



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/055722

PROPOSAL: Outbuilding (Single Dwelling)

LOCATION: 26 International Close, Acton Park

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 28 October 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 28 October 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 28 October 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: New Shed build

Location: 26 International close Acton Park TAS
7170

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: Private Residence

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒**Declaration**

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



SEARCH OF TORRENS TITLE

VOLUME 144604	FOLIO 50
EDITION 4	DATE OF ISSUE 23-Aug-2017

SEARCH DATE : 19-Sep-2025

SEARCH TIME : 09.18 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 50 on Sealed Plan [144604](#)

Derivation : Part of 1200 Acres Located to Anthony Williams

Prior CT [140647/103](#)

SCHEDULE 1

[M648703](#) TRANSFER to JOSHUA STEVEN BURN, HANNAH POPPY WRIGHT and TANYA MAREE WRIGHT Registered 23-Aug-2017 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP144604](#) COVENANTS in Schedule of Easements
[SP144604](#) FENCING PROVISION in Schedule of Easements
[SP144604](#) COUNCIL NOTIFICATION under Section 83(5) of the Local Government (Building and Miscellaneous Provisions) Act 1993.

[SP140647](#) COVENANTS in Schedule of Easements
[SP140647](#) FENCING PROVISION in Schedule of Easements
[SP140647](#) SEWERAGE AND/OR DRAINAGE RESTRICTION
[D50646](#) AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 21-Feb-2012 at noon

[E103950](#) MORTGAGE to Australia and New Zealand Banking Group Limited Registered 23-Aug-2017 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

NOTICE: This folio is affected as to amended covenants pursuant to Request to Amend No. C746134 made under Section 103 of the Local Government (Building and Miscellaneous Provisions) Act 1993. Search Sealed Plan No. [144604](#) Lodged by PAGE SEAGER on 22-Sep-2006 BP: C746134

NOTICE: This folio is affected as to amended covenants pursuant to Request to Amend No. C746133 made under

Section 103 of the Local Government (Building and
Miscellaneous Provisions) Act 1993. Search Sealed
Plan No. [140647](#) Lodged by PAGE SEAGER on 22-Sep-2006
BP: C746133

SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 144604
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PAGE 1 OF 1 PAGE/S
2

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENT:

Lot 101 on the plan is subject to Pipeline rights for the HOBART REGIONAL WATER BOARD (created by and more fully set forth in Sealed Plan 101641) over the Pipeline Easement 10.06 wide shown on the plan passing through such lot.

COVENANTS:

The owner of each lot shown on the plan covenants with the Vendor (*Theodore Gabriel Casimaty and Marian Casimaty as personal representatives of George Casimaty*) and with the owner for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantor's lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot to observe the following stipulations:

1. Not to construct on such lot any dwelling or building with a minimum floor level below the 3.90 metre Australian Height Datum contour level.
3.50
- ~~2. Not to establish or operate a waste disposal system below the 3.90 metre Australian height Datum level.~~
3. Not to erect or place on such lot any dwelling, house, building or structure using any exterior building material that contrasts with the rural environment.

Covenants hereon amended & deleted by me pursuant to Request to Amend No. C746134 made under Section 103 of Local Government (Building & Miscellaneous Provisions) Act 1993

24 / 11 / 2006

Alice Kawa
Recorder of Titles

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: TG & M Casimaty FOLIO REF: CT 140647/103 SOLICITOR & REFERENCE: Page Seager (ARO 011715)	PLAN SEALED BY: Clarence City Council DATE: 9-11-05 SD-2001/24 REF NO.
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 2 PAGES	Registered Number SP 144604
SUBDIVIDER: TG & M Casimaty FOLIO REFERENCE: CT 140647/103	

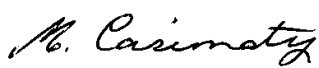
4. Not to remove any tree or trees from such lot without the prior written consent of the Clarence City Council.
5. Not to erect or place on such lot more than one residential building.
6. Not to further subdivide such lot, provided that a minor boundary adjustment shall not be in contravention of this stipulation and provided also that this stipulation shall not apply to lot 102 on the plan.

Each lot on the plan is affected by covenants created by and more fully set forth in Sealed Plan No 140647.

Fencing Provision:

In respect of the lots shown on the plan the Vendor (*Theodore Gabriel Casimaty and Marian Casimaty as personal representatives of George Casimaty*) shall not be required to fence.

Signed by Theodore Gabriel Casimaty
and Marian Casimaty as registered
proprietors of the land comprised in
Folio of the Register Volume 140647
Folio 103 in the presence of:

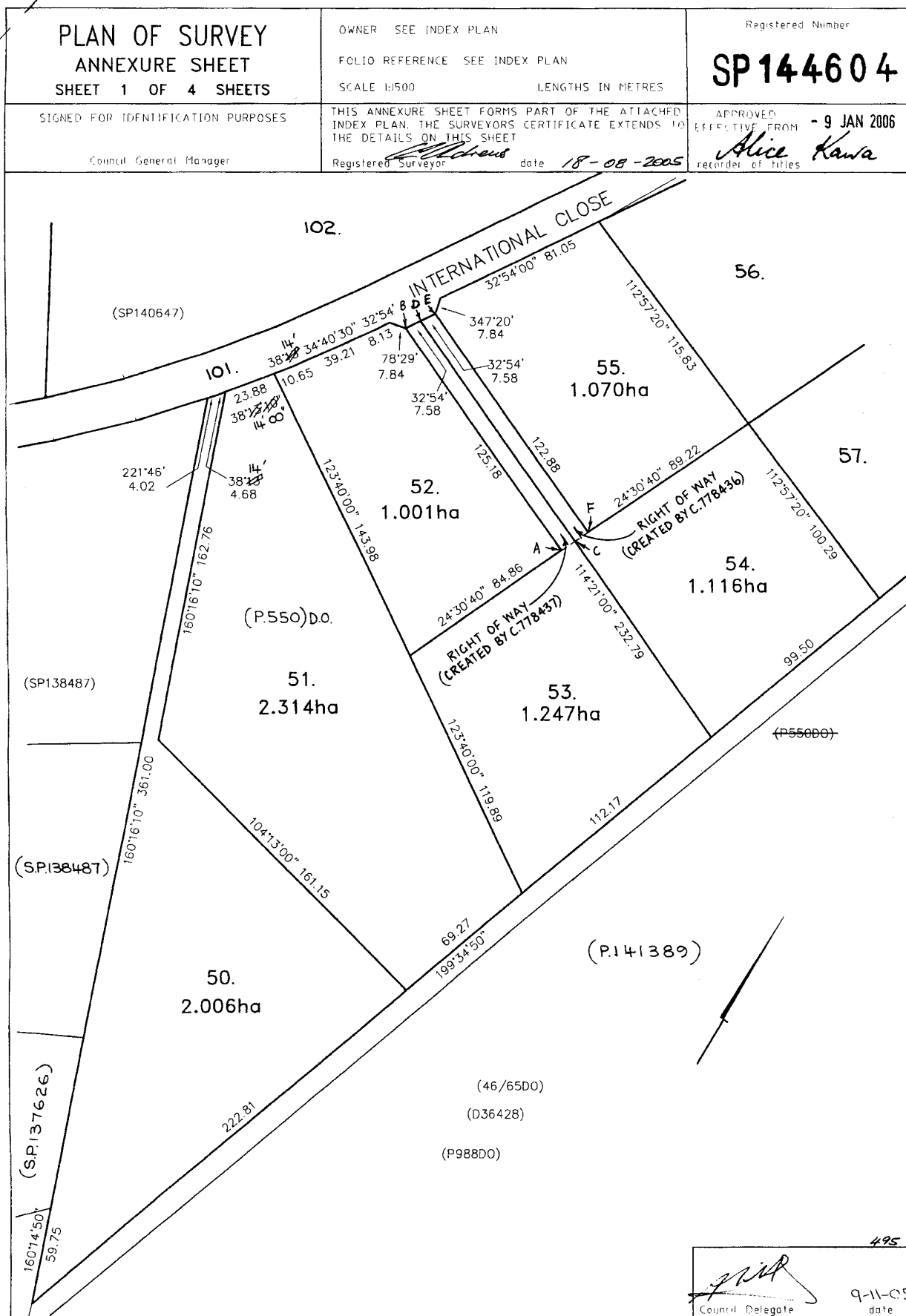


Annette Oddy
Clerk to Page Seager, Lawyers
162 Macquarie Street
HOBART

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

OWNER T.G. & M. CASIMATY G.J. & K.J. CASIMATY FOLIO REFERENCE C-T-140647/103 GRANTEE PART OF 1000ac LOCATED TO WILLIAM RUMNEY PART OF 1200ac LOCATED TO ANTHONY WILLIAMS	PLAN OF SURVEY BY SURVEYOR CHRISTOPHER LEWIS ANDREWS 57 MT. RUMNEY ROAD, MT RUMNEY LOCATION CITY OF CLARENCE SCALE 1: 4000 LENGTHS IN METRES	REGISTERED NUMBER SP144604 APPROVED EFFECTIVE FROM - 9 JAN 2006 <i>Alice Kawa</i> Recorder of Titles	
MAPSHEET MUNICIPAL (5225-35) CODE No 107 (5425-21, 31)	LAST UPI No FAH02 (SP140647)	LAST PLAN No SP140647 (SP48205)	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

INDEX PLAN



PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 4 SHEETS	OWNER SEE INDEX PLAN FOLIO REFERENCE SEE INDEX PLAN SCALE 1: 1500 LENGTHS IN METRES	Registered Number SP144604
SIGNED FOR IDENTIFICATION PURPOSES Council General Manager	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET Registered Surveyor <i>[Signature]</i> date 18-08-2005	APPROVED EFFECTIVE FROM - 9 JAN 2006 record of titles <i>Alice Kawa</i>

(9/34L0)

(SP140647)

102.

103. PUBLIC OPEN SPACE 2051m2

59. 1.011ha

58. 1.056ha

57. 1.056ha

56. 1.034ha

55.

54.

INTERNATIONAL CLOSE ROAD

101.

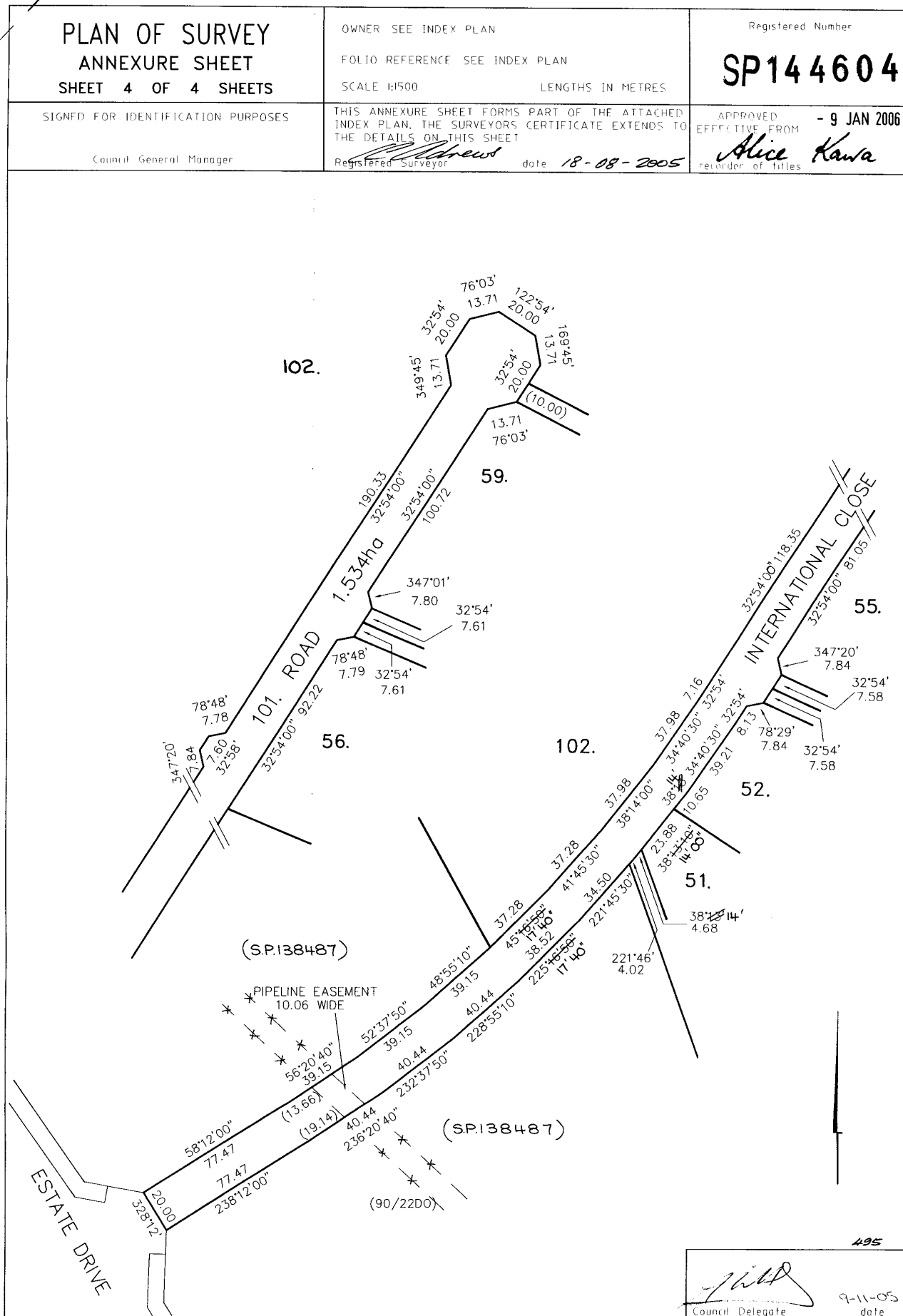
(81/21D0)

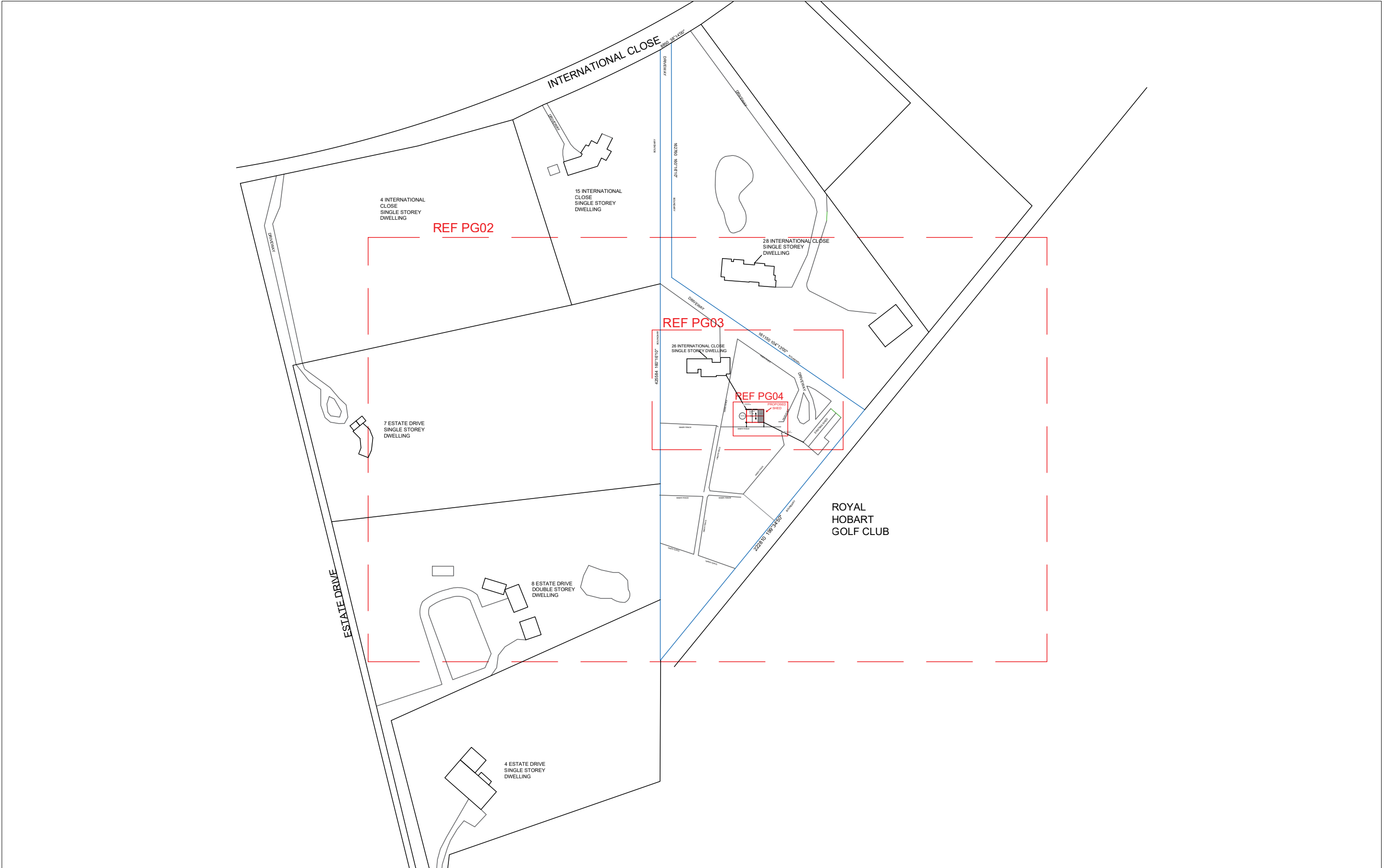
(P141389)

(P55000)

495

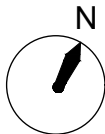
Council Delegate *[Signature]* date 9-11-05





Revisions	No	Date	Description
	01	16.09.2025	PLANNING ISSUE

Do not scale drawings. Use figured dimensions on site prior commencement of any work, the preparation of drawings or the fabrication of components. This drawing is copyright and can not be reproduced without written consent.



Client:
Joshua Burn
26 International Close
Acton Park
Tas 7170

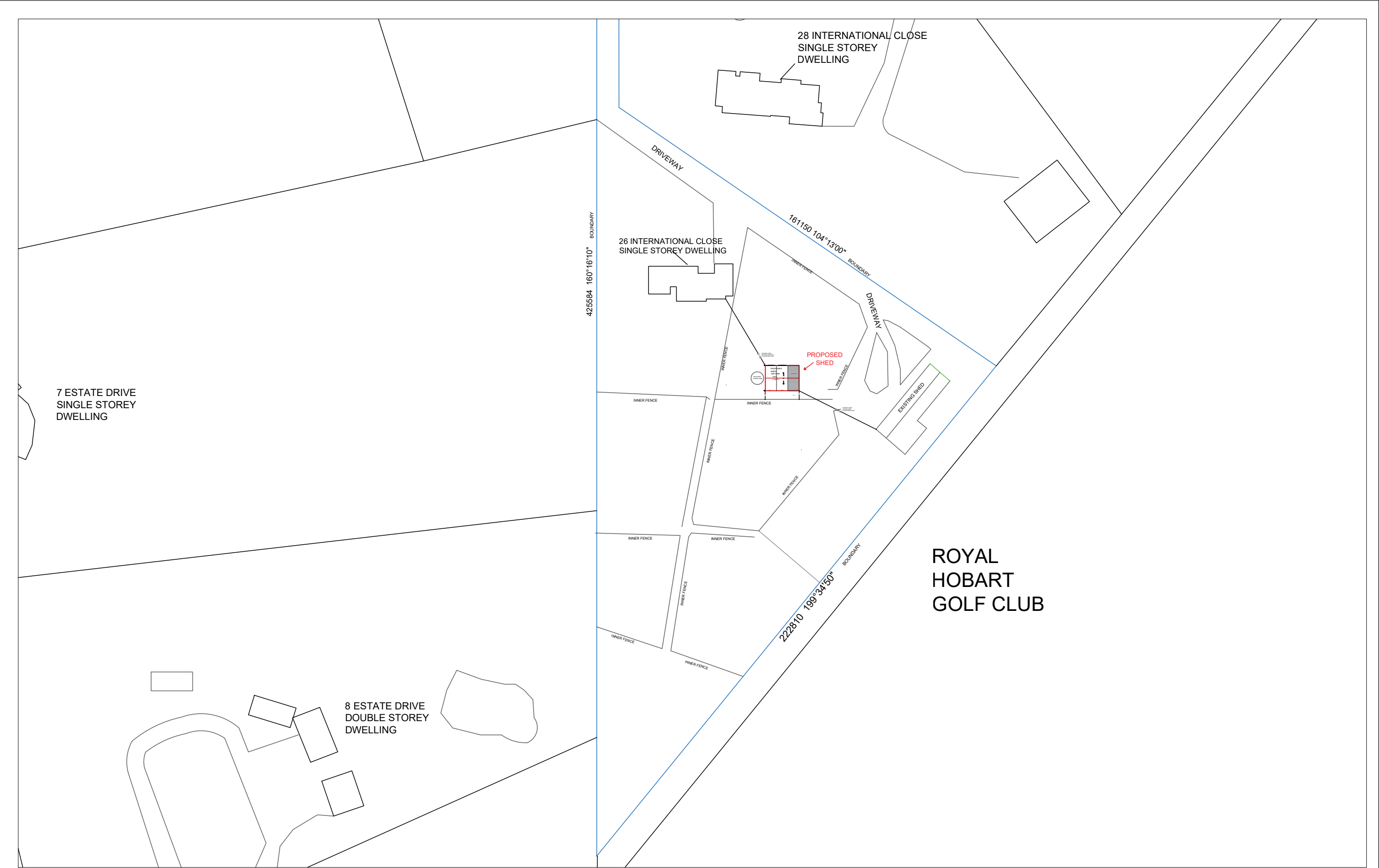
Drawing Title
Proposed Shed
9m x 12m

Drawing status
PLANNING ISSUE A3

Site Coverage:	
Site :	20095.22m ²
Existing Dwelling	323.50m ²
Existing Shed	333.00m ²
Proposed Shed	108.00m ²
Site Coverage	764.00m ²
Site Coverage %	3.8%

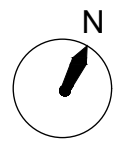
Note:
: Downpipes to be connected to LPD
: 27.195m Setback from Existing Dwelling
: 3m Offset from Inner Fence

Scale	Drawing No	Issue
1:2500	WD01	01
Date:	16.09.2025	



Revisions	No	Date	Description
	01	16.09.2025	PLANNING ISSUE

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Client:
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Acton Park
Tas 7170

Drawing Title
Proposed Shed
9m x 12m

Drawing status
PLANNING ISSUE A3

Site Coverage:	
Site :	20095.22m2
Existing Dwelling	323.50m2
Existing Shed	333.00m2
Proposed Shed	108.00m2
Site Coverage	764.00m2
Site Coverage %	3.8%

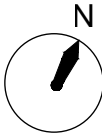
Note:
: Downpipes to be connected to LPD
: 27.195m Setback from Existing Dwelling
: 3m Offset from Inner Fence

Scale	Drawing No	Issue
1:1250	WD02	01
Date:	16.09.2025	



Revisions	No	Date	Description
	01	16.09.2025	PLANNING ISSUE

Do not scale drawings. Use figured dimensions on site prior commencement of any work, the preparation of drawings or the fabrication of components. This drawing is copyright and can not be reproduced without written consent.



Client:
Joshua Burn
26 International Close
Acton Park
Tas 7170

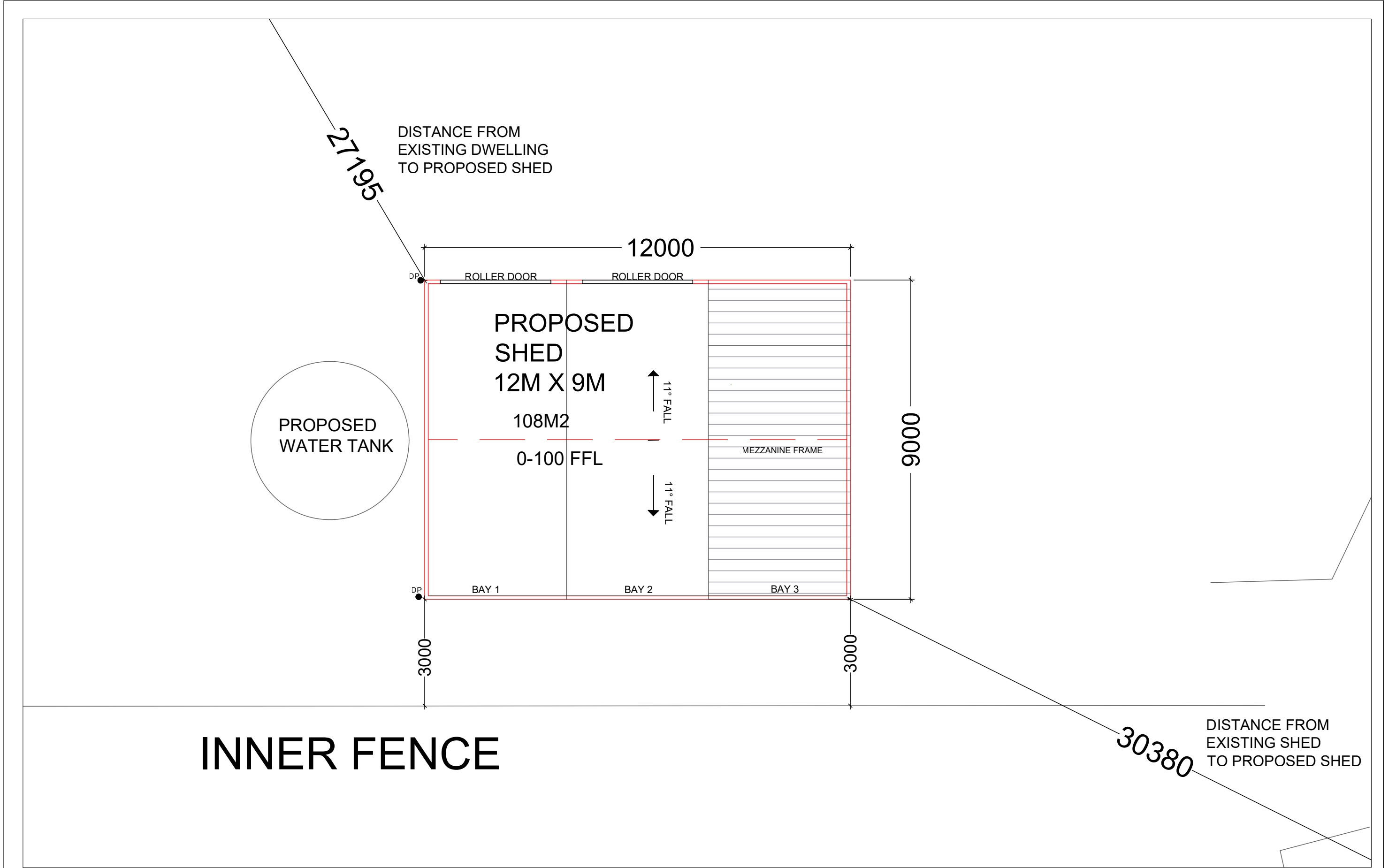
Drawing Title
Proposed Shed
9m x 12m

Drawing status
PLANNING ISSUE A3

Site Coverage:	
Site :	20095.22m ²
Existing Dwelling	323.50m ²
Existing Shed	333.00m ²
Proposed Shed	108.00m ²
Site Coverage	764.00m ²
Site Coverage %	3.8%

Note:
: Downpipes to be connected to LPD
: 27.195m Setback from Existing Dwelling
: 3m Offset from Inner Fence

Scale	Drawing No	Issue
1:350	WD03	01
Date:	16.09.2025	



Revisions		Do not scale drawings. Use figured dimensions on site prior commencement of any work, the preparation of drawings or the fabrication of components. This drawing is copyright and can not be reproduced without written consent. N	Client:	Drawing Title	Site Coverage:	Note:	Scale	Drawing No	Issue
No	Date								
01	16.09.2025	PLANNING ISSUE	Joshua Burn 26 International Close Acton Park Tas 7170	Proposed Shed 9m x 12m Drawing status PLANNING ISSUE A3	Site : 20095.22m2 Existing Dwelling 323.50m2 Existing Shed 333.00m2 Proposed Shed 108.00m2 Site Coverage 764.00m2 Site Coverage % 3.8%	: Downpipes to be connected to LPD : 27.195m Setback from Existing Dwelling : 3m Offset from Inner Fence	1:100	WD04	01
							Date:	16.09.2025	

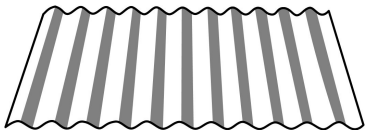


YOUR BUILDING CONTAINS THE FOLLOWING CLADDING OPTIONS

QUOTE/CONTRACT: VFURM0895846-3

HANNAH BURN
EMAIL: hannahpoppywright@gmail.com
SITE ADDRESS: TBA ACTON PARK TAS

ROOF CLADDING



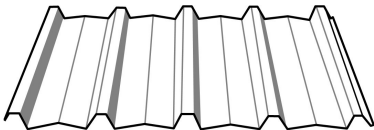
0.42 BMT (0.47 TCT) CUSTOM ORB

OPTIONS

0.42 TRIMDEK



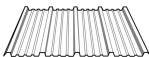
WALL CLADDING



0.42 BMT (0.47 TCT) TRIMDEK

OPTIONS

0.35 MULTICLAD



0.42 MULTICLAD



0.35 CUSTOM ORB



0.42 CUSTOM ORB

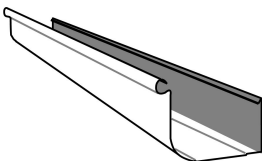


0.35 TRIMWALL



NOTE: CHANGE OF CLADDING OPTIONS WILL BE
SUBJECT TO RE-QUOTING.

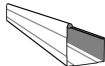
GUTTERING



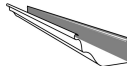
HI-FRONT QUAD GUTTER

OPTIONS

SQUARELINE



OGEE



NONE

NO
GUTTER
SUPPLIED

DOWNPIPES

NO
DOWNPIPES
SUPPLIED

NO DOWNPIPES SUPPLIED

OPTIONS

100x50 RECT.



100x75 RECT.



90MM DIA. STEEL



90MM DIA. PVC



YOUR BUILDING IS DESIGNED TO THE HIGHEST STANDARDS

THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA - NCC2019

AUSTRALIAN STANDARD 1170.0:2011 - STRUCTURAL DESIGN ACTIONS - GENERAL PRINCIPALS

AUSTRALIAN STANDARD 1170.1:2011 - STRUCTURAL DESIGN ACTIONS - PERMANENT, ACTIONS

AUSTRALIAN STANDARD 1170.2:2011 - STRUCTURAL DESIGN ACTIONS - WIND ACTIONS

AUSTRALIAN STANDARD 1170.4:2011 - STRUCTURAL DESIGN ACTIONS - EARTHQUAKE LOADS

AUSTRALIAN STANDARD 3600:2018 - CONCRETE STRUCTURES

AUSTRALIAN STANDARD 4055:2002- WIND LOADS

AUSTRALIAN STANDARD 4600:2018 - STEEL STRUCTURES

AUSTRALIAN STANDARD 3566.2:2002- SELF DRILLING FASTENERS

AUSTRALIAN STANDARD 1252:1983- STRUCTURAL ASSEMBLIES

HAVE YOU CONSIDERED?

REPLACING A ROOF SHEET WITH A SKYLIGHT SHEET ?

ADDING A WINDOW TO YOUR BUILDING ?

ADDING A GLASS DOOR TO YOUR BUILDING ?

ADDING REMOTE ELECTRIC OPERATORS TO THE ROLLER DOORS ?

ADDING A ROTARY VENT TO THE ROOF ?

CONTACT OUR OFFICE FOR PRICING FOR THESE OPTIONS