



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/054702

PROPOSAL: Dwelling

LOCATION: 19 Beachview Court, Lauderdale

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 22 October 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 22 October 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 22 October 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

Proposed 4 Bedroom Dwelling

Location:

Address..... 19 Beachview Court

Suburb/Town Lauderdale

Postcode 7021

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

N/A

Current Use of Site:

Vacant Site

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.

- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 188264	FOLIO 15
EDITION 2	DATE OF ISSUE 26-Jul-2025

SEARCH DATE : 11-Aug-2025

SEARCH TIME : 03.43 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 15 on Sealed Plan [188264](#)

Derivation : Part of 2000 Acres Loc. to Robert Mather

Prior CT [186614/99](#)SCHEDULE 1

[N268822](#) TRANSFER to SAMUEL CHARLES GRAY and KRISTY LEE
BURGESS Registered 26-Jul-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP188264](#) COVENANTS in Schedule of Easements
[SP188264](#) FENCING PROVISION in Schedule of Easements
[SP188264](#) SEWERAGE AND/OR DRAINAGE RESTRICTION
[SP186614](#) FENCING COVENANT in Schedule of Easements
[SP186614](#) SEWERAGE AND/OR DRAINAGE RESTRICTION
[E377173](#) AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
12-Apr-2024 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: GRAHAM ALEXANDER DICK FOLIO REFERENCE: C.T. 186614 - 99 GRANTEE: PART OF 2000 ACRES LOCATED TO ROBERT MATHER	PLAN OF SURVEY BY SURVEYOR: N. D. LEARY of LEARY, COX & CRIPPS SURVEYORS Unit G04 40 Mole Street, HOBART TAS 7000 P 03 6118 2030 E admin@lccsurvey.com LOCATION: CITY OF CLARENCE SCALE 1: 800 LENGTHS IN METRES	REGISTERED NUMBER SP188264 APPROVED EFFECTIVE FROM 22 JAN 2025 <i>Ren</i> Recorder of Titles
--	---	---

PRIORITY FINAL PLAN

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

N
Registered Land Surveyor

29-11-24
Date

99
6779m²

Clare Shee
Council Delegate

20-12-2024
Date

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 188264

PAGE 1 OF 3 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

There are no easements of profits to benefit or burden the lots on the plan

COVENANT A

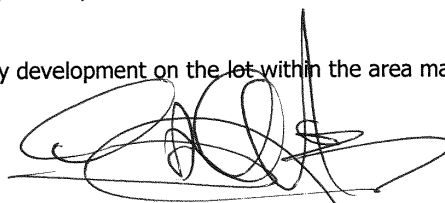
The owners of lot 14-19 on the plan each covenant with Clarence City Council to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may devolve with Clarence City Council to observe the following stipulations-

1. Not to construct a habitable building on such lot except in accordance with the Bushfire Report and Hazard Management Plan prepared by North Barker Ecosystem Services dated 8 September 2022 (as may be amended from time to time)

COVENANTS B

The owners of lot 14-19 on the plan covenant with Clarence City Council to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may devolve with Clarence City Council to observe the following stipulations-

2. In respect to lot 14 the owner must not carry out any development on the lot within the area marked Q-R-R1-Q1 on the plan
3. In respect to lot 15 the owner must not carry out any development on the lot within the area marked R-S-S1-R1 on the plan



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: GA DICK FOLIO REF: 186614-99 SOLICITOR: PRAXIS LEGAL & CONVEYANCING	PLAN SEALED BY: CLARENCE CITY COUNCIL DATE: 20 th December 2024 2024-048150 REF NO. Council Delegate Clare Shea
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

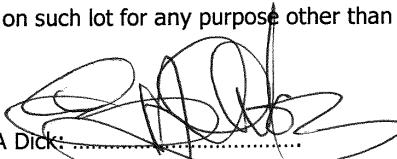
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 3 PAGES	Registered Number SP. 188 264
SUBDIVIDER: : GA DICK FOLIO REFERENCE: 186614-99	

4. In respect to lot 16 the owner must not carry out any development on the lot within the area marked S-T-T1-S1 on the plan
5. In respect to lot 17 the owner must not carry out any development on the lot within the area marked T-U-U1-T1 on the plan
6. In respect to lot 18 the owner must not carry out any development on the lot within the area marked U-V-V1-U1 on the plan
7. In respect to lot 19 the owner must not carry out any development on the lot within the area marked V-W-W1-V1 on the plan

COVENANTS C

The owners of lots 5-8 & 14-19 on the plan covenant with the vendor and the owners for the time being of every other lot on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot on the plan to observe the following stipulations-

1. Not to erect or cause to be erected on such lot any building with outer walls of asbestos cement sheeting
2. Not, without the prior written consent of the vendor, to construct or cause to be constructed any walls of any building on such lot from any material except brick, stone, masonry block or similar material, rendered insulated concrete forms, timber, flat metal cladding or insulated board that are rendered, painted or pre-coloured
3. Not to erect or cause to be erected on such lot a dwelling without a minimum of one single car garage under the roof of the building
4. Not to erect or cause to be erected on such lot any dwelling, house, garage, carport or other building using a roofing material other than tiles or colorbond steel
5. Not, without the prior written consent of the vendor, to construct or-allow to be constructed on such lot a kit home, relocatable or removable dwelling or similar structure
6. Not to park or permit to be parked on such lot a caravan or similar vehicle for use as a permanent or semi-permanent residential accommodation
7. Not to erect or place or cause to be erected on such lot a shipping container or other temporary building structure other than a shed or workshop that is used for the purpose of, in conjunction with, and during the construction of, a permanent building or buildings on such lot
8. Not to use the main building erected on such lot for any purpose other than a private residential house

GA Dick: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES	Registered Number SP. 188264
SUBDIVIDER: : GA DICK FOLIO REFERENCE: 186614-99	

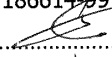
9. Not to erect or place or permit to be erected or remain on such lot any hoarding or advertising sign, except other than a notice or advertisement in the usual format for the sale or letting of the lot or the building thereon
10. Not to erect on such lot a residential building or buildings of a size less than 125m² inclusive of any attached garage
11. Not to erect or cause to be erected on such lot a fence or similar structure in any material other than timber or Colorbond steel "Monument" colour, or its replacement colour
12. Not to paint or cause to be painted any fence or similar structure on such lot in any colour other than Colorbond steel "Monument," or its replacement colour

The Vendor reserves the right to sell any lot on the Plan free and exempt from any one or more of the covenants set forth in relation to any lot shown on the Plan and/or to waive modify alter or extinguish any one or more of the covenants set forth above as to any lot not transferred. The exercise of this right by the Vendor in relation to any lot shall not release the owner of any other lot from any other covenants imposed upon such lot or give the owner of any lot any right of action against the Vendor or any person or persons.

FENCING PROVISION

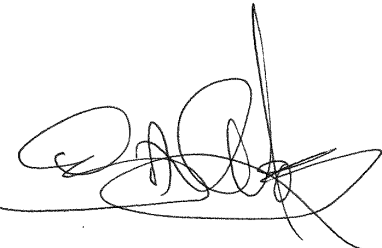
In respect to the lots on the plan the vendor (Graham Alexander Dick) shall not be required to fence

Signed by GRAHAM ALEXANDER DICK being the registered proprietor of Folio 186614-99 in the presence of-

Witness signature: 

Print Full Name: Justin Un

Postal Address: 153 Macquarie Street,
Hobart TAS 7000

) 
)
)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

DEVELOPMENT APPLICATION: PROPOSED DWELLING AT 19 BEACHVIEW COURT, LAUDERDALE

DIRECTOR'S LIST:

FOR: SAMUEL GRAY & KRISTY BURGESS

SITE: 19 BEACHVIEW COURT, LAUDERDALE 7021

LAND TITLE: 188264/15

PLANNING PERMIT: TBD

ZONING: GENERAL RESIDENTIAL

SITE AREA: 937.87m²

PROPOSED FOOTPRINT: 197.78m²

SITE COVERAGE: 21.09%

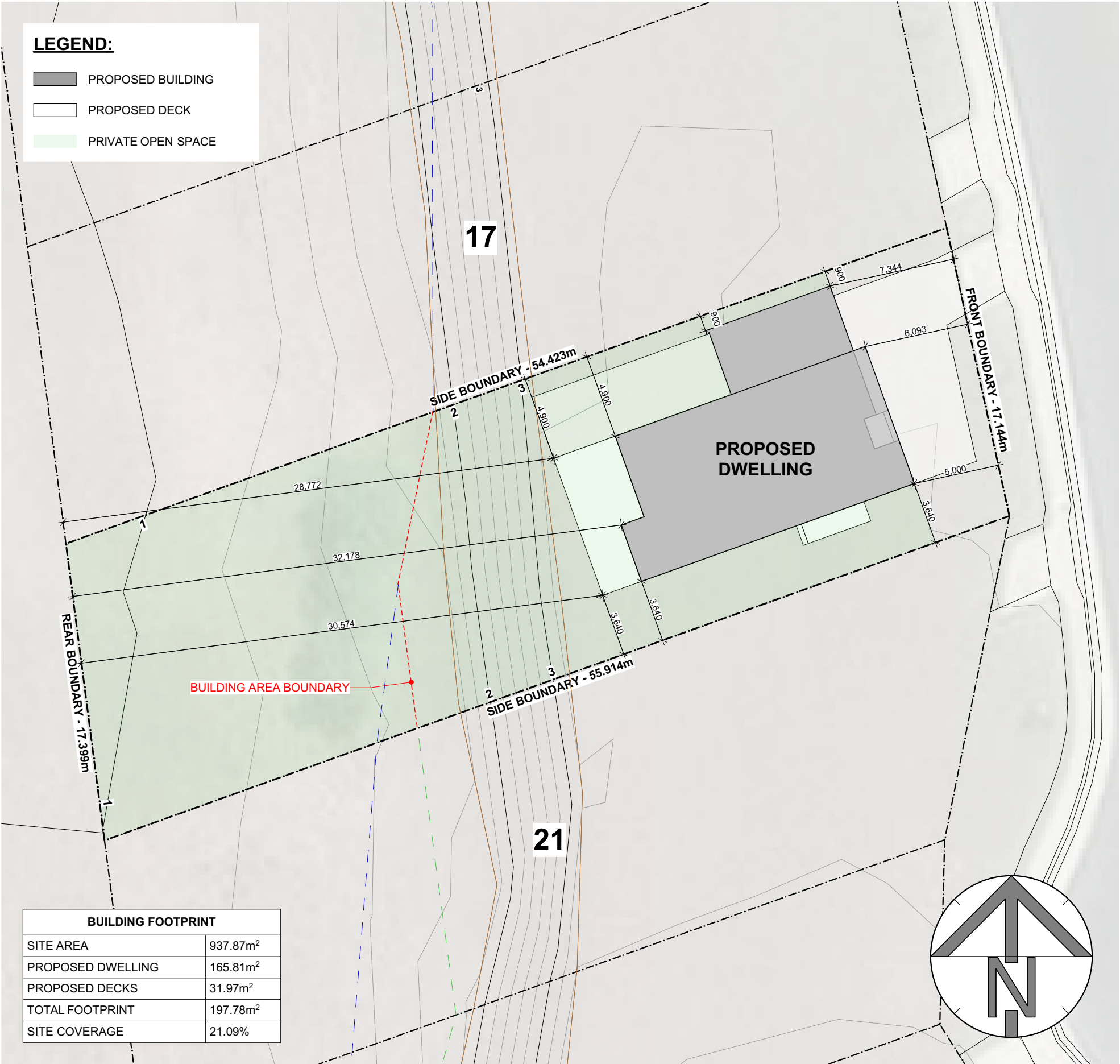
PRIVATE OPEN SPACE: 672.11m²

BAL: BAL - 12.5

SOIL CLASSIFICATION: TBD

DRAWING SCHEDULE:

DA.01	SITE PLAN	27/09/2025
DA.02	FLOOR PLAN - GROUND	27/09/2025
DA.03	FLOOR PLAN - FIRST	27/09/2025
DA.04	ROOF PLAN	27/09/2025
DA.05	ELEVATIONS 1 OF 2	27/09/2025
DA.06	ELEVATIONS 1 OF 2	27/09/2025
DA.07	3D PERSPECTIVE 1 OF 3	27/09/2025
DA.08	3D PERSPECTIVE 2 OF 3	27/09/2025
DA.09	3D PERSPECTIVE 3 OF 3	27/09/2025



LICENSE: 179730619
PHONE: 0439336257
EMAIL: info@jjjd.design
ADDRESS: 19 TILANBI STREET,
HOWRAH, TAS, 7018

Ammendments

DO NOT SCALE OFF DRAWINGS. CONTRACTORS TO
CONFIRM WITH J DWYER ANY DIMENSIONS OR LEVELS
IF NECESSARY. ALL GLAZING TO AS 1288/2047.
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PROJECT:

PROPOSED DWELLING AT 19 BEACHVIEW COURT,
LAUDERDALE, TAS 7021

DRAWING TITLE:

DA.01 SITE PLAN

CLIENT:

SAMUEL GRAY &
KRISTY BURGESS

DRAWN: J DWYER

SCALE: 1:250 @A3

DATE: 27/09/2025

LEGEND:

- A

P

ROOF ACCESS PANEL
- SD

SMOKE ALARM
- MB

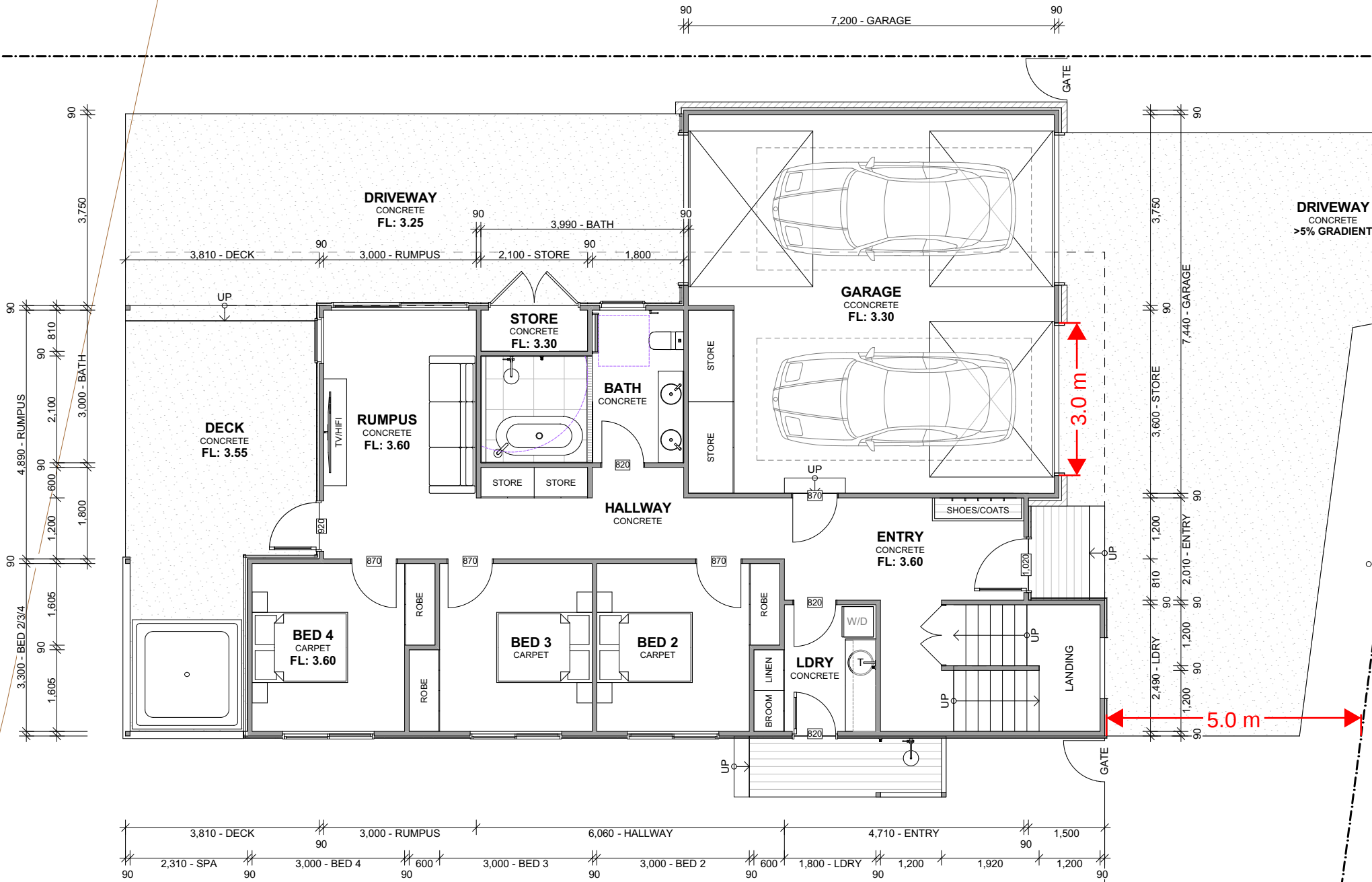
METER BOX
- HWC

HOT WATER CYLINDER
- 300x300 GRATED PIT

FLOOR AREAS:

GROUND FLOOR:	157.54m ²
GROUND FLOOR DECKS:	33.04m ²
FIRST FLOOR:	136.65m ²
FIRST FLOOR DECKS:	27.33m ²
TOTAL FLOOR AREA:	354.56m ²

PRIVATE OPEN SPACE: 672.11m²



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PROJECT:

PROPOSED DWELLING AT 19 BEACHVIEW COURT,
LAUDERDALE, TAS 7021

DRAWING TITLE:

DA.02 FLOOR PLAN - GROUND

CLIENT:

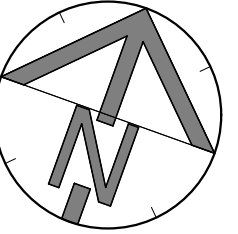
SAMUEL GRAY &
KRISTY BURGESS

DRAWN: J DWYER

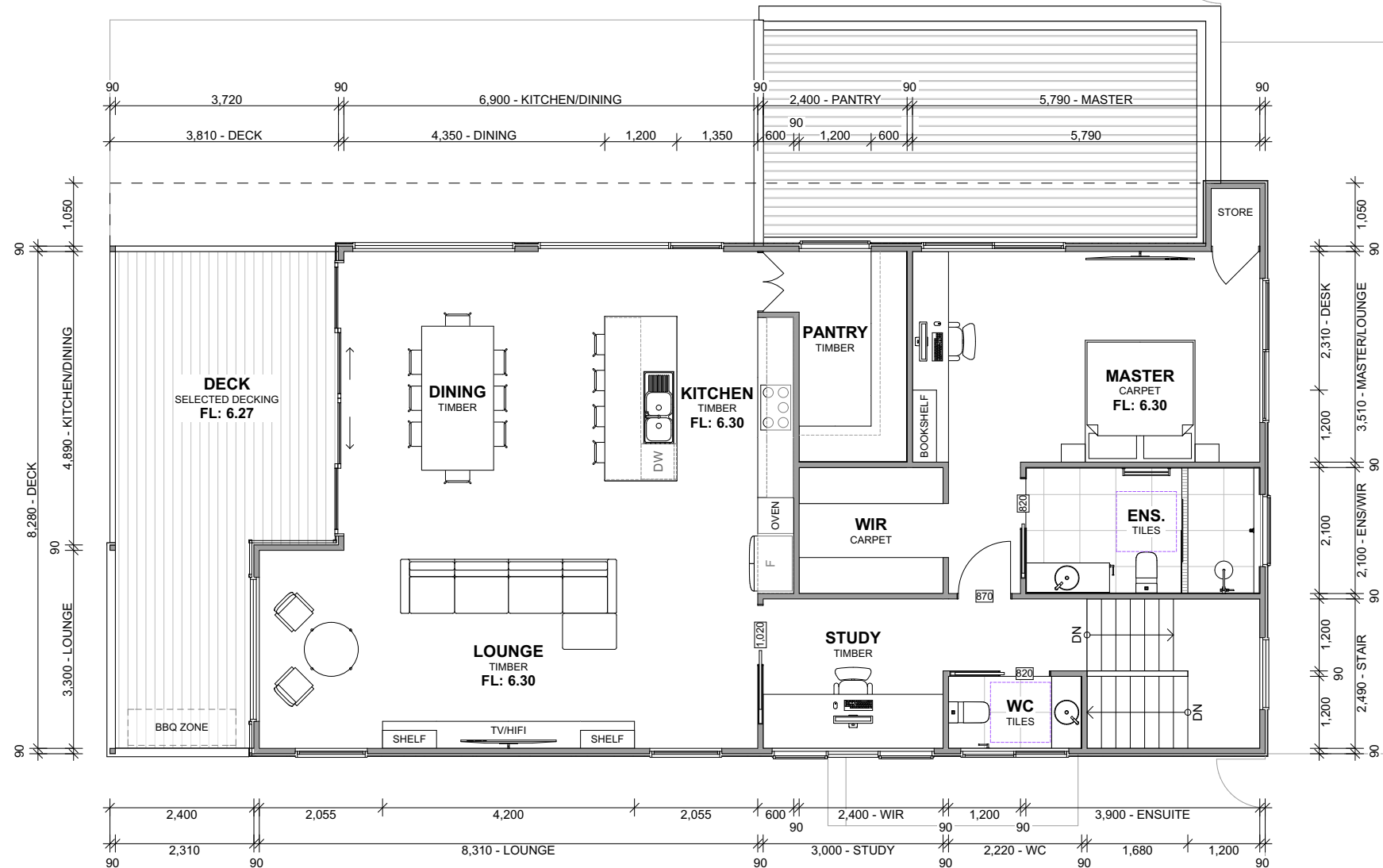
SCALE: 1:100 @A3

DATE: 27/09/2025

	ROOF ACCESS PANEL
	SMOKE ALARM
	METER BOX
	HOT WATER CYLINDER
	300x300 GRATED PIT



GROUND FLOOR:	157.54m ²
GROUND FLOOR DECKS:	33.04m ²
FIRST FLOOR:	136.65m ²
FIRST FLOOR DECKS:	27.33m ²
<u>TOTAL FLOOR AREA:</u>	<u>354.56m²</u>



ROOF CALCULATIONS:

ROOF #1 LYSAGHT™ 'TRIMDEK' @2°
185.81m² x 1.02 (2°) = 189.53m²
NO. OF DOWNPIPES = 3
DOWN PIPE SIZE = 100Ø

ROOF #2 LYSAGHT™ 'TRIMDEK' @2°
38.85m² x 1.02 (2°) = 31.47m²
NO. OF DOWNPIPES = 1
DOWN PIPE SIZE = 90Ø

ROOF LEGEND

- 100Ø DP 100Ø UPVC DOWNPIPE
- 90Ø DP 90Ø UPVC DOWNPIPE
- GP 300x300 CLASS 'B' GRATED PIT
- CLASS 'B' 150 GRATED TRENCH

PLUMBING NOTES

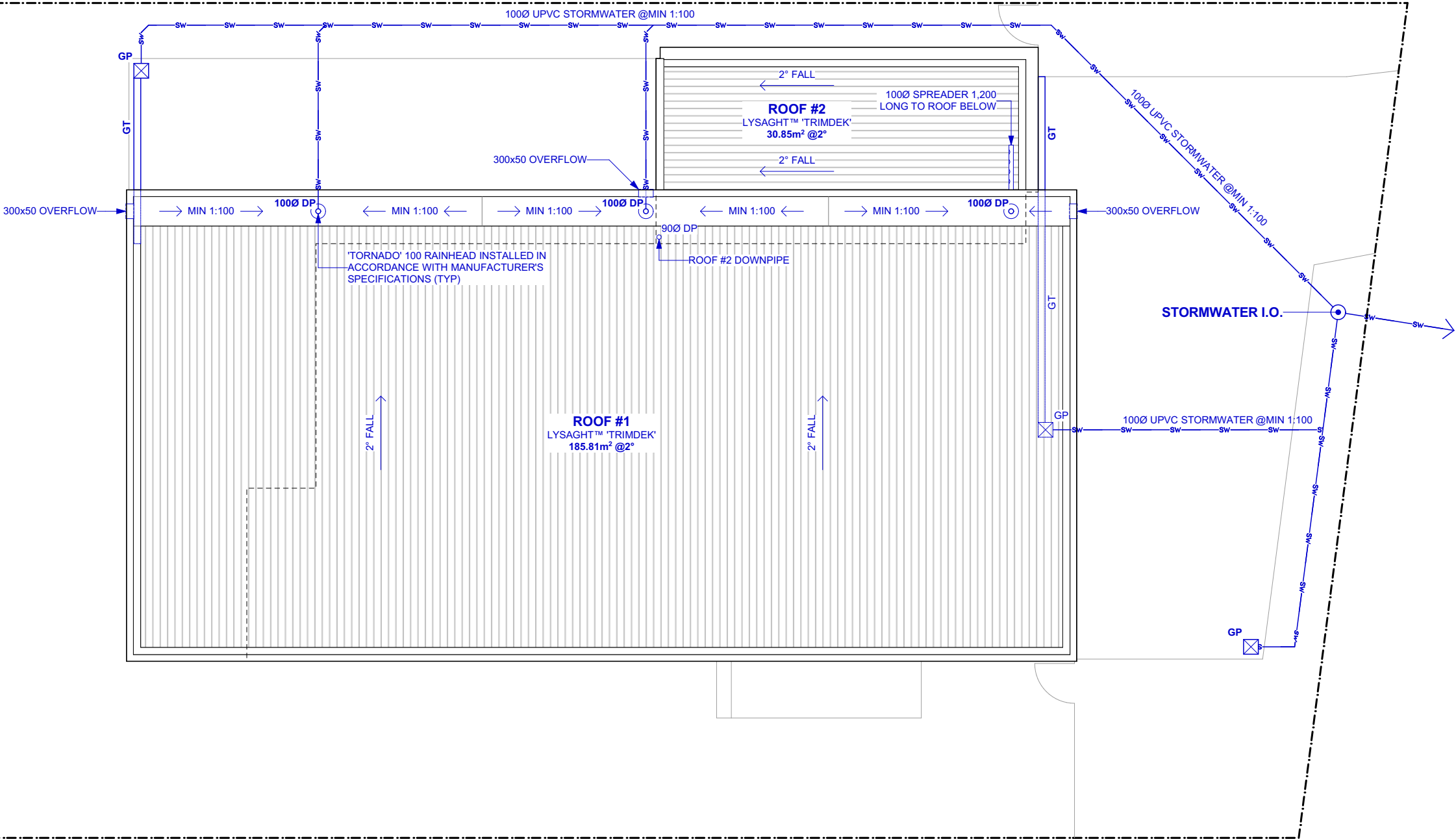
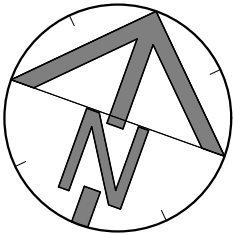
ALL PLUMBING TO BE IN ACCORDANCE WITH AS3500, TAS PLUMBING CODE AND LOCAL AUTHORITY REGULATIONS.

SEWER AND STORMWATER TO MAINS CONNECTIONS, PLUMBER TO VERIFY LOCATION ON SITE - REFER SITE PLAN.

FIRST INSPECTION OPENINGS TO BE RAISED TO FINISHED GROUND LEVEL.

ALL STORMWATER PITS TO BE DESIGNED IN ACCORDANCE WITH AS3500 - SECTION 8.6.

- MINIMUM GRADIENT ON PIPES AS PER AS3500 7.3.5
- 90Ø = 1:100
 - 100Ø = 1:100
 - 150Ø = 1:100



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PROJECT:

PROPOSED DWELLING AT 19 BEACHVIEW COURT,
LAUDERDALE, TAS 7021

DRAWING TITLE:

DA.04 ROOF PLAN

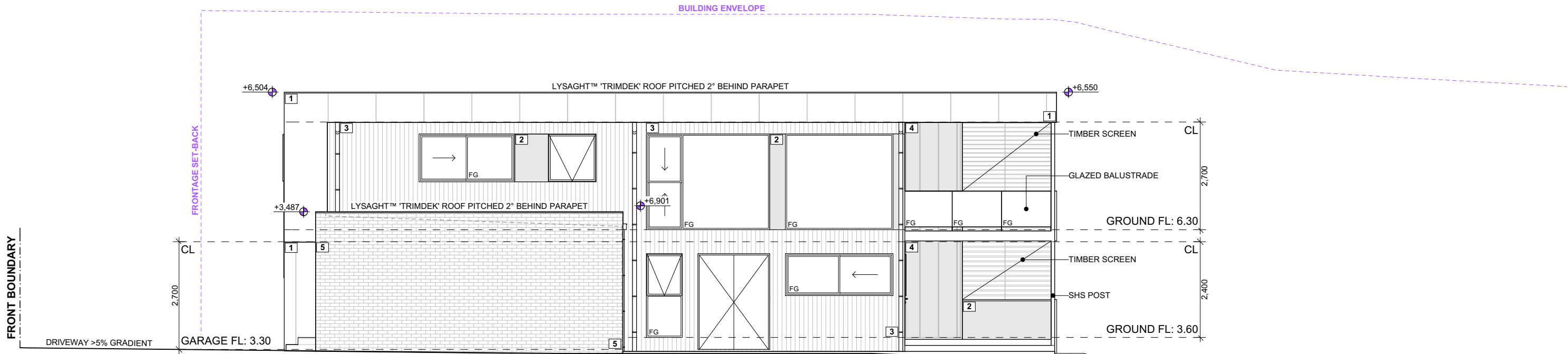
CLIENT:

SAMUEL GRAY &
KRISTY BURGESS

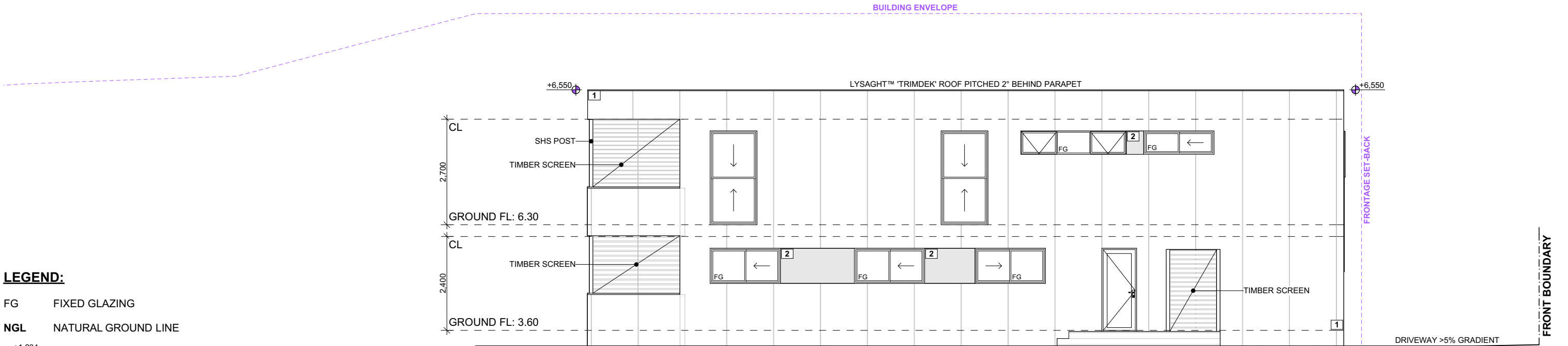
DRAWN: J DWYER

SCALE: 1:100 @A3

DATE: 27/09/2025



NNW ELEVATION
SCALE 1:100 @A3



SSE ELEVATION
SCALE 1:100 @A3

LEGEND:

- FG FIXED GLAZING
- NGL NATURAL GROUND LINE
- +1.234 HEIGHT ABOVE NGL
- SECTION PROTRUDING BUILDING ENVELOPE
- 1 SCYON™ 'EASYLAP' 9mm FRC CLADDING - DUNE
- 2 SCYON™ 'EASYLAP' 9mm FRC CLADDING - WALLABY
- 3 19mm TIMBER SHIPLAP CLADDING - CLEAR FINISH
- 4 LYSAGHT™ 'ENSEAM 340' MS CLADDING - WALLABY
- 5 RECLAIMED BRICK VENEER



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PROJECT:

PROPOSED DWELLING AT 19 BEACHVIEW COURT,
LAUDERDALE, TAS 7021

DRAWING TITLE:

DA.05 ELEVATIONS 1 OF 2

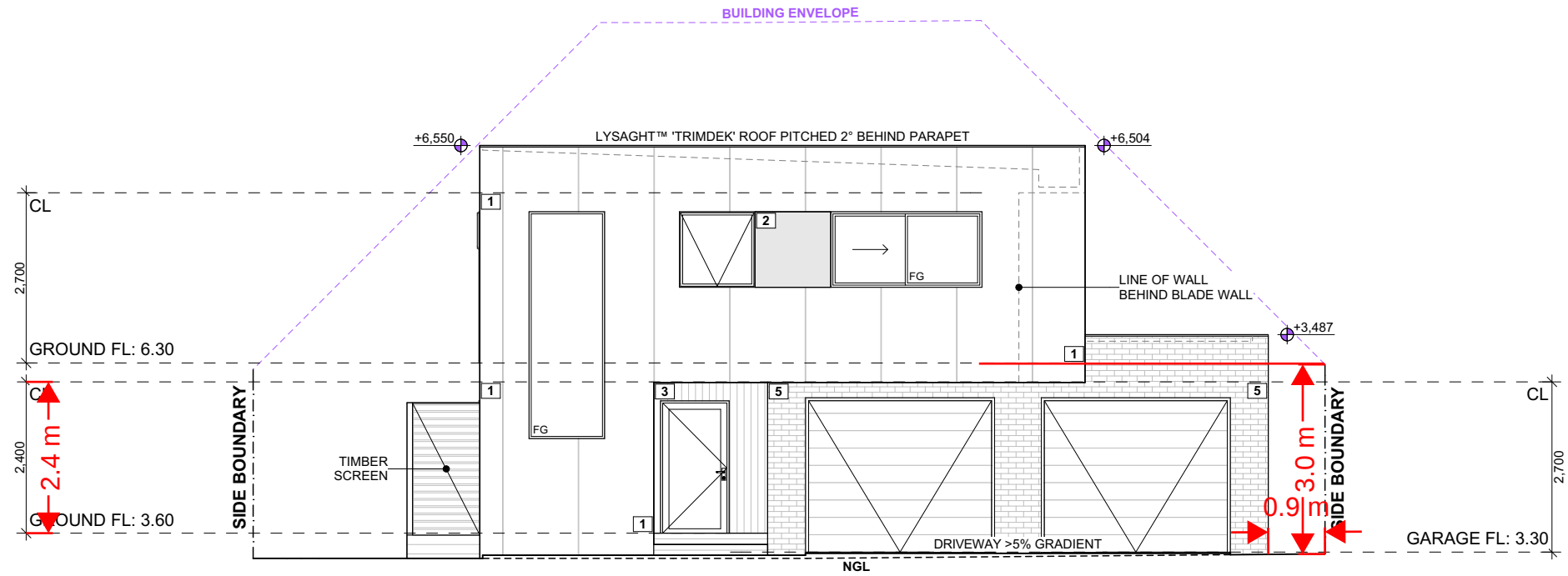
CLIENT:

SAMUEL GRAY &
KRISTY BURGESS

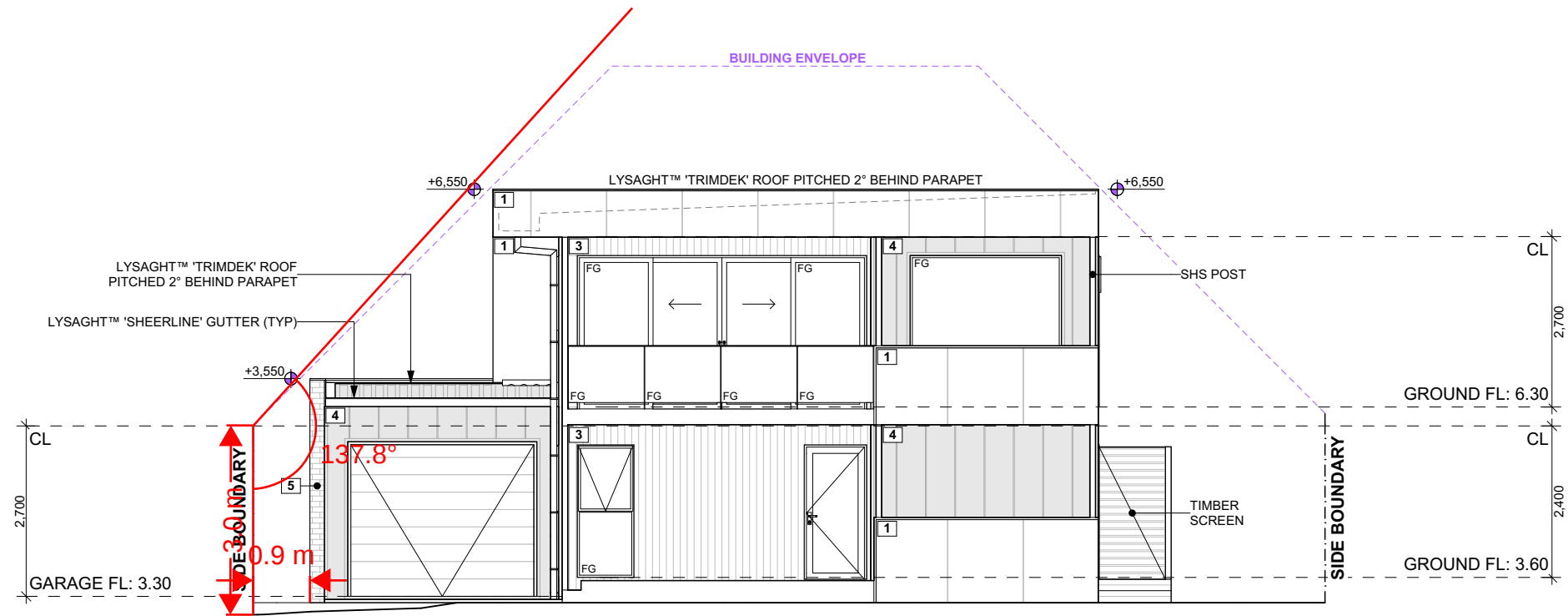
DRAWN: J DWYER

SCALE: 1:100 @A3

DATE: 27/09/2025



ENE ELEVATION
SCALE 1:100 @A3



WSW ELEVATION
SCALE 1:100 @A3

LEGEND:

- FG FIXED GLAZING
- NGL NATURAL GROUND LINE
- +1.234 HEIGHT ABOVE NGL
- SECTION PROTRUDING BUILDING ENVELOPE
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LAUDERDALE, TAS 7021

DRAWING TITLE:

DA.06 ELEVATIONS 2 OF 2

CLIENT:

SAMUEL GRAY &
KRISTY BURGESS

DRAWN: J DWYER

SCALE: 1:100 @A3

DATE: 27/09/2025



ENE PERSPECTIVE (STREET VIEW)



NNE PERSPECTIVE



NNW PERSPECTIVE



WNW PERSPECTIVE



WSW PERSPECTIVE



SSW PERSPECTIVE



SSE PERSPECTIVE



ESE PERSPECTIVE



KITCHEN



LOUNGE



DINING



KITCHEN/DINING