



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/055729

PROPOSAL: Dwelling

LOCATION: 68 Brookston Drive, Mornington

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 04 November 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 04 November 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 04 November 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **Residential Dwelling**

Location: **68 Brookston Drive, Mornington**

Personal Information Removed

Estimated cost of development: **\$350,000**

Is the property on the Tasmanian Heritage Register? Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Vacant Land**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Applicant's signature:

Personal Information Removed

Date:

19/09/2025

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.

Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.

SCHEDULE OF EASEMENTS	Registered Number SP 1783 18
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 7 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

- (3) a Drainage Easement (as hereinafter defined) in gross in favour of the Clarence City Council over the land marked DRAINAGE EASEMENT 3.00 WIDE shown on the plan.

Lots 1, 2, 3, 4 and 201 are:

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT, DRAINAGE EASEMENT 3.00 WIDE (SP173136) and shown on the plan.

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 2.50 WIDE and shown on the plan.

Lots 1, 2, 3, 4, 5, 6, 7, 8 and 201 are:

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT VARIABLE WIDTH and shown on the plan.

Lots 2 and 3 are:

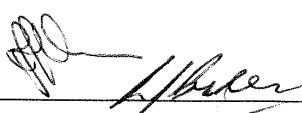
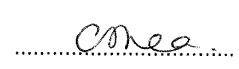
SUBJECT TO a Drainage Easement (as hereinafter defined) in gross in favour of the Clarence City Council over the land marked DRAINAGE EASEMENT 4.00 WIDE shown on the plan.

Lots 14 and 22 are:

SUBJECT TO a Drainage Easement (as hereinafter defined) in gross in favour of the Clarence City Council over the land marked DRAINAGE EASEMENT 3.00 WIDE shown on the plan.

Lot 100 is:

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: FUTURE DEVELOPMENTS PTY LTD FOLIO REF: 173136/101 SOLICITOR & REFERENCE: MURDOCH CLARKE RJB:1802053	PLAN SEALED BY: CLARENCE CITY COUNCIL DATE: 23.12.2019 SD -2017/29 REF NO.	  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.		

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 7 PAGES	Registered Number SP 1783 18
SUBDIVIDER: : FUTURE DEVELOPMENTS PTY LTD FOLIO REFERENCE: 173136/101	

SUBJECT TO a Pipeline and Services Easement (as hereinafter defined) in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT, DRAINAGE EASEMENT 3.00 WIDE (SP173136) and shown on the plan.

SUBJECT TO a Drainage Easement (as hereinafter defined) in gross in favour of the Clarence City Council over the land marked DRAINAGE EASEMENT 4.00 WIDE and shown on the plan.

Lot 200 is:

SUBJECT TO a Electricity Infrastructure Easement (as hereinafter defined) in gross in favour of Tasmanian Networks Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 3.00 WIDE and shown on the plan.

FENCING PROVISION

In respect to each lot shown on the plan (except lots 100 and 101) the Vendor (Future Developments Pty Ltd) shall not be required to fence.

COVENANTS

The owners of each lot shown on the plan (except Lots 100, 101, 200 and 201) covenant with the Vendor and the Clarence City Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and every part thereof and that the benefit thereof shall be annexed to and devolved with each and every part thereof and be in favour of the Clarence City Council to observe the following stipulations:-

- (a) Not to erect or permit to be erected on the said lot any building which does not have a roof constructed of tiling or other substance which does not reflect light.
- (b) Not to use unpainted galvanized iron or other reflective material or substance in the construction of any roof or any part of any dwelling or other structure on the said lot.
- (c) Not to construct or place kit, re-locatable or weatherboard dwellings on the lot.
- (d) Not to construct any dwellings on the lot that shall have less than seventy (70) per cent of the external walls comprising glass, masonry, brick or rendered finish.
- (e) Not to commence construction of a dwelling on the lot without providing for a lockable skip bin of a capacity of at least three (3) cubic metres to remove all rubbish and discarded materials.
- (f) Not to use or allow the lot to be used for public housing, public rental projects or public assistance programs or where the owner of the lot does not have the right to determine the tenants.
- (g) The Vendor reserves the right for themselves or their assigns to sell lease or otherwise deal with any lot on the plan either subject to any of the above conditions and/or restrictive covenants or any one of them or not

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 7 PAGES	Registered Number SP 1783 18
SUBDIVIDER: : FUTURE DEVELOPMENTS PTY LTD FOLIO REFERENCE: 173136/101	

subject to such modifications thereof as they in their sole discretion deem fit. The exercise of the said right in relation to any lot shall not release the owners of any other lot from any of the conditions or covenants affecting or imposed upon such other lots will give the owners of any lot any right of action against the vendor or any other person.

The owners of Lots 1, 2, 3, 4, 5, 6, 7 and 8 on the plan covenant with the Vendor to the intent that the burden of this covenant may run with and bind the Covenantor's Lot and every part thereof and the benefit thereof shall be annexed to and devolved with each and every part of every lot shown on the plan to observe the following stipulations:-

- (a) Not to carry out any development of such lot except in accordance with the recommendations contained in a Geotechnical report to be obtained prior to lodging a development application with the Clarence City Council.
- (b) Not to erect or place any dwelling or residence or any part thereof on such lot within the Sound Attenuation Zone 20.00 wide shown on the plan.
- (c) Not to erect or place any dwelling on such lot unless the Clarence City Council have approved of such attenuation measures as are required to achieve a noise level of less than 35dB in living areas in night time, 45dB(a) in living areas in day time, 30dB(a) in sleeping areas in night time and 40dB(a) in sleeping areas in the day time and 63dB(a) to the closest point of any such dwelling or residence.
- (d) Not to gain access to or from such lot from the highway known as the Tasman Highway.

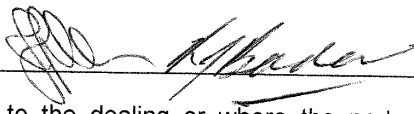
The owner of Lots 22 and 23 on the plan covenant with the Vendor and Clarence City Council to the intent that the burden of this covenant may run with and bind the Covenantor's Lot and every part thereof and the benefit thereof shall be annexed to and devolved with each and every part of every lot shown on the plan to observe the following stipulation:-

- (a) Not to erect or permit to be erected on the common boundary between Lot 22, Lot 200, Lot 23 and Lot 200 any boundary fence with a height greater than 1.2 metres above natural ground level.

Each lot on the plan is burdened by the restrictive covenants contained in Sealed Plan 173136 and Sealed Plan 176198.

DEFINITIONS

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 7 PAGES	Registered Number SP 1783 18
SUBDIVIDER: : FUTURE DEVELOPMENTS PTY LTD FOLIO REFERENCE: 173136/101	

"Drainage Easement" means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

"TasWater" means the Tasmanian Water and Sewerage Corporation Pty Limited its successors & assigns.

"Pipeline and Services Easement" means-

THE FULL RIGHT AND LIBERTY for the TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 7 PAGES	Registered Number SP 1783 18
SUBDIVIDER: : FUTURE DEVELOPMENTS PTY LTD FOLIO REFERENCE: 173136/101	

consent of TasWater first had and obtained (which cannot be unreasonably refused) and only in compliance with any conditions which form the consent:

- (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace anything that supported, protected or covered the Infrastructure.

"Easement Land" means the land which is subject to this easement.

"Infrastructure" means-

Infrastructure owned or for which TasWater is responsible and includes but is not limited to-

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 7 PAGES	Registered Number SP 1783 18
SUBDIVIDER: : FUTURE DEVELOPMENTS PTY LTD FOLIO REFERENCE: 173136/101	

- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) anything reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"Owner" means the registered proprietors of the lot in the folio of the Register from time to time.

"Electricity Infrastructure" means –

FIRSTLY all the full and free right and liberty for Tasmania Networks Pty Ltd and its successors and its and their servants agents and contractors (hereinafter called "Tas Networks") at all times hereafter:

- a) **TO** maintain, lay, erect and install anything used for, or in connection with the generation, transmission or distribution of electricity including powerlines (overhead or underground), substations for converting electricity, substations for transforming or controlling electricity and equipment for metering, monitoring or controlling electricity (hereinafter called "electricity infrastructure") of such materials and type as Aurora may determine above, on or under the land respectively marked "Electricity Infrastructure Easement" on the Plan annexed hereto (hereinafter called the "servient land");
- b) **TO** enter into and upon the servient land for the purpose of examining, operating, maintaining, repairing, modifying, adding to or replacing electricity infrastructure without doing unnecessary damage to the said servient land and making good all damage occasioned thereby;
- c) **TO** erect fencing, signs, barriers or other protective structures upon the servient land if in the opinion of Aurora these are necessary for reasons of safety;
- d) **TO** cause or permit electrical energy to flow or be transmitted or distributed through the said electricity infrastructure;
- e) **TO** enter into and upon the servient land for all or any of the above purposes with or without all necessary plant equipment and machinery and the means of transporting the same and if necessary to cross the remainder of the said land in consultation with the registered proprietor/s for the purpose of access and regress to and from the servient land;
- f) **NOTHING** herein contained shall prevent the registered proprietor/s for themselves and their successors in

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 7 PAGES	Registered Number SP 1783 18
SUBDIVIDER: : FUTURE DEVELOPMENTS PTY LTD FOLIO REFERENCE: 173136/101	

title from using the servient land **PROVIDED THAT** such use does not derogate from this grant or, in the opinion of Tas Networks compromise the safe operation of Aurora electricity infrastructure located on, above or under the servient land.

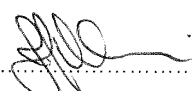
SECONDLY the benefit of a covenant for Tas Networks and its successors with the registered proprietor/s for themselves and their successors in title of the servient land not to erect any buildings or place any structures or objects within the said easement without the prior written consent of Tas Networks to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement hereinbefore described.

EXECUTED by FUTURE DEVELOPMENTS)
TAS PTY LTD (ABN 52 616 042 632) by its duly)
authorised Attorney **ROBERT JOHN BADENACH**)
pursuant to Power of Attorney registered on 20th)
May 2019 Registered Number PA 117473 having)
received no notice of the revocation thereof)


Robert John Badenach

WITNESS:

FULL NAME:


Julie Ann Sullivan

ADDRESS:

Personal Assistant

OCCUPATION:

10 Victoria Street, Hobart 7000

SIGNED SEALED AND DELIVERED

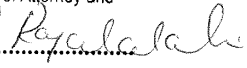
for and on behalf of COMMONWEALTH BANK
OF AUSTRALIA by its Attorney

under Registration Power of Attorney No. 7216177
who certifies that he/she is

of the COMMONWEALTH BANK OF AUSTRALIA

and declares that he/she has received no notice
of revocation of the said Power of Attorney and


Romelinda Amurao


Rajalakshmi Narayana

Bank Officer, Sydney

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UNREGISTERED DEALINGS REPORT

SEARCH DATE : 25-Aug-2025

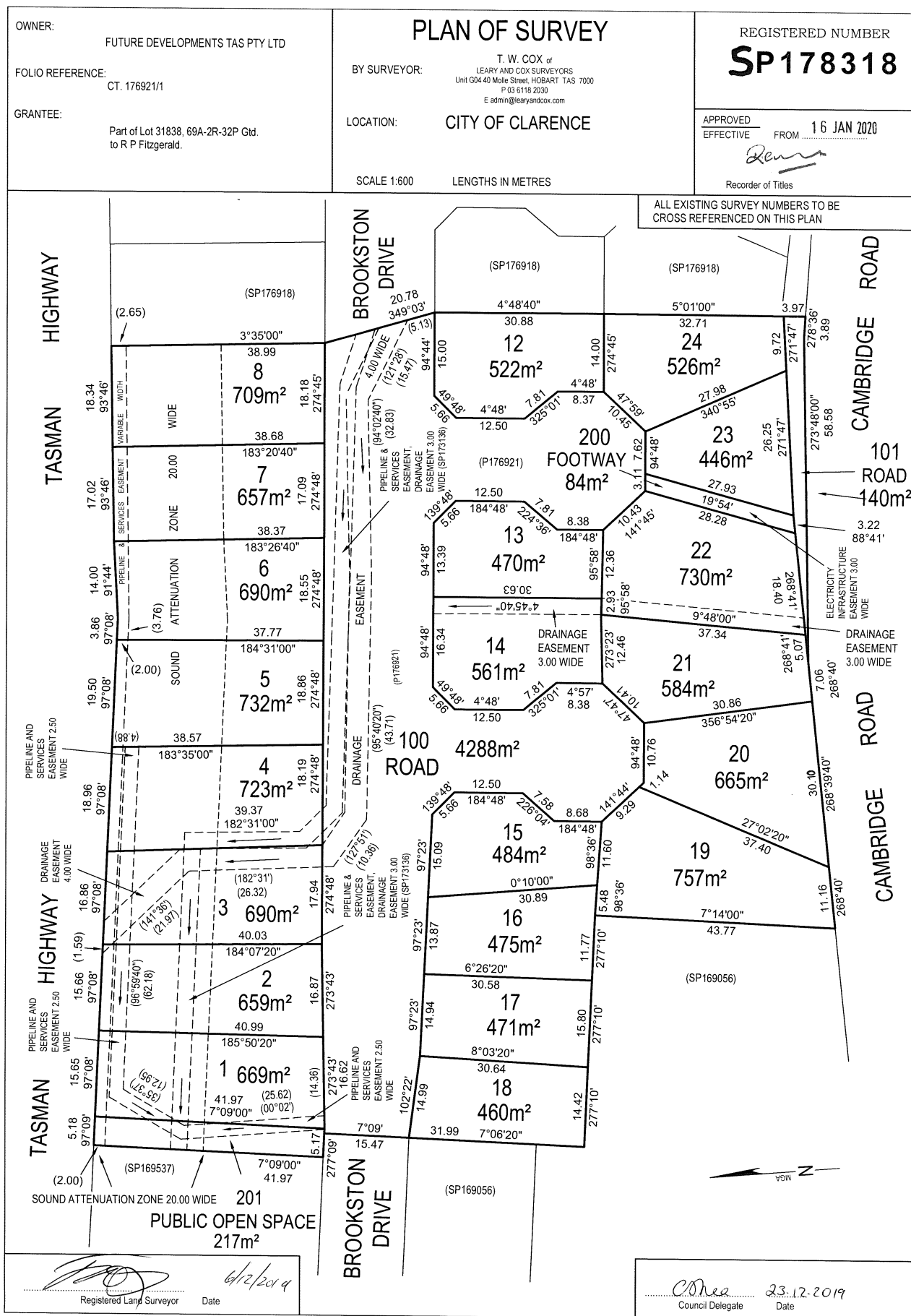
SEARCH TIME : 01:54 pm

CT: 178318/17

N270145 PRIORITY NOTICE reserving priority for 90 days
TRANSFER TINA LOUISE MCGINNISS and PERRY MCGINNISS to
SUSHMITA RAI and SUXCES MAHARJAN
MORTGAGE SUSHMITA RAI and SUXCES MAHARJAN to WESTPAC
BANKING CORPORATION Lodged by TAS CONVEYANCING PTY
LTD on 12-Jun-2025 BP: N270145

N270146 TRANSFER to SUSHMITA RAI and SUXCES MAHARJAN Lodged
by DOBSON MITCHELL on 24-Jul-2025 BP: N270146

E423487 MORTGAGE to Westpac Banking Corporation Lodged by
DOBSON MITCHELL on 24-Jul-2025 BP: N270146



SEARCH OF TORRENS TITLE

VOLUME 178318	FOLIO 17
EDITION 3	DATE OF ISSUE 27-Aug-2025

SEARCH DATE : 10-Oct-2025

SEARCH TIME : 03.36 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 17 on Sealed Plan [178318](#)

Derivation : Part of Lot 31838, 69A-2R-32P Gtd. to R P

Fitzgerald

Prior CT [176921/1](#)SCHEDULE 1

[N270146](#) TRANSFER to SUSHMITA RAI and SUXCES MAHARJAN
Registered 27-Aug-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP178318](#) COVENANTS in Schedule of Easements[SP178318](#) FENCING PROVISION in Schedule of Easements[SP143447](#), [SP166783](#) & [SP173136](#) COVENANTS in Schedule of
Easements[SP143447](#), [SP166783](#) & [SP173136](#) FENCING PROVISION in Schedule of
Easements[E201018](#) INSTRUMENT Creating Restrictive Covenants Registered
28-Feb-2020 at 12.02 PM[E423487](#) MORTGAGE to Westpac Banking Corporation Registered
27-Aug-2025 at 12.01 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

2342 Proposed Dwelling, MAHARJAN & RAI
68 BROOKSTON DRIVE, MORNINGTON



174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633



Site Information

Land Title Reference : CT 178318/17
Wind Classification : TBC
Soil Classification : M
Climate Zone : 7
Bushfire Attack Level: LOW

AREA SCHEDULE

Ground Fl (Dwelling) : 134.8 m²

Garage : 23.3 m²

Total Ground Floor : 158.1 m²

Porch : 3.0 m²

Outdoor Living : 14.5 m²

Driveway Area : 26.8 m²

THIS PLAN IS ACCEPTED BY:

.....

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals.

SIGNATURE:

DATE:

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

© This document is copyright and may not be reproduced without the written consent of Ronald Young & Co Builders Pty Ltd. Compliance No. CC102Y - James Collins

DRAWING: COVER SHEET
DATE: 13.10.2025
PROJECT No: 2342
DRAWN BY: RK
DWG No: 00

Drawing No.	Description	Drawing No.	Description
01	SITE PLAN	09	DRAINAGE PLAN
02	GROUND FLOOR PLAN	10	DRIVEWAY CHAINAGE
03	ELEVATIONS	11	LIGHTING CALCULATIONS & WINDOW SCHEDULE
04	SLAB_GROUND FLOOR	12	GENERAL NOTES
05	SECTION	13	BCA COMPLIANCE
05A	DETAILS	14	BAL LOW NOTES
06	ROOF PLAN	15	WET AREA SPECIFICATIONS
07	BRACING PLAN		
08	ELECTRICAL PLAN		

Scale: 1 : 200

B	Retaining wall elevation added	13.10.2025	RK
A	Modified as Client feedback	28.08.2025	RK
	BA PLANS	20.08.2025	RK
Rev.	Description	Date	Drawn

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals).
SIGNATURE:

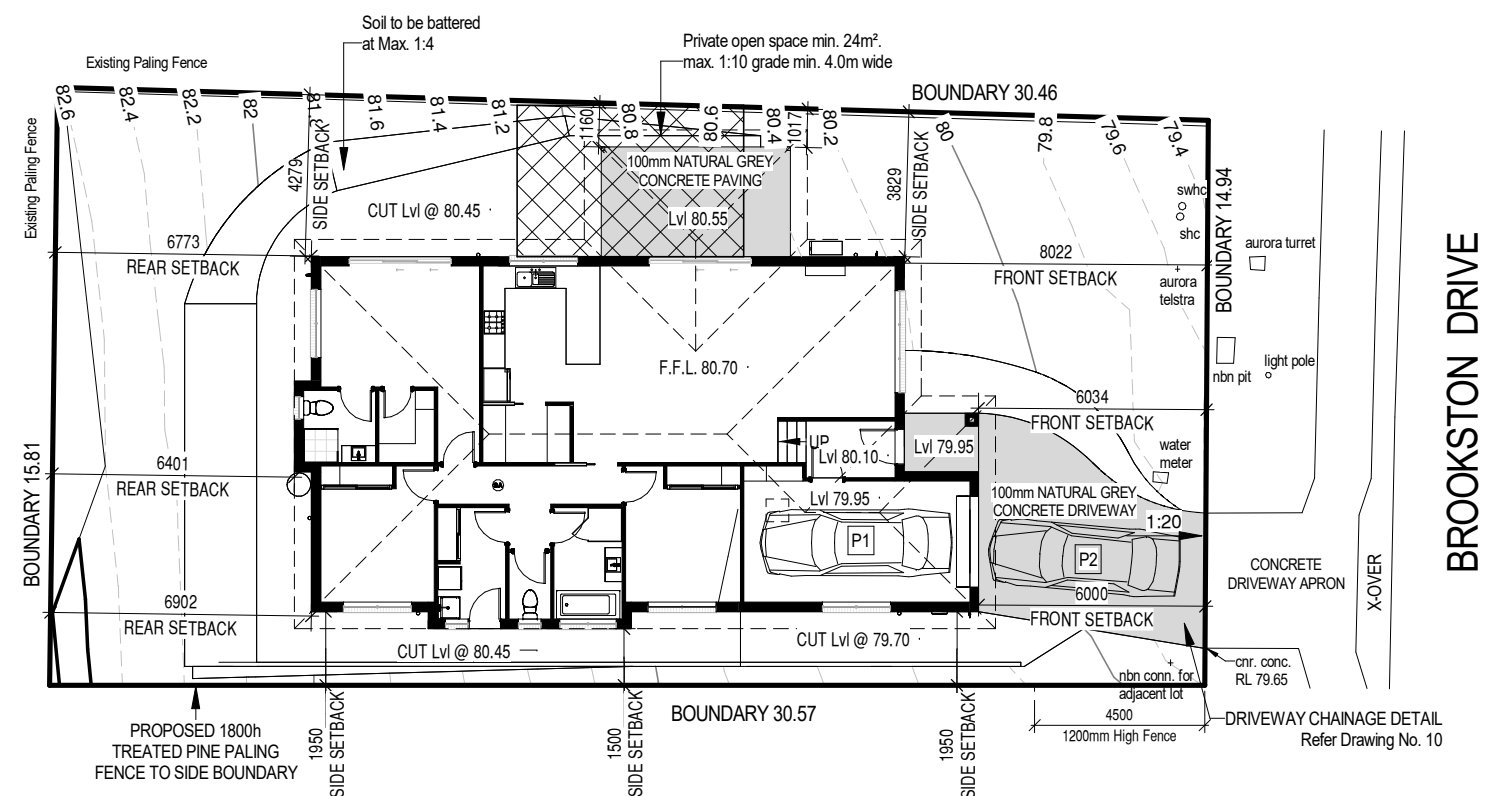
DATE:

Ground FL	80.700
CL	83.400



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Ground Fl (Dwelling)	: 134.8 m ²
Garage	: 23.3 m ²
Total Ground Floor	: 158.1 m²

Porch	:	3.0 m ²
Outdoor Living	:	14.5 m ²

Driveway Area : 26.8 m²

NOTE:
Builders' responsibility to protect stormwater pipes during construction.

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: SITE PLAN

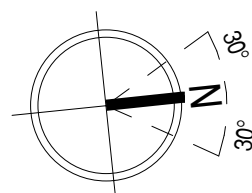
DATE: 13.10.2025

FILE NAME: 2342

DRAWN BY: RK

DWG No:

01



Scale: 1 : 200

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

B	13.10.2025	Retaining wall elevation added	RK
A	28.08.2025	Modified as Client feedback	RK
	20.08.2025	BA PLANS	RK
Rev	Date	Revision Description	Drawn

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE:

DATE:

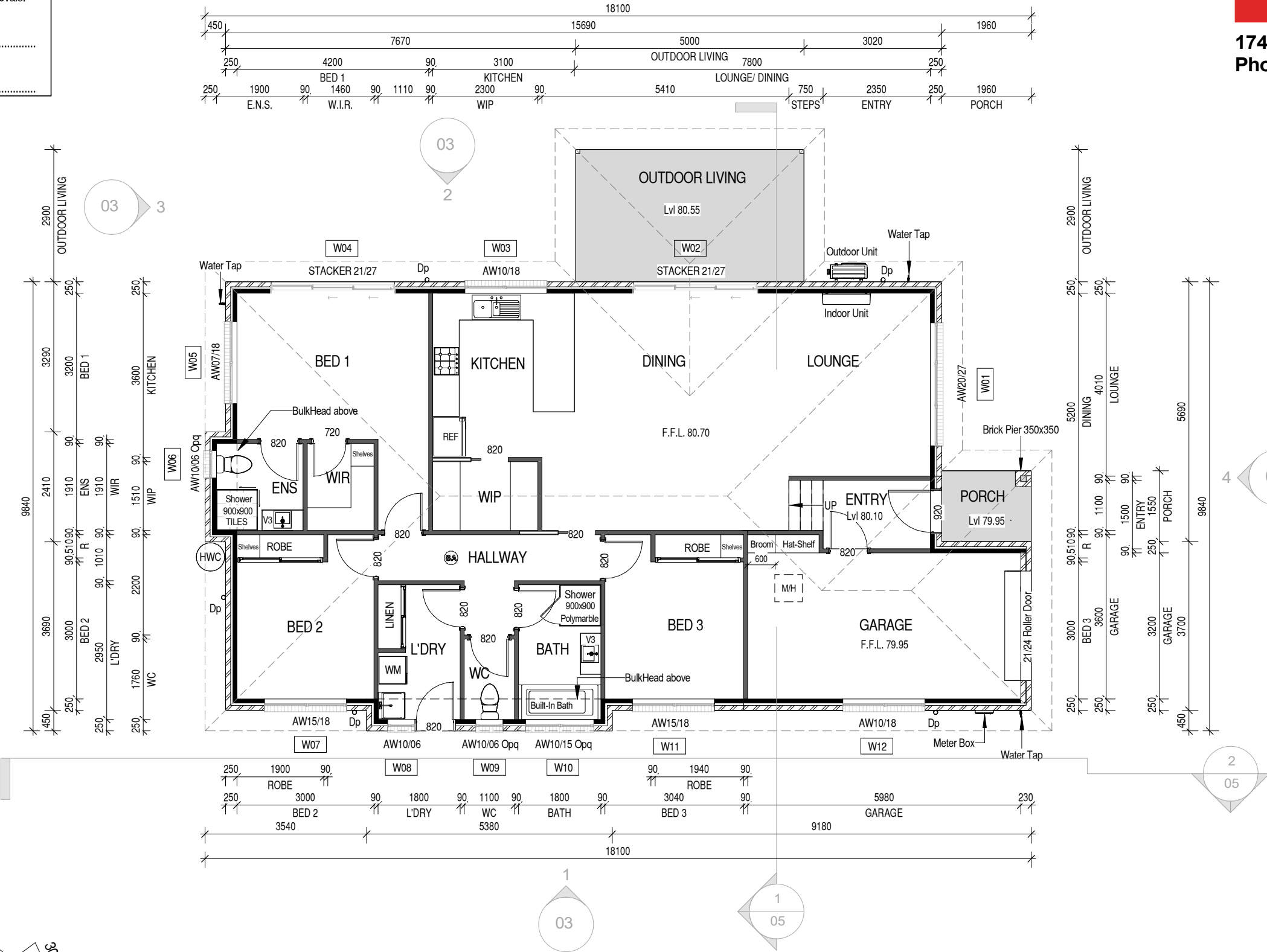
Ground FL 80.700

CL 83.400



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NOTES:

AJ Articulation Joint

dp DOWN PIPE

For Kitchen Details,
Refer to Kitchen Joinery Design

Vanity Legend	
VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

AREA SCHEDULE

Ground Fl (Dwelling) : 134.8 m²
Garage : 23.3 m²
Total Ground Floor : 158.1 m²

Porch : 3.0 m²
Outdoor Living : 14.5 m²

Driveway Area : 26.8 m²

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: GROUND FLOOR PLAN

DATE: 13.10.2025

FILE NAME: 2342

DRAWN BY: RK

DWG No:

02

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

B	13.10.2025	Retaining wall elevation added	RK
A	28.08.2025	Modified as Client feedback	RK
	20.08.2025	BA PLANS	RK
Rev.	Date	Revision Description	Drawn

Scale: 1 : 100

THIS PLAN IS ACCEPTED BY:

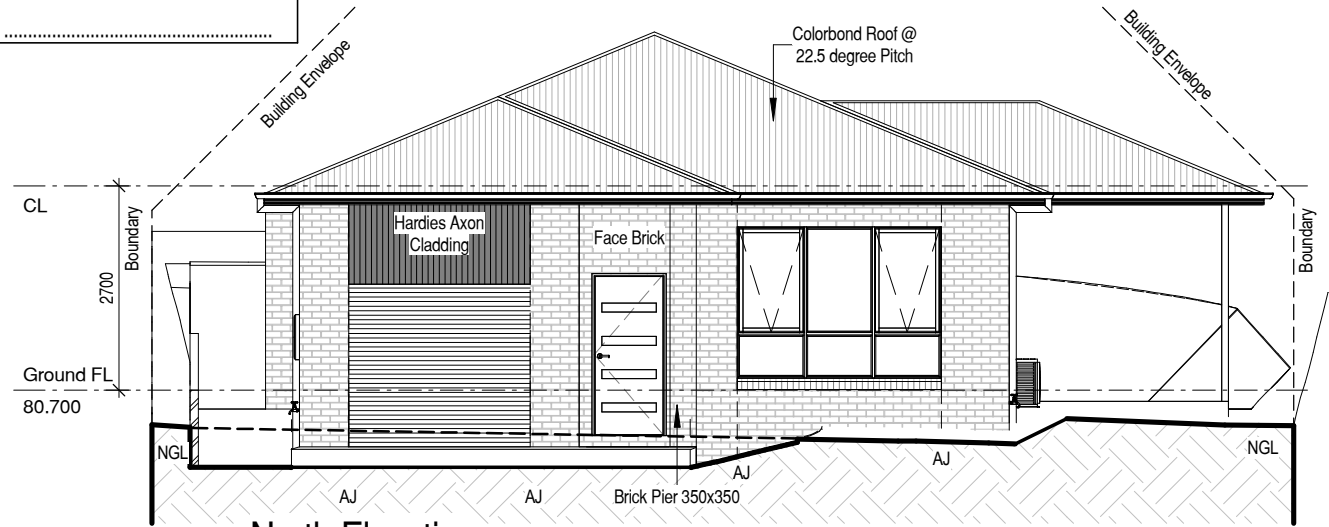
PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals.
SIGNATURE:

DATE:

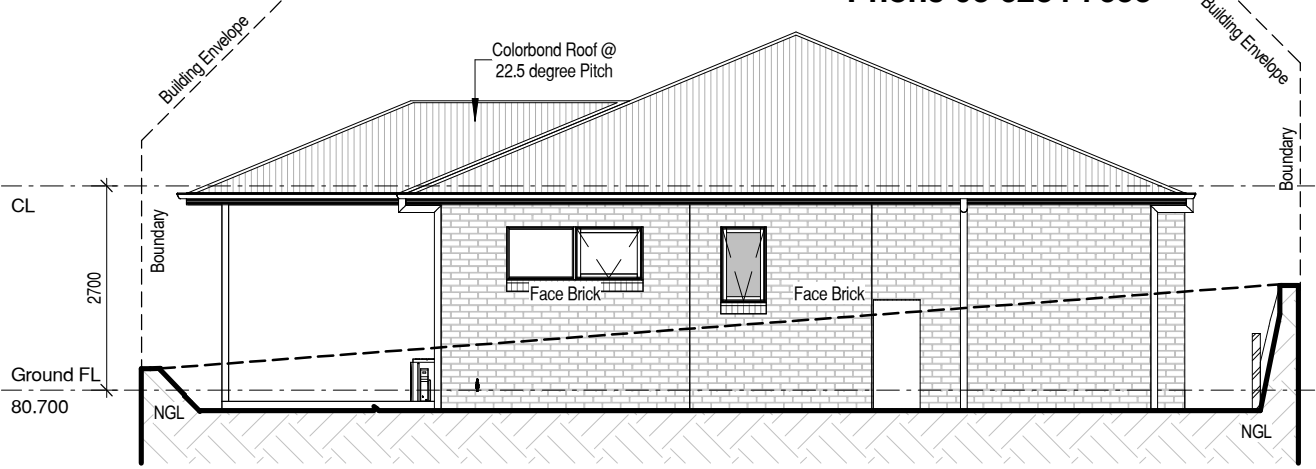


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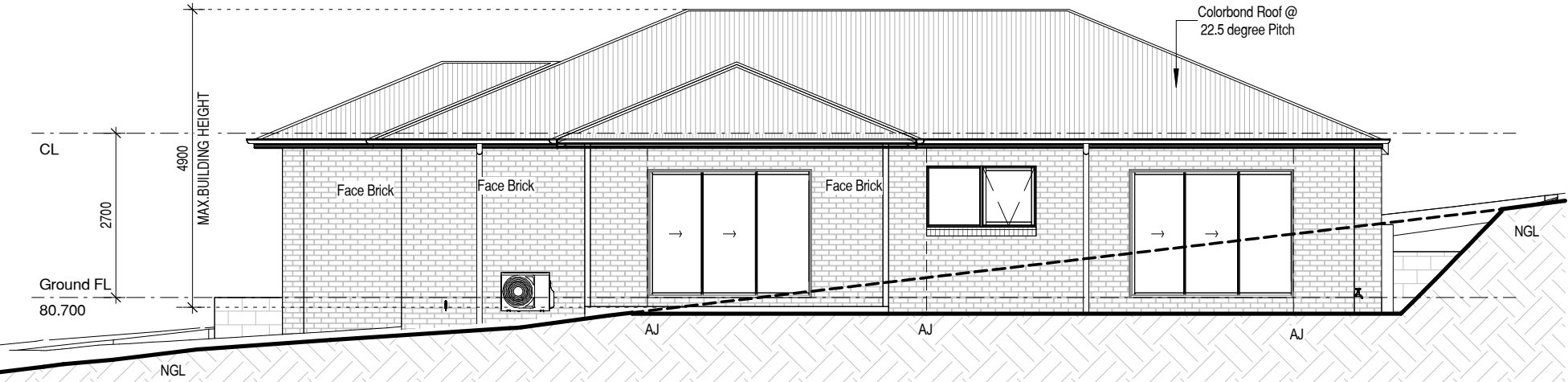
174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633



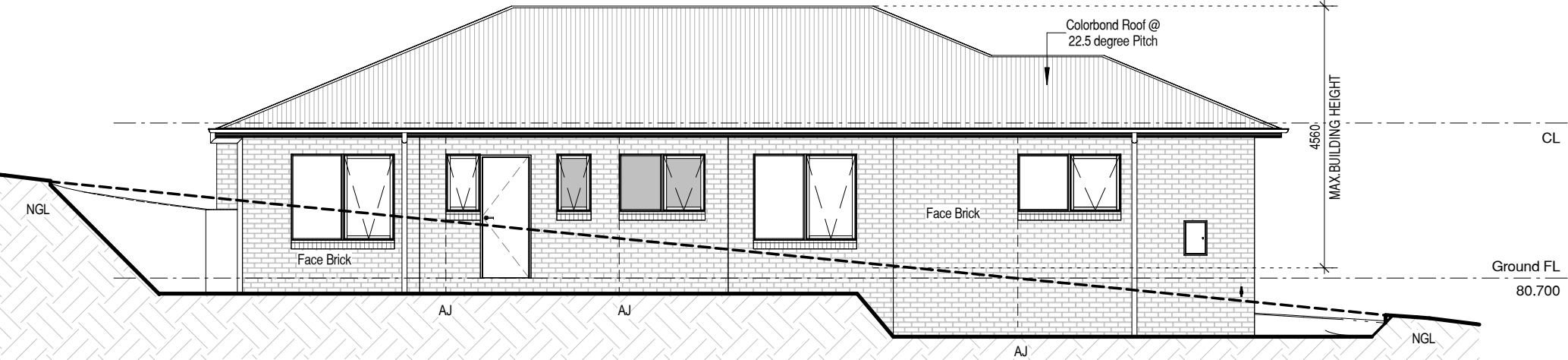
North Elevation



South Elevation



West Elevation



East Elevation

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

Scale: 1 : 100

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: ELEVATIONS

DATE: 13.10.2025

FILE NAME: 2342

DRAWN BY: RK

DWG No:

B	13.10.2025	Retaining wall elevation added	RK
A	28.08.2025	Modified as Client feedback	RK
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Rev.	Date	Revision Description	Drawn

THIS PLAN IS ACCEPTED BY:

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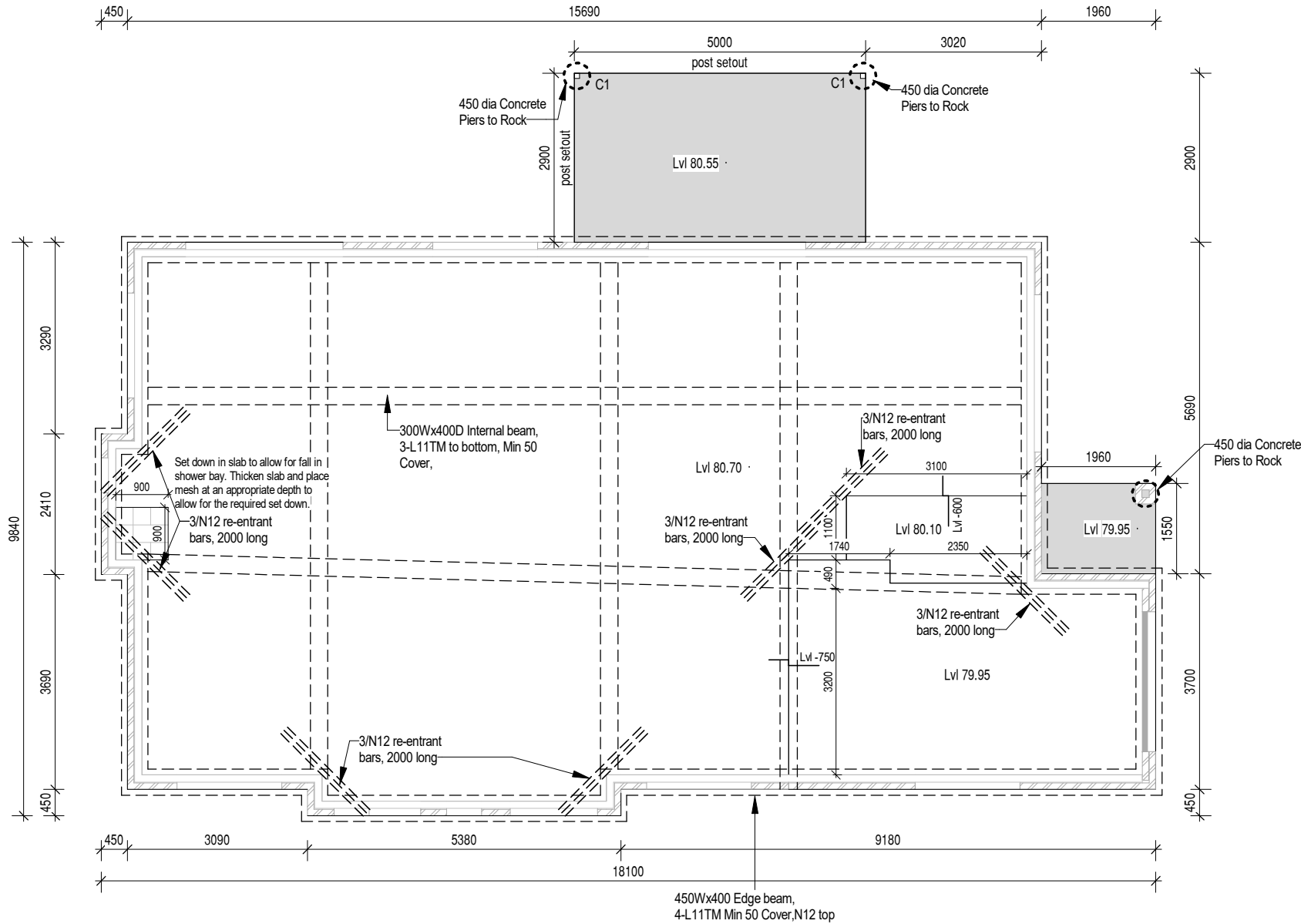
DATE:



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Site Classification 'Class M'



Scale: 1 : 100

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

B	13.10.2025	Retaining wall elevation added	RK
A	28.08.2025	Modified as Client feedback	RK
	20.08.2025	BA PLANS	RK
Rev.	Date	Revision Description	Drawn

BAL : LOW

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DRAWING: SLAB_GROUND FLOOR

DATE: 13.10.2025

FILE NAME: 2342

DRAWN BY: RK

DWG No:

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals.
SIGNATURE:

DATE:

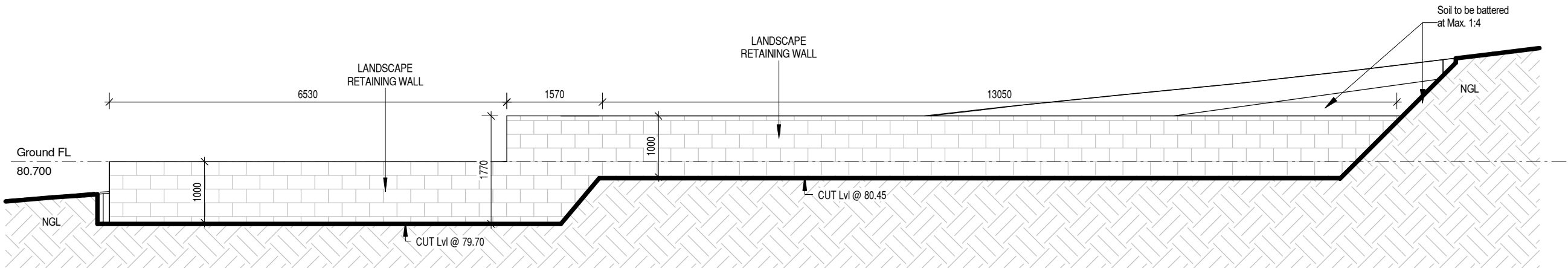
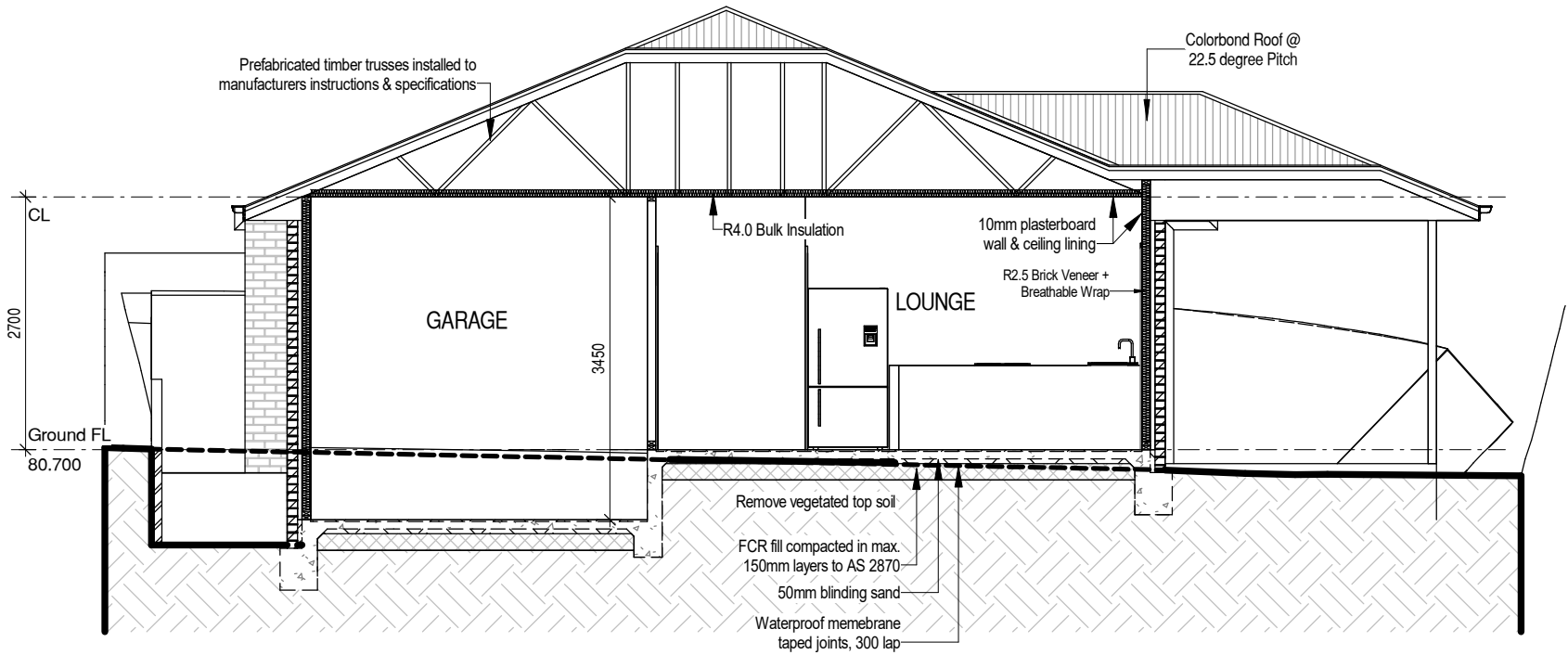


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Site Classification 'Class M'

IMPORTANT NOTE:
All framing to be (MGP10) Pine.



Retaining wall _East Elevation

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: SECTION

DATE: 13.10.2025

FILE NAME: 2342

DRAWN BY: RK

DWG No:

Scale: 1 : 75

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

B	13.10.2025	Retaining wall elevation added	RK
A	28.08.2025	Modified as Client feedback	RK
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Rev.	Date	Revision Description	Drawn

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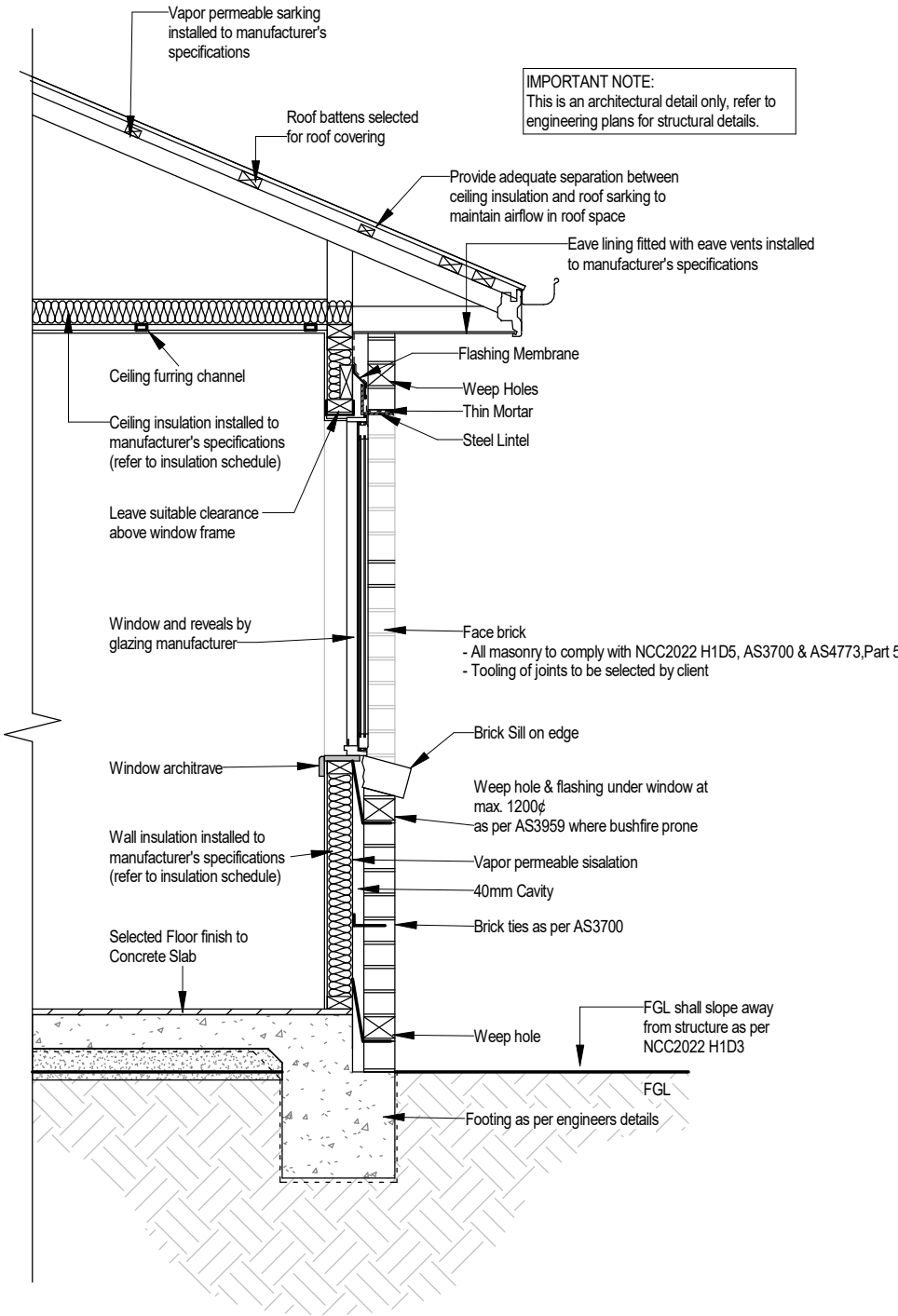
PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals.
SIGNATURE:

DATE:



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TYPICAL WALL DETAIL
(BRICK VENEER)

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: DETAILS

DATE: 13.10.2025

FILE NAME: 2342

DRAWN BY: RK

DWG No:

Scale: 1 : 25

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

Rev.	20.08.2025	BA PLANS	RK
	Date	Revision Description	Drawn

THIS PLAN IS ACCEPTED BY:

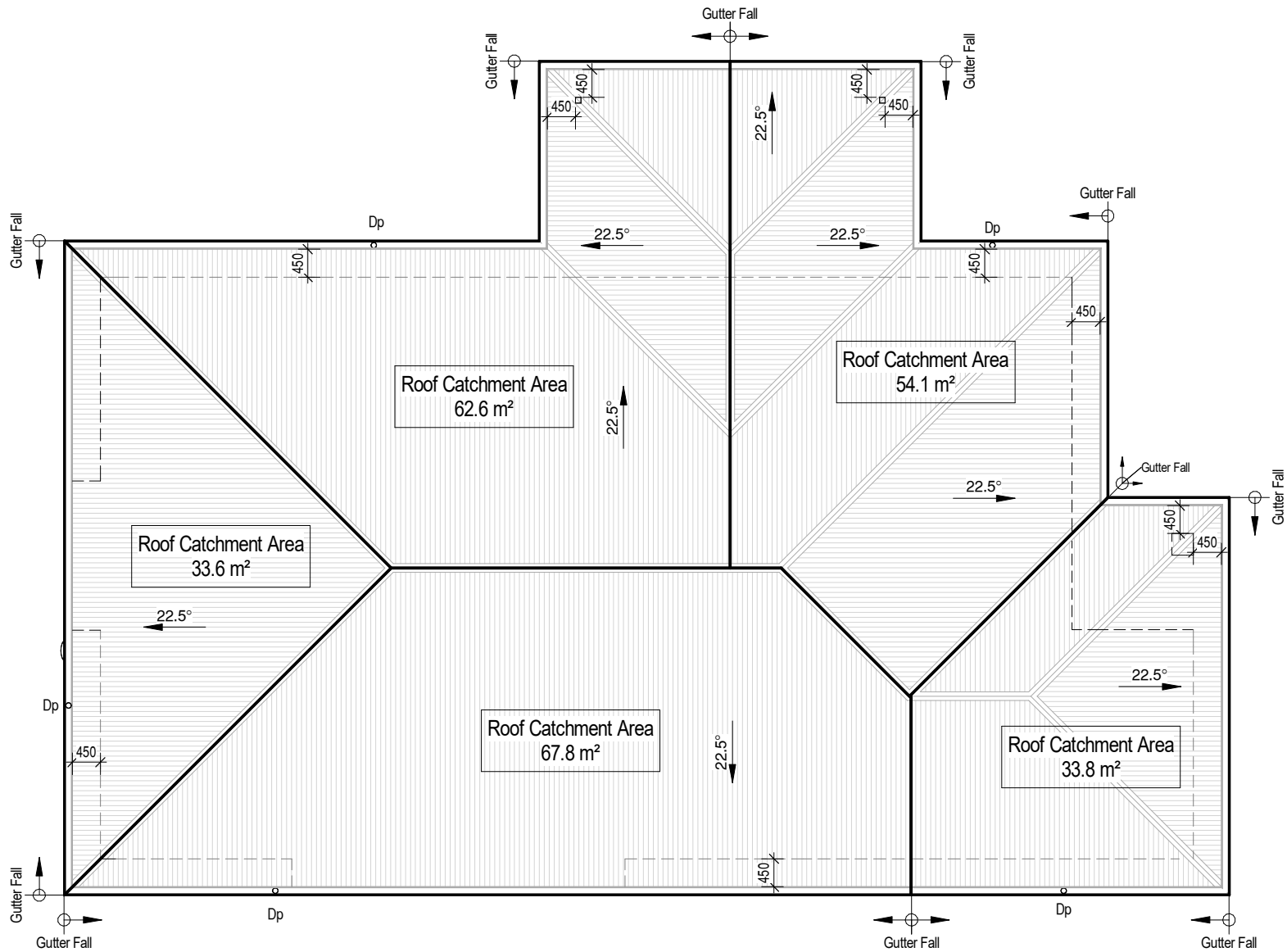
PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals.
SIGNATURE:

DATE:



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ROOF CATCHMENT AREA CALCULATION		
Ah	208.1 m²	Plan area of roof including 115mm Quad gutter (m²)
Ac	251.8 m²	catchment area of a roof - Ah x slope factor (m²)
Gutter Type	A	effective cross-sectional area 6500 mm² (determined from NCC Table 3.5.2.2)
DRI	85	Design Rainfall intensity Hobart (determined from NCC Table 3.5.2.1)
Acdp	70	Max.catchment area of roof per 90mm downpipe(determined from NCC Table 3.5.2.2)
Downpipes required	4	Ac / Acdp
Downpipes provided	5	
NOTE: Roof catchment areas to comply with AS3500.3		

IMPORTANT NOTE:
The position and quantity of downpipes are not to be altered without consulting with designer.
Areas shown are surface / catchment areas NOT plan areas.
Where downpipes are further than 1.2m away from valley, refer to NCC 3.5.2.5 (b).
All roof areas shown are indicative only and not to be used for any further purpose.

NOTE:
dp DOWN PIPE

BAL : LOW

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DRAWING: ROOF PLAN

DATE: 13.10.2025

FILE NAME: 2342

DRAWN BY: RK

DWG No:

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

B	13.10.2025	Retaining wall elevation added	RK
A	28.08.2025	Modified as Client feedback	RK
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Rev.	Date	Revision Description	Drawn

THIS PLAN IS ACCEPTED BY:

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BRACING LEGEND

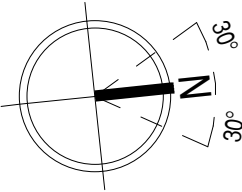
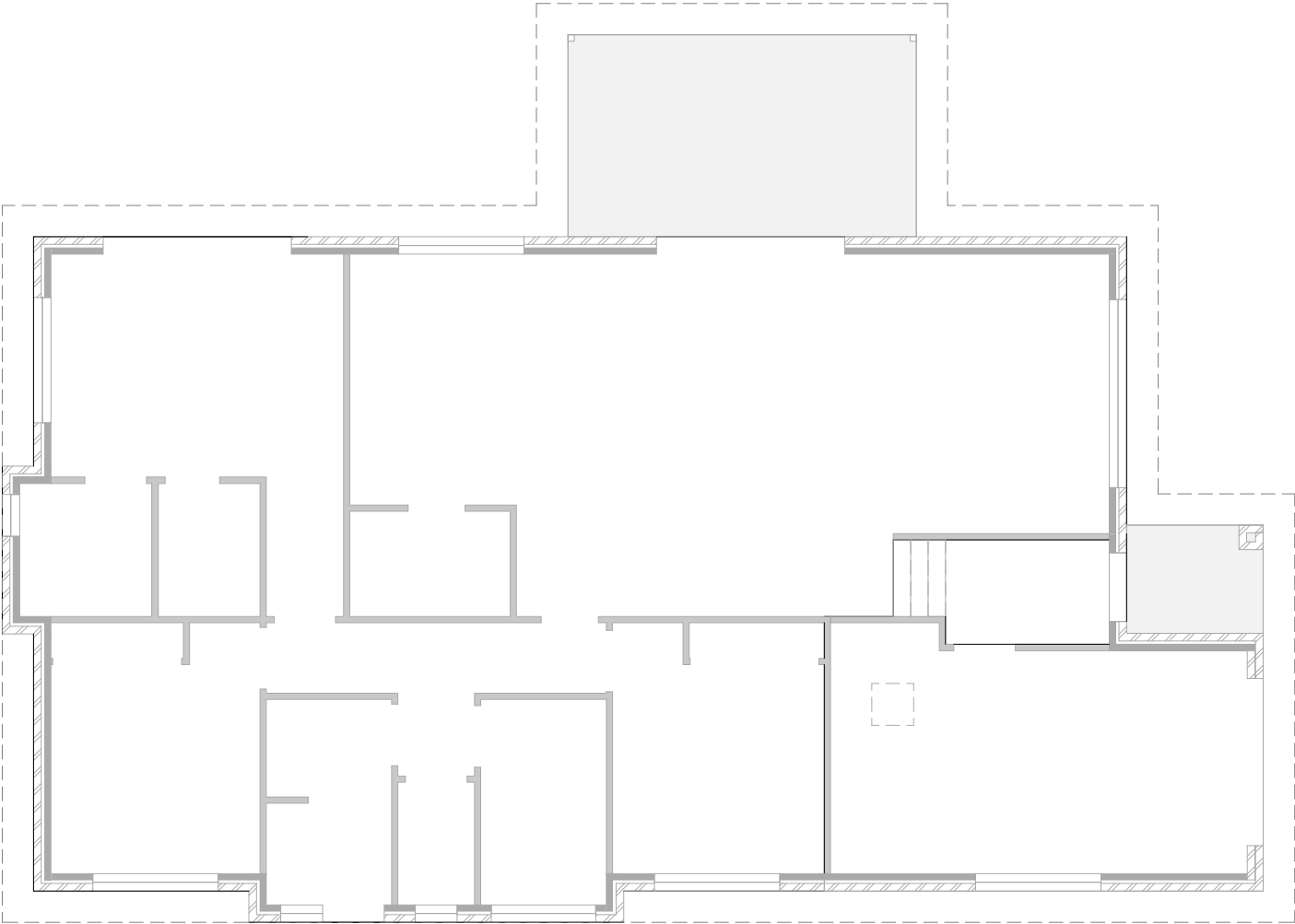
- D - DOUBLE DIAGONAL METAL STRAP
AS PER TABLE 8.18 FIG (d)
CAPACITY 3.0 kN/m
- H - PLYWOOD AS PER TABLE 8.18 FIG
(h) B 6.0 kN/m 0.9m LONG U.N.O

TIE DOWN

- REFER TO ENGINEERING DRAWING SHEETS FOR TIE DOWN DETAILS
- REFER TO ENGINEERING DRAWING SHEETS FOR WALL BRACING DETAILS

TRUSS MANUFACTURER TO CONFIRM
ADEQUACY OF LINTELS FOR ROOF LOADS.

ALL INTERNAL WALLS ARE ASSUMED TO BE
NON- LOAD BEARING.



Scale: 1 : 100

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: BRACING PLAN

DATE: 13.10.2025

FILE NAME: 2342

DRAWN BY: RK

DWG No:

B	13.10.2025	Retaining wall elevation added	RK
A	28.08.2025	Modified as Client feedback	RK
	20.08.2025	BA PLANS	RK
Rev.	Date	Revision Description	Drawn

THIS PLAN IS ACCEPTED BY:

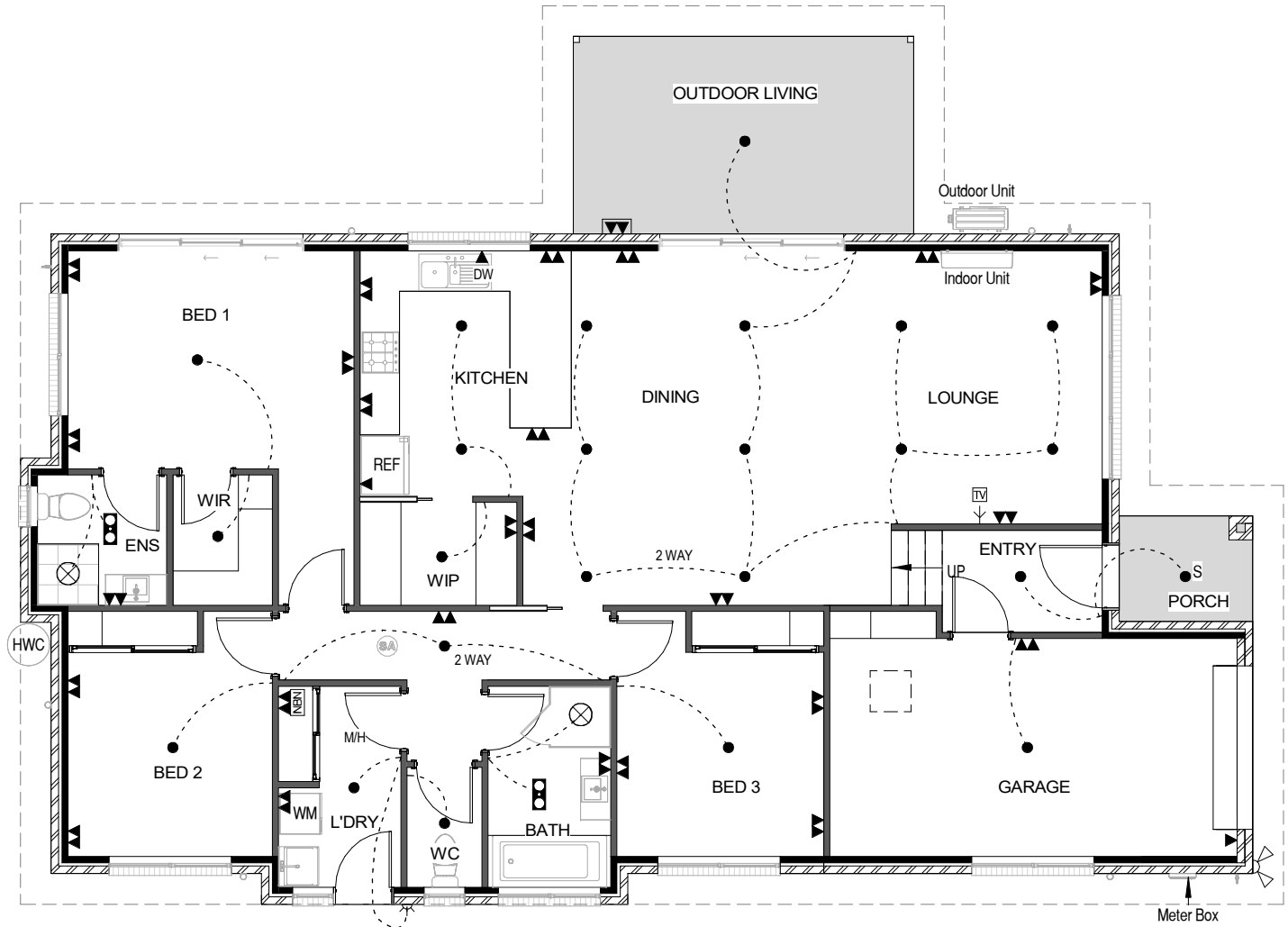
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SIGNATURE:

DATE:



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ELECTRICAL LEGEND		
		No.s
▼	Single GPOs	3
▼▼	Double GPOs	25
▼▼▼	Weatherproof GPOs	1
NBN	Phone / NBN point	1
TV →	TV point	1
●	LED Downlight	23
S ●	LED Sensor Downlight	1
⬢	Tastics	2
⋈	Wall Light	1
⋈	Twin Spot	1
⊗	Mechanical Exhaust Fan	2
SA	Smoke Alarm	1

NOTES:
- Rangehood to be ducted to outside
- External NBN under meterbox [where applicable]
- Where Exhaust fans are provided with no other form of ventilation, fan must be activated simultaneously with light
- Smoke alarm to be connected to the mains power supply and possess a battery back-up and be interconnected; to provide a common alarm throughout the building, and be to AS 3786-2014, and installed to NCC Clause 3.7.5.5.

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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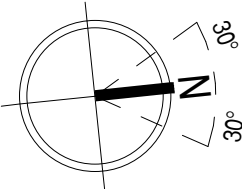
DRAWING: ELECTRICAL PLAN

DATE: 13.10.2025

FILE NAME: 2342

DRAWN BY: RK

DWG No:



Scale: 1 : 100

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

B	13.10.2025	Retaining wall elevation added	RK
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Rev.	Date	Revision Description	Drawn

THIS PLAN IS ACCEPTED BY:

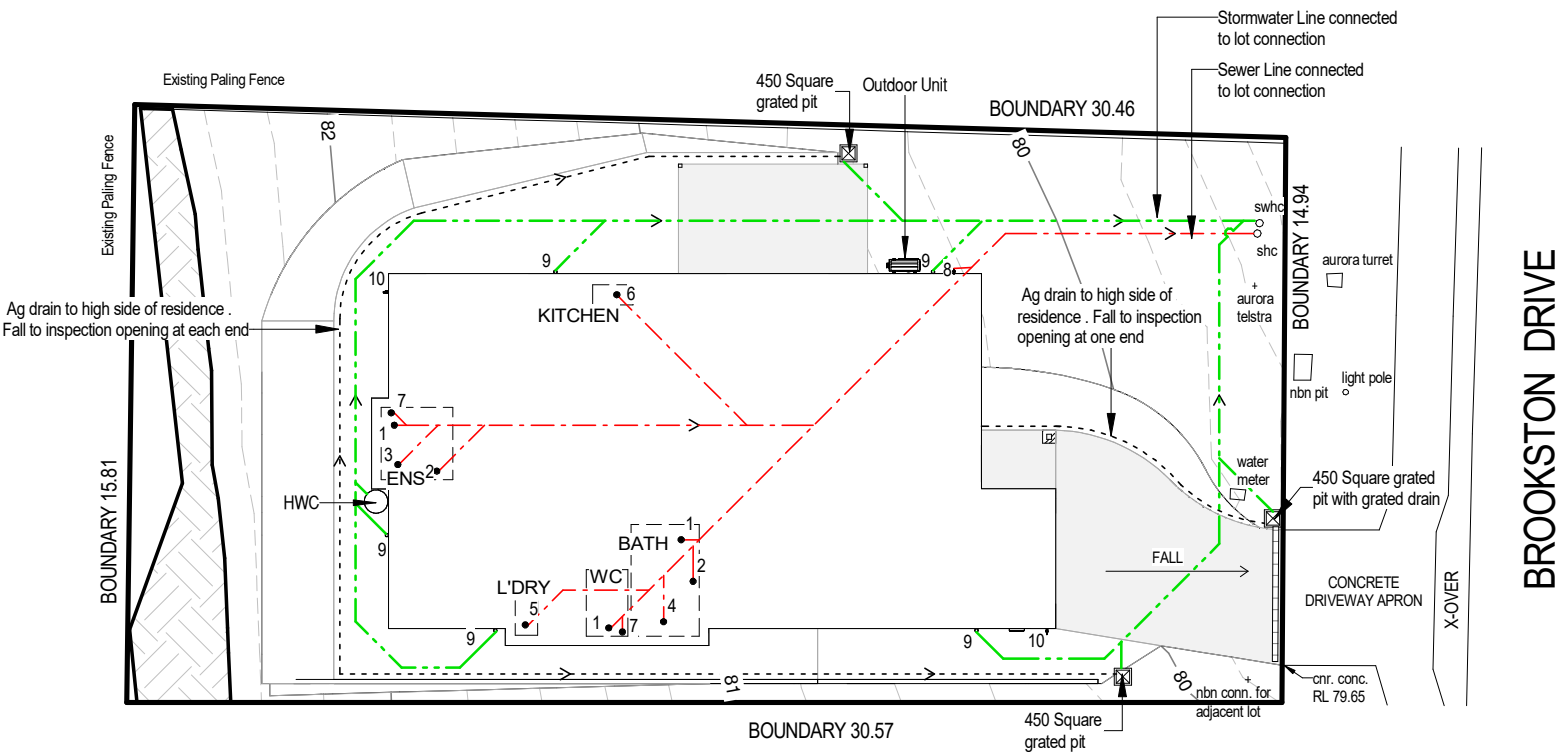
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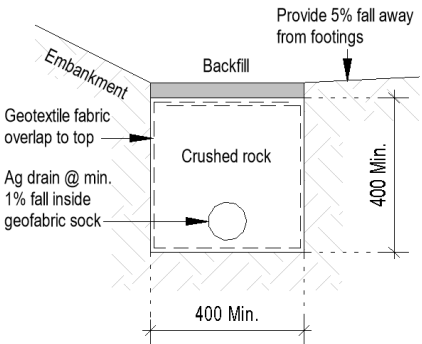
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Phone 03 6234 7633



LEGEND		
Abbr.	TYPE	Min. Ø Outlet size
1	Water closet pan	100
2	HandBasin	40
3	Shower	50
4	Bath	40
5	Laundry Trough	50
6	Kitchen Sink	50
7	Vent	50
8	Tap Charged ORG min.150mm below FFL	
Dp	Downpipe	90
10	Tap	
i.o.	Inspection Opening to Ground Lvl	
f/w	Floor Waste	

--- Sewer line 100Ø UPVC U.N.O.
--- Stormwater line 100Ø UPVC U.N.O.



AG Drain (Typical)

NOTE:
Builders' responsibility to protect
stormwater pipes during construction.

BAL : LOW

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DRAWING: DRAINAGE PLAN

DATE: 13.10.2025

FILE NAME: 2342

DRAWN BY: RK

DWG No:

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

B	13.10.2025	Retaining wall elevation added	RK
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	20.08.2025	BA PLANS	RK
Rev.	Date	Revision Description	Drawn

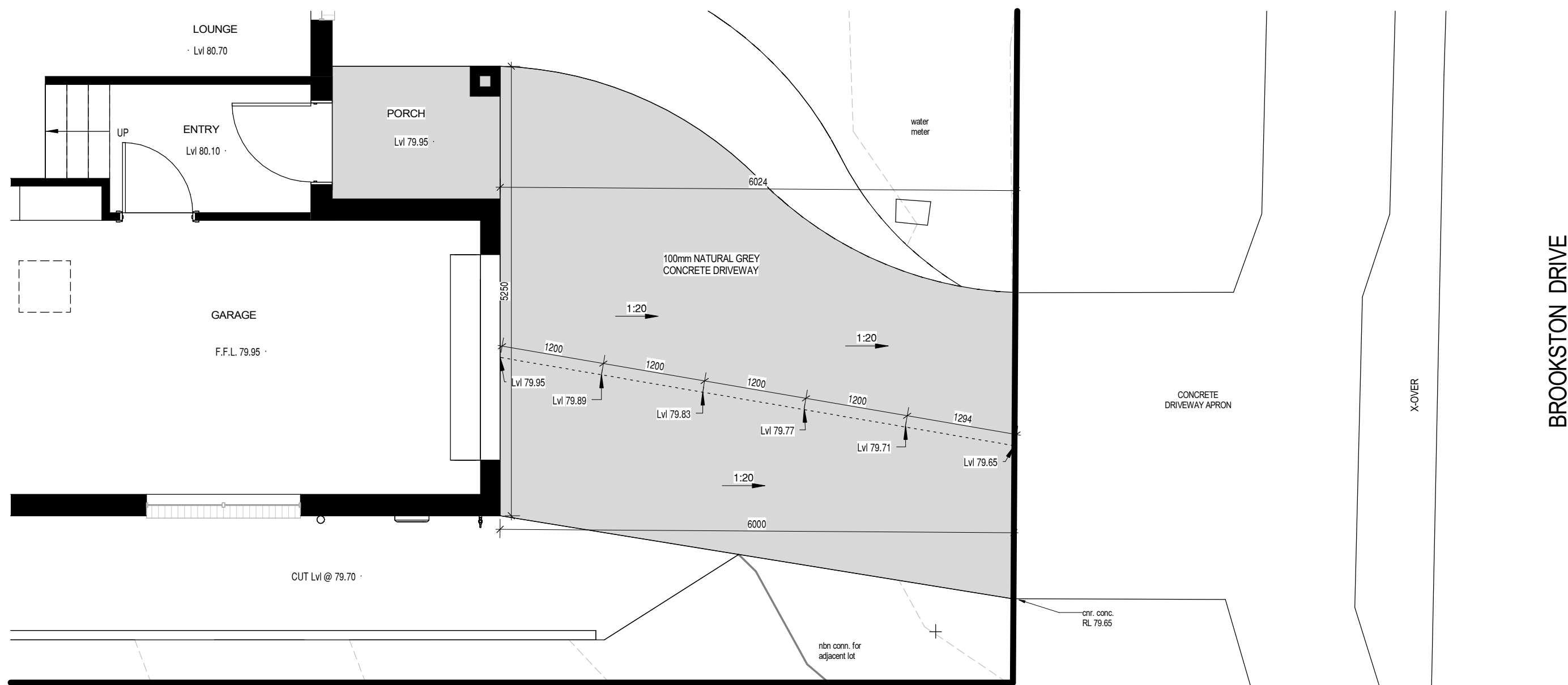
PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals.
SIGNATURE:

.....



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GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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Compliance No. CC102Y - James Collins

DRAWING: DRIVEWAY CHAINAGE

DATE: 13.10.2025

FILE NAME: 2342

DRAWN BY: RK

DWG No:

Scale: 1 : 50

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

B	13.10.2025	Retaining wall elevation added	RK
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Rev	Date	Revision Description	Drawn

10

THIS PLAN IS ACCEPTED BY:

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DATE:



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BUILDERS

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Main Menu

LIGHTING CALCULATOR FOR USE WITH J6.2(a) VOLUME ONE AND 3.12.5.5 VOLUME TWO (First issued with NCC 2014)

Help screen

Building name/description

Proposed Dwelling_2342-Maharjan & Rai - 68 Brookston Drive Mornington

Classification

Class 1

Number of rows preferred in table below

15

(as currently displayed)

Advisory Note

Separate aggregate allowances are calculated for Class 1, 2 or 4 cases; for a verandah or balcony; or for a Class 10 building. The % of Allowance Used' outcomes refer to these aggregate allowances.

ID	Description	Type of space	Floor area of the space	Design Lamp or Illumination Power Load	Location	Adjustment Factor One				Adjustment Factor Two (n/a for Class 1)				OVERALL DESIGN PASSES		
						Adjustment Factor One	Dimming Percentages		Design Lumen Depreciation Factor	Adjustment Factor Two	Dimming Percentages		Design Lumen Depreciation Factor	Lamp or Illumination Power Density		System Share of % of Aggregate Allowance Used
						Adjustment Factors	% Area	% of full power		Adjustment Factors	% Area	% of full power		System Allowance	System Design	
1	BED 2	Bedroom	9.6 m²	12 W	Class 1 building									5.0 W/m²	1.3 W/m²	3% of 48%
2	ENS	Bathroom	3.6 m²	12 W	Class 1 building									5.0 W/m²	3.3 W/m²	9% of 48%
3	WIR	Other	2.8 m²	12 W	Class 1 building									5.0 W/m²	4.3 W/m²	11% of 48%
4	L'DRY	Laundry	4.4 m²	12 W	Class 1 building									5.0 W/m²	2.7 W/m²	7% of 48%
5	WC	Toilet	1.9 m²	12 W	Class 1 building									5.0 W/m²	6.3 W/m²	16% of 48%
6	BATH	Bathroom	5.3 m²	12 W	Class 1 building									5.0 W/m²	2.3 W/m²	6% of 48%
7	BED 3	Bedroom	9.7 m²	12 W	Class 1 building									5.0 W/m²	1.2 W/m²	3% of 48%
8	LOUNGE	Living room	17.1 m²	48 W	Class 1 building									5.0 W/m²	2.8 W/m²	7% of 48%
9	WIP	Other	3.5 m²	12 W	Class 1 building									5.0 W/m²	3.4 W/m²	9% of 48%
10	BED 1	Bedroom	15.6 m²	12 W	Class 1 building									5.0 W/m²	0.8 W/m²	2% of 48%
11	HALLWAY	Corridor	6.2 m²	12 W	Class 1 building									5.0 W/m²	1.9 W/m²	5% of 48%
12	KITCHEN	Kitchen	11.1 m²	24 W	Class 1 building									5.0 W/m²	2.2 W/m²	6% of 48%
13	DINING	Lounge room	20.9 m²	72 W	Class 1 building									5.0 W/m²	3.4 W/m²	9% of 48%
14	ENTRY	Corridor	4.4 m²	12 W	Class 1 building									5.0 W/m²	2.7 W/m²	7% of 48%
15	GARAGE	Other	19.7 m²	12 W	Class 10a building									3.0 W/m²	0.6 W/m²	100% of 20%

135.8 m²

288 W

Class 1 building

5.0 W/m²

2.4 W/m²

Class 10a building (associated with a Class 1 building)

3.0 W/m²

0.6 W/m²

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE LIGHTING CALCULATOR

The Lighting Calculator has been developed by the ABCB to assist in developing a better understanding of lighting energy efficiency parameters. While the ABCB believes that the Lighting Calculator, if used correctly, will produce accurate results, the calculator is provided "as is" and without any representation or warranty of any kind, including that it is fit for any purpose or of merchantable quality, or functions as intended or at all. Your use of the Lighting Calculator is entirely at your own risk and the ABCB accepts no liability of any kind.

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if inputs
are valid



GLAZING NOTE:

All windows are Double glazed

BAL : LOW

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DRAWING: LIGHTING CALCULATIONS & WINDOW SCHEDULE
DATE: 13.10.2025

FILE NAME: 2342

DRAWN BY: RK

DWG No:

B	13.10.2025	Retaining wall elevation added	RK
A	28.08.2025	Modified as Client feedback	RK
	20.08.2025	BA PLANS	RK
Rev.	Date	Revision Description	Drawn

Scale:

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE:

DATE:

General Notes (NCC 2022 BCA Vol 2)

• All materials and work practices shall comply with, but not limited to the Building Regulations 2018, National Construction Code Series 2019, National Construction Code 2022 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.

• Unless otherwise specified, the term BCA shall refer to National Construction Code 2022 Building Code of Australia Volume 2.

• All materials and construction practice shall meet the Performance Requirements of the BCA. Where a performance solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.

• Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with:
–BCA H1D8 for Class 1 and 10 Buildings within a design wind speed of not more than N3;

• Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: Waterproofing of Domestic Wet Areas.

• These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.

• Step sizes (other than for spiral stairs) to be:
–Risers (R) 190mm maximum and 115mm minimum
–Going (G) 355mm maximum and 240mm minimum
–2R + 1G = 700mm maximum and 550mm minimum
–with less than 125mm gap between open treads.

• All treads, landings and the like to have a slip-resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.

• Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Barriers (other than tensioned wire barriers) to be:
– 1000mm min. above finished surface level of balconies, landings or the like, and
–865mm min. above finished surface level of stair nosing or ramp, and
–vertical with less than 125mm gap between, and
–any horizontal element within the barrier between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads.

Wire barrier construction to comply with NCC 2022 BCA Part 11.3.4 for Class 1 and 10 Buildings

• Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps.

• Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.

Where the building (excludes a detached Class 10) is located in a termite prone area the building is to be provided with a termite management system.

• Buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS 4773.1-2010 •Masonry in small buildings • Part 1: Design.

• All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.

• These drawings shall be read in conjunction with all relevant structural and all other consultants • drawings/ details and with any other written instructions issued in the course of the contract.

• Site plan measurements in metres • all other measurements in millimetres unless noted otherwise.

• Figured dimensions take precedence over scaled dimensions.

• The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.

• The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.

• Installation of all services shall comply with the respective supply authority requirements.

• The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/ or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.

• A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.

• The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.

STORMWATER

90mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction.

The cover to underground stormwater drains shall be not less than

- 100mm under soil
- 50mm under paved or concrete areas
- 100mm under unreinforced concrete or paved driveways
- 75mm under reinforced concrete driveways

BRICKWORK:

ALL BRICKWORK IN ACCORDANCE WITH AS3700.
ALL BRICKWORK ON EXTERNAL FACADES TO BE FACE BRICKWORK AS SELECTED OR RENDERED WHERE SPECIFIED. PROVIDE WEEP HOLES AT 1200mm CTRS MAX AT BASE OF BRICKWORK AND AS REQUIRED.
PROVIDE SUB-FLOOR VENTILATION IN ACCORDANCE WITH NCC REQUIREMENTS WHERE REQUIRED.
PROVIDE ARTICULATION JOINTS IN BRICKWORK IN ACCORDANCE WITH NCC2022 PART 5.2.5. REGARDLESS OF WHETHER THEY ARE SHOWN ON THE DRAWINGS.
PROVIDE FACE FIXING CAVITY TIES TO BRICKWORK TO AVOID HOLES IN FOIL INSULATION MATERIALS.
INSTALLED AT 600mm CTRS MAX IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS (TYPICAL) OR AS SPECIFIED BY ENGINEER'S DETAILS.
BUILDING TIE-DOWNS TO BE PROVIDED IN ACCORDANCE WITH AS 1684. REFER TO ENGINEER'S DETAILS
AND BUILDING SURVEYOR TO CONFIRM ON SITE AT FIRST INSPECTION.

ARTICULATION JOINTS:

aj DENOTES LOCATION OF ARTICULATION JOINTS FOR BRICKWORK, MAXIMUM 5.0 METRE SPACING.
WHEN ARTICULATION JOINTS ARE REQUIRED, THEY SHALL BE FILLED TO PREVENT MOISTURE PENETRATION AND SPACED AT CENTRES NOT EXCEEDING THE VALUE GIVEN IN TABLE 12.14. AS 3700 ARTICULATION JOINTS SHALL BE PLACED AT A DISTANCE FROM ALL CORNERS NOT LESS THAN 0.5M AND NOT GREATER THAN 3.0M.

MECHANICAL VENTILATIONS:

MECHANICAL VENTILATION OR AIR-CONDITIONING SYSTEM TO COMPLY WITH AS 1668.2 AND AS 3666.
REQUIREMENTS IF APPLICABLE.
LAUNDRIES, BATHROOMS, ENSUITES AND POWDER ROOMS THAT ARE NOT NATURALLY VENTILATED. SHALL BE PROVIDED WITH MECHANICAL VENTILATION, CONNECTED TO LIGHT SWITCH AND DUCTED EXTERNALLY.
ALL EXHAUST FANS SHALL BE PROVIDED WITH DAMPERS OR SELF CLOSING DEVICES SUCH AS DAMPERS, FILTERS, ETC. WHICH SEAL OR SHUT WHEN NOT IN USE.



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SMOKE DETECTORS AND ALARM:

SMOKE DETECTORS/ ALARMS TO BE INTERCONNECTED AND HARD WIRED TO MAINS POWER AND WITH BATTERY BACK-UP WHERE NOTED ON PLANS. SMOKE DETECTORS/ ALARMS TO COMPLY WITH AS 3786 AND NCC2022 PART 9.2 AND SPECIFICATIONS E2.2a.
FOR PRIVATE AREAS, SMOKE DETECTORS AND ALARM SYSTEM TO BE INSTALLED ON OR NEAR THE CEILING IN:
- COMMON STAIRWAY ON EACH LEVEL.
- ANY STOREY CONTAINING BEDROOMS.
FOR PUBLIC AREAS, REFER TO MECHANICAL CONSULTANTS DRAWINGS FOR ALL SMOKE DETECTOR LOCATIONS AND REQUIREMENTS IF APPLICABLE.
COORDINATE WITH LOCATION OF LIGHTS OR OTHER ELECTRICAL FITTINGS ON CEILING.

WET AREAS:

ALL WET AREA TO BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH THE CURRENT NCC2022 PART 10.2 AND AS 3740. PROVIDE AN IMPERVIOUS SUBSTRATE AND SELECTED SURFACE FINISH AND COMPLETE WITH UPTURNED FLASHINGS IS REQUIRED TO ALL WET AREAS INCLUDING TOILETS, BATHROOMS, ENSUITES, ETC TO:
- FLOORS: WITHIN 1500mm MIN. OF AN UNENCLOSED SHOWER
- WALLS: TO 1800mm MIN. ABOVE FLOOR TO SHOWER ENCLOSURES AND ALCOVES.
40mm EITHER SIDE OF A JUNCTION.
150mm MIN. SPLASHBACKS ABOVE BATHS, SINKS, BASINS AND TROUGHS.
SELECTED WATERPROOFING MEMBRANE SHALL BE APPROPRIATE FOR THE INTENDED USE AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR USE IN THE LOCATION PROPOSED.
THE FLOOR OF EACH BATHROOM AND LAUNDRY LOCATED AT ANY LEVEL ABOVE A SOLE OCCUPANCY UNIT OR PUBLIC SPACE MUST BE ENSURE A MINIMUM FALL WITHIN THE SHOWER BASE OF 1:60 TO A FLOOR WASTE THAT IS SIZED TO SUIT THE WATER FLOW. THIS INSTRUCTION OVERRIDES THE ALL OTHER DIRECTIONS ON SHOWER BASES.

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: GENERAL NOTES
DATE: 13.10.2025
FILE NAME: 2342
DRAWN BY: RK
DWG No:

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

Scale: 1 : 1000

	20.08.2025	BA PLANS	RK
Rev.	Date	Revision Description	Drawn

THIS PLAN IS ACCEPTED BY:

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PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE:

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SITWORKS
Excavation and filling of site to be in accordance with BCA Part 3.2 and AS 2870.
Drainage works to be in accordance with BCA Part 3.3 & AS/NZS 3500.3.2.
Surface drainage - finished ground to fall away from building 50mm in 1000mm.
Finished slab level to be;
150 above finished ground.
50 above paved surfaces.
Prevent ponding of water under suspended floors.
All embankments that are left exposed must be stabilised with vegetation or similar to prevent erosion.
Embankments cannot exceed 2.0m in height without the aid of retaining walls or other approved types of soil retaining methods.
All unprotected embankments must comply with the slope ratios for soil type in Table 3.2.1 of the current N.C.C

SOIL TYPE / CLASSIFICATION	EMBANKMENT SLOPE	
	Compacted Fill	Cut
Stable Rock (A)	3:3	8:1
SAND(A)	1:2	1:2
FIRM CLAY (M-E)	1:2	1:1
SOFT CLAY (M-E)	Not Suitable	2:3
SOFT SOILS (P)	Not Suitable	Not Suitable

FOOTINGS AND SLAB
Generally, to be in accordance with AS 2870. Preparation for placement of concrete and reinforcement to be to AS 2870.
Concrete & steel reinforcement to be in accordance with AS 2870 & AS/NZS 3500.
The site classification to be in accordance with AS 2879. Alternatively, footings & slabs to be in accordance with structural engineer's design & specification.
MASONRY
Generally, masonry walls to be constructed in accordance with BCA H1D5 & AS 3700.
Un-reinforced masonry to BCA 5.4. Reinforced masonry to BCA 5.2. Masonry accessories to BCA 5.6. Weatherproofing of to BCA 5.7.
FRAMING
Timber framing to be in accordance with AS 1684. Manufactured timber members to be in accordance with prescribed framing manual.
Sub-floor ventilation in accordance with BCA 6.2. Sub- floor area to be clear of organic materials & rubbish.
Provide vent openings in substructure walls at a rate of not less than6000mm2 per meter of wall length, with vents not more than 600mm from corners.
150mm clearance required to underside of floor framing members unless specified otherwise by flooring material specification.
Tie down and bracing of frame to be in accordance with AS 1684 & AS 4055.
Structural steel framing to be in accordance with BCA 6.3, AS 1250, AS 4100 & structural engineers design & specification

GLAZING NOTE:
All windows are Double glazed

ROOF AND WALL CLADDING
Generally, to be in accordance with BCA H1D7. Roof cladding to be in accordance with BCA 3.5.1 and:
Roof tiles AS 2049 & AS 2050. Metal sheet roofing AS 1562.1.
Plastic sheet roofing AS/NZS 4256.1, .2, .3 & .5 & AS 1562.3.
Gutters and downpipes, generally to be in accordance with BCA 3.5.2 & AS/NZS 3500.3.2 & The Tasmanian Plumbing Code.
Eaves, internal and valley guttering to have cross sectional area of 6500mm2.
Downpipes to be 900 or 100 x 50 rectangular section at max. 12000 centres and to be within 1000 of internal/valley gutter.
Wall cladding to be installed in accordance with BCA part 7.5.2 & Manufacturers specification.
Flashings to BCA 7.5.6.

GLAZING
Generally glazing to be in accordance with AS 1288. Refer to window legend for sizes and type.
Windows to comply with BCA part 11.3.7 Protection of Openable Windows.

SERVICES
Generally, in accordance with 13.7.
Hot water supply system designed and installed in accordance with AS/NZS 3500.

FIRE SAFETY
Generally, to be in accordance with BCA Part H3. Fire separation to be in accordance with BCA H3D2. External walls and gable ends constructed within 900 of boundary are to extend to underside of non-combustible roofing/ eaves & are to be constructed of a masonry skin 90 thick with FRL of 60/ 60/60
Sarking to have a flammability index less than 5. Roof lights not to be placed closer than 900 from boundary.
Smoke alarm installations to be in accordance with BCA H3D3. Locations indicated on floor plan. Smoke alarms are to be interconnected where more than 1 smoke alarm is installed. Installation locations;
Ceilings - 300 away from wall junction. Cathedral ceiling - 500 down from apex.
Walls - 300 down from ceiling junction.
Heating appliances generally to be in compliance with BCA 37.4 & AS 2918
Fireplace - extend hearth 150 to side of opening. 300 in front of opening.
Freestanding - extend hearth 400 beyond unit. Freestanding appliance to be 1200 from combustible wall surface. 50 from masonry wall. Heat shield - 90 masonry with 25 air gaps to combustible wall, extend 600 above unit.
Flue installation to BCA 9.3.3.
Top of chimney/ flue to terminate300 above horizontal plane 3600 away from roof.
Construction in Bush Fire Area to be in accordance with BCA 37.4 & AS 3959.

HEALTH AND AMENITY
Generally wet area waterproofing to be in accordance with AS 3740 and BCA H4D2. Waterproofing of surface adjacent to open shower, including shower over bath, to extend 1.5 from a vertical line projected from shower rose, to a height 1.8 above finished floor. Wall surfaces adjacent to plumbing fixtures, bath etc. to be protected to a height of 150 above fixture. Ceiling heights to be in accordance with BCA H4D4. Refer to drawing.

FACILITIES
Generally, to be in accordance with BCA H4D5. Required facilities in accordance with 10.4.1. Refer to plan for locations.
Sanitary compartment to be in accordance with BCA 10.4.2. Refer to plan for detail.
Provision of natural light to be in accordance with 10.5.1.
Windows/ roof lights to provide light transmission area equal to 10% of floor area of room.
Ventilation to be in accordance with BCA 10.6 or AS 1668.2 for mechanical ventilation. Exhaust fan from bathroom / WC to be vented to outside for steel roof and to roof space for tile roof.
Natural ventilation to be provided at a rate of 5% of room floor area, in accordance with BCA 10.6.2.

STAIR CONSTRUCTION
Generally, to be in accordance with H5D2. Stairs.
Maximum of 18 risers to each flight. Riser opening to be less than 125.
Treads to have non slip surface or nosing. Risers - min. 115, max. 190.
Tread - min 240, max. 355. Balustrade.
Generally, in accordance with BCA2022 H5D3. Balustrade required where area is not bounded by a wall or where level exceeds 1000 above floor level or ground level.
865 high on stairs, measured from line of stair nosing
1000 high above floor or landing.
Openings between balusters / infill members to be constructed so as not to allow 125 sphere to pass between members. Where floor level exceeds 4000 above lower level, infill members between 150 and 760 above floor level, to be constructed so as to restrict climbing.

ENERGY EFFICIENCY
Generally, in accordance with BCA2022 H6D2. Climate Zone 7 applicable to Tasmania (Zone 8 applicable to Alpine areas)
All hot water plumbing to be insulated in accordance with AS/NZS 3500: Plumbing and Drainage, Part 4 Heated Water Services. The pipe from the heated water system or re-circulating heated water system to the furthest heated water outlet must not be more than 20m in length or 2 litres of internal volume.

BUILDING FABRIC
Generally, in accordance with Part 13.2 BUILDING FABRIC INSULATION
Insulation to be fitted to form continuous barrier to roof / ceiling, walls and floors.

REFLECTIVE BUILDING MEMBRANE
To be 'vapour permeable' with a minimum value of 4ug/Ns, installed to form 20mm airspace between reflective faces and external lining / cladding, fitted closely up to penetrations/ openings, adequately supported and joints to be lapped minimum 150.

BULK INSULATION
To maintain thickness and position after installation Continuous cover without voids except around services / fittings.

ROOF INSULATION
Roof construction to achieve minimum additional R Value of R4 .0 unless noted otherwise.
Roof lights to comply with 13.2.4.
EXTERNAL WALLS
External wall construction to achieve minimum additional R Value of R2.5 unless noted otherwise.
Wall surface density minimum - 220kg/m2 FLOORS
Generally, in accordance with 13.2.6.
Suspended floor with an unenclosed perimeter required to achieve a minimum Total R Value of R2.0.
Concrete slab on ground with an in-slab heating system to be insulated to R1.0 around vertical edge of slab perimeter. ATTACHED CLASS 1Oa BUILDING
External wall or separating wall between class 1 building required to achieve minimum Total R Value of R1.9.

EXTERNAL GLAZING
Generally, in accordance with Part 13.3.
To AS 3959 - 2009 Section 3.9 (Construction of Buildings in Bushfire-prone Areas) where applicable.
Windows to comply with BCA 11.3.7 Protection of Openable Windows.

BUILDING SEALING
Generally, in accordance with Part 13.4.
Chimneys or flues to be fitted with sealing damper or flap. Roof lights to habitable rooms to be fitted with operable or permanent seal to minimise air leakage.
External windows & doors to habitable rooms / conditioned spaces to be fitted with air seal to restrict air infiltrations.
Exhaust fans to habitable rooms / conditioned spaces to be fitted with self-closing damper or filler.
Building envelope to be constructed to minimise air leakage. Construction joints and junctions or adjoining surfaces to be tight fitting and sealed by caulking, skirting, architraves and cornices.

AIR MOVEMENT
Generally, in accordance with Part 13.5.
Windows to comply with BCA 11.3.7 Protection of Openable Windows.

BAL : LOW

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DRAWING: BCA COMPLIANCE

DATE: 13.10.2025

FILE NAME: 2342

DRAWN BY: RK

DWG No:

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

Scale: 1 : 100

	20.08.2025	BA PLANS	RK
Rev.	Date	Revision Description	Drawn

THIS PLAN IS ACCEPTED BY:

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PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE:

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BAL LOW

GENERAL
This Standard does not provide construction requirements for buildings assessed in bushfire-prone areas in accordance with Section 2 as being BAL-LOW.
The Bushfire Attack Level BAL-LOW is based on insufficient risk to warrant specific bushfire construction requirements. It is predicated on low threat vegetation and non vegetated areas (see AS3959 Clause 2.2.3.2).

SUB-FLOOR
This standard does not provide construction requirements for subfloor supports, poles, piers, stumps and columns.

CONCRETE SLABS ON GROUND
This standard does not provide construction requirements for concrete slabs on the ground.

ELEVATED FLOORS
This standard does not provide construction requirements for elevated floors, including bearers, joists and flooring.

WALL
This standard does not provide construction requirements for the exposed components of an external wall.

JOINT
This standard does not provide construction requirements for joints.

VENTS AND WEEPHOLES
This standard does not provide construction requirements for vents and weepholes.

BUSHFIRE SHUTTERS
This standard does not provide construction requirements for bushfire shutters.

SCREENS FOR WIDOWS AND DOORS
This Standard does not provide construction requirements for window and door screens.

WINDOWS
This standard does not provide construction requirements for windows.

SIDE-HUNG EXTERNAL DOORS (INCLUDING FRENCH DOORS, PANEL FOLD AND BIFOLD)
This standard does not provide construction requirements for side-hung external doors (including french doors, panel fold and bifold).

SLIDING DOORS
This standard does not provide construction requirements for sliding doors.

VEHICLE ACCESS DOORS
This standard does not provide construction requirements for vehicle access doors.

ROOFS
This standard does not provide construction requirements for roofs.

VERANDA, CARPORT AND AWNING
This standard does not provide construction requirements for veranda, carport and awning.

ROOF PENETRATIONS
This standard does not provide construction requirements for roof penetrations.

EAVES LININGS, FASCIAS AND GABLES
This standard does not provide construction requirements for eaves linings, fascias and gables.

GUTTERS AND DOWNPIPES
This standard does not provide construction requirements for gutters and downpipes.

VERANDAS, DECKS, STEPS AND LANDINGS - GENERAL
Decking may be spaced.
There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

ENCLOSED SUBFLOOR SPACES OF VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS
This standard does not provide construction requirements for enclosed subfloor spaces of verandas, decks, steps, ramps and landings.

UNENCLOSED SUBFLOOR SPACES OF VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS
This standard does not provide construction requirements for unenclosed subfloor spaces of verandas, decks, steps, ramps and landings.

BALUSTRADES, HANDRAILS OR OTHER
This standard does not provide material requirements for unenclosed subfloor spaces of verandas, decks, steps, ramps and landings

WATER AND GAS SUPPLY
This standard does not provide construction requirements for water and gas supply pipes.

AS3500.1(2003)
(Amend 2 2010)

5.23 BUSHFIRE ZONES
Pipes of other materials shall be buried with a minimum depth of cover 300mm, measured from the proposed finished surface level and should be identified generally in accordance with AS1345-1995

AS3959:2018 to take precedence over this document

All information on this sheet has been extracted from AS3959:2018

Scale: 1 : 100

PROPOSED DWELLING FOR MAHARJAN & RAI
AT 68 BROOKSTON DRIVE, MORNINGTON

	20.08.2025	BA PLANS	RK
Rev.	Date	Revision Description	Drawn

BAL : LOW

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DRAWING: BAL LOW NOTES
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FILE NAME: 2342
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Wet Areas (to comply with BCA H4D2 and AS 3740)

H4D2 Part 10.2.1 Wet Areas

Building elements in wet areas within a building must:

- (a) be waterproof or water resistant in accordance with Table 10.2.2; and
(b) comply with AS 3740.

Table 10.2.2 Waterproofing and water resistance requirements for building elements in wet areas

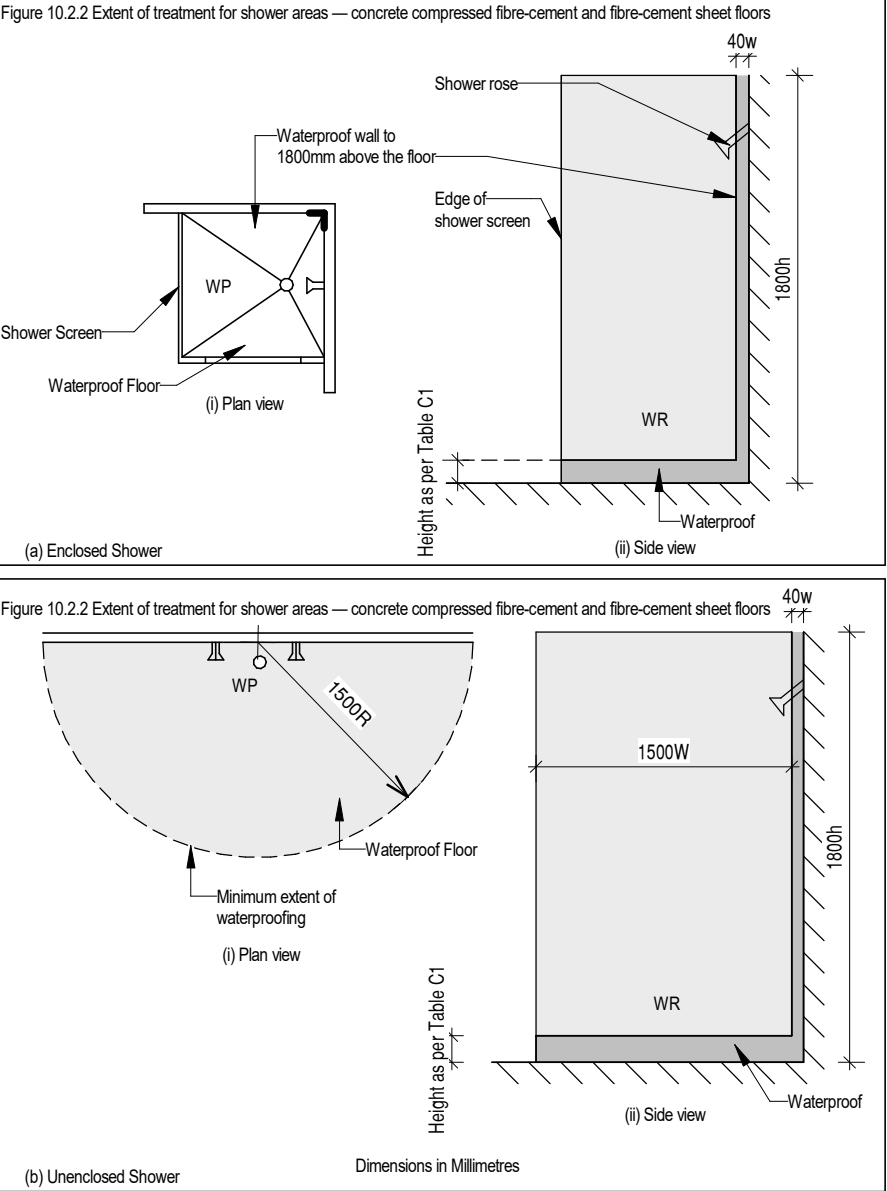
Vessels or area where the fixture is installed	Floors and horizontal surfaces	Walls	Wall junctions and joints	Wall / floor junctions	Penetrations
Shower area (enclosed and unenclosed)					
With hob	Waterproof floor in shower area (including any hob or step-down)	The walls of the shower area must be waterproof not less than 1800 mm above the floor substrate	Wall junctions and joints within the shower area must be waterproof not less than 40 mm either side of the junction	Wall/floor junctions within the shower area must be waterproof	Waterproof penetrations in shower area.
With step-down					
Without hob or step-down					
Vessels or area where the fixture is installed					
Area outside shower area					
For concrete and compressed fibre-cement sheet flooring	Water resistant floor of the room.	N/A	N/A	a) Waterproof wall / floor junctions b) where a flashing is used, the horizontal leg must be not less than 40 mm	N/A
For timber floors including particleboard, plywood and other timber based flooring materials	Waterproof floor of the room				
Areas adjacent to baths and spas					
For concrete and compressed fibre-cement sheet flooring	Water resistant floor of the room.	(a) Water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall. (b) Water resistant all exposed surfaces below vessel lip.	Water resistant junctions within 150 mm above a vessel for the extent of the vessel.	Water proof wall / floor junctions for the extent of the vessel.	Waterproof tap and spout penetrations where they occur in horizontal surfaces.
For timber floors including particleboard, plywood and other timber based flooring materials	Waterproof floor of the room.	(a) Water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall. (b) Water resistant all exposed surfaces below vessel lip.	Water resistant junctions within 150 mm above a vessel for the extent of the vessel.	Water proof wall / floor junctions for the extent of the vessel.	Waterproof tap and spout penetrations where they occur in horizontal surfaces.
Inserted baths and spas	(a) Waterproof shelf area, incorporating waterstop under the vessel lip. (b) No requirement under bath.	(a) Waterproof to not less than 150 mm above the lip of the bath or spa; and (b) No requirement under bath.	(a)Waterproof junctions within 150 mm above bath or spa; and (b)No requirement under bath.	N/A	Waterproof tap and spout penetrations where they occur in horizontal surfaces.

NOTE: User of this Standard should refer to the current edition of the NCC for any changes to the tables.

Vessels or area where the fixture is installed	Floors and horizontal surfaces	Walls	Wall junctions and joints	Wall / floor junctions	Penetrations
Other areas					
Laundries and WCs	Water resistant floor of the room	N/A	N/A	Water resistant wall / floor junctions, and where a flashing is used, the horizontal leg must not be less than 40 mm.	N/A
Walls adjoining other vessels (e.g. sink, basin or laundry tub	N/A	Water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall.	Waterproof wall junctions where a vessel is fixed to a wall.	N/A	Waterproof tap and spout penetrations where they occur in surfaces required to be waterproof or water resistant.
N/A means not applicable. Where a shower is above a bath or spa, use requirements for shower.					

Extent of Waterproofing

Where the shower shown in the Figures is not enclosed, the wet area is to be taken as 1500 mm from the shower connection.



For further wet area notes not shown on this document, refer to AS3740 AS3740 to take precedence of this document



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GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: WET AREA SPECIFICATIONS

DATE: 13.10.2025

FILE NAME: 2342

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