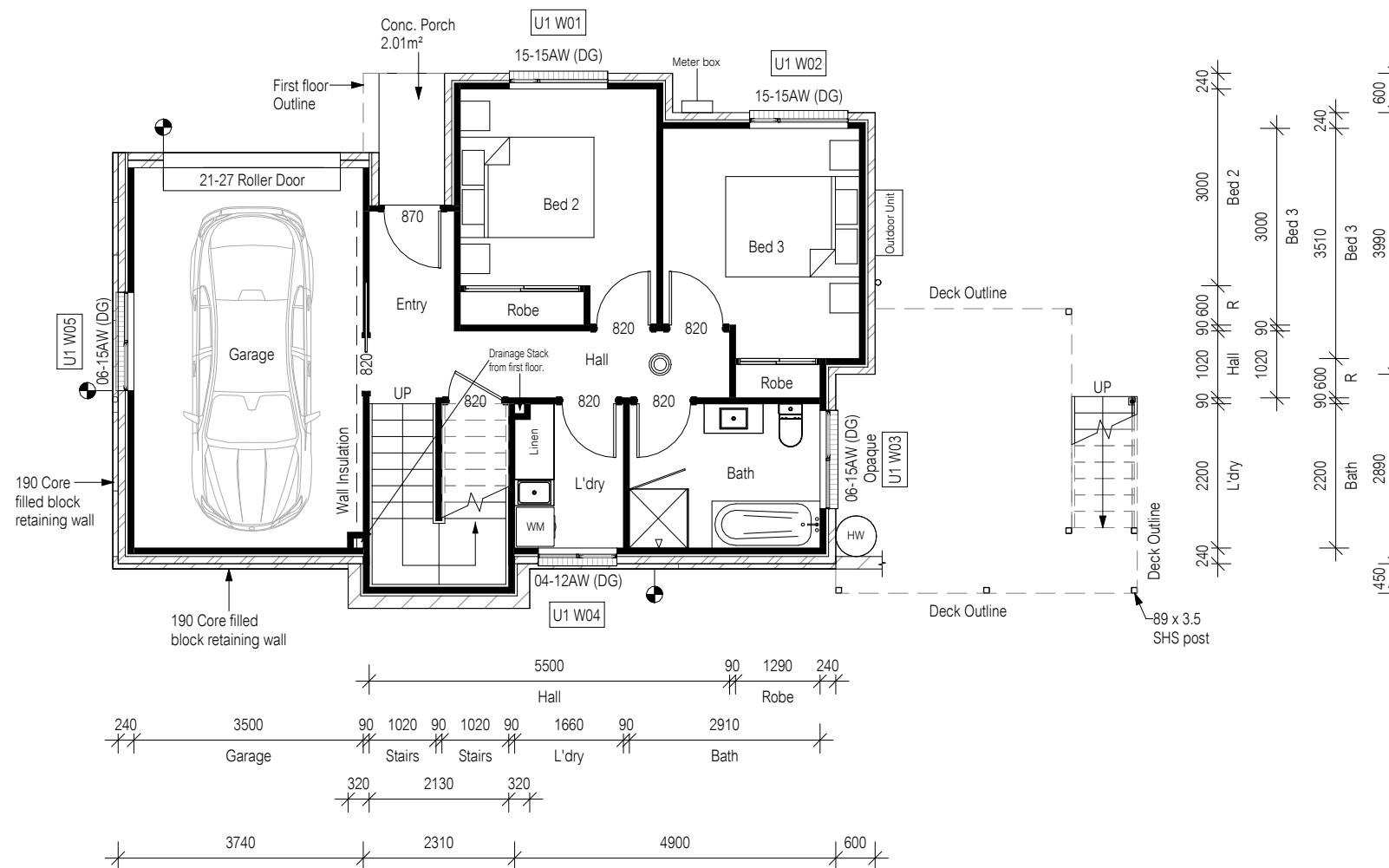
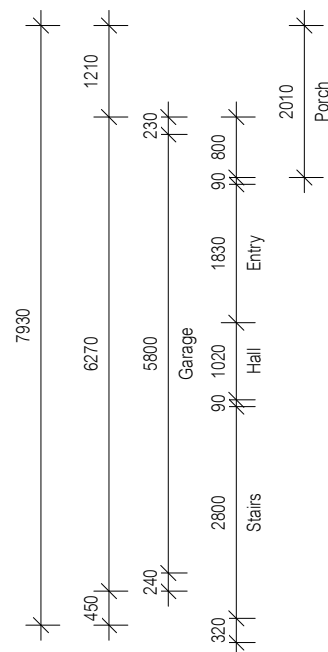
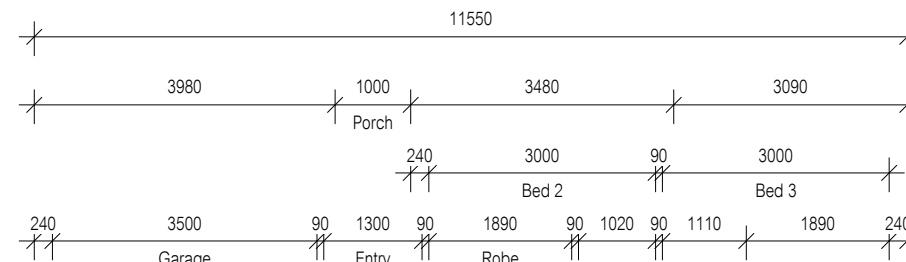
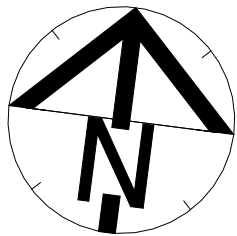
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PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND

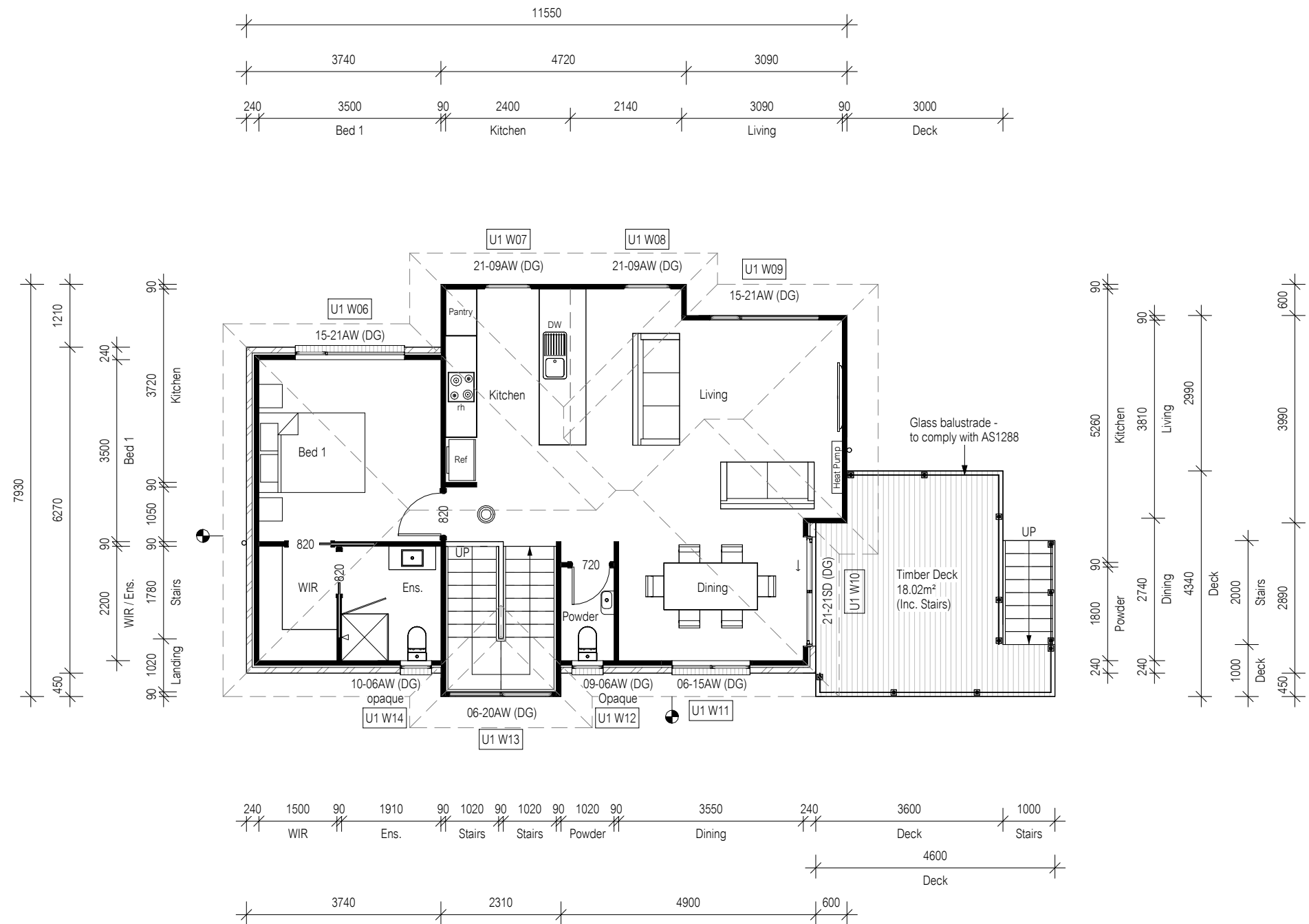
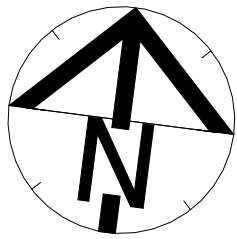


HOUSE ELEVATIONS SHEET 2		
Drawn	KV	AP2024-2422
Date	15 July 2025	Sheet
Scale	1 : 100	03a/09



A	7 Aug. 2025	ST
No.	Date	Int.

Floor Area = 79.03m ²		All window sizes to be checked and/or confirmed on site prior to ordering glazing units	Notes - Builder to verify all dimensions and levels on site prior to commencement of work - All work to be carried out in accordance with the current National Construction Code. - All materials to be installed according to manufacturers specifications. - Do not scale from these drawings. - No changes permitted without consultation with designer.	Designer:	Client / Project info		UNIT 1 GROUND FLOOR PLAN	
Articulation joints				ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CREESE DEVELOPMENT 21 Cosgrove Drive RICHMOND		DrawnSTAP2024-2422	Date7 March 2025Sheet
Smoke Alarm (interconnected where more than 1)				Scale1 : 100	Copyright ©			
Amendment changes as per cover sheet								



UNIT 1 FIRST FLOOR PLAN

Drawn ST AP2024-2422

Date 7 March 2025 Sheet

Scale 1:100

Copyright ©

04a/09

Floor Area = 79.32m²

Articulation joints

Smoke Alarm (interconnected where more than 1)

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

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Client / Project info

PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND



No.	Date	Int.

Amendment changes as per cover sheet

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



All window sizes to be checked and/or confirmed on site prior to ordering glazing units

LEGEND:
AJ - Articulation Joint
BV - Brick Vent

Amendment changes as per cover sheet

Shadows shown for stylisation purposes only

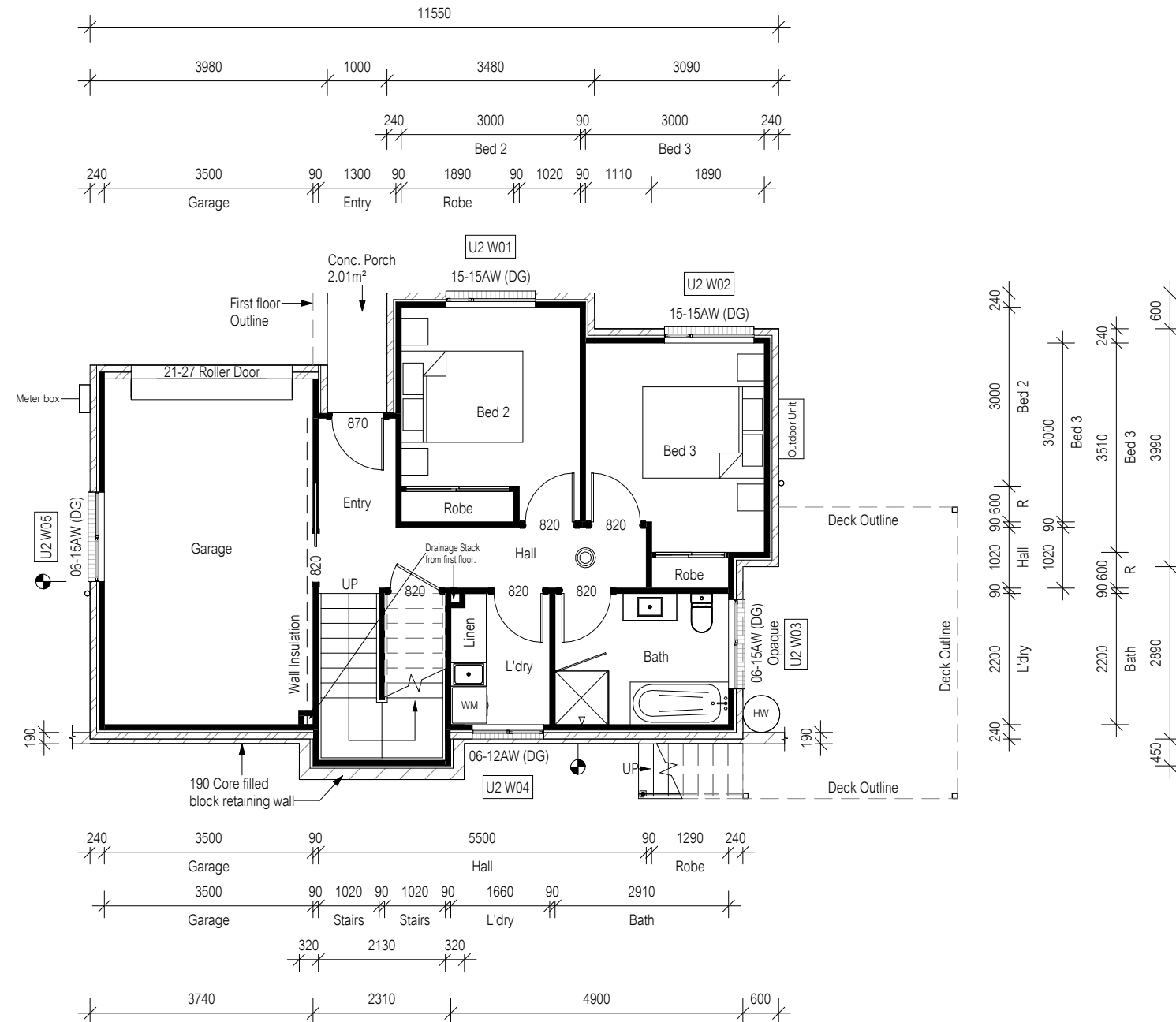
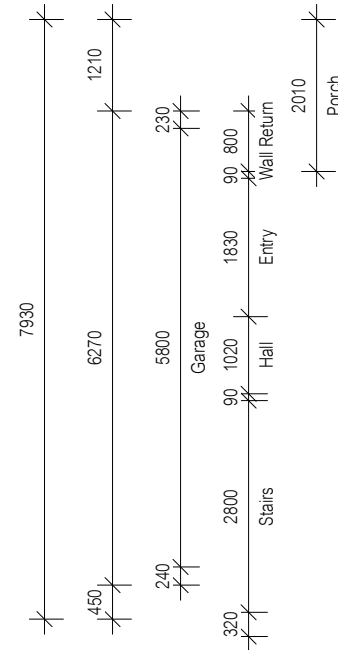
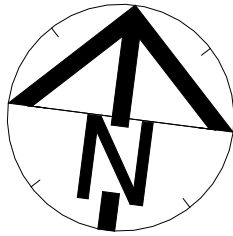
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info@anotherperspective.com.au

PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND

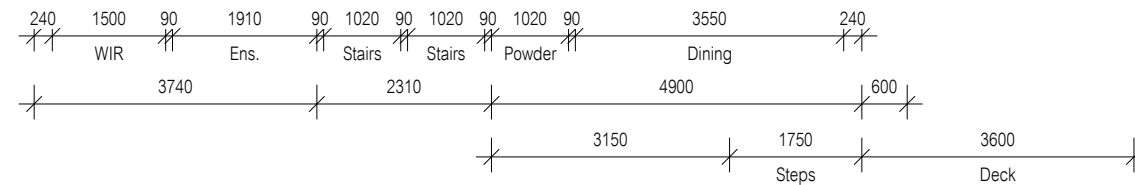
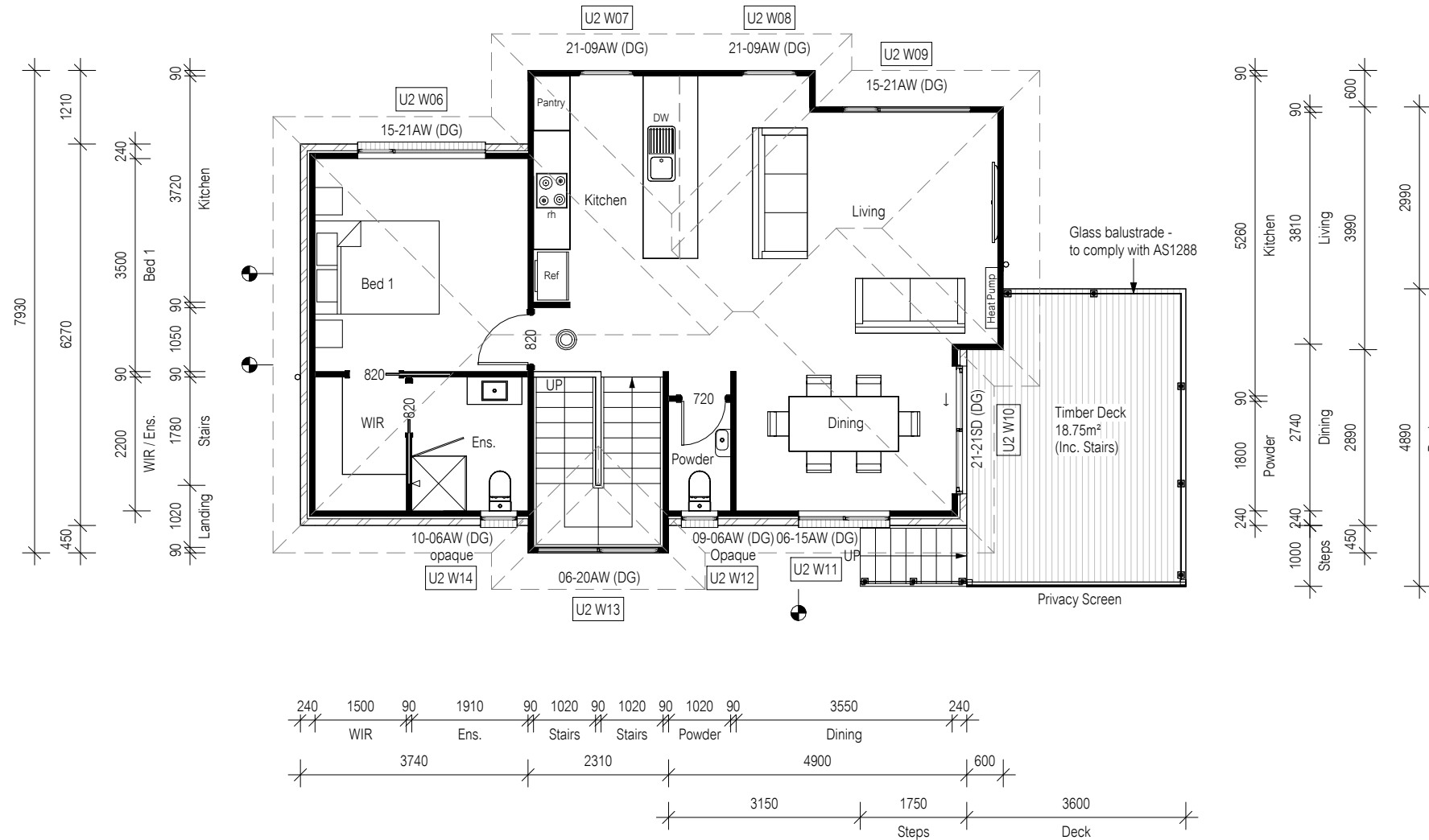
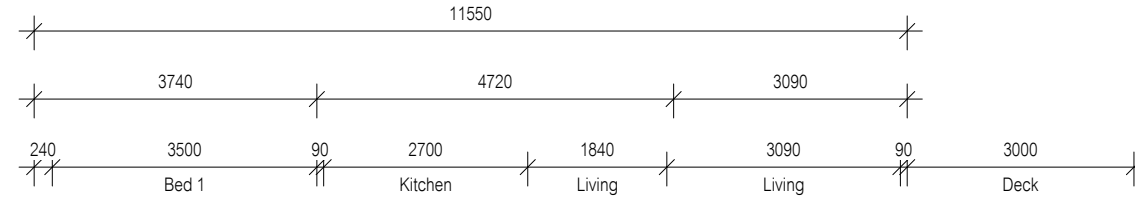
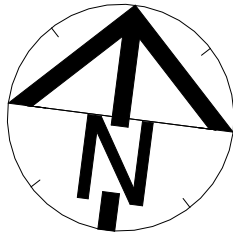


UNIT 1 ELEVATIONS		
Drawn	KV	AP2024-2422
Date	15 July 2025	Sheet
Scale	1 : 100	05/09



A	7 Aug. 2025	ST
No.	Date	Int.

Floor Area = 78.52m ²		All window sizes to be checked and/or confirmed on site prior to ordering glazing units	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		UNIT 2 GROUND FLOOR PLAN	
—●— Articulation joints				ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CREESE DEVELOPMENT 21 Cosgrove Drive RICHMOND		Drawn	KV
⊙ Smoke Alarm (interconnected where more than 1)				Date	15 July 2025		Sheet	
				Scale	1 : 100		06/09	
Amendment changes as per cover sheet					Copyright ©			



Floor Area = 79.32m²

Articulation joints

Smoke Alarm (interconnected where more than 1)

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

- Notes
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 - All materials to be installed according to manufacturers specifications.
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Designer:

ANOTHER PERSPECTIVE PTY LTD
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NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
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Email:
info@anotherperspective.com.au

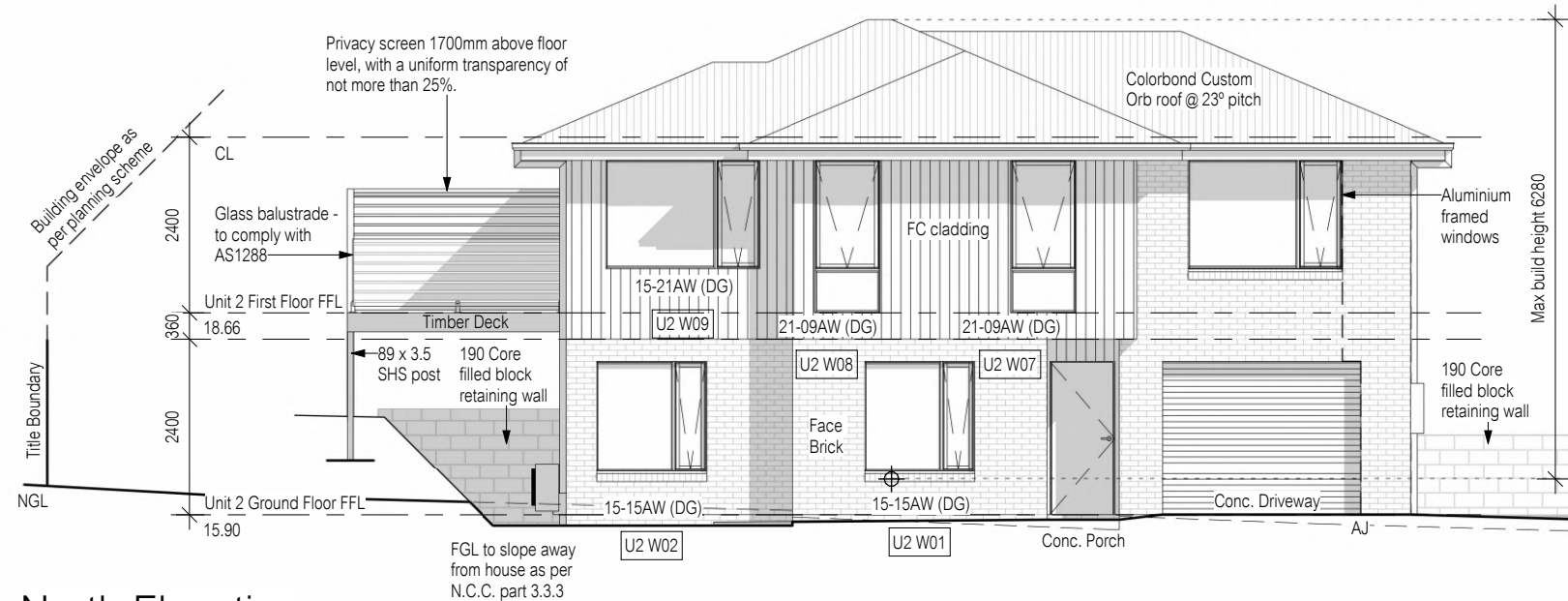
Client / Project info

PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND

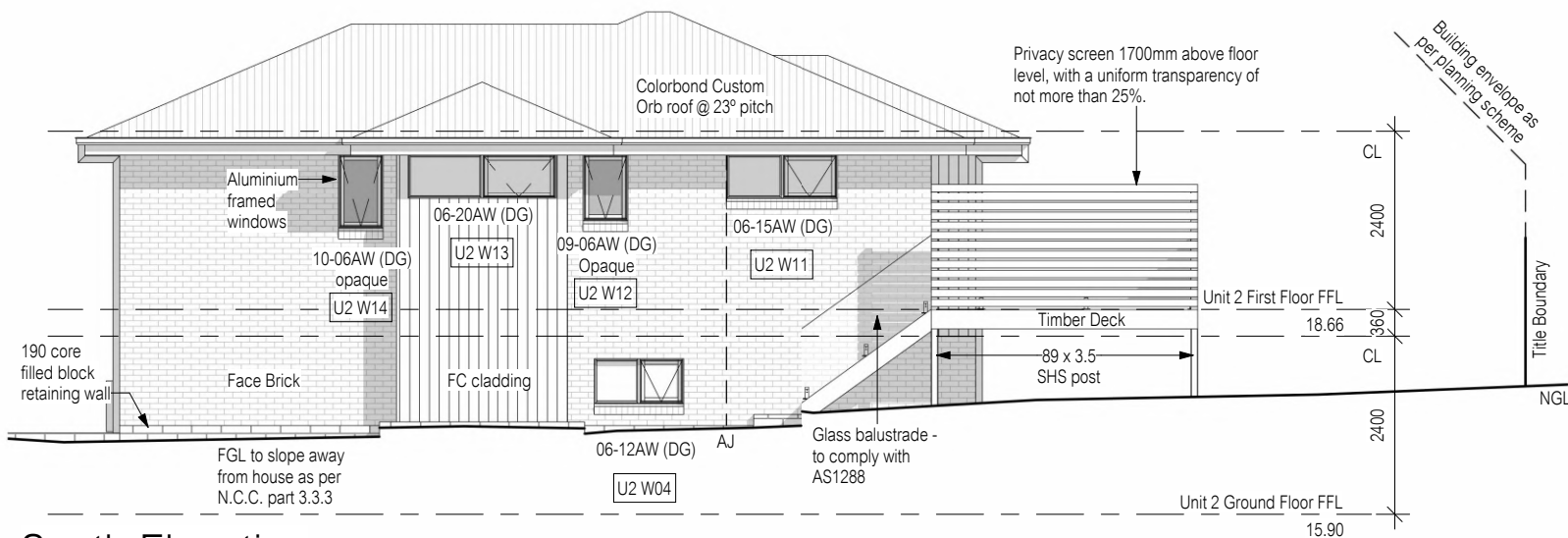


UNIT 2 FIRST FLOOR PLAN

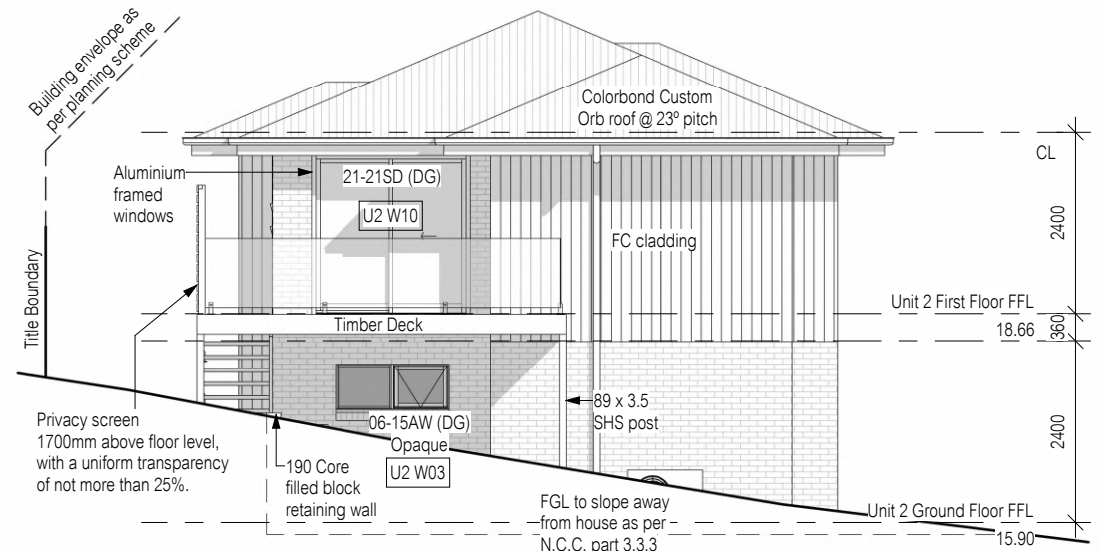
Drawn	KV	AP2024-2422
Date	15 July 2025	Sheet
Scale	1 : 100	06a/09
Copyright ©		



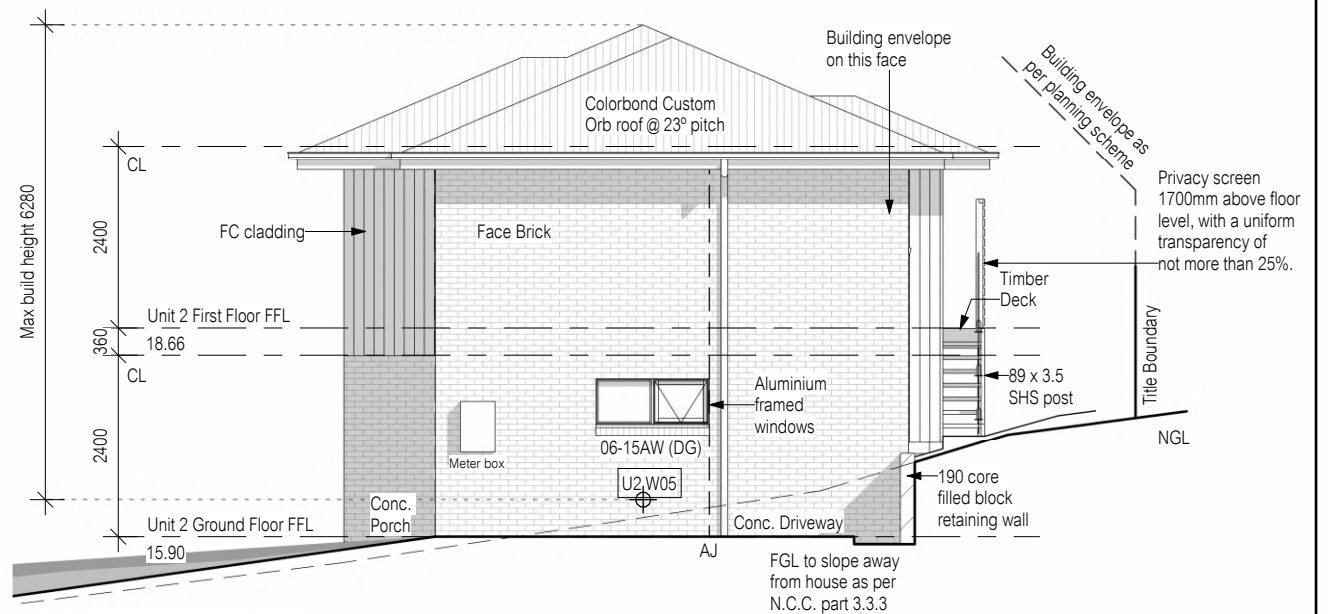
North Elevation



South Elevation



East Elevation



West Elevation

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.

A	7 Aug. 2025	ST
No.	Date	Int.

Amendment changes as per cover sheet

- Notes
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Designer:

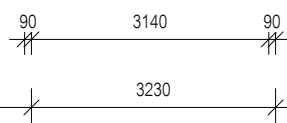
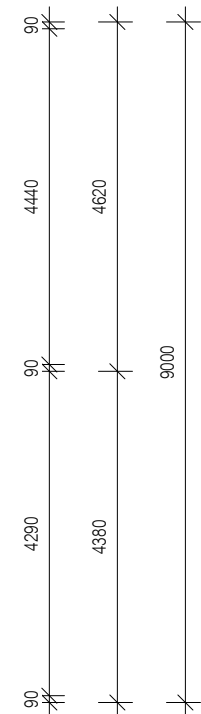
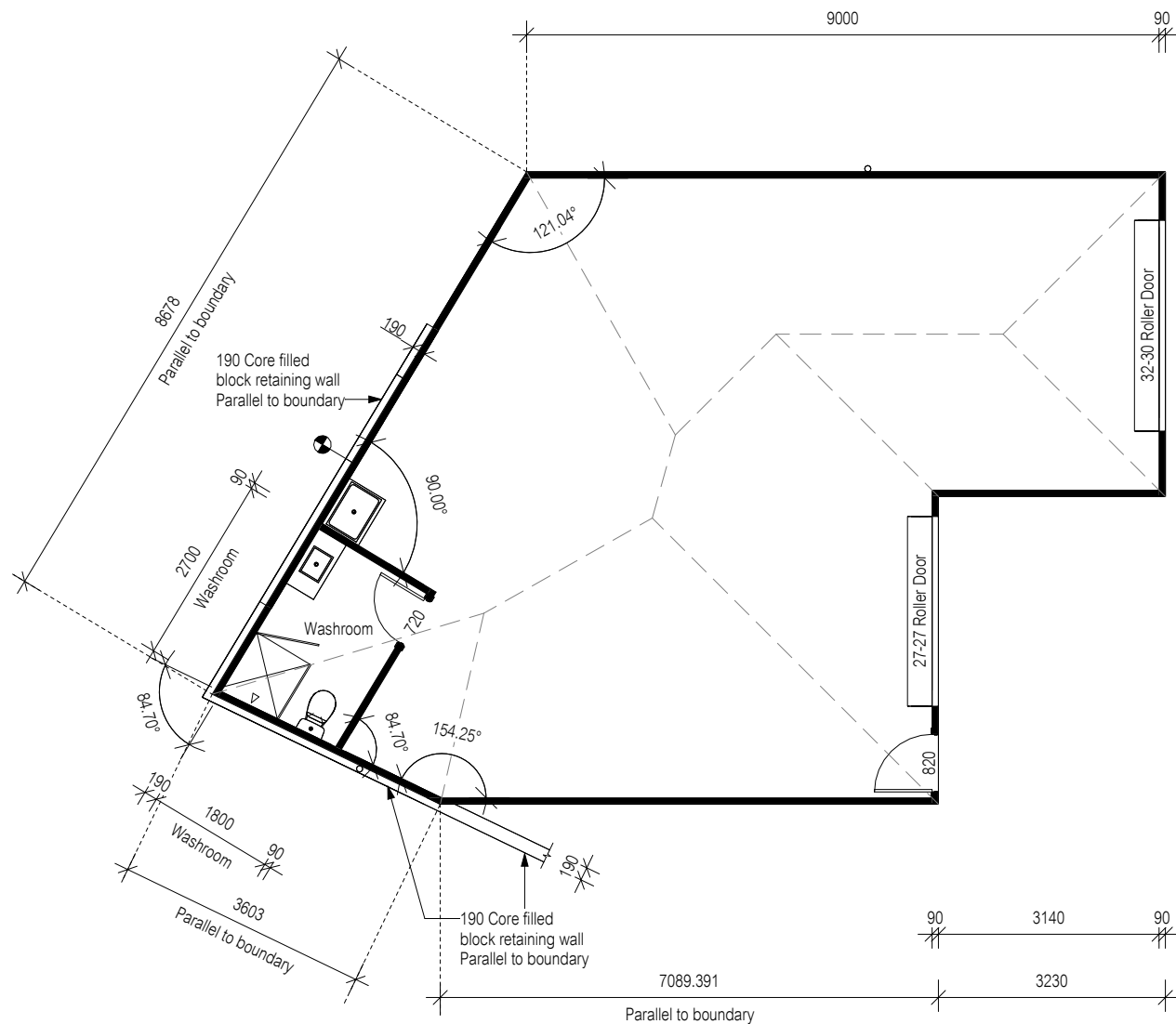
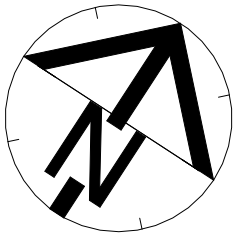
ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
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Ph: (03) 6231 4122
Fx: (03) 6231 4166
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info@anotherperspective.com.au

Client / Project info

PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND

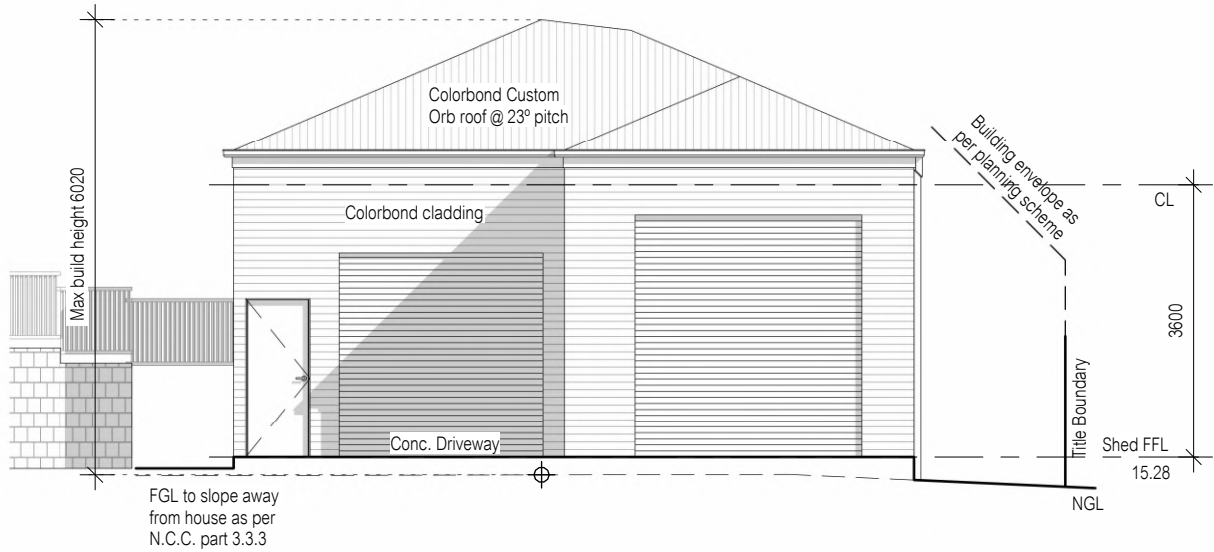


UNIT 2 ELEVATIONS		
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Date	15 July 2025	Sheet
Scale	1 : 100	07/09

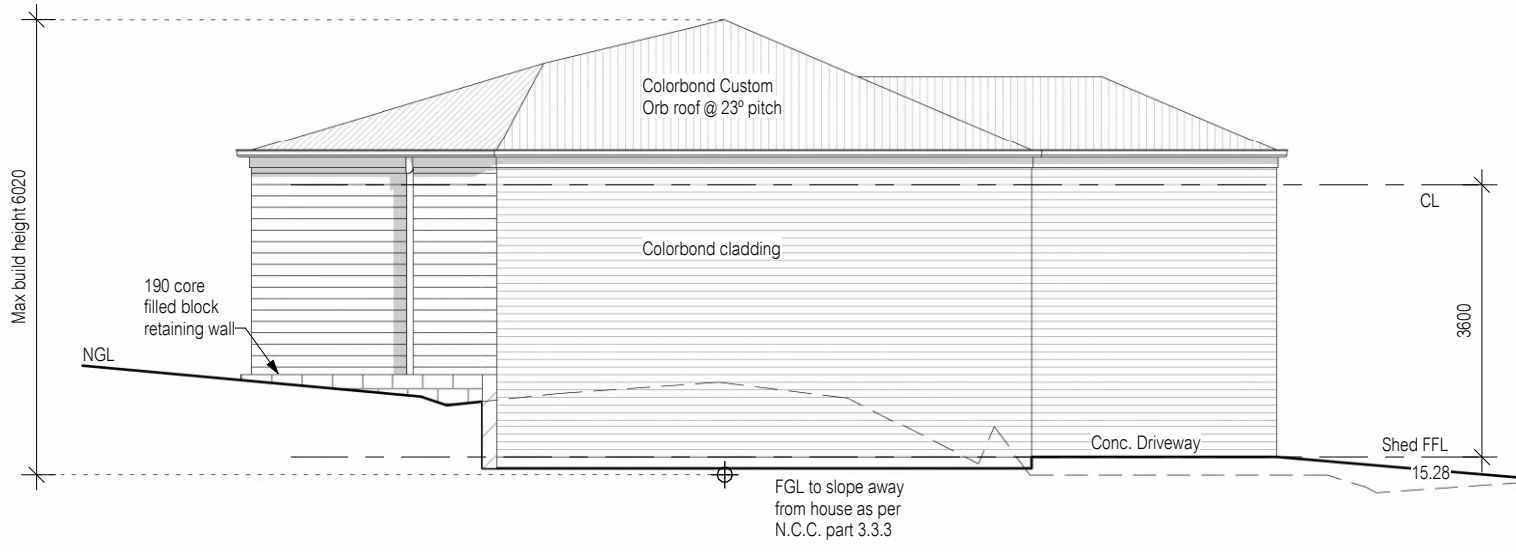


Floor Area = 89.73m ²			All window sizes to be checked and/or confirmed on site prior to ordering glazing units	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		SHED PLANS		
Articulation joints					ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CREESE DEVELOPMENT 21 Cosgrove Drive RICHMOND		Drawn	KV	AP2024-2422
Smoke Alarm (interconnected where more than 1)								Date	11 July 2025	Sheet
Amendment changes as per cover sheet								Scale	1 : 100	08/09
						Copyright ©				

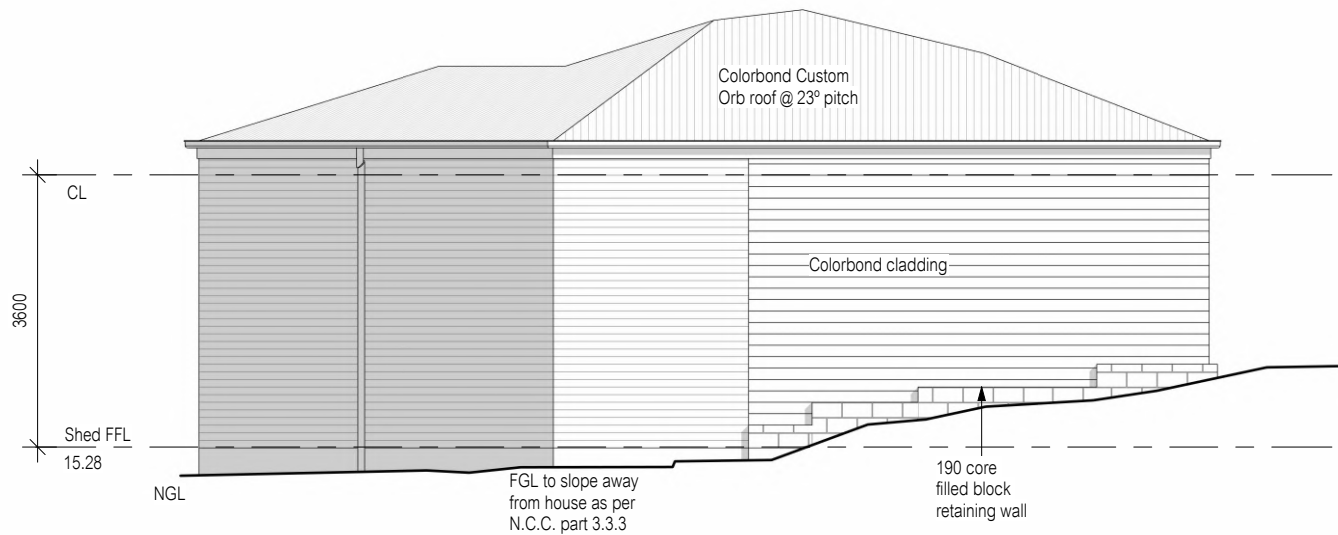
Material	Colour
Colorbond Roof	tbc
Face Block	tbc
Colorbond Cladding	tbc



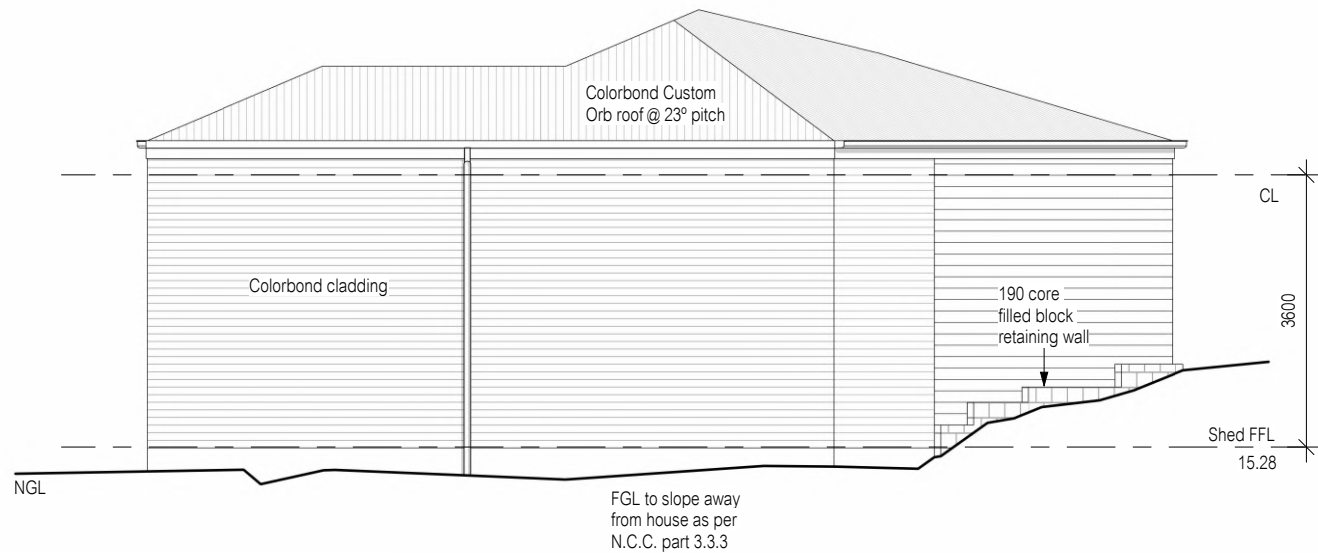
North East Elevation



South East Elevation



South West Elevation



North West Elevation

A	7 Aug. 2025	ST
No.	Date	Int.

Amendment changes as per cover sheet

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
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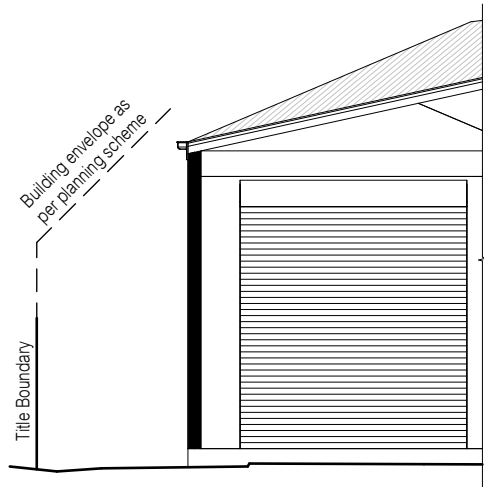
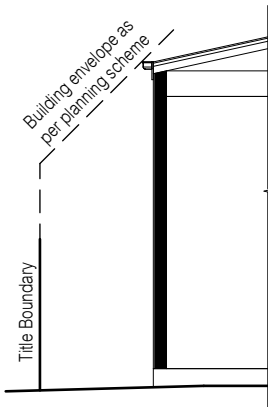
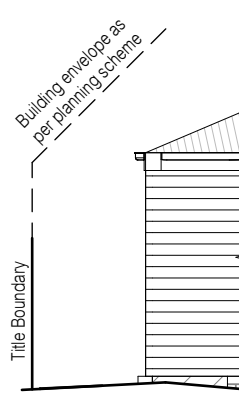
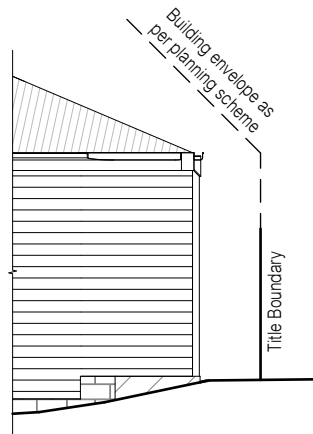
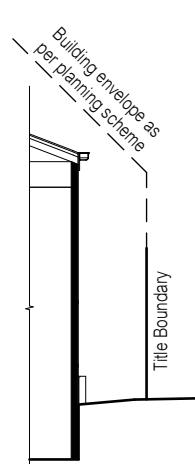
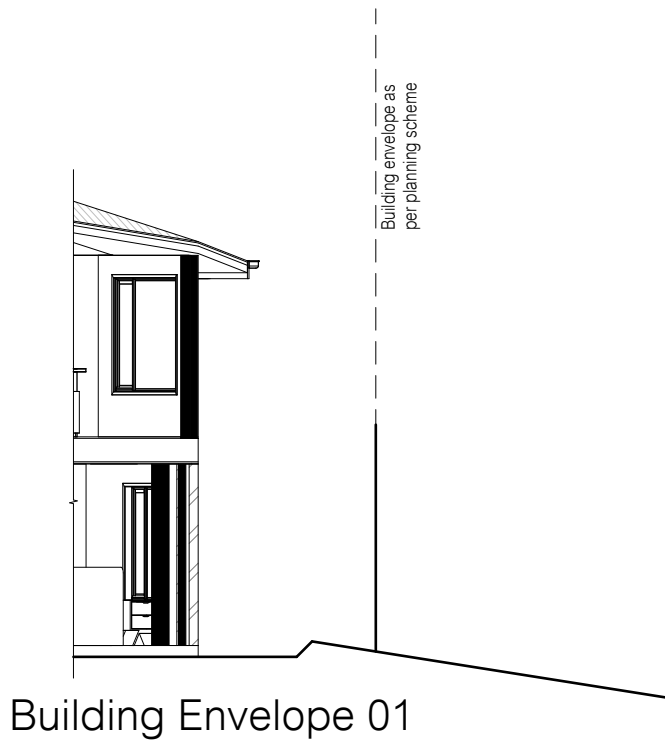
PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND



SHED ELEVATIONS

Drawn	KV	AP2024-2422
Date	15 July 2025	Sheet
Scale	1 : 100	

09/09



No.	Date	Int.	Amendment changes as per cover sheet
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- Notes
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Client / Project info

PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND



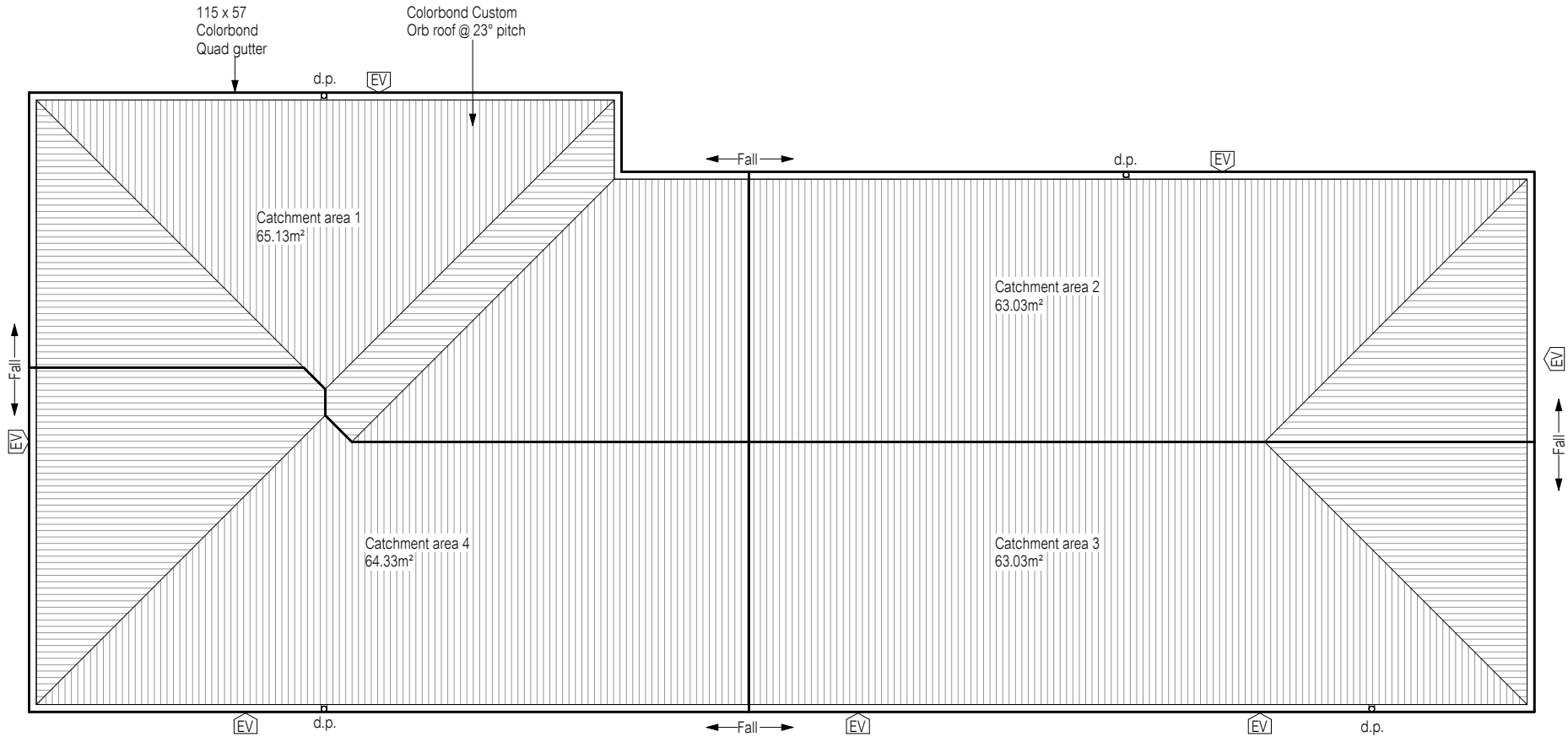
BUILDING ENVELOPES		
Drawn	KV	AP2024-2422
Date	15 July 2025	Sheet
Scale	1 : 100	09a/09

GUTTER OVERFLOW
REQUIREMENTS as per
N.C.C. Figure 7.4.6a:
Minimum slot opening area of 1200
mm² per metre of gutter and the lower
edge of the slots installed a minimum
of 25 mm below the top of the fascia.
The acceptable overflow capacity
must be 0.5 L/s/m.

Batten fixings:
100mm type 17, 14g bugle
screws to comply with
AS1684, or refer to AS1684
for alternatives.

Batten spacing:
75 x 38 F8
@ 900 Centre

Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.



Position and quantity of downpipes
are not to be altered without
consultation with designer

Area's shown are surface areas /
catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah¹	203.57	Area of Roof (excluding 115mm Quad gutter) (m²)
Ah²	211.18	Area of Roof (including 115mm Quad gutter) (m²)
Ac	255.53	Ah² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm²)
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	76	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m²)
Required Downpipes	3.36	Ac ÷ Acdp
Downpipes Provided	4	

EAVES VENT NOTE:
BRADFORD CSR POLY EAVE VENT (23,700mm²).
7 VENTS EVENLY SPACED

No.	Date	Int.	Amendment changes as per cover sheet
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- Notes
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 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
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Client / Project info

PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND



HOUSE ROOF PLAN

Drawn	KV	AP2024-2422
Date	15 July 2025	Sheet
Scale	1 : 100	

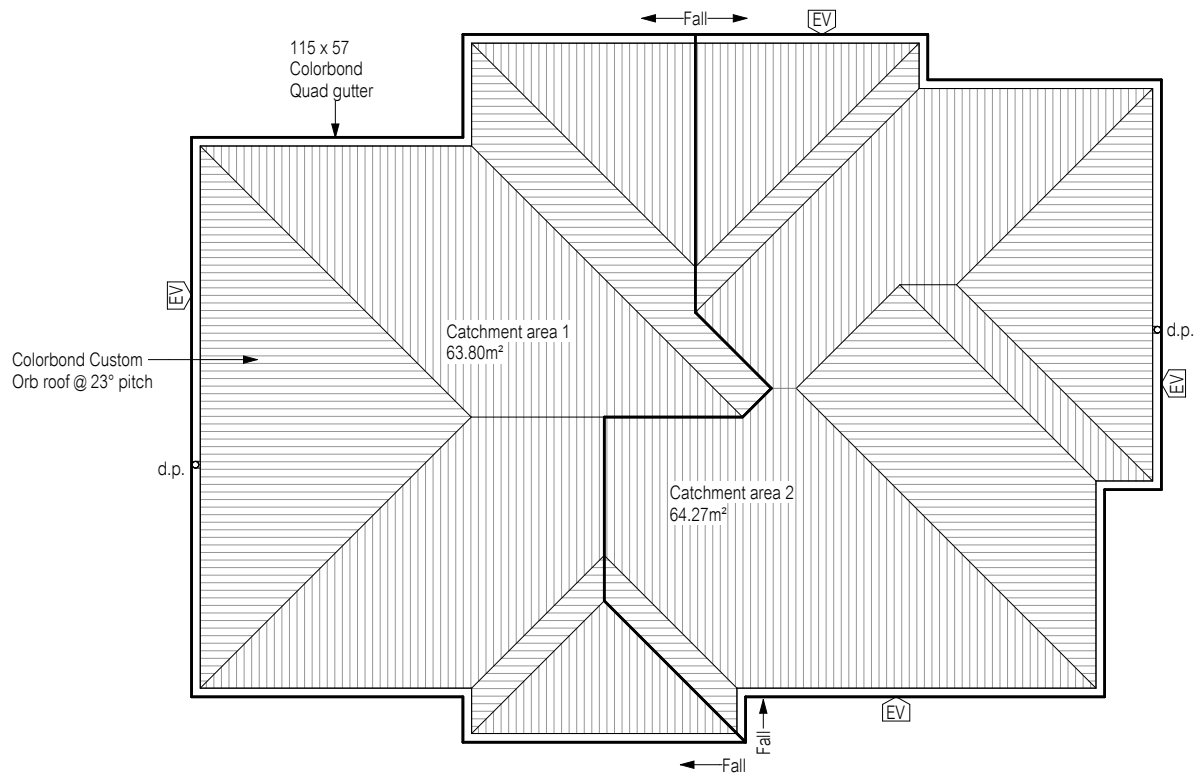
12/09

GUTTER OVERFLOW
REQUIREMENTS as per
N.C.C. Figure 7.4.6a:
Minimum slot opening area of 1200
mm² per metre of gutter and the lower
edge of the slots installed a minimum
of 25 mm below the top of the fascia.
The acceptable overflow capacity
must be 0.5 L/s/m.

Batten fixings:
100mm type 17, 14g bugle
screws to comply with
AS1684, or refer to AS1684
for alternatives.

Batten spacing:
75 x 38 F8
@ 900 Centre

Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.



Position and quantity of downpipes
are not to be altered without
consultation with designer

Area's shown are surface areas /
catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah¹	100.79	Area of Roof (excluding 115mm Quad gutter) (m²)
Ah²	105.84	Area of Roof (including 115mm Quad gutter) (m²)
Ac	128.07	Ah² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm²)
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	76	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m²)
Required Downpipes	1.69	Ac ÷ Acdp
Downpipes Provided	2	

EAVES VENT NOTE:
BRADFORD CSR POLY EAVE VENT (23,700mm²).
4 VENTS EVENLY SPACED

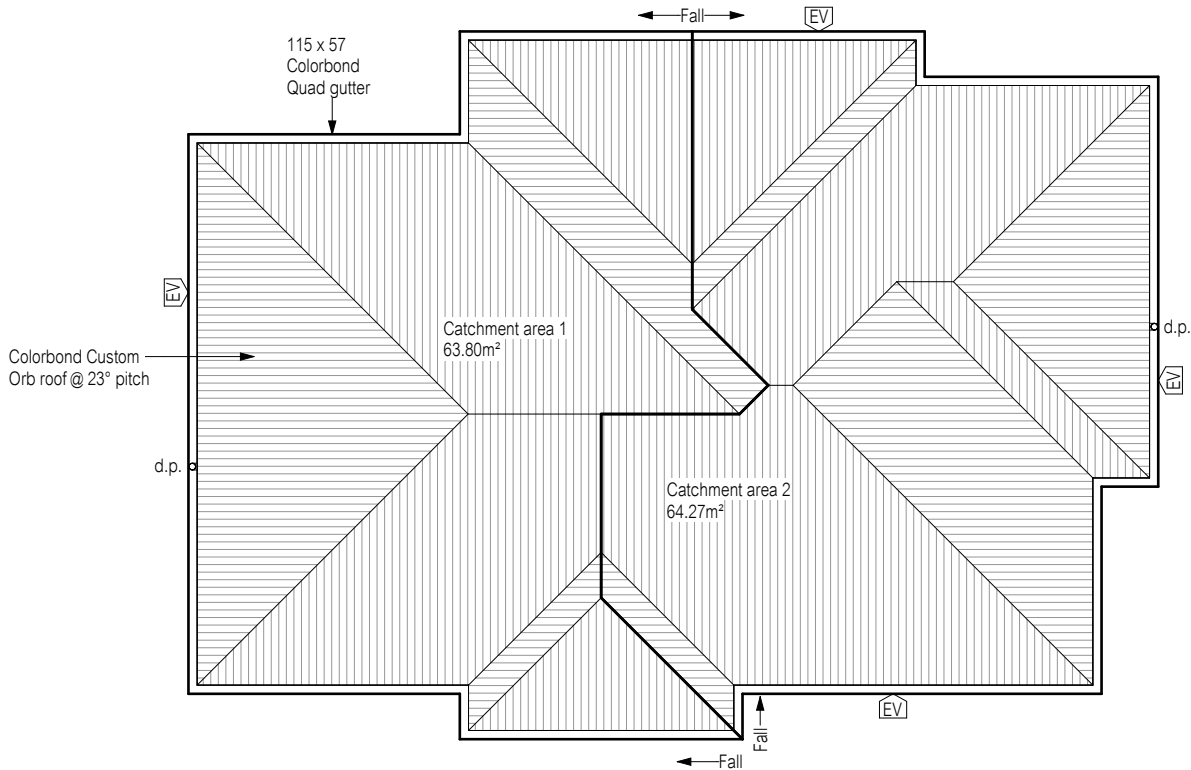
			Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		UNIT 1 ROOF PLAN		
				ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CREESE DEVELOPMENT 21 Cosgrove Drive RICHMOND		Drawn	KV	AP2024-2422
							Date	15 July 2025	Sheet
							Scale	1 : 100	12a/09
No.	Date	Int.	Amendment changes as per cover sheet						

GUTTER OVERFLOW
REQUIREMENTS as per
N.C.C. Figure 7.4.6a:
Minimum slot opening area of 1200
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of 25 mm below the top of the fascia.
The acceptable overflow capacity
must be 0.5 L/s/m.

Batten fixings:
100mm type 17, 14g bugle
screws to comply with
AS1684, or refer to AS1684
for alternatives.

Batten spacing:
75 x 38 F8
@ 900 Centre

Colorbond fixings:
50mm M6 11 x 50 EPDM
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or refer to AS3566 for
alternatives.



Position and quantity of downpipes
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Area's shown are surface areas /
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DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah¹	100.79	Area of Roof (excluding 115mm Quad gutter) (m²)
Ah²	105.84	Area of Roof (including 115mm Quad gutter) (m²)
Ac	128.07	Ah² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm²)
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	76	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m²)
Required Downpipes	1.69	Ac ÷ Acdp
Downpipes Provided	2	

EAVES VENT NOTE:
BRADFORD CSR POLY EAVE VENT (23,700mm²).
4 VENTS EVENLY SPACED

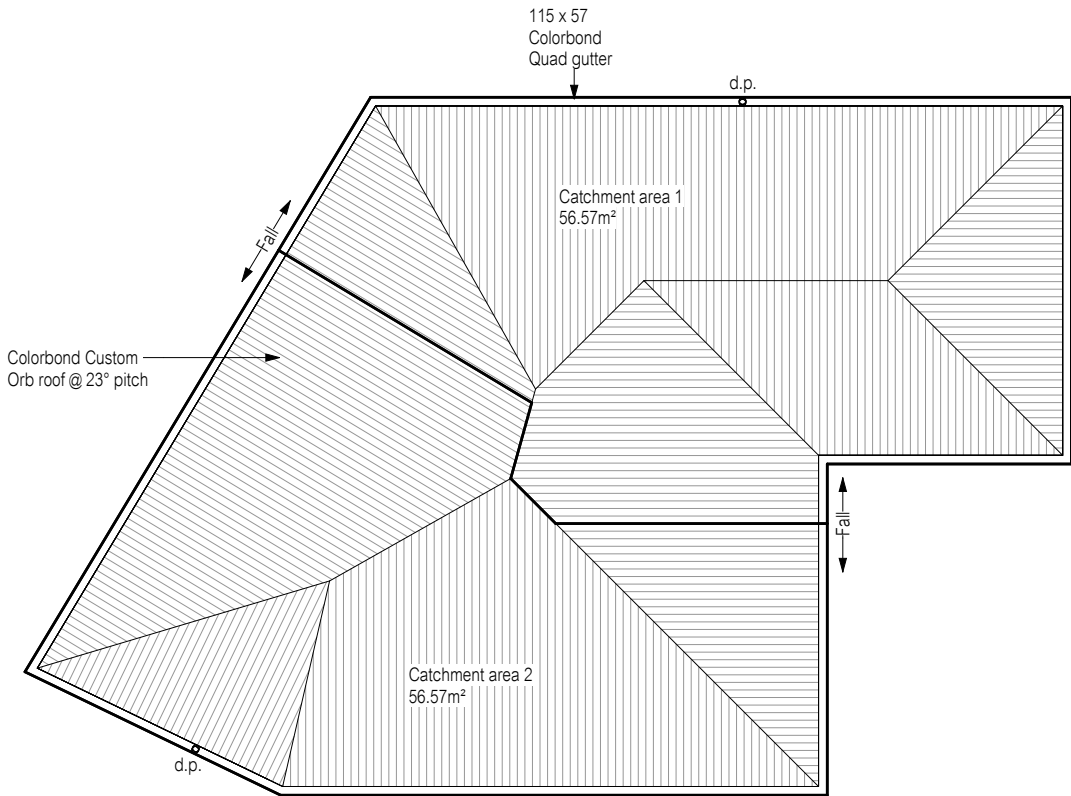
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				ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CREESE DEVELOPMENT 21 Cosgrove Drive RICHMOND		Drawn	KV	AP2024-2422
							Date	15 July 2025	Sheet
							Scale	1 : 100	12b/09
No.	Date	Int.	Amendment changes as per cover sheet						

GUTTER OVERFLOW
REQUIREMENTS as per
N.C.C. Figure 7.4.6a:
Minimum slot opening area of 1200
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edge of the slots installed a minimum
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The acceptable overflow capacity
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Batten fixings:
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for alternatives.

Batten spacing:
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@ 900 Centre

Colorbond fixings:
50mm M6 11 x 50 EPDM
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alternatives.

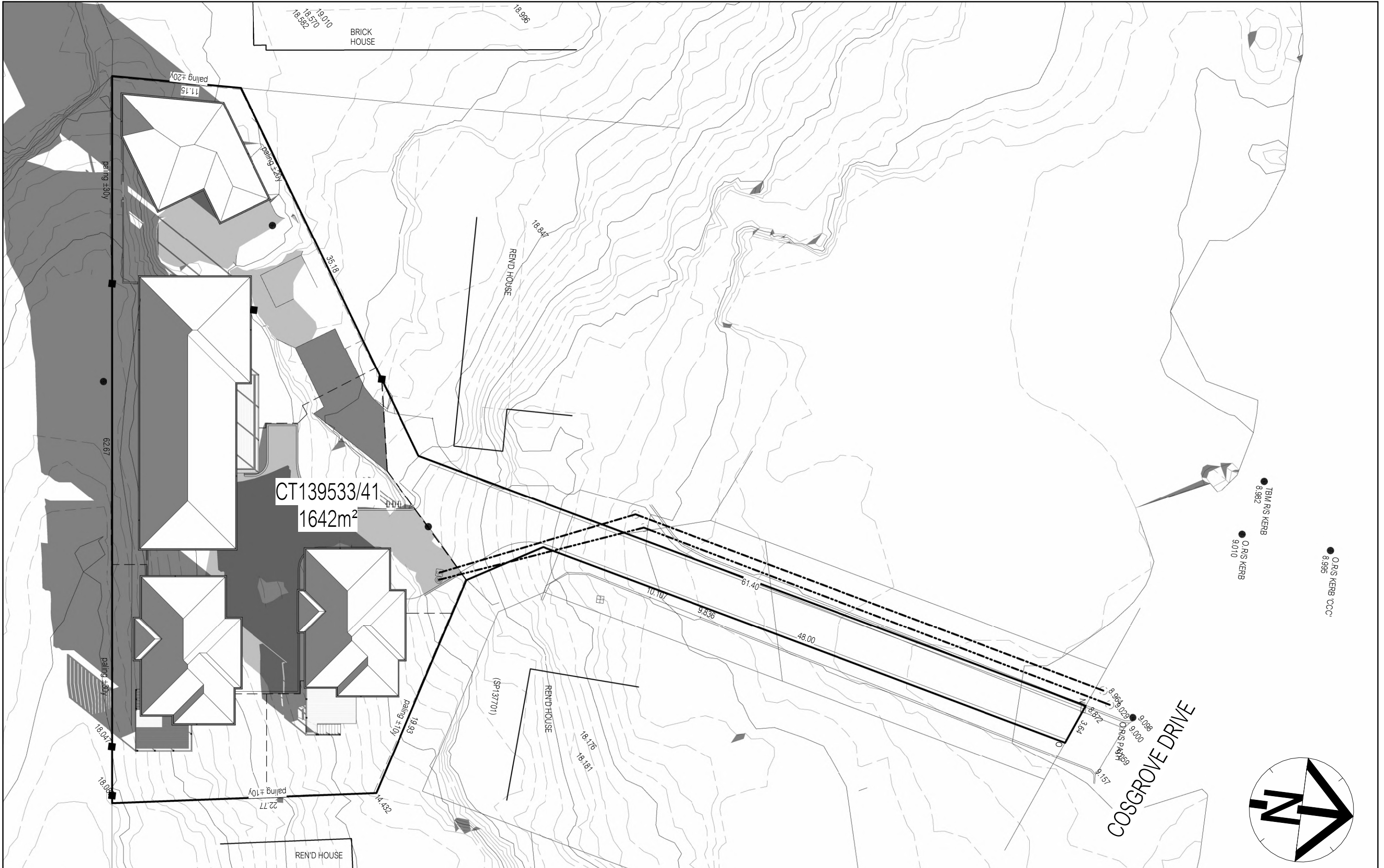


Position and quantity of downpipes
are not to be altered without
consultation with designer

Area's shown are surface areas /
catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah¹	88.77	Area of Roof (excluding 115mm Quad gutter) (m²)
Ah²	93.50	Area of Roof (including 115mm Quad gutter) (m²)
Ac	113.14	Ah² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm²)
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	76	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m²)
Required Downpipes	1.49	Ac ÷ Acdp
Downpipes Provided	2	

No. Date Int.			Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED CREESE DEVELOPMENT 21 Cosgrove Drive RICHMOND		SHED ROOF PLAN		
							Drawn	KV	AP2024-2422
							Date	15 July 2025	Sheet
							Scale	1 : 100	12c/09



NOTES

- LATITUDE: -42°44'
- LONGITUDE: 147°27'
- Surrounding topography information from LIDAR data.
- Ground terrain for development site derived from detail survey.

Notes

- Builder to verify all dimensions and levels on site prior to commencement of work
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- All materials to be installed according to manufacturers specifications.
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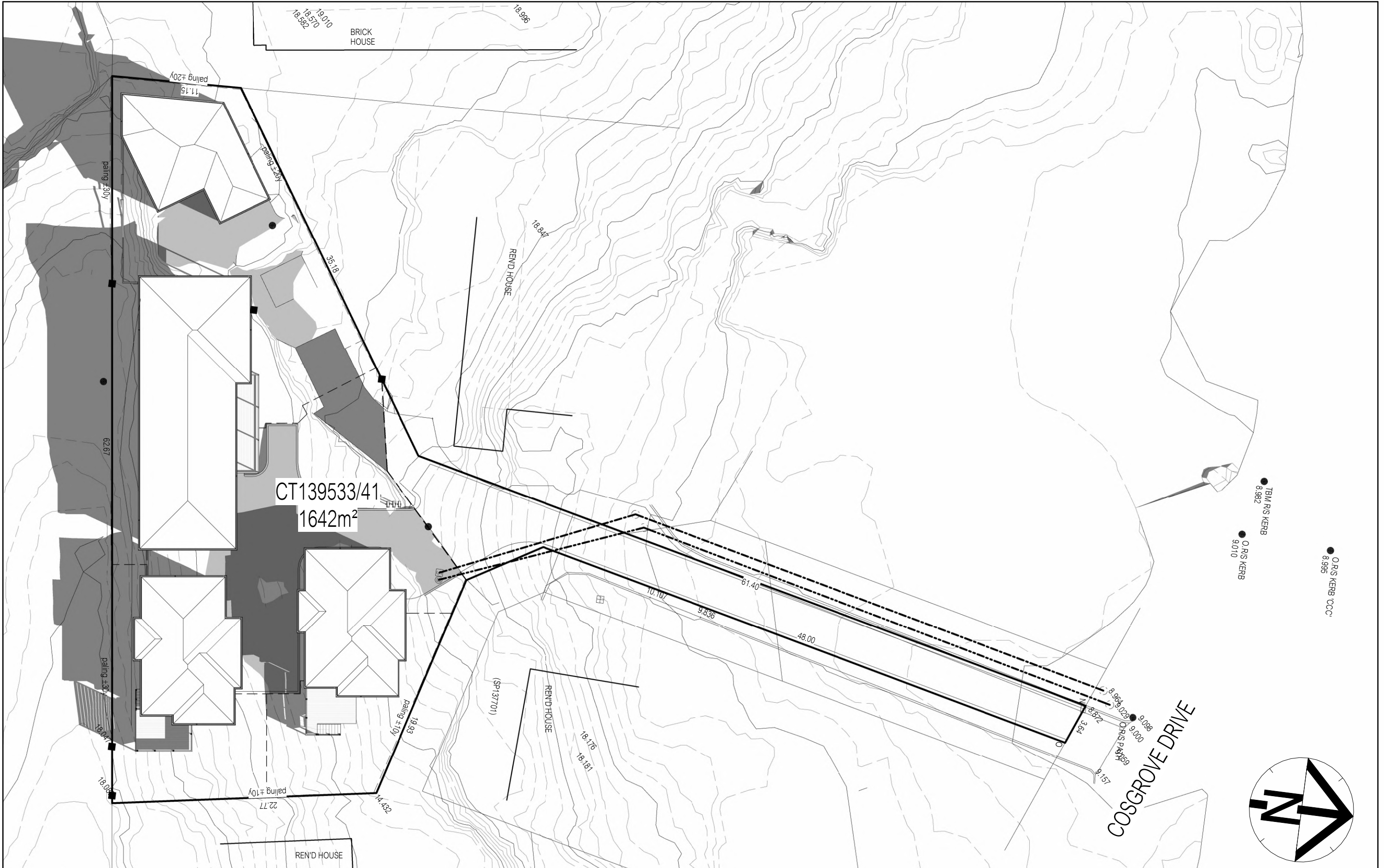
Client / Project info

PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND



SHADOW DIAGRAM - 21/06/26		
10am		
Drawn	ST	AP2024-2422
Date	03 October 2025	Sheet
Scale	1 : 300	N/A

No.	Date	Int.
		Amendment changes as per cover sheet



NOTES		
•	LATITUDE: -42°44'	LONGITUDE: 147°27'
•	Surrounding topography information from LIDAR data.	
•	Ground terrain for development site derived from detail survey.	

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
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 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
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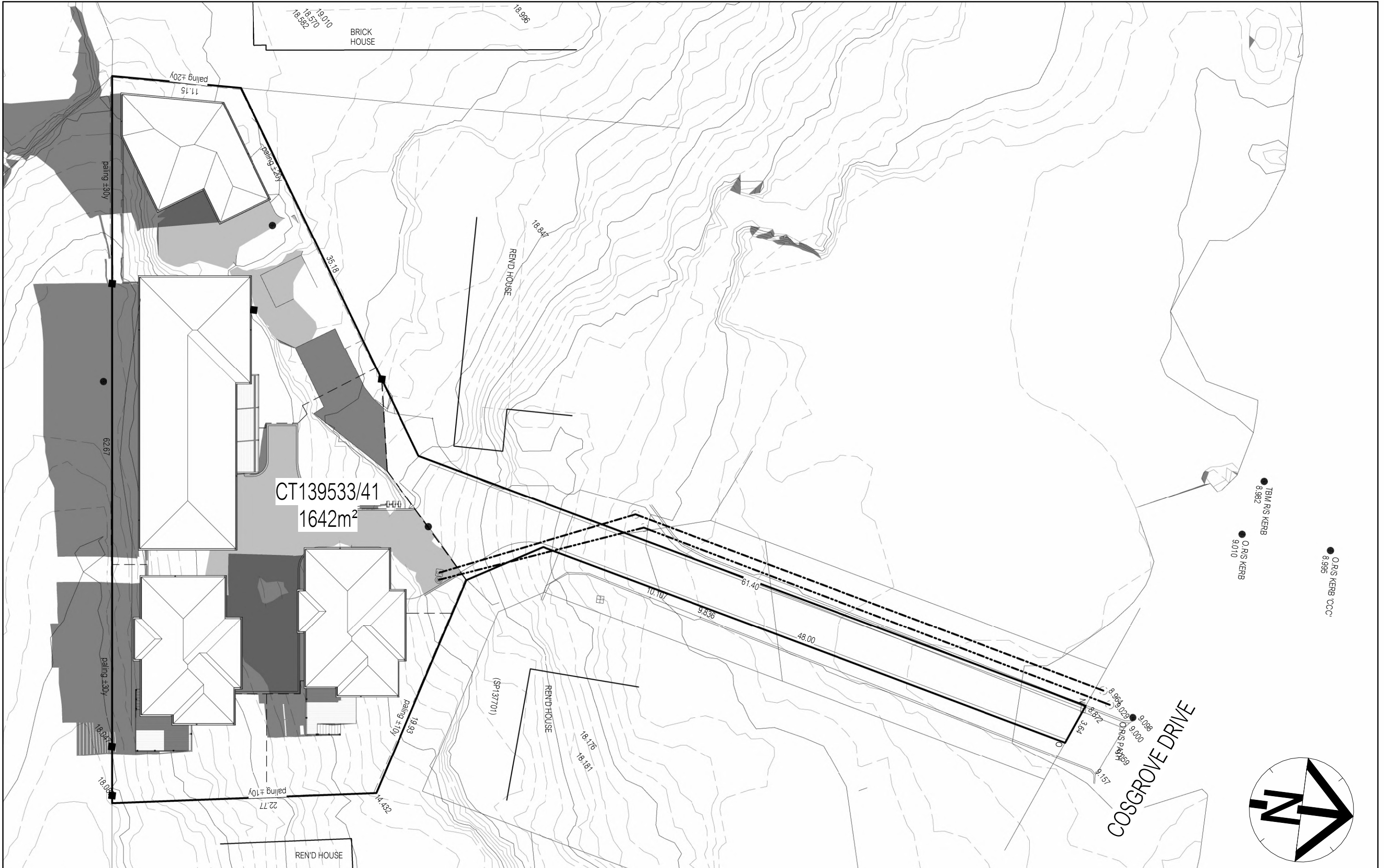
Client / Project info

PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND



SHADOW DIAGRAM - 21/06/26		
11am		
Drawn	ST	AP2024-2422
Date	03 October 2025	Sheet
Scale	1 : 300	N/A

No.	Date	Int.
		Amendment changes as per cover sheet



NOTES

- LATITUDE: -42°44'
- LONGITUDE: 147°27'
- Surrounding topography information from LIDAR data.
- Ground terrain for development site derived from detail survey.

Notes

- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- All materials to be installed according to manufacturers specifications.
- Do not scale from these drawings.
- No changes permitted without consultation with designer.

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info@anotherperspective.com.au

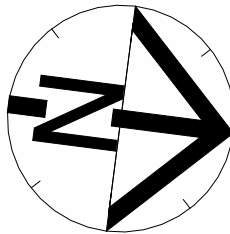
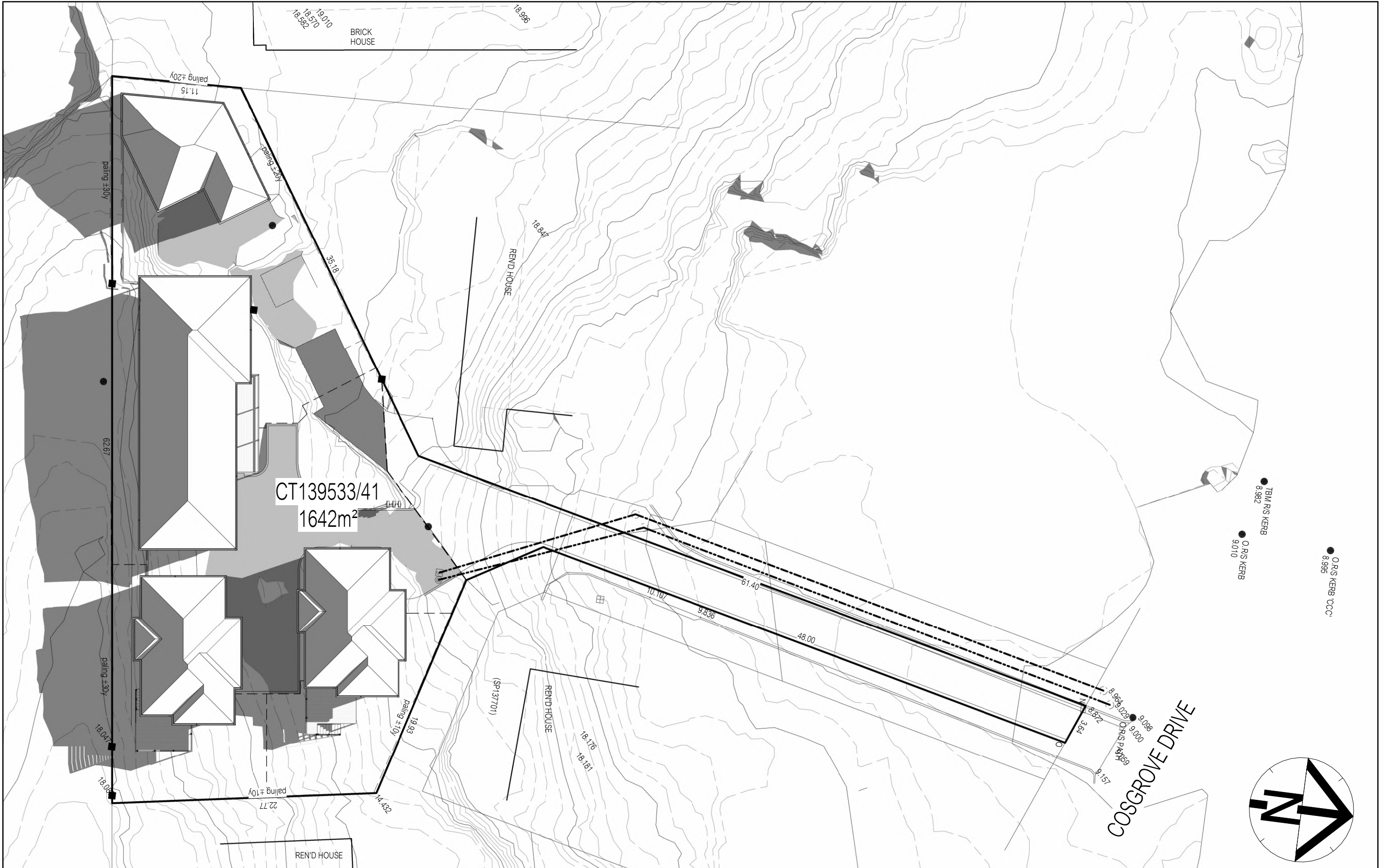
Client / Project info

PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND



SHADOW DIAGRAM - 21/06/26		
1pm		
Drawn	ST	AP2024-2422
Date	03 October 2025	Sheet
Scale	1 : 300	N/A

No.	Date	Int.
Amendment changes as per cover sheet		



NOTES		
•	LATITUDE: -42°44'	LONGITUDE: 147°27'
•	Surrounding topography information from LIDAR data.	
•	Ground terrain for development site derived from detail survey.	

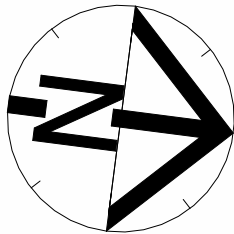
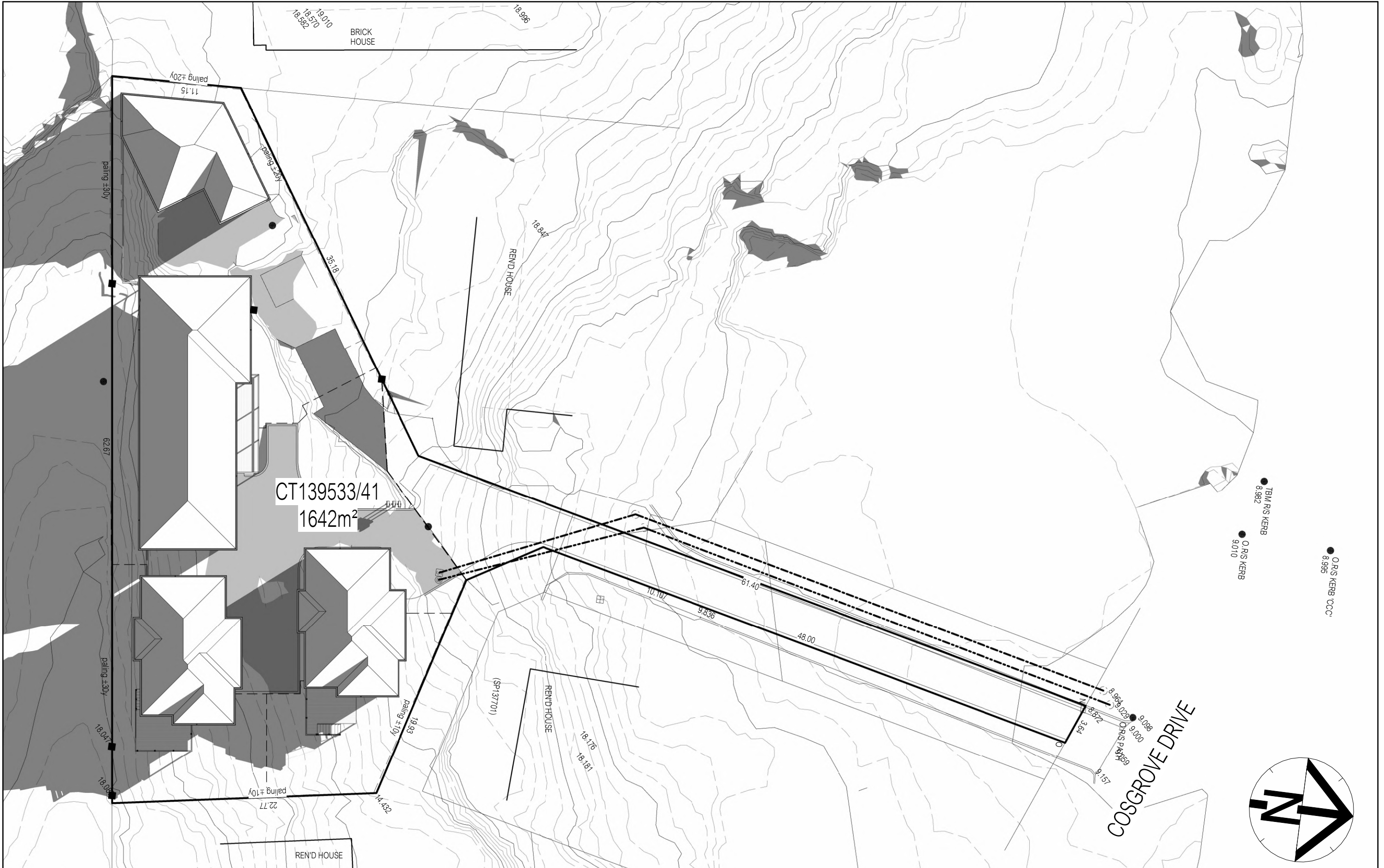
Notes
• Builder to verify all dimensions and levels on site prior to commencement of work
• All work to be carried out in accordance with the current National Construction Code.
• All materials to be installed according to manufacturers specifications.
• Do not scale from these drawings.
• No changes permitted without consultation with designer.

Designer:
ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au

Client / Project info
PROPOSED CREESE DEVELOPMENT 21 Cosgrove Drive RICHMOND

SHADOW DIAGRAM - 21/06/26		
2pm		
Drawn	ST	AP2024-2422
Date	03 October 2025	Sheet
Scale	1 : 300	N/A

No.	Date	Int.
		Amendment changes as per cover sheet



NOTES

- LATITUDE: -42°44'
- LONGITUDE: 147°27'
- Surrounding topography information from LIDAR data.
- Ground terrain for development site derived from detail survey.

Notes

- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- All materials to be installed according to manufacturers specifications.
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Client / Project info

PROPOSED CREESE DEVELOPMENT
21 Cosgrove Drive
RICHMOND



SHADOW DIAGRAM - 21/06/26		
3pm		
Drawn	ST	AP2024-2422
Date	03 October 2025	Sheet
Scale	1 : 300	N/A

No.	Date	Int.
Amendment changes as per cover sheet		