



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/054777

- PROPOSAL:** Outbuilding, Secondary Residence, Additions & Alterations (Single Dwelling) (Retrospective)
- LOCATION:** 19 Oscars Place, Geilston Bay (with access over 18 Florelyn Terrace, Geilston Bay)
- RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence
- ADVERTISING EXPIRY DATE:** 30 October 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 30 October 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 30 October 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: A single dwelling and outbuilding retrospective works

Location: 19 Oscars Place & 18 Florelyn Terrace, Geilston Bay 7015

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Residential**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 146117	FOLIO 3
EDITION 2	DATE OF ISSUE 10-Nov-2006

SEARCH DATE : 11-Aug-2025

SEARCH TIME : 09.25 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 3 on Sealed Plan [146117](#)

Derivation : Part of 2560 Acres Gtd. to T.G. Gregson

Prior CT [144120/1](#)SCHEDULE 1

[C676181](#) TRANSFER to SUSAN JANE MADDEN Registered
10-Nov-2006 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP146117](#) EASEMENTS in Schedule of Easements[SP146117](#) COVENANTS in Schedule of Easements[SP146117](#) FENCING PROVISION in Schedule of Easements[SP146117](#) COUNCIL NOTIFICATION under Section 83(5) of the Local
Government (Building and Miscellaneous Provisions)
Act 1993.[SP124141](#) WATER SUPPLY RESTRICTIONUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 184344	FOLIO 4
EDITION 2	DATE OF ISSUE 26-Jul-2025

SEARCH DATE : 25-Sep-2025

SEARCH TIME : 04.19 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 4 on Sealed Plan [184344](#)

Derivation : Part of 2560 Acres Gtd. to Thomas George Gregson

Prior CTs [146117/1](#) and [146117/4](#)

SCHEDULE 1

[N263731](#) TRANSFER to ALYCE CLAIRE FENTON-CLARK and BRADLEY FENTON-CLARK Registered 26-Jul-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP184344](#) EASEMENTS in Schedule of Easements

[SP184344](#) COVENANTS in Schedule of Easements

[SP184344](#) FENCING PROVISION in Schedule of Easements

[SP146117](#) COVENANTS in Schedule of Easements

[SP146117](#) FENCING PROVISION in Schedule of Easements

[SP146117](#) COUNCIL NOTIFICATION under Section 83(5) of the Local Government (Building and Miscellaneous Provisions) Act 1993.

[SP124141](#) WATER SUPPLY RESTRICTION

[E421102](#) MORTGAGE to Commonwealth Bank of Australia
Registered 26-Jul-2025 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP, 184344

PAGE 1 OF 8 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 1 & 4 on the Plan are each subject to a pipeline and services easement as defined herein in favour of Tasmanian Water and Sewerage Corporation Pty Ltd over the land marked Pipeline Easement (P144120) shown passing through such Lots.

Lot 1 is together with a right of carriageway over the land marked RIGHT OF WAY "C" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH on the plan

Lot 1 is together with a service easement created by and more fully set forth in Sealed Plan 146117 over the land marked RIGHT OF WAY "C" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH on the plan

Lot 1 is together with a service easement as defined herein over the land marked SERVICE EASEMENT 3.00 WIDE on the plan

Lot 1 is subject to a wayleave easement more fully set forth in Sealed Plan 146117 (in favour of Tasmanian Networks Pty Ltd incorporating the former Hydro Electric Commission) over the land marked WAYLEAVE EASEMENT 18.00 WIDE passing through that lot on the plan

Lot 1 is subject to a pipeline and services easement more fully set forth in Sealed Plan 146117 (in favour of Tasmanian Water and Sewerage Corporation Pty Ltd incorporating the former Hobart Water) over the land marked PIPELINE EASEMENT passing through that lot on the plan

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L	PLAN SEALED BY: CLARENCE CITY COUNCIL
FOLIO REF: 146117-1 & 4	DATE: 16 th December 2022
SOLICITOR	2021-024161
& REFERENCE: OGILVIE JENNINGS (LM)	REF NO.
Council Delegate Clare Sher	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

on the Plan
Lot 1 is subject to a right of carriageway (appurtenant to lot 4[^] and lot 2 on Sealed Plan 146117) over the land marked RIGHT OF WAY "D" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH passing through that lot on the plan

on the Plan
Lot 1 is subject to a service easement created by and more fully defined in Sealed Plan 146117 (appurtenant to lot 4[^] and lot 2 on Sealed Plan 146117) over the land marked RIGHT OF WAY "D" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH passing through that lot on the plan

Lot 1 is subject to a right of carriageway (appurtenant to lot 4) over the land marked RIGHT OF WAY "E" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE passing through that lot on the plan

Lot 1 is subject to a service easement created by and more fully defined in Sealed Plan 146117 (appurtenant to lot 4) over the land marked RIGHT OF WAY "E" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE passing through that lot on the plan

Lot 4 is together with a right of carriageway over the land marked ~~RIGHT OF WAY "A" (PRIVATE) 3.60 WIDE~~, RIGHT OF WAY "C" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH, RIGHT OF WAY "D" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH and RIGHT OF WAY "E" (PRIVATE) 8.00 WIDE on the plan

Lot 4 is together with a service easement created by and more fully set forth in Sealed Plan 146117 over the land marked ~~RIGHT OF WAY "A" (PRIVATE) 3.60 WIDE~~, RIGHT OF WAY "C" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH, RIGHT OF WAY "D" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH and RIGHT OF WAY "E" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE on the plan

Lot 4 is subject to a pipeline and services easement more fully set forth in Sealed Plan 146117 (in favour of Tasmanian Water and Sewerage Corporation Pty Ltd incorporating the former Hobart Water) over the land marked PIPELINE EASEMENT passing through that lot on the plan

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

Lot 4 is subject to a service easement as defined herein (appurtenant to lot 1) over the land marked SERVICE EASEMENT 3.00 WIDE passing through that lot on the plan

Lot 4 is subject to a wayleave easement more fully set forth in Sealed Plan 146117 (in favour of Tasmanian Networks Pty Ltd incorporating the former Hydro Electric Commission) over the land marked WAYLEAVE EASEMENT 18.00 WIDE passing through that lot on the plan

Lot 4 is subject to a right of carriageway (appurtenant to the portion of lot 4 formerly comprised in Folio 146117-4) over the land marked RIGHT OF WAY "F" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE passing through that lot on the plan

Lot 4 is subject to a service easement created by and more fully set forth in Sealed Plan 146117 (appurtenant to the portion of lot 4 formerly comprised in Folio 146117-4) over the land marked RIGHT OF WAY "F" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE passing through that lot on the plan

Lot 4 is subject to a right of carriageway (appurtenant to lot 3 on Sealed Plan 146117) over the land marked RIGHT OF WAY "B" (PRIVATE) 3.60 WIDE passing through that lot on the plan

Lot 4 is subject to a right of carriageway more fully set forth in Transfer No C607722 (in favour of ~~Tasmanian Water and Sewerage Corporation Pty Ltd~~ incorporating the former Hobart Regional Water Authority) over the land marked RIGHT OF WAY "B" (PRIVATE) 3.60 WIDE passing through that lot on the plan

That part of Lot 4 on the Plan formerly comprised in Lot 4 on Sealed Plan 146117 is together with a right of carriageway over the land marked Right of Way 'A' (Private) 3.60 wide shown on the Plan.

FENCING PROVISION

In respect to the lots on the plan the vendor (Murray Gordon Seabrook, Pamela Anne Seabrook and Koorbaes Pty Ltd) shall not be required to fence

COVENANTS

The owner of lot 1 is affected by covenants created by Sealed Plan 146117 in the following terms

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 8 PAGES	Registered Number SP, 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

1. Not to erect, place or maintain any structure or building upon the said lot unless firstly, it is placed within the building envelope marked ABCDE on the plan and secondly, it incorporates suitable building protection and fuel reduction zones in accordance with the requirements of Tasmania Fire Service
2. Not to remove any trees from the lot except those necessary for the construction of buildings, vehicular access and connection to services
3. Not to undertake any development on the lot except in accordance with Australian Standard AS 3959-1999, Construction of Buildings in Bushfire Prone Areas

The owner of lot 4 is affected by covenants created by Sealed Plan 146117 in the following terms:-

1. Not to erect, place or maintain any structure or building upon the said lot unless firstly, it is placed within the building envelope marked ABCD on the plan and secondly, it incorporates suitable building protection and fuel reduction zones in accordance with the requirements of Tasmania Fire Service
2. Not to remove any trees from the lot except those necessary for the construction of buildings, vehicular access and connection to services
3. Not to undertake any development on the lot except in accordance with Australian Standard AS 3959-1999, Construction of Buildings in Bushfire Prone Areas

INTERPRETATION

"Service easement" means the right for the proprietor of the dominant tenement at any time with others and machinery:-

- (a) to enter upon the land marked "Service Easement 3.00 Wide" on the plan to lay pipes, pumps, drains, mains, channels, gutters, sewers, wires, cables and conducting media along and under the surface of the said land; and
- (b) to inspect, maintain, repair and amend the said infrastructure for the purpose of conveying water, stormwater, sewerage, electricity, gas and telecommunication media; and
- (c) to ensure that the rights granted are exercised in a proper manner so as to cause as little inconvenience as possible and to do as little damage as practicable to the said land

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

The Pipeline and Services Easement is defined as follows:-

THE FULL RIGHT AND LIBERTY for the Transferee at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

- (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Signed by MURRAY GORDON SEABROOK)
 and PAMELA ANNE SEABROOK)
 being the registered proprietor of Folio of the)
 Register 146117/1 in the presence of:)

Witness signature:

Print Full Name:CHRIS MURRAY SEABROOK.....

Postal Address:Unit 3/7, Sturgeson Court.....

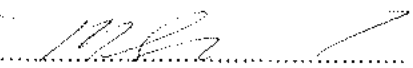
.....Lindisfarne TAS.....

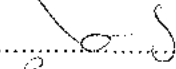
Executed by AUSTRALIA AND NEW ZEALAND BANKING
 GROUP LIMITED as mortgagee in Mortgage No C917051:

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 8 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

Signed for and on behalf of KOORBAES PTY LTD
(ACN 070 223 540) being the registered proprietor of
Folio of the Register 146117/4 pursuant to section 127
Corporations Act 2001 by:

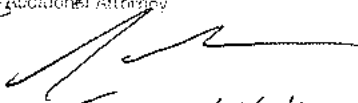
Signature: 
Print Full Name: *Murray Gordon Seabrook*
Office Held: *Director*

Signature: 
Print Full Name: *Pamela Seabrook*
Office Held: *Director*

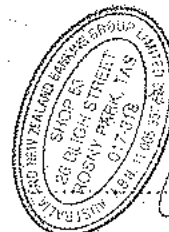
AUSTRALIA AND NEW ZEALAND
BANKING GROUP LIMITED by its
Additional Attorney

I hereby Certify that I have
the notice of execution of
this deed (ALN 146117-1 & 4) under
the instrument is signed) in the
presence of

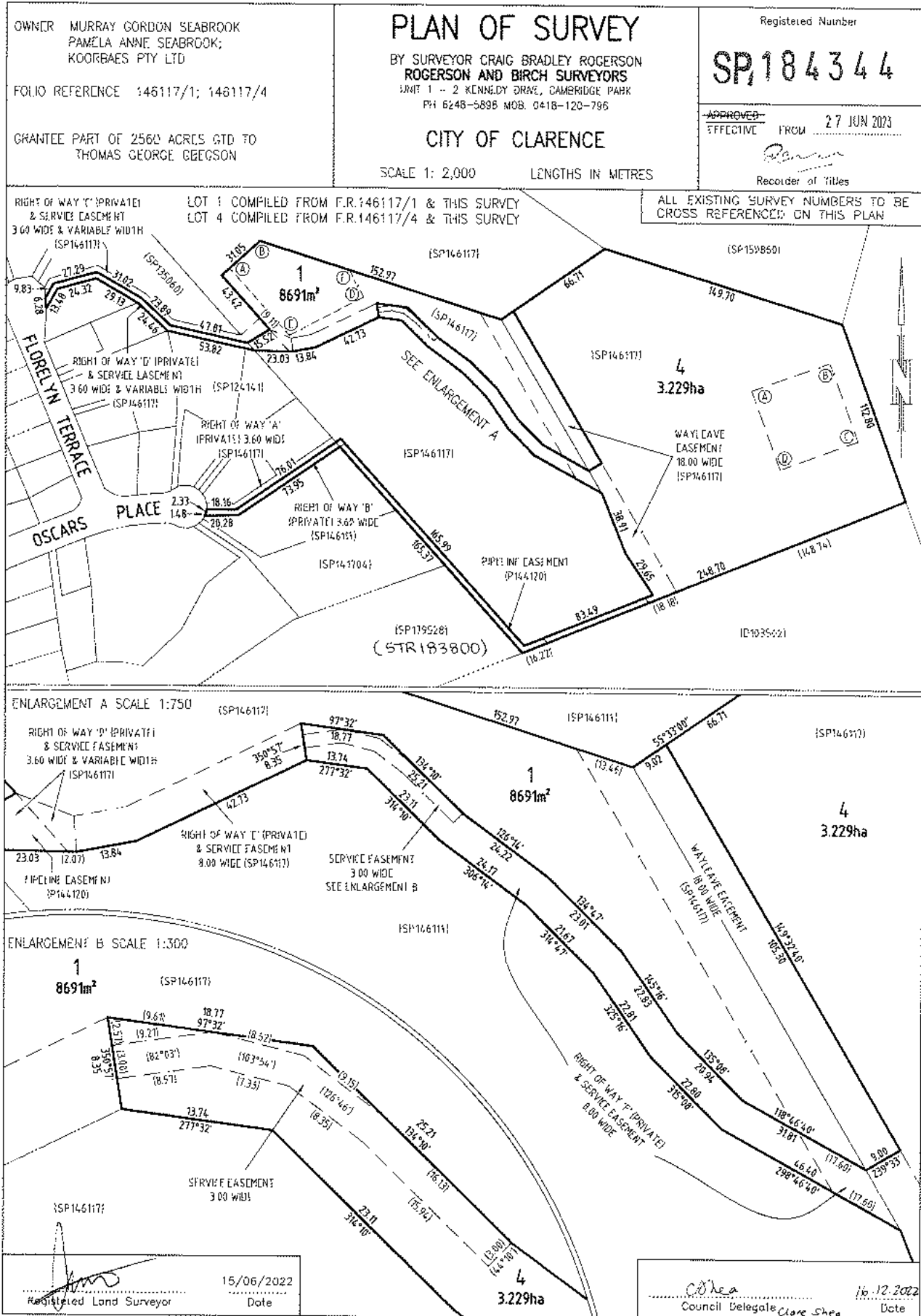
AUSTRALIA AND NEW ZEALAND
BANKING GROUP LIMITED by its
Additional Attorney

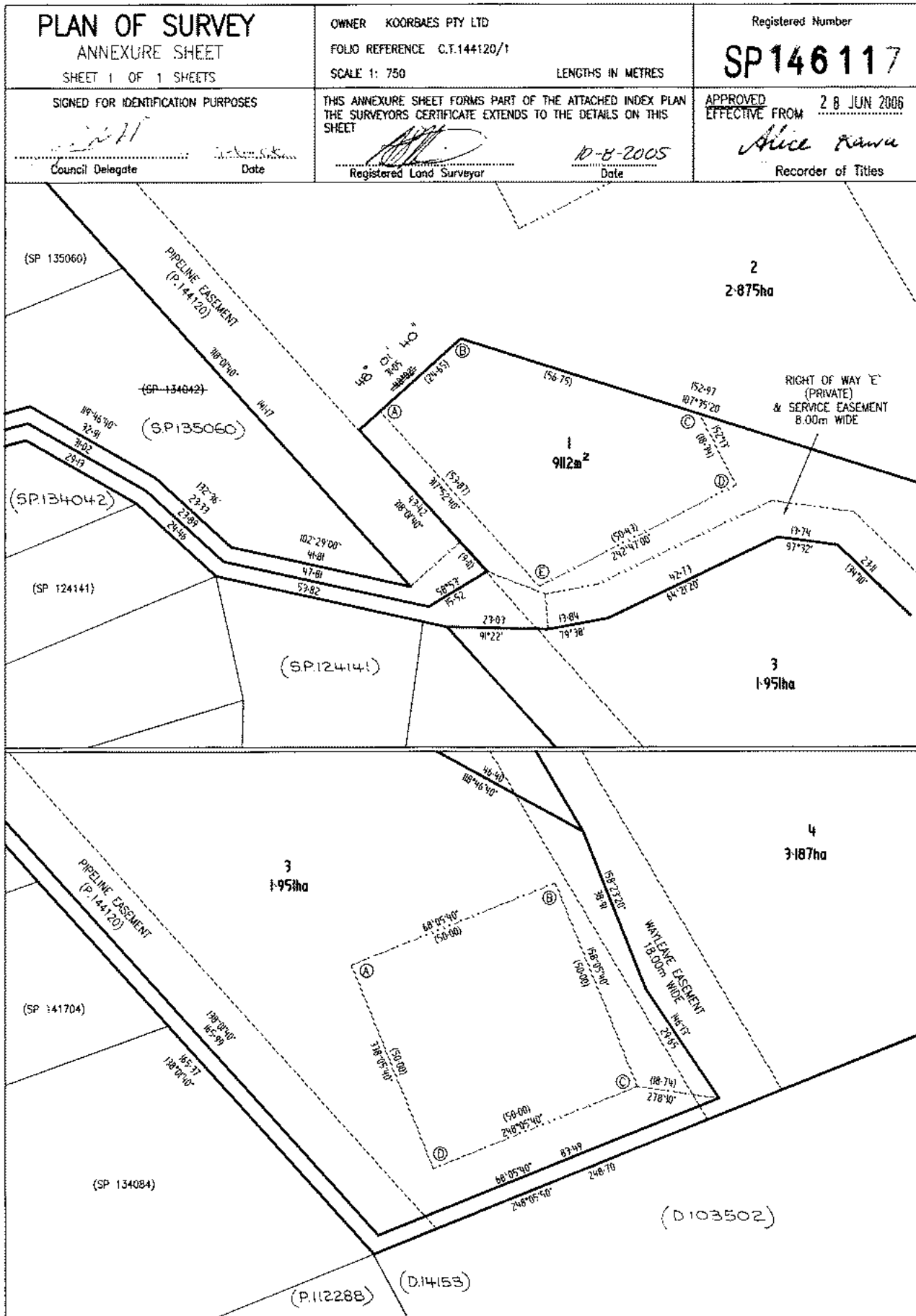

Travis Wallace

Hilda Wanigasuriya
Solicitor, 100 Collins Street, Docklands Victoria 3008



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.





SCHEDULE OF EASEMENTS	Registered Number SP146117
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 3 PAGE/S
6

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 1, 2, 3 and 4 are subject to a pipeline easement (as/defined) ^{herein} for Hobart Water over the Pipeline Easement (P144120) shown on the Plan.

Lots 1, 2, 3 and 4 are subject to a wayleave easement (as/defined) ^{herein} over the Wayleave Easement 18.00m wide shown on the Plan in favour of Hydro-Electric Corporation

Lot 1 is together with a right of carriageway and service easement (as/defined) ^{herein} over the Right of Way "C" (Private) and Service Easement 3.60m wide shown passing through Lot 2 on the Plan.

Lot 1 is subject to a right of carriageway and service easement (appurtenant to Lots ~~2~~ ^{2 and 4}) over the Right of Way "D" (Private) and Service Easement 3.60m wide shown passing through Lot 1.

Lot 2 is together with a right of carriageway and service easement over the Right of Way "D" (Private) and Service Easement 3.60m wide shown passing through Lot 1.

Lots 2 is subject to a right of carriageway and service easement (appurtenant to ~~Lot 1~~ ^{Lots 1 and 4}) over the Right of Way "C" (Private) and Service Easement shown passing through Lot ~~1~~ ².

Lot 3 is subject to a right of drainage (appurtenant to Lots 27 to 31 on Sealed Plan 124141 over the Drainage Easement 3.60m wide (SP124141) shown passing through such lot.

Lot 4 is together with a right of carriageway and service easement over the Right of Way "E" Private and Service Easement 8.00 wide shown passing through Lot 1.

Lot 1 is subject to a right of carriageway and service easement (appurtenant to Lot 4) over the Right of Way "E" Private and Service Easement 8.00 wide shown passing through Lot 1.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: KOORBAES PTY LTD FOLIO REF: 144120/1 SOLICITOR: SIMMONS WOLFHAGEN & REFERENCE: J Oakley	PLAN SEALED BY: CLARENCE CITY COUNCIL DATE: 7 June 2006 S.D. 2006/60 REF NO.
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

[Signature]

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 6 PAGES 6	Registered Number SP 146 117
SUBDIVIDER: KOORBAES PTY LTD FOLIO REFERENCE: 144120/1	

Lot 4 is together with rights of ^{and variable width} carriageway and services easements over the Right of Way "C" (Private) and Service Easement 3.60 wide shown passing through Lot 2 and the Right of Way "D" Private and Services Easement 3.60 wide shown passing through Lot 1.

Lot 3 is together with a right of carriageway over the Right of Way "B" ^(Private) 3.60 wide shown passing through Lot 4.

Lot 3 is subject to a right of carriageway (appurtenant to Lot 4) over the Right of Way "A" ^(Private) 3.60 wide shown passing through Lot 3.

Lot 4 is together with a right of carriageway over the Right of Way "A" ^(Private) 3.60 wide shown passing through Lot 3.

Lot 4 is subject to a right of carriageway (appurtenant to Lot 3) over the Right of Way "B" ^(Private) 3.60 wide shown passing through Lot 4.

~~Lots 3 and 4 are subject to a right of carriageway (appurtenant to Lot 1 on SP12905) over the Right of Way "A" (Private) 3.60m wide passing through Lot 3 and Right of Way "B" (Private) 3.60m wide passing through Lot 4.~~

Lots 3 and 4 on the plan are each subject to a right of carriageway for the Hobart Regional Water Authority over Rights of Way A & B (Private) 3.60 wide shown on the plan as created by and more fully set forth in C607722.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES 6	Registered Number SP 146 117
SUBDIVIDER: KOORBAES PTY LTD FOLIO REFERENCE: 144120/1	

COVENANTS

The Owner of each Lot covenants with the Vendor **Koorbaes Pty Ltd** and the owners for the time being of every other Lot shown on the Plan to the intent that the burden of this covenant may run with and bind the Covenantors Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot to observe the following stipulations:-

1. Not to erect, place or maintain any
~~No building or structure shall be erected, placed or maintained~~ upon Lots 2, 3 and 4 or any part thereof unless and until firstly, it is placed within the building envelope marked ABDC shown on the Lots and secondly, it incorporates suitable building protection and fuel reduction zones in accordance with requirements of the Tasmanian Fire Service.
2. Not to erect, place or maintain any
~~No building or structure shall be erected, placed or maintained~~ upon Lot 1 or any part thereof unless and until firstly, it is placed within the building envelope marked ABCDE and secondly, it incorporates suitable building protection and fuel reduction zones in accordance with requirements of the Tasmanian Fire Service.
3. Not to undertake any
~~No development on the Lots shall be undertaken~~ except in accordance with the Australian Standard AS 3959-1999, Construction of Building in Bushfire Prone Areas.
4. Not to remove any trees from the Lots except those necessary for the construction of building vehicular access and connection of services.

FENCING PROVISION

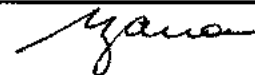
The Vendor **KOORBAES Pty Ltd** shall not be required to fence any of the Lots shown on the Plan.

INTERPRETATION**PIPELINE EASEMENT** means:

THE FULL RIGHT AND LIBERTY for Hobart Water at all times to:

- a) enter upon the land shown as Pipeline Easement (P144120) (the Land) with ~~employees,~~ workers, servants, contractors, agents and all other persons duly authorised by it and machinery; and
- b) open, break up and excavate the Land to lay and maintain on or in the Land, water pipes, valves and fittings for any purposes Hobart Water may deem necessary; and

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 5 PAGES 6	Registered Number SP 146117
SUBDIVIDER: KOORBAES PTY LTD FOLIO REFERENCE: 144120/1	

- c) run and pass water through and along the same and from time to time to inspect, cleanse, repair and maintain the same and when and where necessary to lay new pipes, valves and fittings in substitution for and in addition to any other pipes, valves and fittings; and
- d) do all necessary works in connection with such activities or as may be authorised by any relevant legislation:-
 - (i) without doing unnecessary damage to the Land; and
 - (ii) leaving the Land in a clean and tidy condition.

INTERPRETATION OF PIPELINE EASEMENT CONTINUED ON PAGE 6
SERVICE EASEMENT means:

“service easement” shall mean the full and free right and liberty for the dominant tenement for the time being have the benefit of the easements over the lots shown on the Plan to enter upon the strip of land shown on the Plan marked “Right of Way (Private) and Service Easement and lay, repair, replace, cleanse and maintain pipes, drains, sewers, wires, cables and other conducting media of such size and number as shall from time to time be required therein. The said benefiting owner shall make good any damage to the surface occasioned thereby. Notwithstanding, the servient tenement of the strip of land marked “Right of Way (Private) and Service Easement are not precluded, subject to written approval from the Local Authority and the dominant tenement from constructing or erecting any structure on the land required to provide access to any part of the servient lot.

WAYLEAVE EASEMENT means:-

FIRSTLY all the full and free right and liberty for the Hydro-Electric Corporation and its successors and its and their servants agents and contractors at all times hereafter:-

- a) TO clear the lands shown as Wayleave Easement on the plan (hereinafter called “the servient land”) and to erect construct place inspect alter repair renew maintain and use in upon and over and along and remove from the servient land towers poles wires cables apparatus appliances and other ancillary work (all of which are hereinafter collectively referred to as “the said lines”) for the transmission and distribution of electrical energy and for purposes incidental thereto;
- b) TO cause or permit electrical energy to flow or be transmitted through and along the said lines;
- c) TO cut away remove and keep clear of the said lines all trees and all other obstructions or erections of any nature whatsoever which may at any time overhang encroach or be in on or on the servient land and which may in any way endanger or interfere with the property operation of the said lines; and
- d) TO enter into and upon the servient land and if necessary to cross the remainder of the said land for the purpose of access and regress to and from the servient land for all or any of the above

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

[Signature]

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 6 PAGES 6	Registered Number SP 146 117
SUBDIVIDER: KOORBAES PTY LTD FOLIO REFERENCE: 144120/1	

purposes with or without all necessary plan equipment machinery and vehicles of every kind,
and

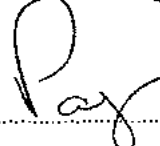
SECONDLY the benefit of a covenant for the Hydro-Electric Corporation and its successors with the registered proprietor/s for themselves and their successors in title of the servient land not to erect any buildings or place any structures or objects that could interfere with the proper and safe operation of the said lines to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement first hereinbefore described.

EASEMENTS CONTINUED ON PAGE 6

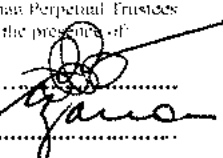
SIGNED for and on behalf of KOORBAES)
)
 PTY LTD pursuant to Section 127 of)
)
 Corporation Law 2001 as the)
)
 registered proprietor of the lands comprised)
)
 in folio of the Register Volume 144120)

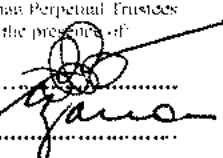
Folio 1 in the presence of:

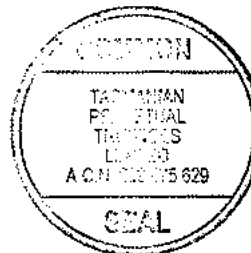

 DIRECTOR MURRAY SEABROOK


 DIRECTOR/SECRETARY Pam SEABROOK

The Common Seal of Tasmanian Perpetual Trustees
 Limited was affixed hereto in the presence of:

Director Authorised Officer 

Director Authorised Officer 



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 6 PAGES	Registered Number SP 146117
SUBDIVIDER: - KOORBRAES PTY LTD FOLIO REFERENCE: - 144120/1	
EASEMENTS (continued) PIPELINE EASEMENT (continued) PROVIDED ALWAYS THAT: e) The Owner shall not without the written consent of Hobart Water first had and obtained:- i) alter or permit to be altered the ground level of the Land; ii) erect or permit to be erected any building, structure, pipeline or paving on or in the Land; iii) do or permit to be done any manner of thing which shall damage or be likely to cause damage to water pipes, valves and fittings laid now or later or constructed in or on the Land; or iv) in any way prevent or interfere with the proper exercise and benefits of this easement by Hobart Water or its workers, servants, contractors, agents and all other persons duly authorised by it. f) Hobart Water shall not be required to fence any part of the Land. g) The Owner shall be at liberty to erect any fence across the Land wherever it may reasonably require the same provided that: i) Hobart Water shall be at liberty to provide in such a fence a gate suitable to its purposes; and ii) The Owner shall provide Hobart Water with a key to any lock which would prevent the opening of any gate so provided. h) In the event that the Owner causes damage to any water pipes, valves or fittings laid, maintained or substituted by Hobart Water such that Hobart Water is required to repair such damage, the Owner shall be liable for the actual costs of the repair of the water pipes, valves and fittings so damaged. i) Hobart Water shall be at liberty without forfeiting any right of action, damages or otherwise against the Owner to reinstate any alteration to the ground level and to remove from the Land any building, structure, pipeline, paving, tree, shrub or other object which contravenes the provisions of this easement and shall not be required to replace same. j) Hobart Water shall be at liberty to enter upon the Land for the purposes of this Easement in a vehicle or vehicles, such access to be from the road frontage or from any gate. k) Hobart Water shall be permitted to access the Land from adjoining land of the Owner provided that in doing so no damage or inconvenience is caused. l) The Owner shall not place any obstruction which would prevent access to the Land.	
NOTE: - Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.	

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP, 184344

PAGE 1 OF 8 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 1 & 4 on the Plan are each subject to a pipeline and services easement as defined herein in favour of Tasmanian Water and Sewerage Corporation Pty Ltd over the land marked Pipeline Easement (P144120) shown passing through such Lots.

Lot 1 is together with a right of carriageway over the land marked RIGHT OF WAY "C" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH on the plan

Lot 1 is together with a service easement created by and more fully set forth in Sealed Plan 146117 over the land marked RIGHT OF WAY "C" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH on the plan

Lot 1 is together with a service easement as defined herein over the land marked SERVICE EASEMENT 3.00 WIDE on the plan

Lot 1 is subject to a wayleave easement more fully set forth in Sealed Plan 146117 (in favour of Tasmanian Networks Pty Ltd incorporating the former Hydro Electric Commission) over the land marked WAYLEAVE EASEMENT 18.00 WIDE passing through that lot on the plan

Lot 1 is subject to a pipeline and services easement more fully set forth in Sealed Plan 146117 (in favour of Tasmanian Water and Sewerage Corporation Pty Ltd incorporating the former Hobart Water) over the land marked PIPELINE EASEMENT passing through that lot on the plan

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L	PLAN SEALED BY: CLARENCE CITY COUNCIL
FOLIO REF: 146117-1 & 4	DATE: 16 th December 2022
SOLICITOR & REFERENCE: OGILVIE JENNINGS (LM)	2021-024161 REF NO.
Council Delegate Clare Sher	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

on the Plan
 Lot 1 is subject to a right of carriageway (appurtenant to lot 4[^] and lot 2 on Sealed Plan 146117) over the land marked RIGHT OF WAY "D" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH passing through that lot on the plan

on the Plan
 Lot 1 is subject to a service easement created by and more fully defined in Sealed Plan 146117 (appurtenant to lot 4[^] and lot 2 on Sealed Plan 146117) over the land marked RIGHT OF WAY "D" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH passing through that lot on the plan

Lot 1 is subject to a right of carriageway (appurtenant to lot 4) over the land marked RIGHT OF WAY "E" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE passing through that lot on the plan

Lot 1 is subject to a service easement created by and more fully defined in Sealed Plan 146117 (appurtenant to lot 4) over the land marked RIGHT OF WAY "E" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE passing through that lot on the plan

Lot 4 is together with a right of carriageway over the land marked ~~RIGHT OF WAY "A" (PRIVATE) 3.60 WIDE~~, RIGHT OF WAY "C" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH, RIGHT OF WAY "D" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH and RIGHT OF WAY "E" (PRIVATE) 8.00 WIDE on the plan

Lot 4 is together with a service easement created by and more fully set forth in Sealed Plan 146117 over the land marked ~~RIGHT OF WAY "A" (PRIVATE) 3.60 WIDE~~, RIGHT OF WAY "C" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH, RIGHT OF WAY "D" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH and RIGHT OF WAY "E" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE on the plan

Lot 4 is subject to a pipeline and services easement more fully set forth in Sealed Plan 146117 (in favour of Tasmanian Water and Sewerage Corporation Pty Ltd incorporating the former Hobart Water) over the land marked PIPELINE EASEMENT passing through that lot on the plan

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

Lot 4 is subject to a service easement as defined herein (appurtenant to lot 1) over the land marked SERVICE EASEMENT 3.00 WIDE passing through that lot on the plan

Lot 4 is subject to a wayleave easement more fully set forth in Sealed Plan 146117 (in favour of Tasmanian Networks Pty Ltd incorporating the former Hydro Electric Commission) over the land marked WAYLEAVE EASEMENT 18.00 WIDE passing through that lot on the plan

Lot 4 is subject to a right of carriageway (appurtenant to the portion of lot 4 formerly comprised in Folio 146117-4) over the land marked RIGHT OF WAY "F" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE passing through that lot on the plan

Lot 4 is subject to a service easement created by and more fully set forth in Sealed Plan 146117 (appurtenant to the portion of lot 4 formerly comprised in Folio 146117-4) over the land marked RIGHT OF WAY "F" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE passing through that lot on the plan

Lot 4 is subject to a right of carriageway (appurtenant to lot 3 on Sealed Plan 146117) over the land marked RIGHT OF WAY "B" (PRIVATE) 3.60 WIDE passing through that lot on the plan

Lot 4 is subject to a right of carriageway more fully set forth in Transfer No C607722 (in favour of ~~Tasmanian Water and Sewerage Corporation Pty Ltd~~ incorporating the former Hobart Regional Water Authority) over the land marked RIGHT OF WAY "B" (PRIVATE) 3.60 WIDE passing through that lot on the plan

That part of Lot 4 on the Plan formerly comprised in Lot 4 on Sealed Plan 146117 is together with a right of carriageway over the land marked Right of Way 'A' (Private) 3.60 wide shown on the Plan.

FENCING PROVISION

In respect to the lots on the plan the vendor (Murray Gordon Seabrook, Pamela Anne Seabrook and Koorbaes Pty Ltd) shall not be required to fence

COVENANTS

The owner of lot 1 is affected by covenants created by Sealed Plan 146117 in the following terms

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 8 PAGES	Registered Number SP, 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

1. Not to erect, place or maintain any structure or building upon the said lot unless firstly, it is placed within the building envelope marked ABCDE on the plan and secondly, it incorporates suitable building protection and fuel reduction zones in accordance with the requirements of Tasmania Fire Service
2. Not to remove any trees from the lot except those necessary for the construction of buildings, vehicular access and connection to services
3. Not to undertake any development on the lot except in accordance with Australian Standard AS 3959-1999, Construction of Buildings in Bushfire Prone Areas

The owner of lot 4 is affected by covenants created by Sealed Plan 146117 in the following terms:-

1. Not to erect, place or maintain any structure or building upon the said lot unless firstly, it is placed within the building envelope marked ABCD on the plan and secondly, it incorporates suitable building protection and fuel reduction zones in accordance with the requirements of Tasmania Fire Service
2. Not to remove any trees from the lot except those necessary for the construction of buildings, vehicular access and connection to services
3. Not to undertake any development on the lot except in accordance with Australian Standard AS 3959-1999, Construction of Buildings in Bushfire Prone Areas

INTERPRETATION

"Service easement" means the right for the proprietor of the dominant tenement at any time with others and machinery:-

- (a) to enter upon the land marked "Service Easement 3.00 Wide" on the plan to lay pipes, pumps, drains, mains, channels, gutters, sewers, wires, cables and conducting media along and under the surface of the said land; and
- (b) to inspect, maintain, repair and amend the said infrastructure for the purpose of conveying water, stormwater, sewerage, electricity, gas and telecommunication media; and
- (c) to ensure that the rights granted are exercised in a proper manner so as to cause as little inconvenience as possible and to do as little damage as practicable to the said land

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

The Pipeline and Services Easement is defined as follows:-

THE FULL RIGHT AND LIBERTY for the Transferee at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

- (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Signed by MURRAY GORDON SEABROOK)
 and PAMELA ANNE SEABROOK)
 being the registered proprietor of Folio of the)
 Register 146117/1 in the presence of:)

Witness signature:

Print Full Name:CHRIS MURRAY SEABROOK.....

Postal Address:Unit 3/7, Sturgeson Court.....

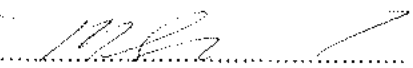
.....Lindisfarne TAS.....

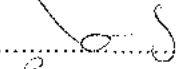
Executed by AUSTRALIA AND NEW ZEALAND BANKING
 GROUP LIMITED as mortgagee in Mortgage No C917051:

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 8 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

Signed for and on behalf of KOORBAES PTY LTD
(ACN 070 223 540) being the registered proprietor of
Folio of the Register 146117/4 pursuant to section 127
Corporations Act 2001 by:

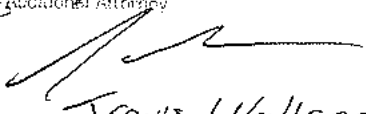
Signature: 
Print Full Name: *Murray Gordon Seabrook*
Office Held: *Director*

Signature: 
Print Full Name: *Pamela Seabrook*
Office Held: *Director*

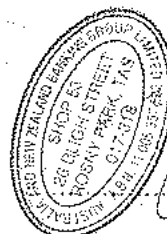
AUSTRALIA AND NEW ZEALAND
BANKING GROUP LIMITED by its
Additional Attorney

AUSTRALIA AND NEW ZEALAND
BANKING GROUP LIMITED by its
Additional Attorney

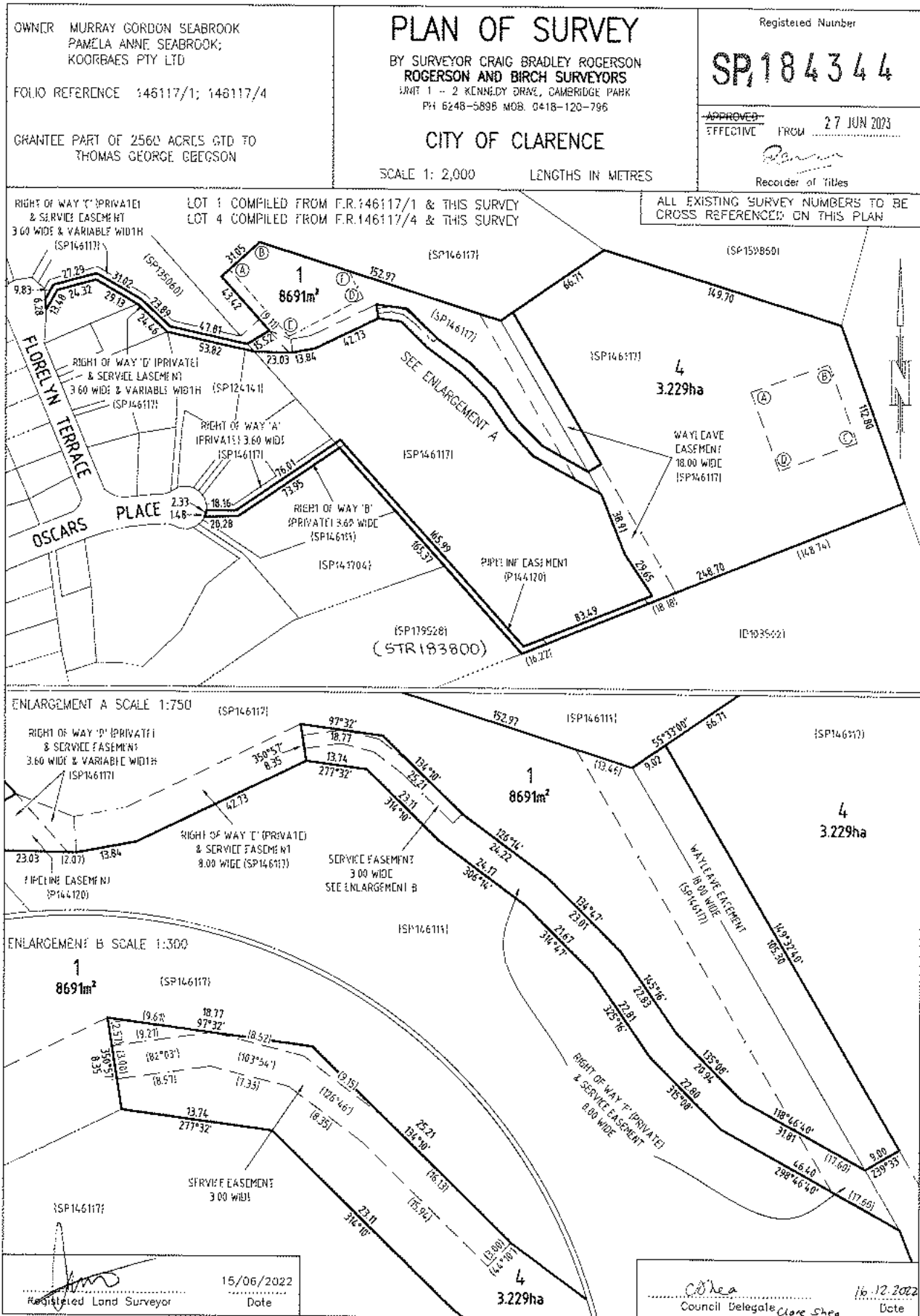
I hereby Certify that I have
the authority to execute on
behalf of AUSTRALIA AND NEW ZEALAND
BANKING GROUP LIMITED (in the
name of) in the
name of


Travis Wallace

Hilda Wanigasuriya
Solicitor, 100 Collins Street, Docklands Victoria 3008



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.





07 October 2025

City of Clarence
38 Bligh Street
Rosny Park
7018

REGARDING: AS CONSTRUCTED PLANS – A SINGLE DWELLING & OUTBUILDING RETROSPECTIVE WORKS

ADDRESS: 19 OSCARS PLACE, GEILSTON BAY 7015

APPLICATION NUMBER: PDPLANPMTD-2025/054777

We refer to Council's request for further information received for the planning permit application dated 06/10/2025 for 19 Oscars Place, Geilston Bay 7015. Please find below our responses to each of the items raised in Council's correspondence. The amended plans and supporting information have been prepared to address the matters identified and to assist with the continued assessment of this application.

RFI Point 1:

Zone6.1.2(c)

Standard

- The proposal appears to include a self-contained residence within the outbuilding/boat shed on site. As multiple dwellings are prohibited in this zone, this residence must meet the definition of a Secondary Residence, or alternatively be amended to no longer be self-contained. To comply with the definition of a Secondary Residence, internal access to the boat-shed must be removed, as it would make the Secondary Residence larger than the 60m² gross floor area prescribed by the definition below. It is additionally recommended to address the requirements in your response.

secondary residence	means an additional residence which is self-contained and: (a) has a gross floor area not more than 60m ² ; (b) is appurtenant to a single dwelling; (c) shares with the single dwelling access and parking, and water, sewerage, gas, electricity and telecommunications connections and meters; and (d) may include laundry facilities.
---------------------	--

Response: Please refer to the amended floor plan **DA11**, which shows the removal of the internal access between the habitable area and the boat shed, thereby separating the two areas.

The secondary residence will:

- Have a gross floor area of no more than 47.82m²
- Be appurtenant to a single dwelling
- Share with the single dwelling access, parking, water, sewerage, gas, electricity, and telecommunications connections and meters



- Contain laundry facilities

Accordingly, the self-contained residence within the outbuilding satisfies the definition of a Secondary Residence under the planning scheme.

RFI Point 2:

LANDSCAPE CONSERVATION ZONE

22.4.2 BUILDING HEIGHT, SITING AND EXTERIOR FINISHES – A1/P1, A5/P5

- Elevations inclusive of existing ground levels are required to clarify the maximum height of the outbuildings to the north of the dwelling (nominated 6x3 Garden Shed, and 6.5x3 Open Machinery Shed;
- Further information is required to assess the external building finishes of all buildings against this standard, noting the acceptable solution prescribes a light reflectance value of not more than 40%, in dark natural tones of grey, green or brown.

Response: Please refer to pages **DA17** and **DA18** for the elevations of the garden shed and open machinery shed. All existing structures do not exceed 6m in height and therefore comply with Acceptable Solution A1 of Clause 22.4.2.

Amended elevations DA14–DA18 provide details of the existing materials and paint colours. The listed finishes are assumed to be Colorbond colours closely matching the existing site finishes.

While the majority of the existing finishes meet Acceptable Solution A5, the garden shed includes a small area of metal sheet cladding with an assumed LRV of 70 (Colorbond Surfmist). As shown on **DA17**, the shed has a maximum height of 2.37m and is situated on the same level as the ground floor of the main dwelling. The southern elevation—where the Surfmist colour is most visible—faces the main dwelling and is screened from public view. Given the site’s internal lot configuration and existing landscaping, the shed is not visible from public roads or neighbouring properties.

Accordingly, the shed will not cause an unreasonable loss of amenity to adjoining properties or detract from the landscape values of the area. The design is therefore considered to satisfy Performance Solution P5 under Clause 22.4.2.

RFI Point 3:

NATURAL ASSETS CODE

22.4.4 LANDSCAPE PROTECTION – A1/P1.1, P1.2

- Further information is required to address the performance criteria of this clause, in relation to clearance required for the existing outbuildings to the north of site, and the driveway following the north-eastern boundary.

Response: Please refer to **DA18** for further details of the open machinery shed. As this shed is located outside the allocated building area shown on the sealed plan, Performance Criteria P1 and P2.1 under Clause 22.4.4 are addressed below.



Project ID: 2517

- The total combined area of the driveway and machinery shed is approximately 2,030m², representing about 10% of the total site area, with the remaining land retaining native vegetation and landscaping.
- The area between the driveway and the north-eastern boundary has been terraced using treated pine retaining walls and planted with native species.
- The shed is a simple, lightweight structure comprising steel beams and rafters supported by timber posts and steel columns on pad footings, with a maximum height of approximately 3.55m above natural ground level.
- The gravel driveway follows the natural contours of the site and turns south-west toward the site entry, thereby minimising earthworks and impacts on the existing topography.

In conclusion, the existing works for the shed and driveway have minimal impact on the landscape values of the site and surrounding area. The development does not result in an adverse visual impact and remains well screened from public vantage points.

Council's Environmental Health Officer has additionally queried how wastewater has been addressed, as neither Council nor TasWater have any record of on-site or reticulated wastewater.

Response: The on-site sewer line is connected to the sewer manhole at the internal access strip via a pumped 32mm diameter HPVC pipe as shown on the site plan **DA02**. The pumped line was installed to the direction of the plumbing officer in 2011. It is the owners understanding that this plumbing line was part of a previously approved plumbing permit.

Thank you for your time and consideration.

If you have any questions, please do not hesitate to contact me.



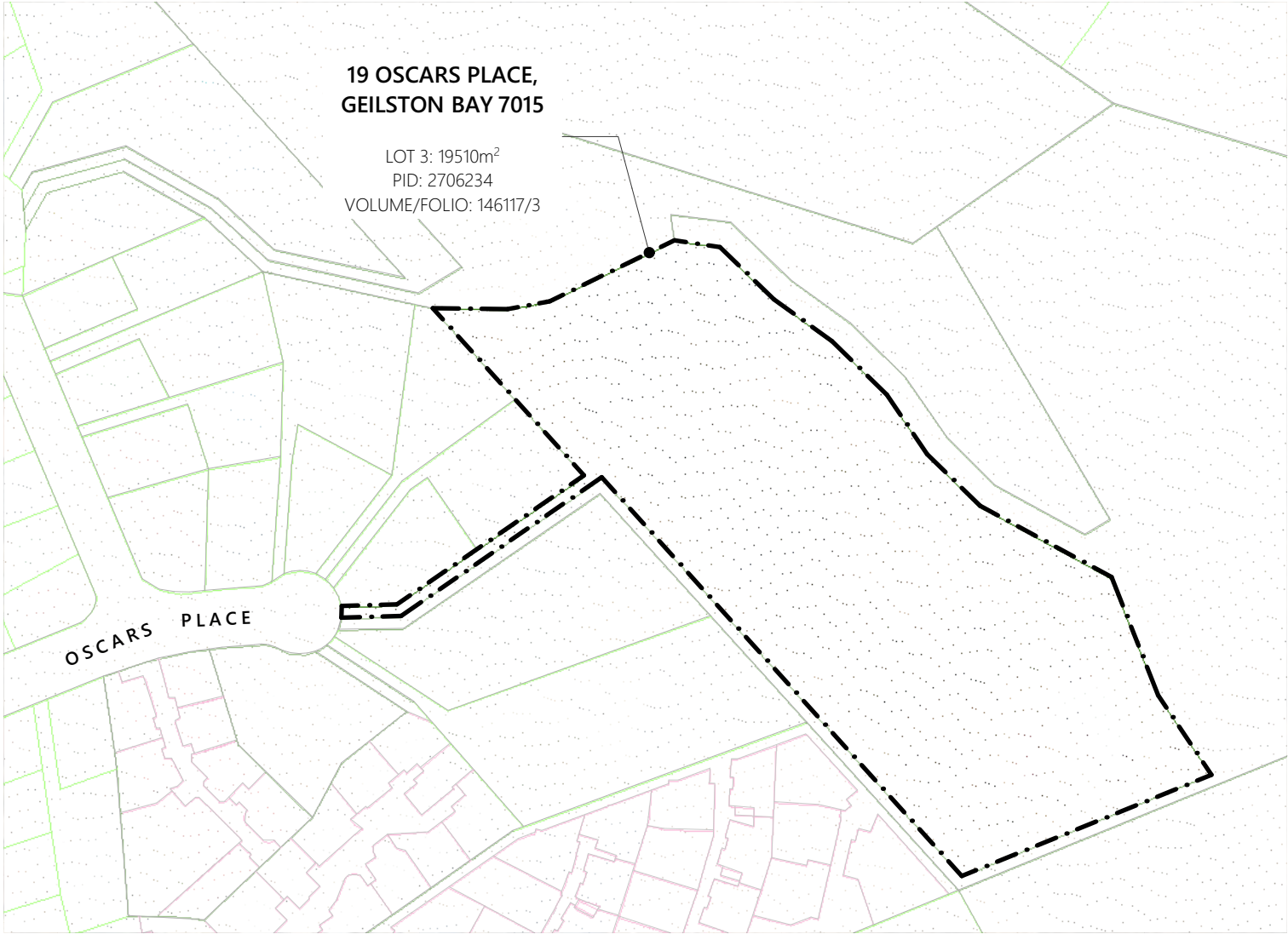
ORAMATIS

DEVELOPMENT APPLICATION

19 OSCARS PLACE, GEILSTON BAY 7015

OSCARS PLACE AS CONSTRUCTED PLANS

ID	NAME	REV
	COVER PAGE	
DA01	NOTES & SITE LOCATION PLAN	
DA02	OVERALL SITE PLAN	
DA03	SITE PLAN	A
DA04	GROUND FLOOR PLAN 1	
DA05	GROUND FLOOR PLAN 2	
DA06	UPPER FLOOR PLAN 1	
DA07	UPPER FLOOR PLAN 2	
DA08	GROUND FLOOR PLUMBING PLAN	
DA09	UPPER FLOOR PLUMBING PLAN	
DA10	ROOF PLAN	
DA11	OUTBUILDING PLAN	A
DA12	OUTBUILDING PLUMBING PLAN	
DA13	OUTBUILDING ROOF PLAN	
DA14	ELEVATION	A
DA15	ELEVATION	A
DA16	OUTBUILDING ELEVATION	A
DA17	GARDEN SHED ELEVATION	A
DA18	OPEN MACHINERY SHED ELEVATION	A



1 LOCATION PLAN/SATELLITE IMAGERY
1:2000

GENERAL NOTES

GENERAL
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DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER

WORKPLACE HEALTH AND SAFETY
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

LAND TITLE REFERENCE
VOLUME (PLAN): 146117/3

DESIGN WIND SPEED
WIND LOADING TO AS 4055: N*

SOIL CLASSIFICATION
SOIL CLASSIFICATION TO AS 2870: N#

CLIMATE ZONE FOR THERMAL DESIGN
CLIMATE ZONE TO BCA FIGURE 1.1.4: 7

BUSHFIRE PRONE AREA BAL RATING
BUSHFIRE ATTACK LEVEL (BAL) TO AS 3959: BAL-XX

CORROSION ENVIRONMENT
CORROSION ENVIRONMENT TO AS/NZS 2312: N/A

KNOWN SITE HAZARDS: n/a

SCHEDULE OF AREAS
GROUND FLOOR SITE COVERAGE: 302m²
EXISTING SHED (APPROX): 182m²
SITE AREA : 19510m²
SITE COVERAGE: 1.5%

REV ID	DESCRIPTION	DATE

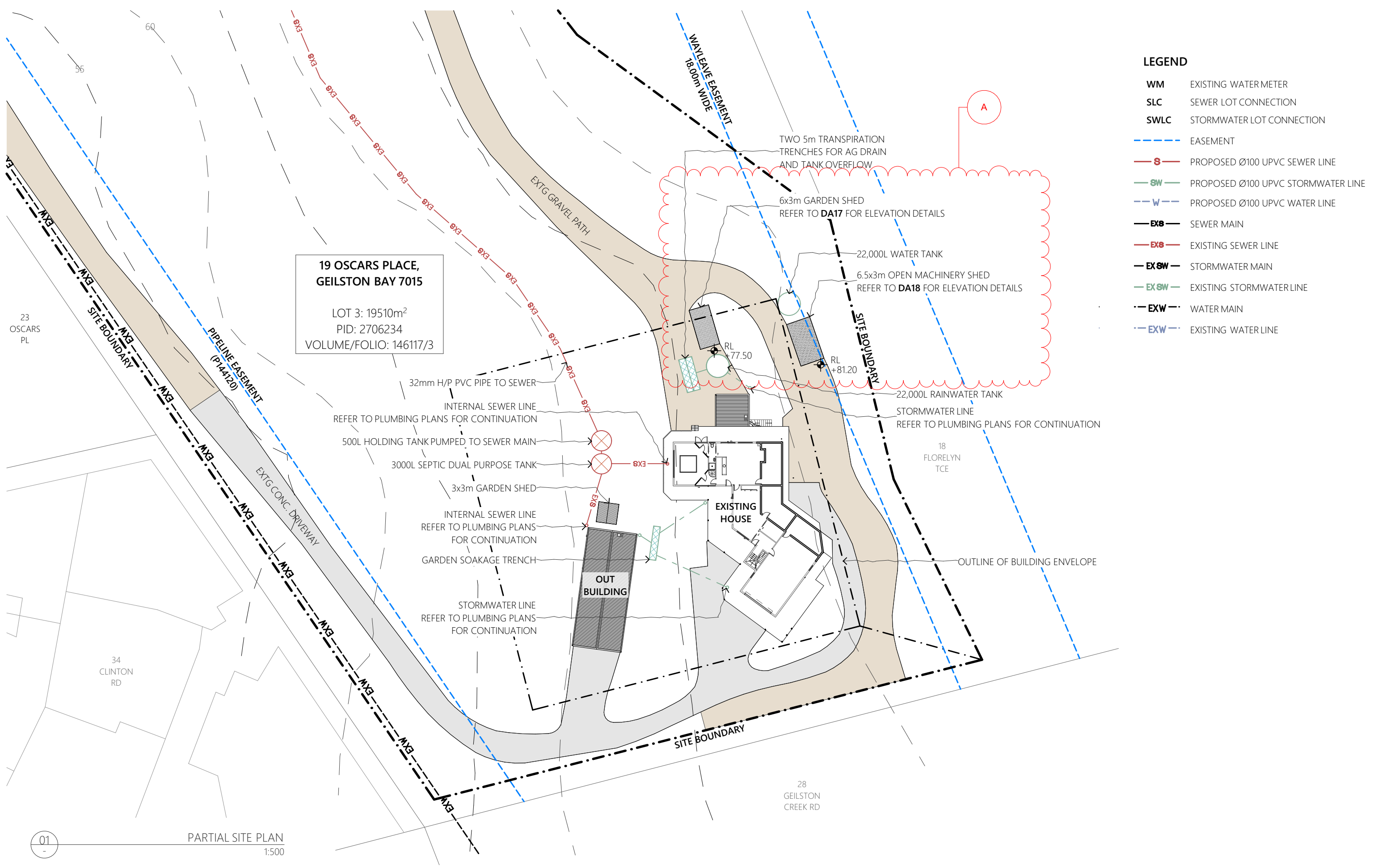
PROJECT	REVISION	DATE	SCALE
AS CONSTRUCTED PLANS 19 OSCARS PLACE, GEILSTON BAY 7015		7/10/2025	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
RAY & SUE	2517	A. HILL	J. LIM



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					19 OSCARS PLACE, GEILSTON BAY 7015						
					CLIENT		PROJECT ID	CHECKED BY	DRAWN BY		
					RAY & SUE		2517	A. HILL	J. LIM		
OVERALL SITE PLAN											

Document Set ID: 5712715

Version: 1, Version Date: 07/10/2025



- LEGEND
- WM

EXISTING WATER METER
- SLC

SEWER LOT CONNECTION
- SWLC

STORMWATER LOT CONNECTION
- EASEMENT
- S

PROPOSED Ø100 UPVC SEWER LINE
- SW

PROPOSED Ø100 UPVC STORMWATER LINE
- W

PROPOSED Ø100 UPVC WATER LINE
- EXS

SEWER MAIN
- EXS

EXISTING SEWER LINE
- EXSW

STORMWATER MAIN
- EXSW

EXISTING STORMWATER LINE
- EXW

WATER MAIN
- EXW

EXISTING WATER LINE



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PROJECT

AS CONSTRUCTED PLANS
19 OSCARS PLACE, GEILSTON BAY 7015

CLIENT

RAY & SUE

PROJECT ID

2517

REV ID	DESCRIPTION	DATE
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REVISION	DATE
	7/10/2025

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J. LIM	A. HILL

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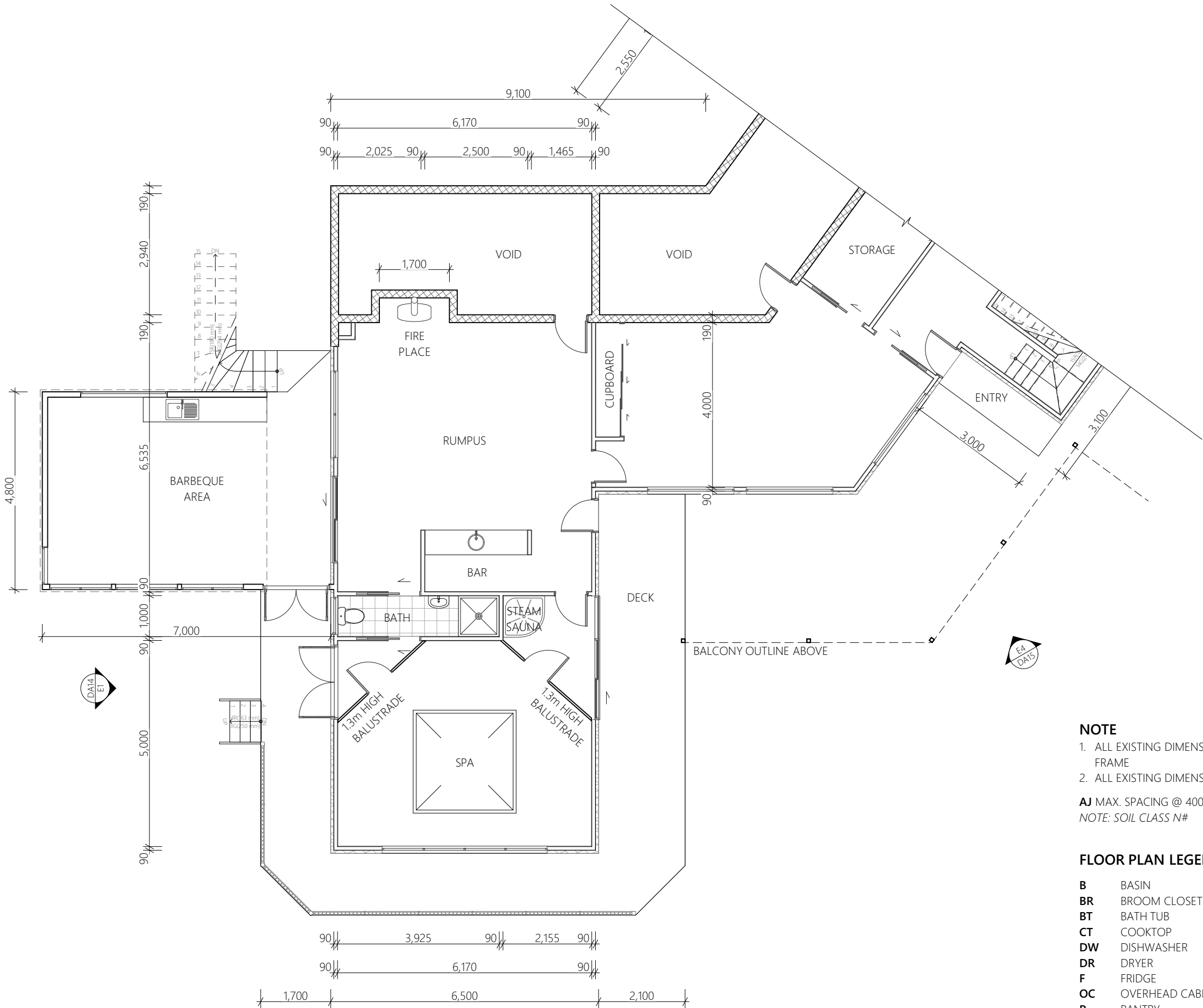
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DRAWING

GROUND FLOOR PLAN 1

SCALE

AS SHOWN @ A3



NOTE

- ALL EXISTING DIMENSIONS ARE TO THE WALL FRAME
- ALL EXISTING DIMENSIONS ARE NOMINAL. (NOM.)

AJ MAX. SPACING @ 4000-6000mm

NOTE: SOIL CLASS N#

FLOOR PLAN LEGEND

B	BASIN
BR	BROOM CLOSET
BT	BATH TUB
CT	COOKTOP
DW	DISHWASHER
DR	DRYER
F	FRIDGE
OC	OVERHEAD CABINETS
P	PANTRY
RH	RANGEHOOD
S	SINK
SH	SHOWER CABIN
ST	STORAGE
TR	LAUNDRY TROUGH
V	VANITY
WM	WASHING MACHINE

1
-
GROUND FLOOR PLAN
1:100



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19 OSCARS PLACE, GEILSTON BAY 7015

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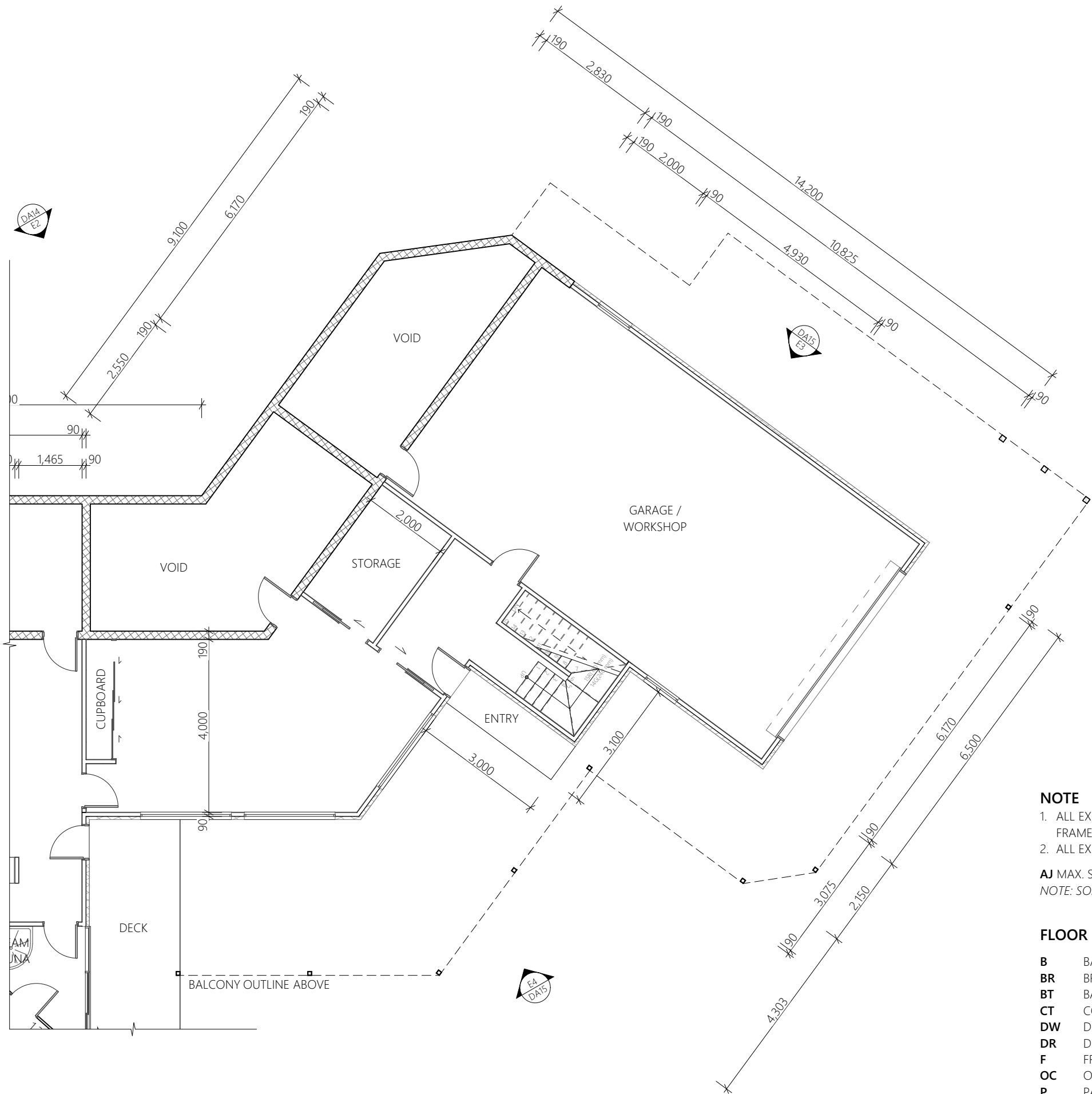
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DRAWING

GROUND FLOOR PLAN 2

SCALE

AS SHOWN @ A3



NOTE

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AJ MAX. SPACING @ 4000-6000mm

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S	SINK
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ST	STORAGE
TR	LAUNDRY TROUGH
V	VANITY
WM	WASHING MACHINE

1
-
GROUND FLOOR PLAN
1:100

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19 OSCARS PLACE, GEILSTON BAY 7015

CLIENT PROJECT ID
RAY & SUE 2517

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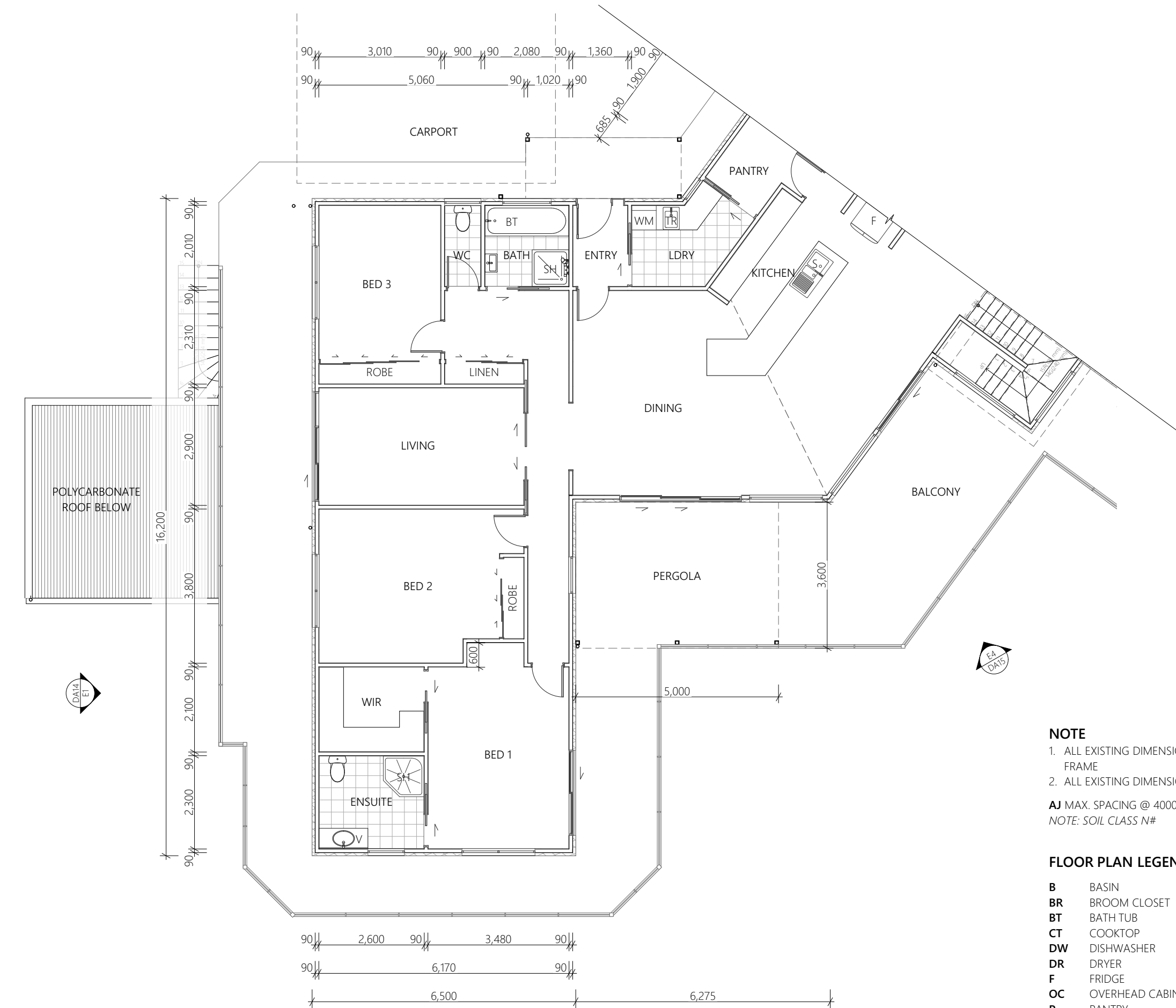
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DRAWING

UPPER FLOOR PLAN 1

SCALE

AS SHOWN @ A3



NOTE

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AJ MAX. SPACING @ 4000-6000mm

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PROJECT

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19 OSCARS PLACE, GEILSTON BAY 7015

CLIENT

RAY & SUE

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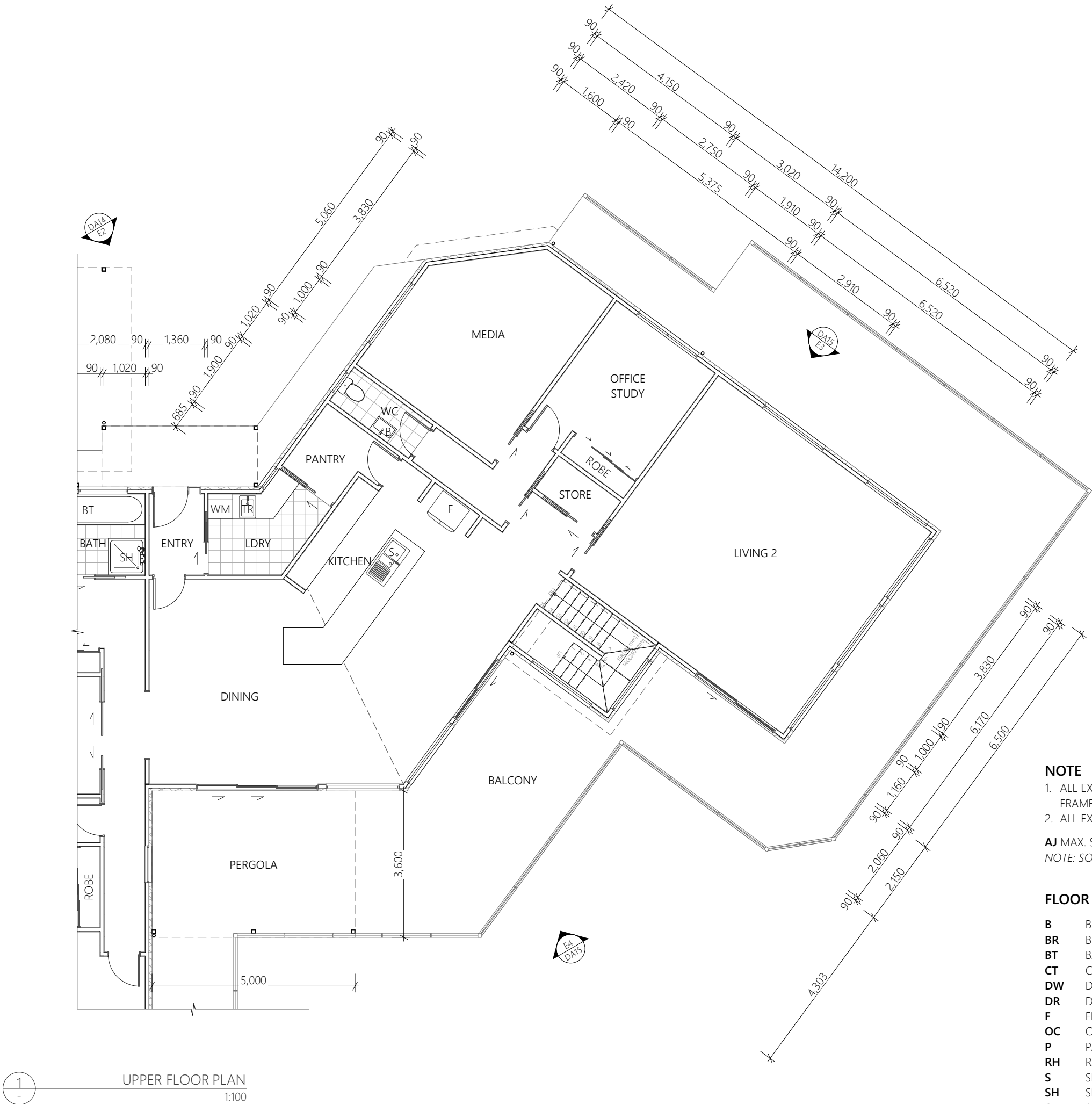
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UPPER FLOOR PLAN 2

SCALE

AS SHOWN @ A3



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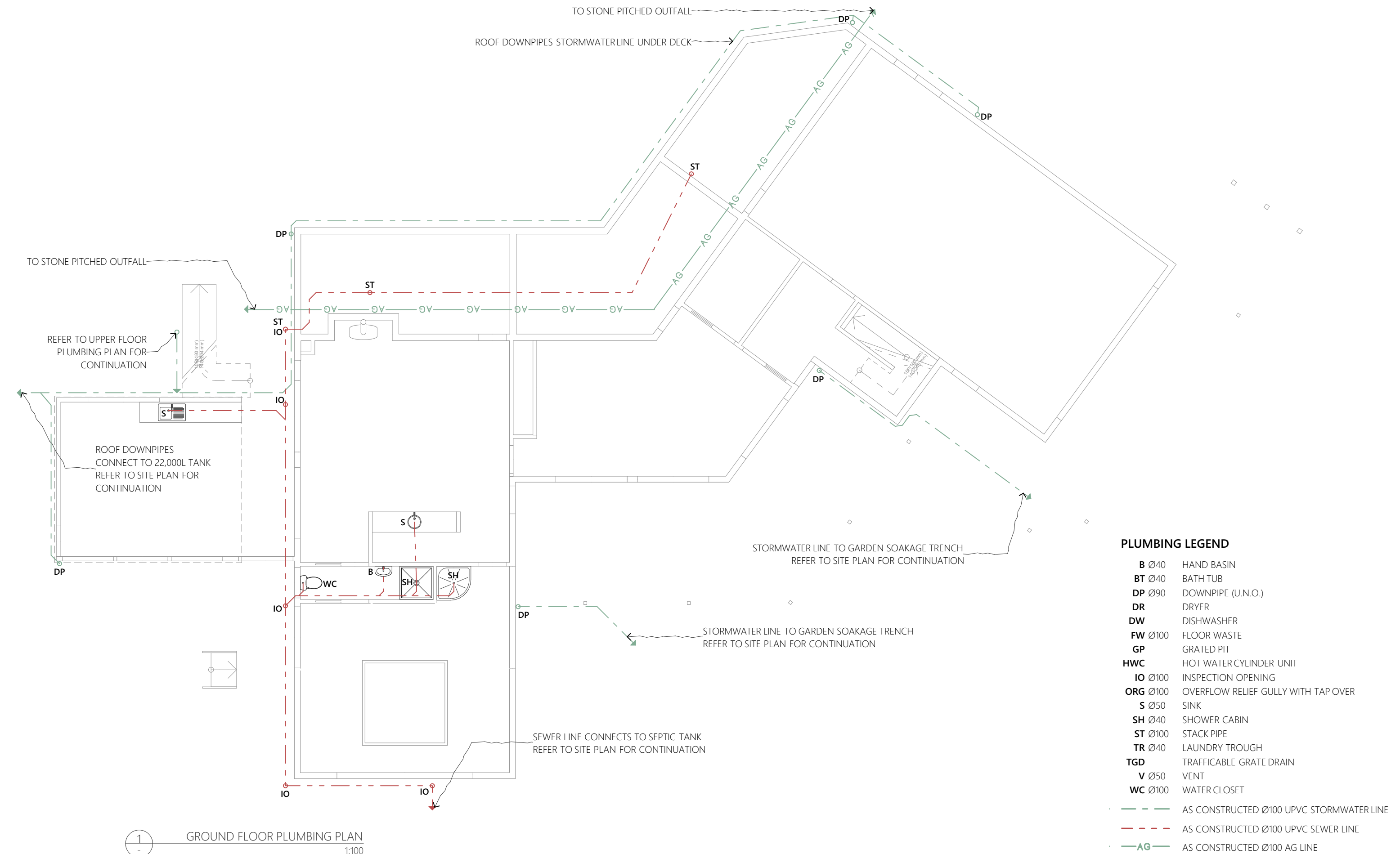
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TR	LAUNDRY TROUGH
V	VANITY
WM	WASHING MACHINE

1
-
UPPER FLOOR PLAN
1:100



PLUMBING LEGEND

B

Ø40

HAND BASIN

BT

Ø40

BATH TUB

DP

Ø90

DOWNPIPE (U.N.O.)

DR

DRYER

DW

DISHWASHER

FW

Ø100

FLOOR WASTE

GP

GRATED PIT

HWC

HOT WATER CYLINDER UNIT

IO

Ø100

INSPECTION OPENING

ORG

Ø100

OVERFLOW RELIEF GULLY WITH TAP OVER

S

Ø50

SINK

SH

Ø40

SHOWER CABIN

ST

Ø100

STACK PIPE

TR

Ø40

LAUNDRY TROUGH

TGD

TRAFFICABLE GRATE DRAIN

V

Ø50

VENT

WC

Ø100

WATER CLOSET

AS CONSTRUCTED Ø100 UPVC STORMWATER LINE

AS CONSTRUCTED Ø100 UPVC SEWER LINE

AG

AS CONSTRUCTED Ø100 AG LINE

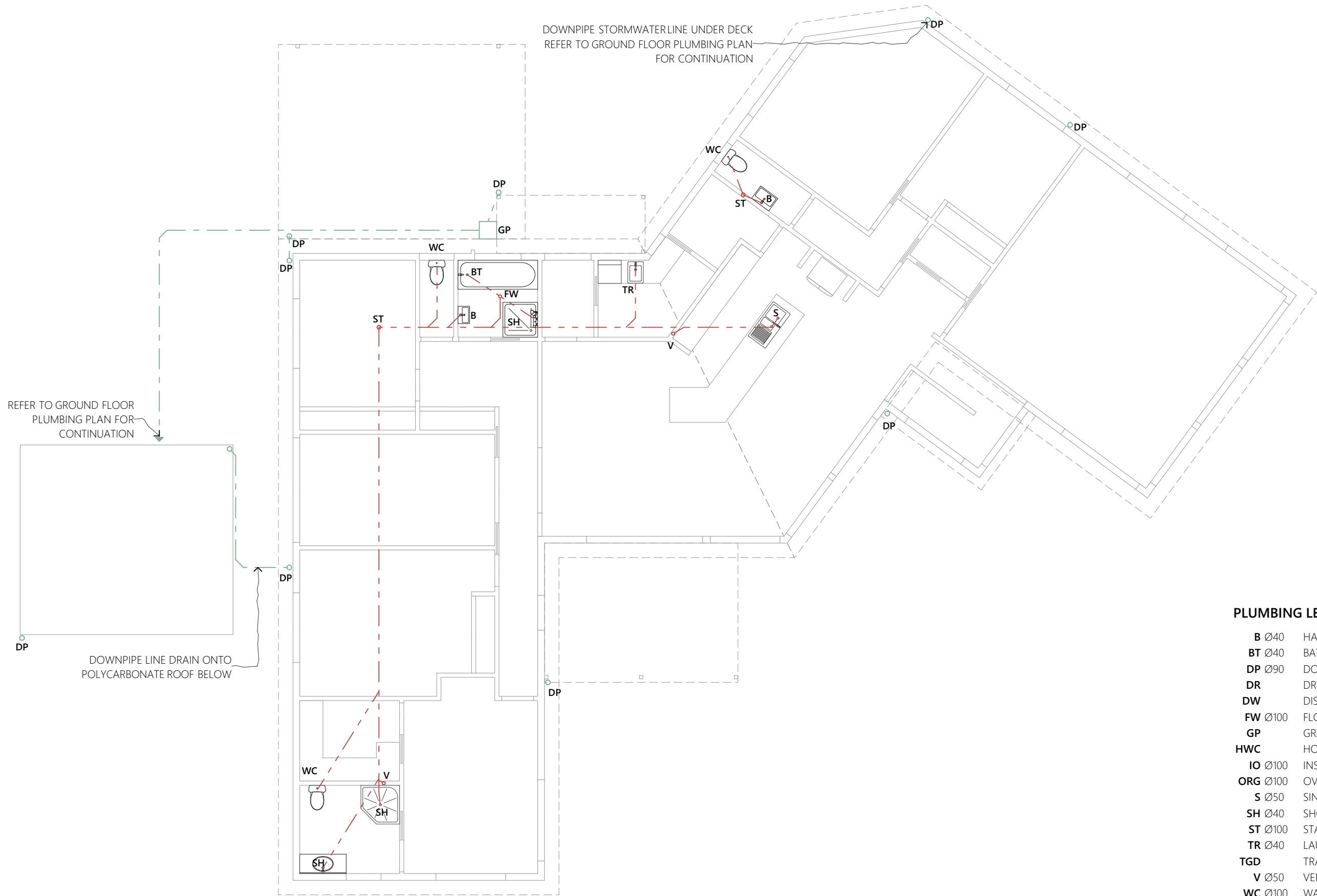
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AS CONSTRUCTED PLANS 19 OSCARS PLACE, GEILSTON BAY 7015		7/10/2025	AS SHOWN @ A3	DA08	
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY	DRAWING	
RAY & SUE	2517	A. HILL	J. LIM	GROUND FLOOR PLUMBING PLAN	



PLUMBING LEGEND

B Ø40

BT Ø40

DP Ø90

DR

DW

FW Ø100

GP

HWC

IO Ø100

ORG Ø100

S Ø50

SH Ø40

ST Ø100

TR Ø40

TGD

V Ø50

WC Ø100

HAND BASIN

BATH TUB

DOWNPIPE (U.N.O.)

DRYER

DISHWASHER

FLOOR WASTE

GRATED PIT

HOT WATER CYLINDER UNIT

INSPECTION OPENING

OVERFLOW RELIEF GULLY WITH TAP OVER

SINK

SHOWER CABIN

STACK PIPE

LAUNDRY TROUGH

TRAFFICABLE GRATE DRAIN

VENT

WATER CLOSET

—AG—

AS CONSTRUCTED Ø100 UPVC STORMWATER LINE

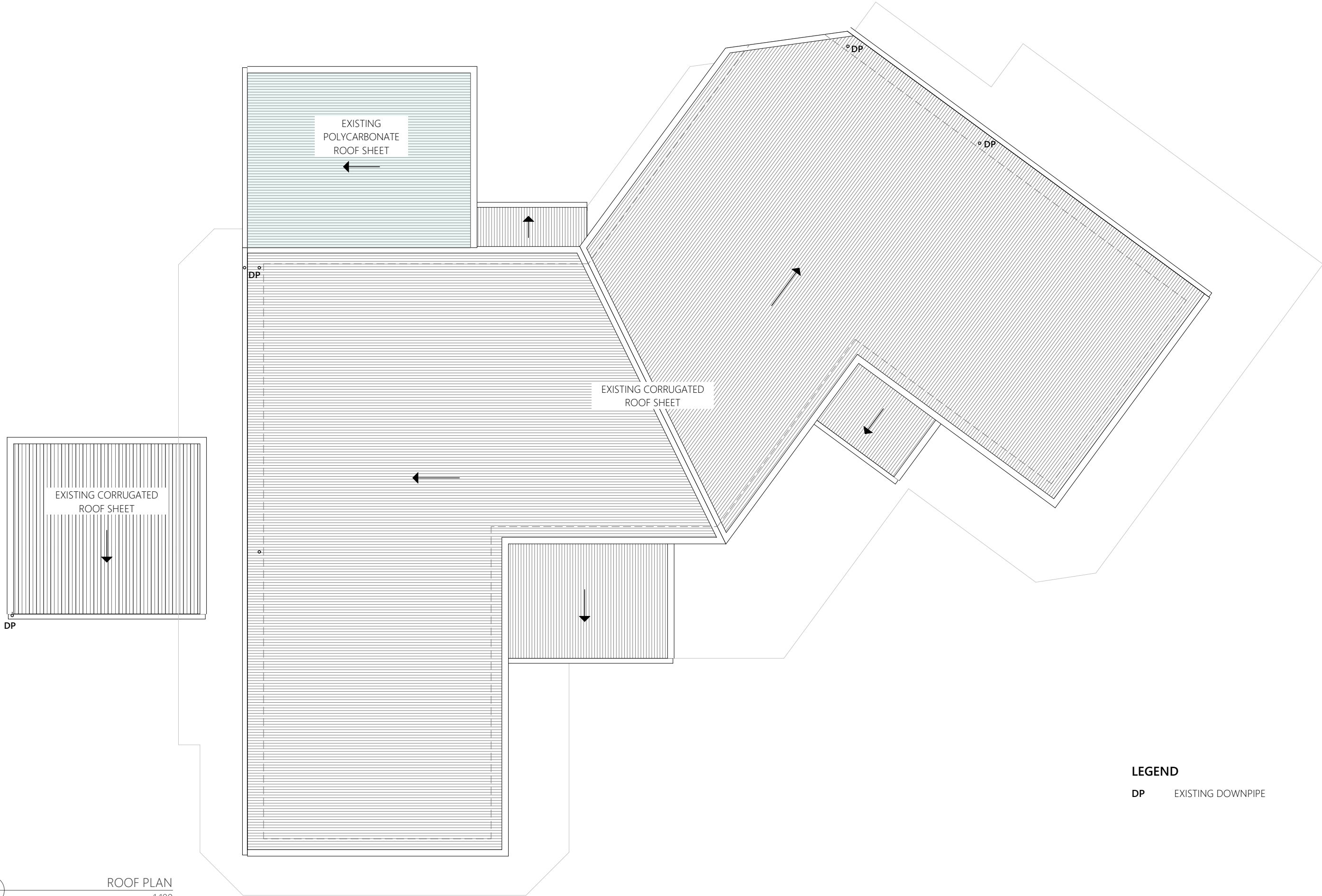
AS CONSTRUCTED Ø100 UPVC SEWER LINE

AS CONSTRUCTED Ø100 AG LINE

1

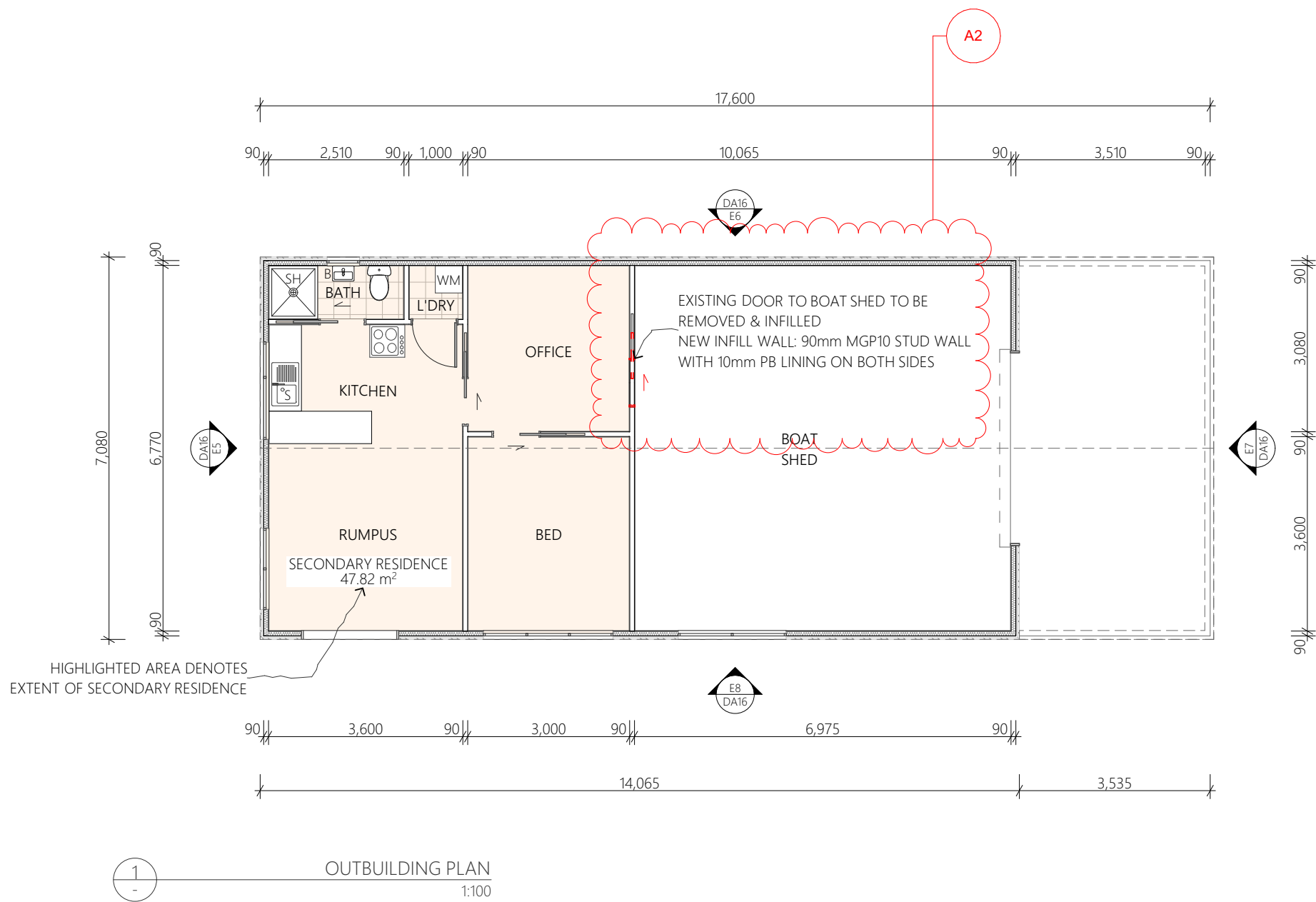
UPPER FLOOR PLUMBING PLAN

1:100



1
-
ROOF PLAN
1:100

GENERAL NOTES		REV ID	DESCRIPTION	DATE	PROJECT	REVISION	DATE	SCALE	PAGE	NORTH
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					19 OSCARS PLACE, GEILSTON BAY 7015					
					CLIENT	PROJECT ID	CHECKED BY	DRAWN BY	DRAWING	
					RAY & SUE	2517	A. HILL	J. LIM	ROOF PLAN	



NOTE

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AJ MAX. SPACING @ 4000-6000mm

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- WM** WASHING MACHINE

GENERAL NOTES

CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTORS SHALL CLARIFY ANY DISCREPANCIES BEFORE COMMENCEMENT OF ANY WORK. DRAWINGS MUST NOT BE SCALED.

CONTRACTORS SHALL SUBMIT SAMPLES AND SHOP DRAWINGS BEFORE COMMENCING WORK. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS. THESE DESIGNS, PLANS, SPECIFICATIONS AND THE COPYRIGHT HEREIN ARE THE PROPERTY OF ORAMATIS STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF ORAMATIS STUDIO.

REV ID	DESCRIPTION	DATE
A	SECONDARY RESIDENCE	7/10/2025
A2	DOOR REMOVAL	9/10/2025

PROJECT
AS CONSTRUCTED PLANS
19 OSCARS PLACE, GEILSTON BAY 7015

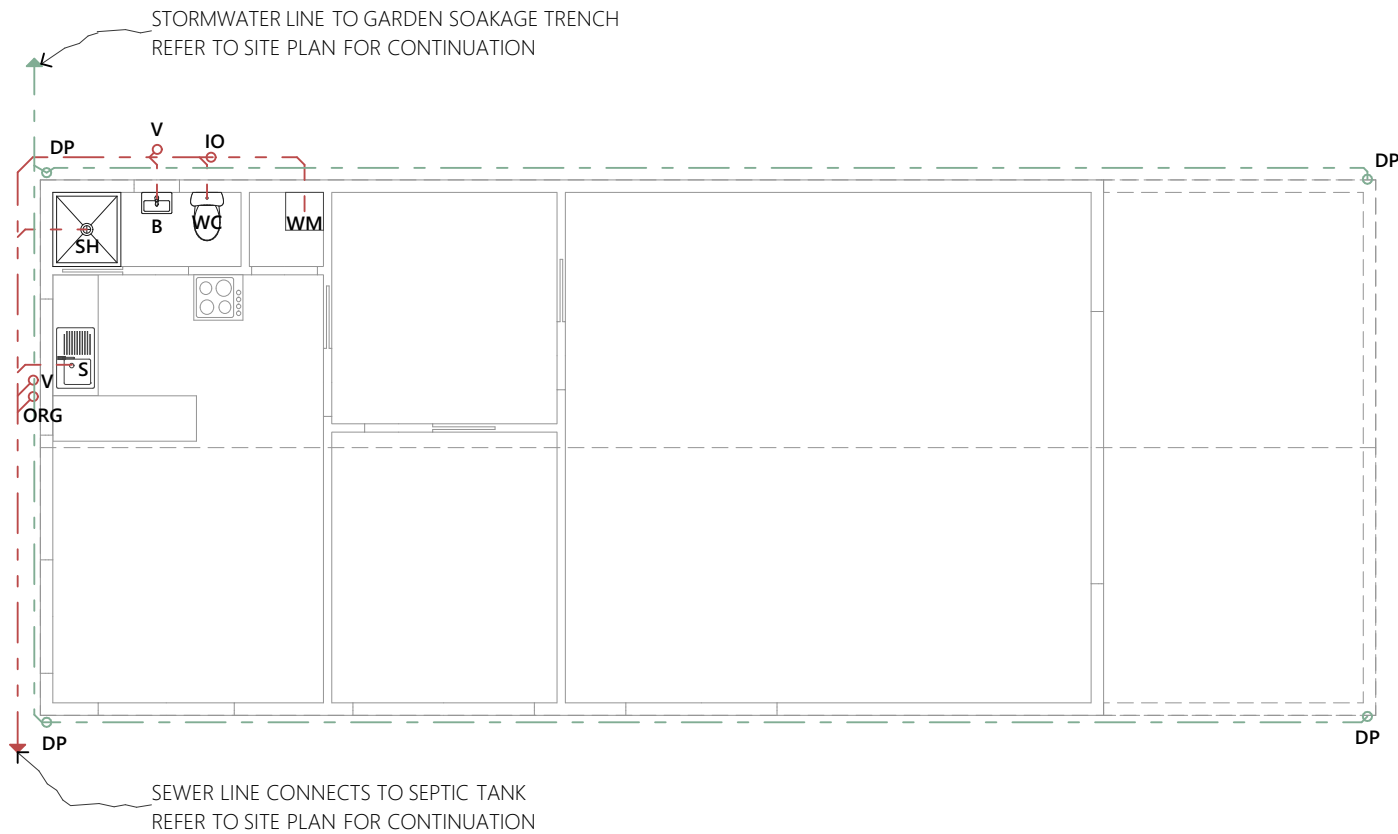
CLIENT
RAY & SUE

REVISION A2	DATE 9/10/2025	SCALE AS SHOWN @ A3
PROJECT ID 2517	CHECKED BY A. HILL	DRAWN BY J. LIM

PAGE
DA11

DRAWING
OUTBUILDING PLAN

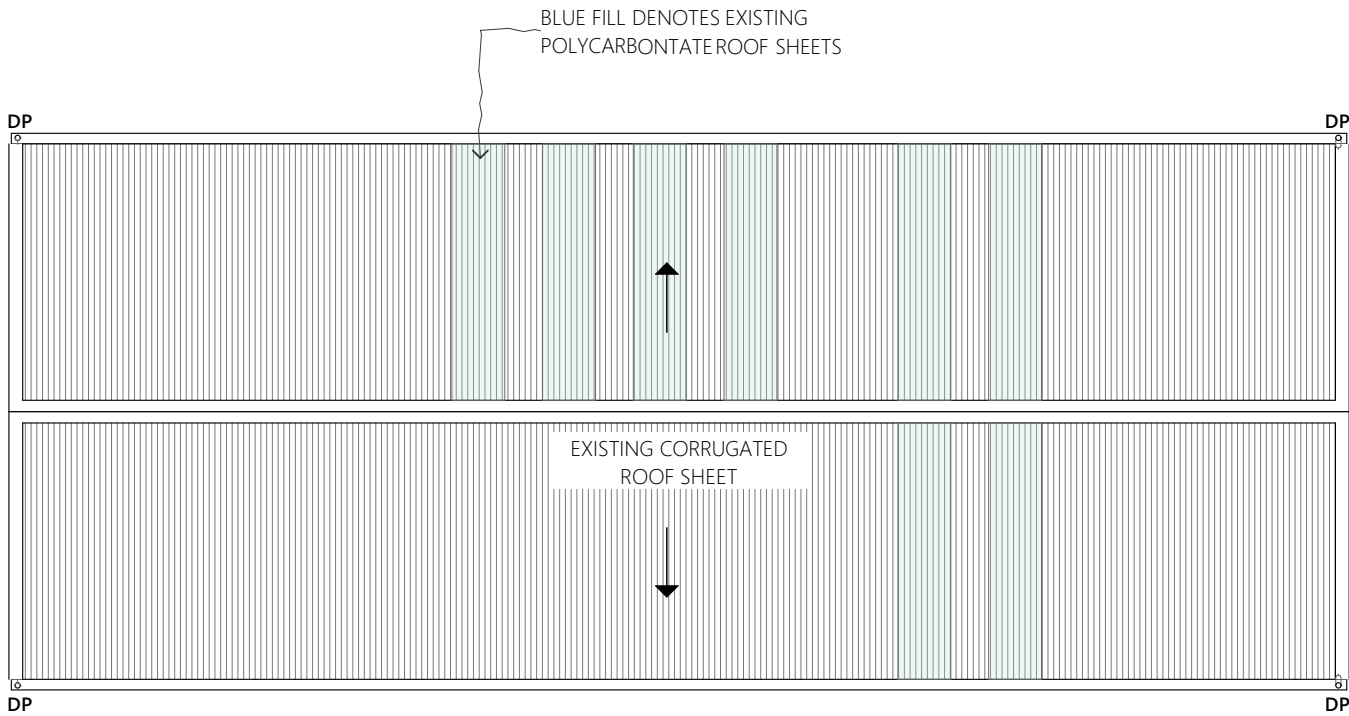
NORTH

PLUMBING LEGEND

- B Ø40 HAND BASIN
- BT Ø40 BATH TUB
- DP Ø90 DOWNPIPE (U.N.O.)
- DR DRYER
- DW DISHWASHER
- FW Ø100 FLOOR WASTE
- GP GRATED PIT
- HWC HOT WATER CYLINDER UNIT
- IO Ø100 INSPECTION OPENING
- ORG Ø100 OVERFLOW RELIEF GULLY WITH TAP OVER
- S Ø50 SINK
- SH Ø40 SHOWER CABIN
- ST Ø100 STACK PIPE
- TR Ø40 LAUNDRY TROUGH
- TGD TRAFFICABLE GRATE DRAIN
- V Ø50 VENT
- WC Ø100 WATER CLOSET
- AS CONSTRUCTED Ø100 UPVC STORMWATER LINE
- AS CONSTRUCTED Ø100 UPVC SEWER LINE

1
-
OUTBUILDING PLUMBING PLAN
1:100

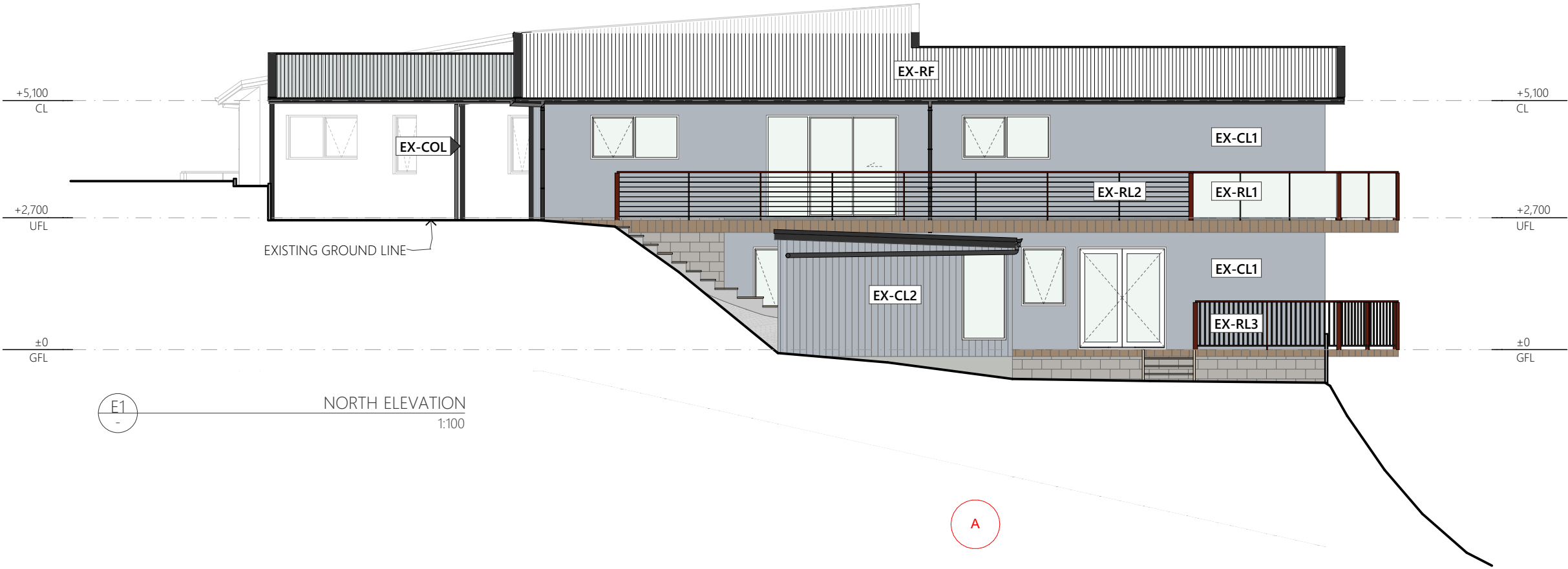


LEGEND
DP EXISTING DOWNPIPE

1
-

OUTBUILDING ROOF PLAN

1:100



MATERIAL & FINISHES

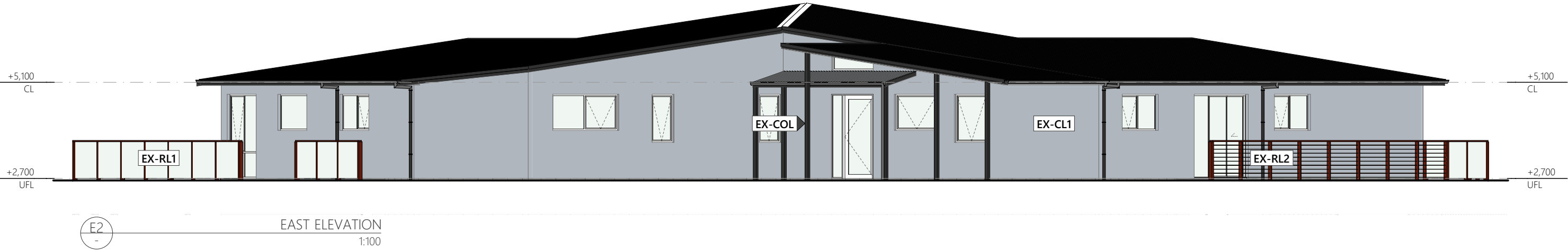
ROOF
EX-RF EXISTING ROOF SHEET
COLOUR: COLORBOND SURFMIST (LRV 70)

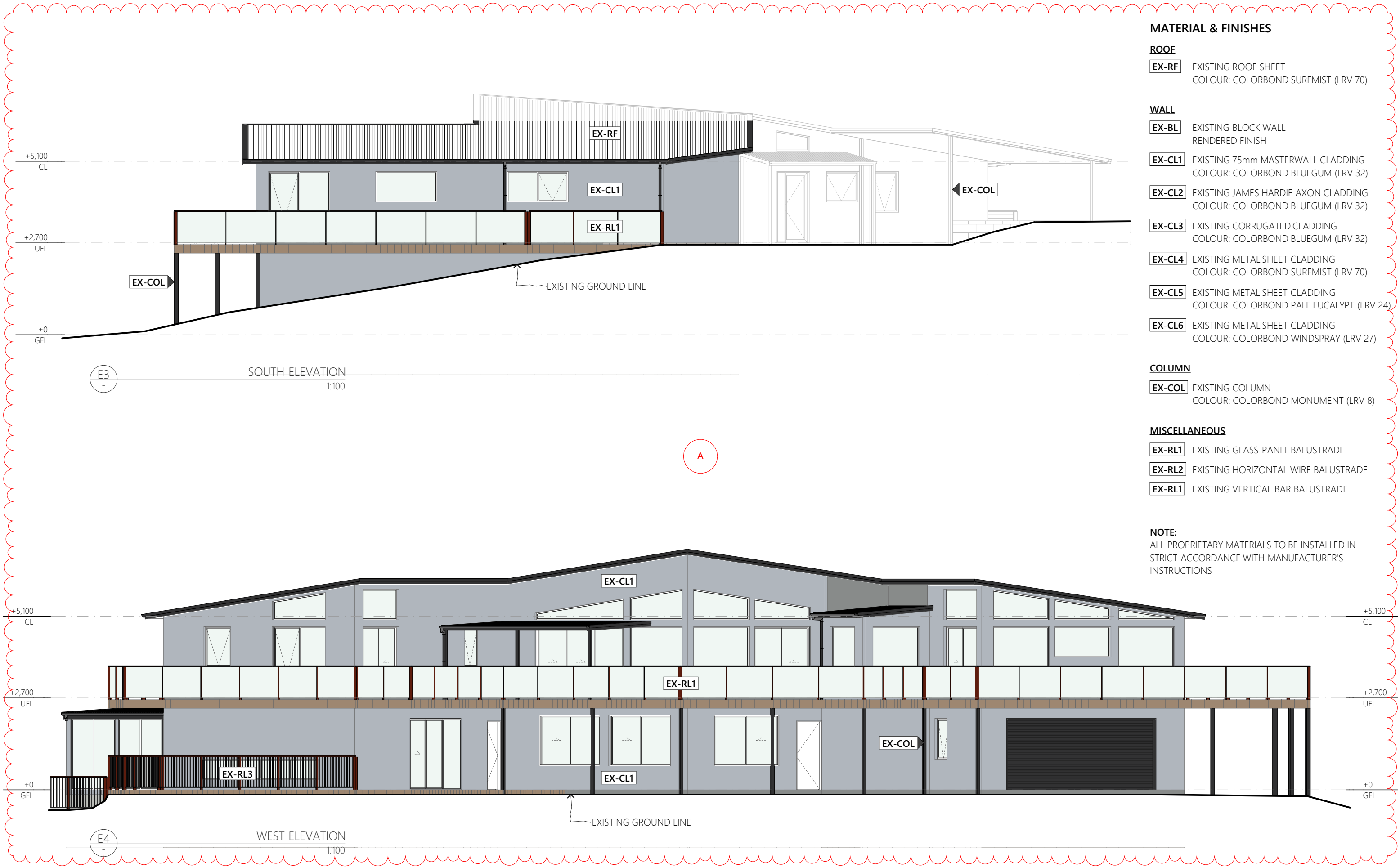
WALL
EX-BL EXISTING BLOCK WALL
RENDERED FINISH
EX-CL1 EXISTING 75mm MASTERWALL CLADDING
COLOUR: COLORBOND BLUEGUM (LRV 32)
EX-CL2 EXISTING JAMES HARDIE AXON CLADDING
COLOUR: COLORBOND BLUEGUM (LRV 32)
EX-CL3 EXISTING CORRUGATED CLADDING
COLOUR: COLORBOND BLUEGUM (LRV 32)
EX-CL4 EXISTING METAL SHEET CLADDING
COLOUR: COLORBOND SURFMIST (LRV 70)
EX-CL5 EXISTING METAL SHEET CLADDING
COLOUR: COLORBOND PALE EUCALYPT (LRV 24)
EX-CL6 EXISTING METAL SHEET CLADDING
COLOUR: COLORBOND WINDSPRAY (LRV 27)

COLUMN
EX-COL EXISTING COLUMN
COLOUR: COLORBOND MONUMENT (LRV 8)

MISCELLANEOUS
EX-RL1 EXISTING GLASS PANEL BALUSTRADE
EX-RL2 EXISTING HORIZONTAL WIRE BALUSTRADE
EX-RL3 EXISTING VERTICAL BAR BALUSTRADE

NOTE:
ALL PROPRIETARY MATERIALS TO BE INSTALLED IN
STRICT ACCORDANCE WITH MANUFACTURER'S
INSTRUCTIONS





MATERIAL & FINISHES

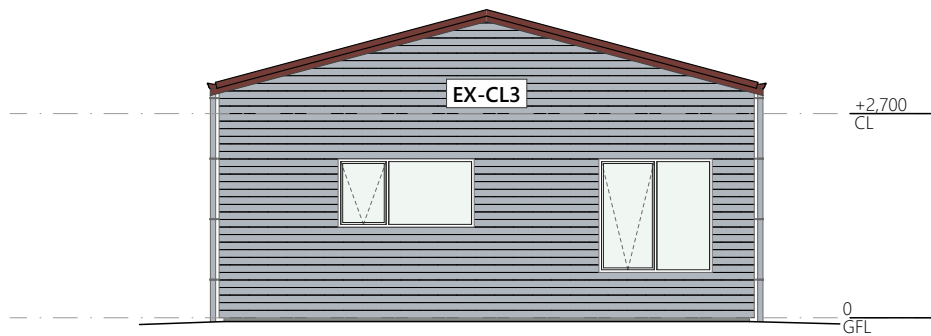
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COLOUR: COLORBOND SURFMIST (LRV 70)

WALL
EX-BL EXISTING BLOCK WALL
RENDERED FINISH
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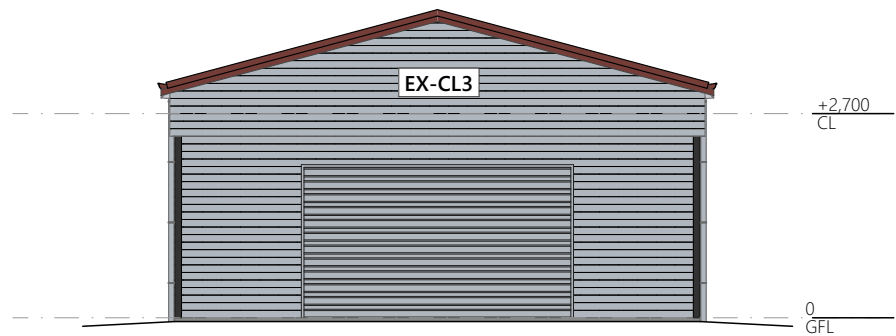
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EX-COL EXISTING COLUMN
COLOUR: COLORBOND MONUMENT (LRV 8)

MISCELLANEOUS
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EX-RL2 EXISTING HORIZONTAL WIRE BALUSTRADE
EX-RL1 EXISTING VERTICAL BAR BALUSTRADE

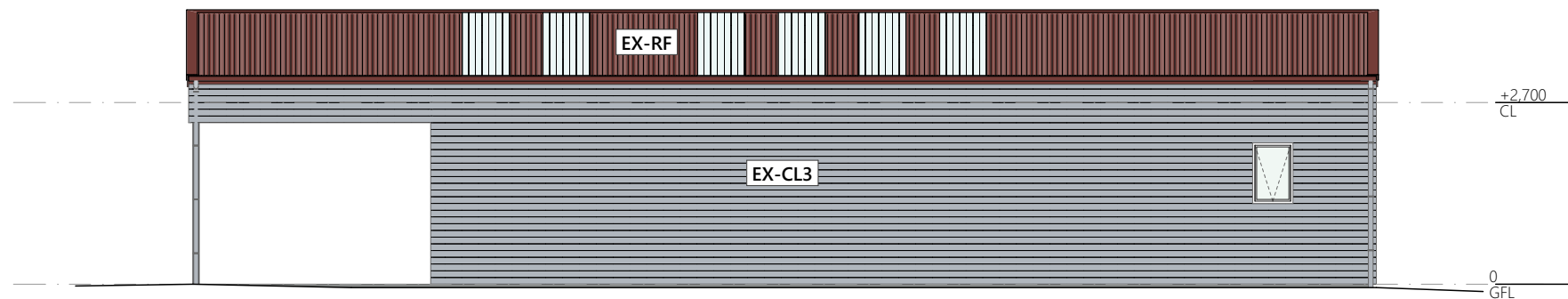
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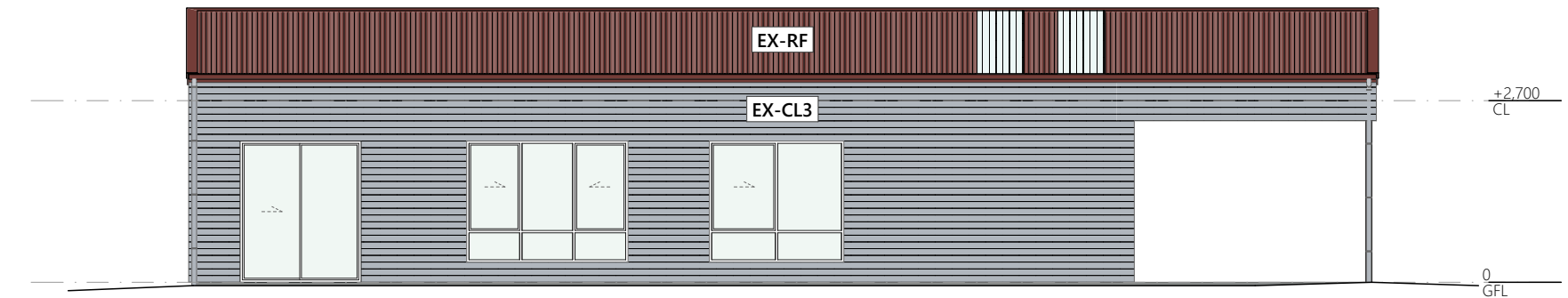
E5
OUTBUILDING NORTH ELEVATION
1:100



E7
OUTBUILDING SOUTH ELEVATION
1:100



E6
OUTBUILDING EAST ELEVATION
1:100



E8
OUTBUILDING WEST ELEVATION
1:100

MATERIAL & FINISHES

ROOF

- EX-RF EXISTING ROOF SHEET
COLOUR: COLORBOND SURFMIST (LRV 70)

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RENDERED FINISH
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COLOUR: COLORBOND PALE EUCALYPT (LRV 24)
- EX-CL6 EXISTING METAL SHEET CLADDING
COLOUR: COLORBOND WINDSPRAY (LRV 27)

COLUMN

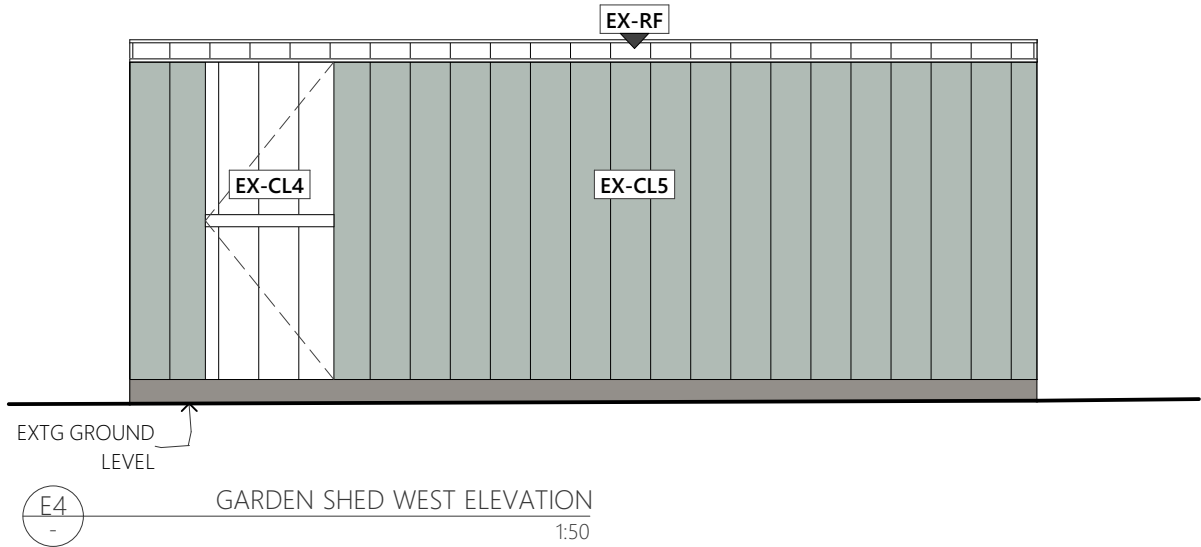
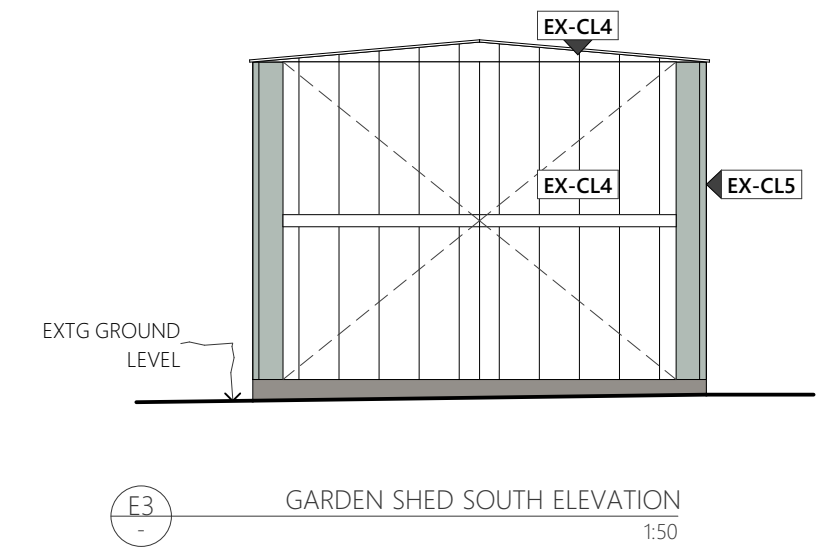
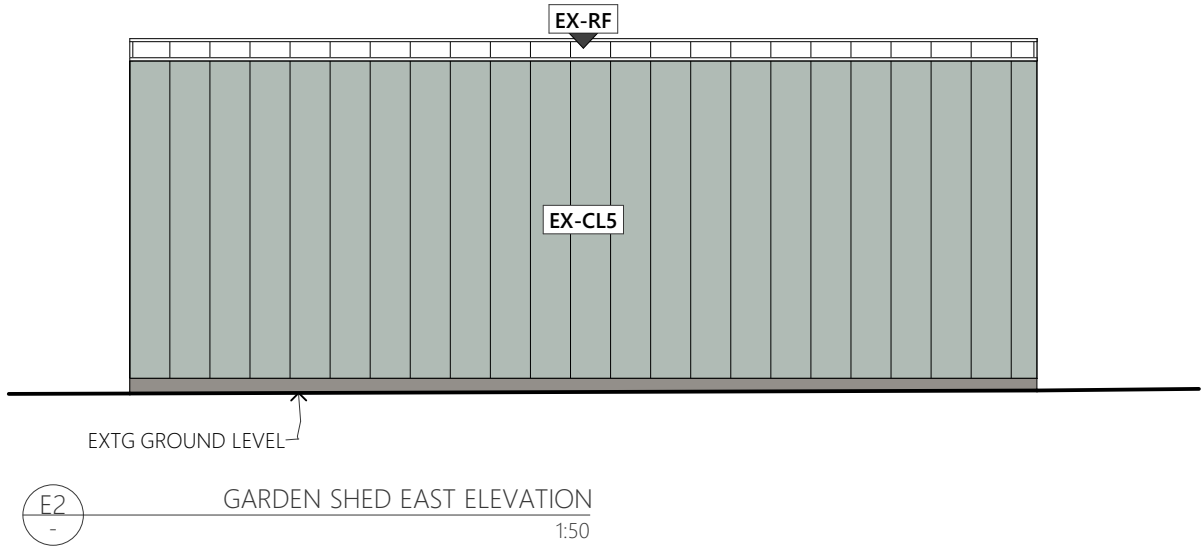
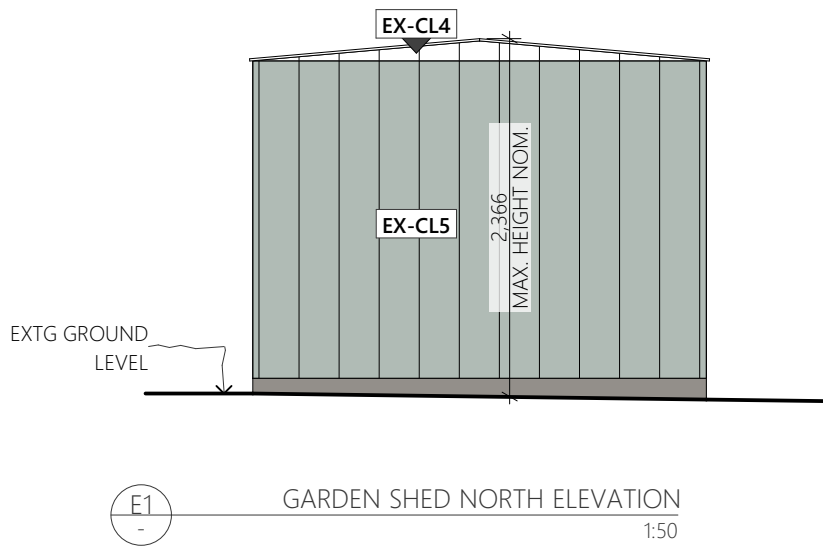
- EX-COL EXISTING COLUMN
COLOUR: COLORBOND MONUMENT (LRV 8)

MISCELLANEOUS

- EX-RL1 EXISTING GLASS PANEL BALUSTRADE
- EX-RL2 EXISTING HORIZONTAL WIRE BALUSTRADE
- EX-RL1 EXISTING VERTICAL BAR BALUSTRADE

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A



MATERIAL & FINISHES

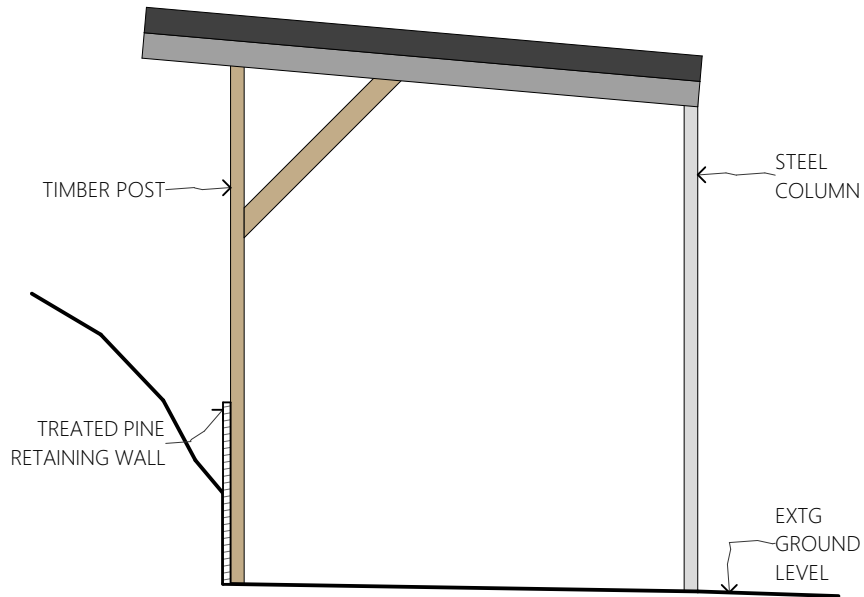
- ROOF**
- EX-RF** EXISTING ROOF SHEET
COLOUR: COLORBOND SURFMIST (LRV 70)

- WALL**
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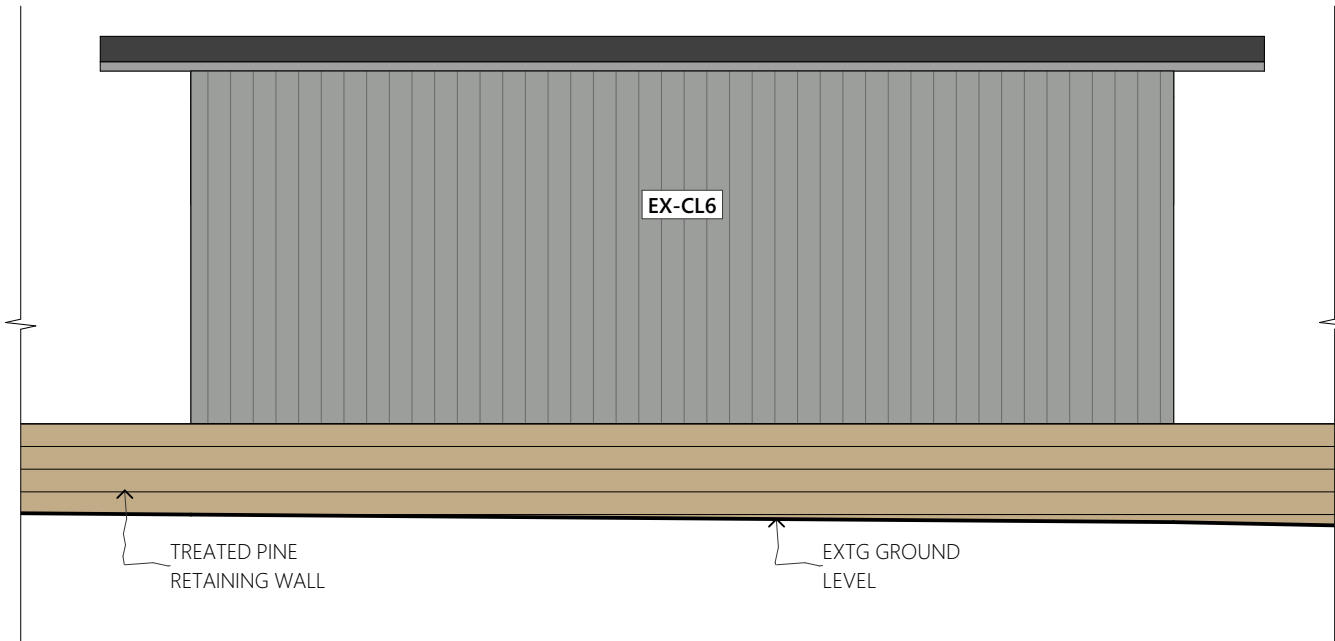
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- EX-COL** EXISTING COLUMN
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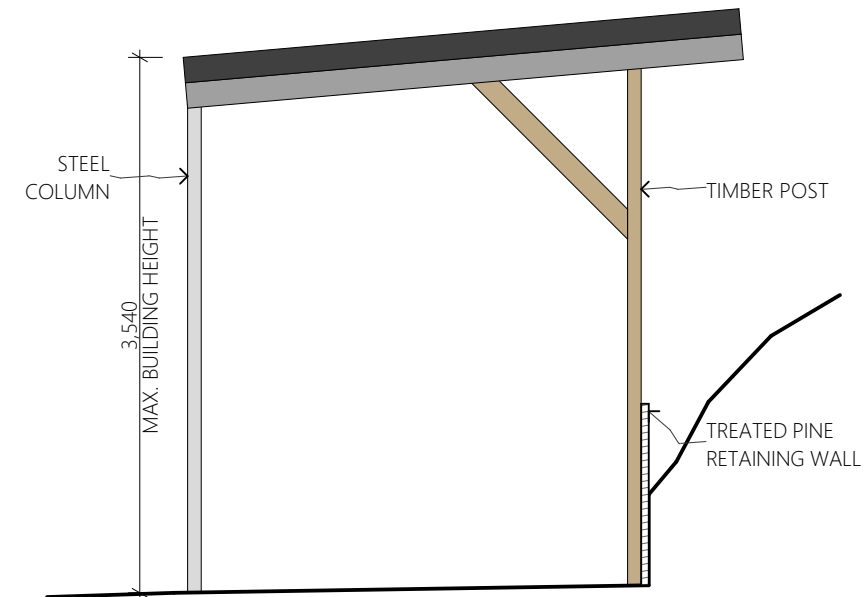
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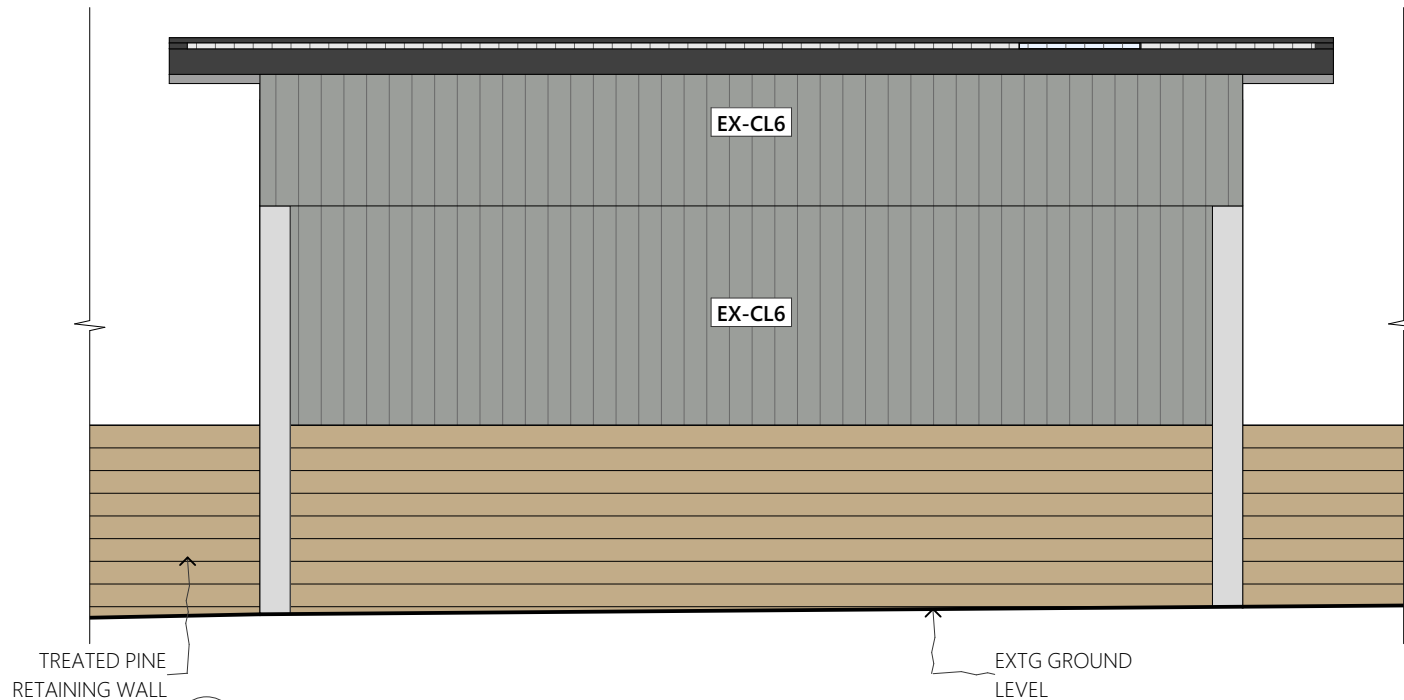
E1
-
MACHINERY SHED NORTH ELEVATION
1:50



E2
-
MACHINERY SHED EAST ELEVATION
1:50



E3
-
MACHINERY SHED SOUTH ELEVATION
1:50



E4
-
MACHINERY SHED WEST ELEVATION
1:50

MATERIAL & FINISHES

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