

DEVELOPMENT APPLICATION PDPLANPMTD-2025/056204

PROPOSAL: Dwelling

LOCATION: 5 Dora Lane, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 04 November 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 04 November 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 04 November 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:	New Residentail Dwelling
Location:	Address 5 DORA LANE, ROKEBY TAS 7019 Suburb/Town Postcode
Current Owners/s: Applicant:	Personal Information Removed
Tax Invoice for application fees to be in the name of: (if different from applicant)	
•	Estimated cost of development \$400,755
	Is the property on the Tasmanian Heritage Register? Yes No
	(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

38 Bligh Street, Rosny Park, Tasmania • Address correspondence to: General Manager, PO Box 96, Rosny Park 7018 • Dx: 70402 Telephone (03) 6217 9550 • Email cityplanning@ccc.tas.gov.au • Website www.ccc.tas.gov.au

	If you had pre-application discussions with a Council Officer, please give their name
	Current Use of Site:
	Does the proposal involve land administered or owned by the Crown or Council?
Declaration:	 I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
	I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
	I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.
	 I declare that the information in this declaration is true and correct.
Acknowledgemen	t: • I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

Personal

Information

Removed

09.10.25

_Date_____

Applicant's Signature:

Signature

Clarence City Council



DEVELOPMENT/USE OR SUBDIVISION CHECKLIST

Documentation required:

MANDATORY DOCUMENTATION This information is required for the application to be valid. An application lodged without these items is unable to proceed. Details of the location of the proposed use or development.

A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.

] F	ull description	of the propos	sed use or	development.

Description of the proposed operation.

May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.

Declaration the	owner has been	notified if the	applicant is	not the owner.

- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

Site analysis plan and site plan, including where relevant:

- Existing and proposed use(s) on site.
- Boundaries and dimensions of the site.
- Topography, including contours showing AHD levels and major site features.
- Natural drainage lines, watercourses and wetlands on or adjacent to the site.
- Soil type.
- Vegetation types and distribution, and trees and vegetation to be removed.
- Location and capacity of any existing services or easements on/to the site.
- Existing pedestrian and vehicle access to the site.
- Location of existing and proposed buildings on the site.
- Location of existing adjoining properties, adjacent buildings and their uses.
- Any natural hazards that may affect use or development on the site.
- Proposed roads, driveways, car parking areas and footpaths within the site.
- Any proposed open space, communal space, or facilities on the site.
- Main utility service connection points and easements.
- Proposed subdivision lot boundaries.

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Clarence City Council DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

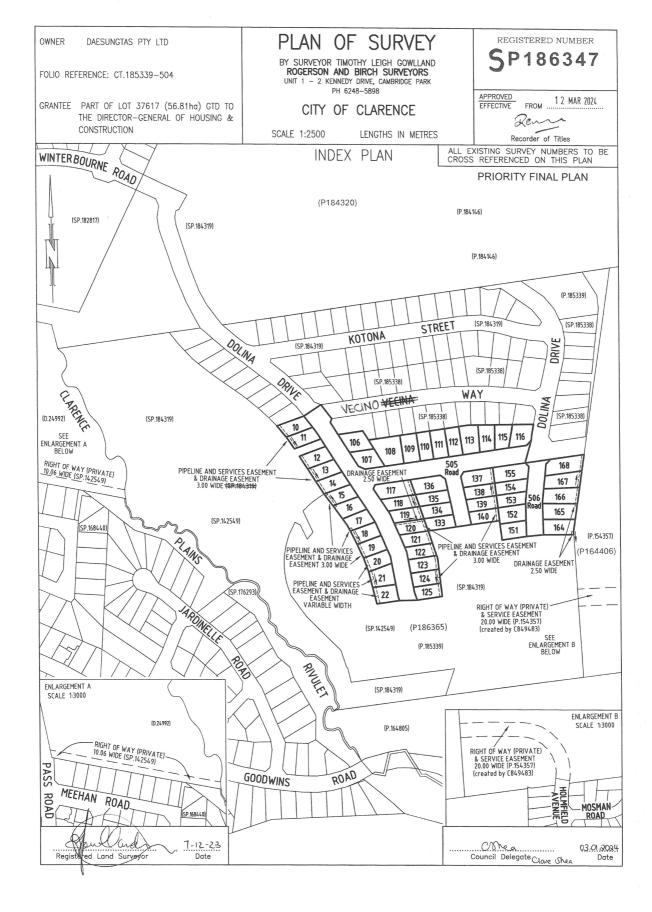
This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.



RECORDER OF TITLES



Issued Pursuant to the Land Titles Act 1980



Search Date: 24 Jul 2025

Search Time: 11:25 AM

Volume Number: 186347

Revision Number: 02

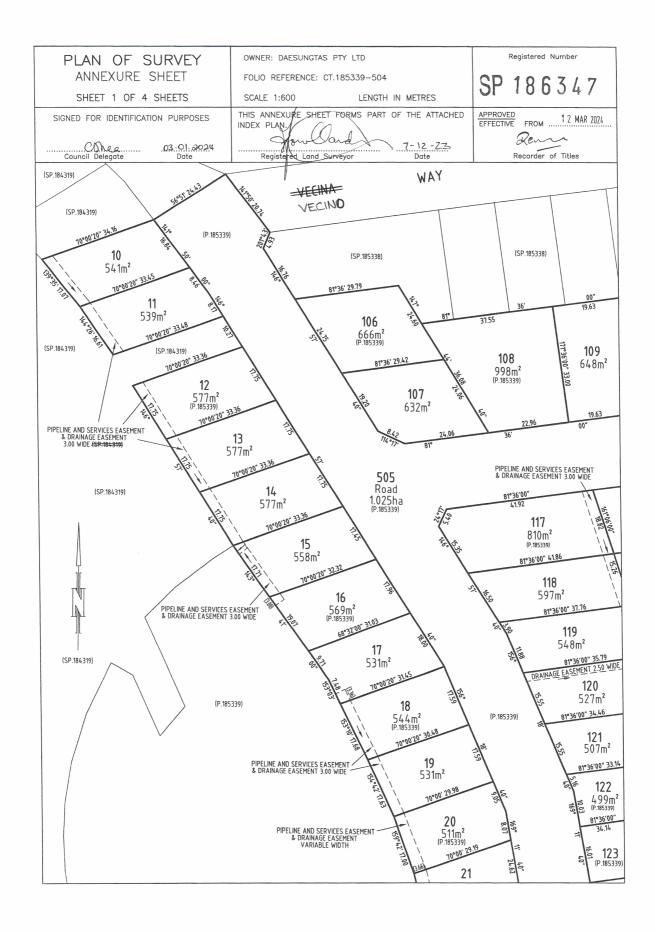
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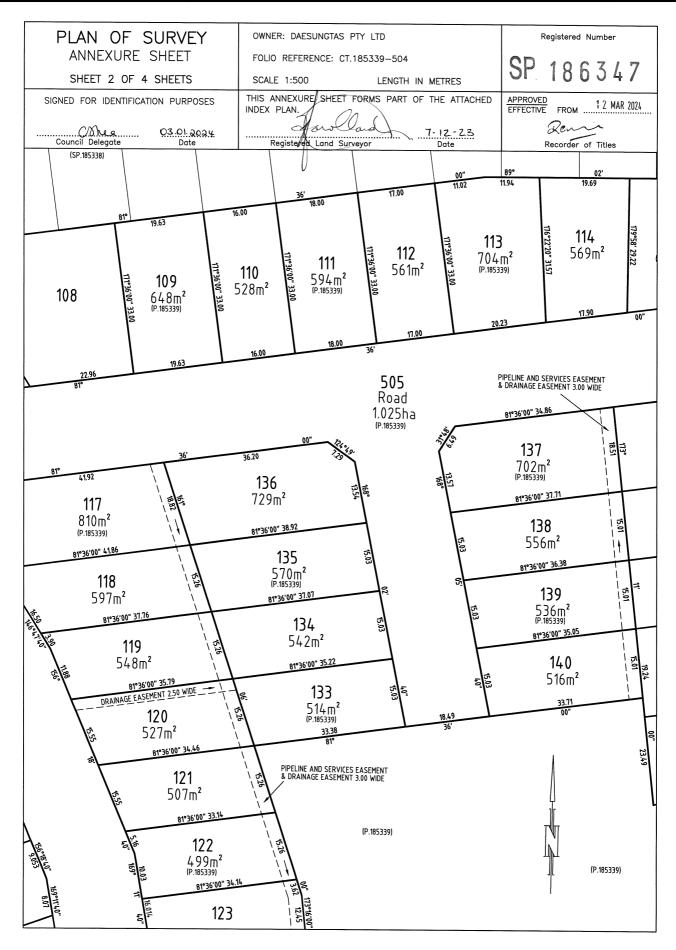
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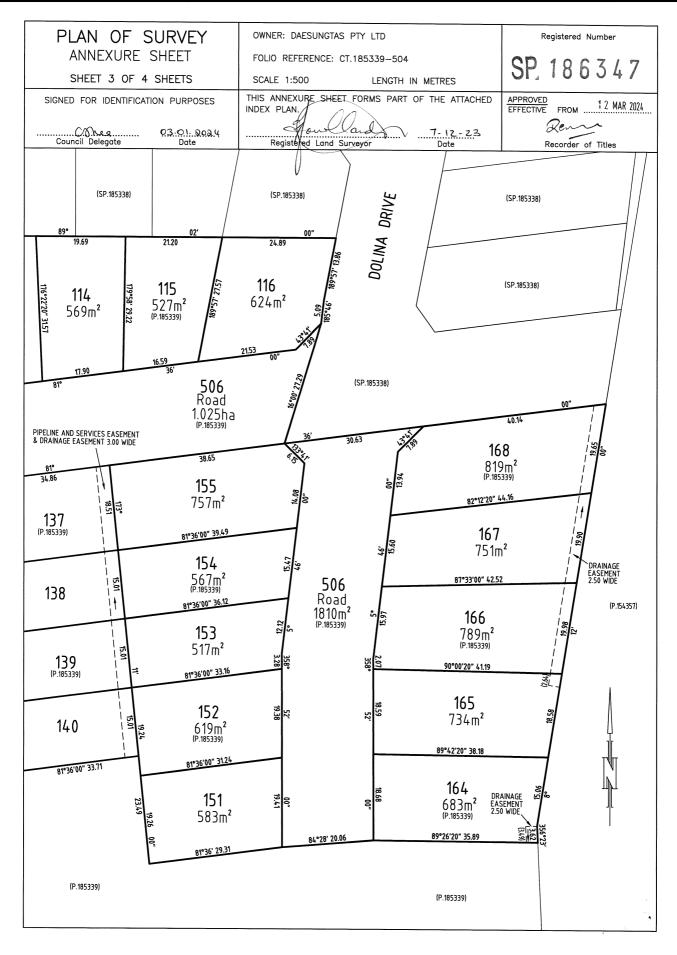
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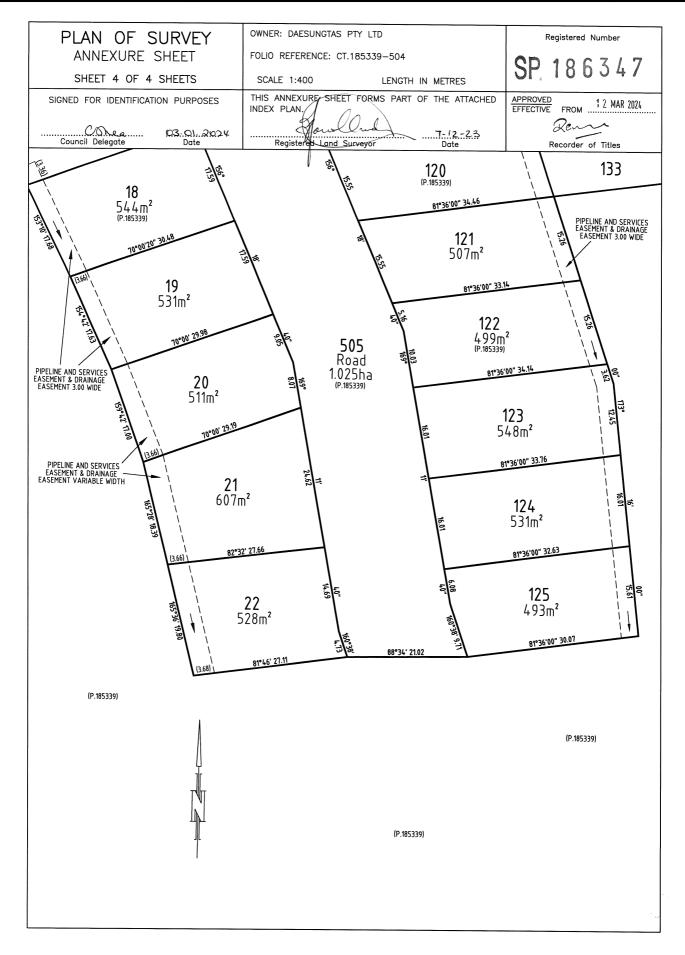
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RESULT OF SEARCH

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SEARCH OF TORRENS TITLE

VOLUME	FOLIO
186347	139
EDITION 1	DATE OF ISSUE

SEARCH DATE : 24-Jul-2025 SEARCH TIME : 11.25 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 139 on Sealed Plan 186347

Derivation: Part of Lot 37617, 56.81ha Gtd. to The

Director-General of Housing & Construction

Prior CT 185339/504

SCHEDULE 1

M535627 TRANSFER to DAESUNGTAS PTY LTD Registered 03-Nov-2015 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any SP186347 EASEMENTS in Schedule of Easements SP186347 COVENANTS in Schedule of Easements SP186347 FENCING PROVISION in Schedule of Easements SP142549 & SP184319 COVENANTS in Schedule of Easements SP184319 FENCING PROVISION in Schedule of Easements SP184319 FENCING COVENANT in Schedule of Easements SP142549 FENCING COVENANT in Schedule of Easements SP142549 WATER SUPPLY RESTRICTION SP142549 SEWERAGE AND/OR DRAINAGE RESTRICTION N111707 MORTGAGE to Butler McIntyre Investments Ltd Registered 06-Apr-2023 at 12.05 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



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SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS &

MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.

QD 1

186347

Registered Number

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 10 to 16 (inclusive) ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP.184319) shown on the Plan ("the Easement Land").

Lots 10 to 16 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP.184319)** on the Plan.

Lots 17, 18, 19, 137 – 140 (inclusive) and 117-125 (inclusive) ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE** shown on the Plan ("the Easement Land").

Lots 17, 18, 19, 137 – 140 (inclusive) and 117-125 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

Director

Director/Secretary

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: DAESUNGTAS PTY LTD

FOLIO REF: 185339/504

SOLICITOR

& REFERENCE: Page Seager (DAS 221111)

PLAN SEALED BY: Clarence City Council

DATE: 310 January 2024

.....

REF NO. SD-2016/31

Clare Council Delegate Shea

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

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ANNEXURE TO SCHEDULE OF EASEMENTS

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SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 185339/504

Lots 20 – 22 (inclusive) ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT** & **DRAINAGE EASEMENT VARIABLE WIDTH** shown on the Plan ("the Easement Land").

Lots 20 – 22 (inclusive) ("the Lots") on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH** on the Plan.

Lots 120 and 164 to 168 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT 2.50 WIDE** on the Plan.

Each lot on the Plan is together with a right of way created by and fully described in the Schedule of Easements to SP 142549 over the land marked RIGHT OF WAY (PRIVATE) 10.06 WIDE (SP.142549) on the Plan.

Each lot on the Plan is together with a right of carriageway and service easement created by and fully described in C849483 over the land marked RIGHT OF WAY (PRIVATE) & SERVICE EASEMENT 20.00 WIDE (P.154357) (created by C849483) on the Plan.

COVENANTS

The owner of each Lot on the Plan covenants with the Vendor (Daesungtas Pty Ltd) and the Owner or Owners for the time being of every other Lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the plan to observe the following stipulations:

1. Not to subdivide that Lot at any time without the prior consent in writing of the Corporation.

Director

Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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- Not to erect on that Lot more than a single residence, which may include an ancillary apartment together with usual outbuildings as may be permitted by the Corporation, without the consent of the Corporation.
- 3. Not to use the land for any purpose except as a residence or the for the purpose of house occupation without the prior consent of the Corporation in writing.
- 4. Not to use any engine or machinery in any trade of business, nor erect or use or permit to be used on any part of any lot shown on the Plan nor to conduct or permit to be conducted any trade or business on or from any part of the same, including but not limited to mining, quarrying, or market gardening. The leasing of the property for private residential purposes is not deemed to be a breach of this covenant.
- 5. Not to keep any animals other than domestic pets on any lot shown on the Plan and not to make any application for a kennel licence in respect of any lot shown on the Plan nor to keep or establish or permit to be kept or established any licensed kennel upon any lot or any part of any lot shown on the Plan nor to keep at one time more than two adult canines on any lot shown on the Plan.
- 6. The Vendor may, at the Vendor's absolute discretion, waive the burden of any covenant contained in this Schedule of Easements in favour of any lot by notice in writing to the registered proprietor of that lot.

FENCING PROVISION

In respect of the Lots shown on the Plan, the Vendor (Daesungtas Pty Ltd) shall not be required to fence.

DEFINITIONS

"Corporation" means the Warden Councillors and Electors of the City of Clarence.

"Drainage Easement" means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over

Director

Director/Secretary

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ANNEXURE TO SCHEDULE OF EASEMENTS

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which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

"Pipeline and Services Easement" is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and

Director

Director/Secretary

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(1)

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(7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

Director

Director/Secretary

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EXECUTED by DAESUNGTAS PTY LTD (ACN 607)
472 131) as registered proprietor of the land comprised in)
Folio of the Register Volume 185339 Folio 504 in)
accordance with section 127 of the Corporations Act 2001)
(Cth) by:)
Director Signature York January Director Full Name (print)	
*Director/*Secretary Signature	
*Director/Secretary Full Name (print)	

Director

(*please strike out inapplicable)

Director/Secretary

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Direction to submit a Development Application

Direction to submit a Development Application
This document confirms the direction from owner of 5 DORA LANE, ROKEBY TAS 7019 to Wilson Homes Tasmania Pty Limited to act as their agent within the meaning of the Land Use Planning and Approvals Act 1993 (Tasmania).
Important Owner Confirmation
The owners acknowledge that Wilson Homes will incur non-refundable fees to third parties that are likely to exceed the proposal acceptance fee already paid, including but not limited to: Structural engineering fees
Hydraulic engineering fees Development application fees
Overlay reports Arborist reports Bushfire reports
Farm management reports; and Dispersive soil reports depending on the requirements of your council.
The owners acknowledge that in the unlikely event that they do not proceed to a contract, these fees will be payable by the owners to Wilson Homes.

Date of Signature



Date of Signature

1300 595 050 wilsonhomes.com.au

Southern Head Office 250 Murray Street, Hobart Tasmania **Northern Head Office** Level 1, 78-96 Wellington Street, Launceston Tasmania

Wilson Homes Tasmania Pty Ltd. ABN: 96126 636 897. BLN: 963880604. TAS Architect Registration No: 1036

TASMANIAN PLANNING SCHEME

SHE	ET INDEX	
1	COVER SHEET	
2	SITE PLAN	
3	SOIL & WATER MANAGEMENT PLAN	
4	GROUND FLOOR PLAN	
5	ELEVATIONS / SECTION	
6	ELEVATIONS	
7	WINDOW & DOOR SCHEDULES	
8	CALCULATIONS	
9	DETAILS (FACE BRICKWORK)	
10	DRAINAGE PLAN	
11	ROOF DRAINAGE PLAN	
12	FLOOR COVERINGS	
13	KITCHEN DETAILS	
14	BATHROOM DETAILS	
15	ENSUITE DETAILS	
16	LAUNDRY DETAILS	
17	SHADOW DIAGRAMS - JUNE 21	
18	STANDARD SHOWER & WATERPROOFING	
19	3D VIEWS	
20	GENERAL NOTES	
21	WET AREA & ENERGY EFFICIENCY NOTES	

TOTAL FLOOR AREAS

LIVING

PORCH

MAIN DWELLING, GROUND FLOOR

AS & NCC COMPLIANCE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.

- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS

FOR ALL SLAB DETAILS. BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018. INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND

ALL APPLICABLE AUSTRALIAN STANDARDS. TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022. GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.

SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022

HOUSING PROVISIONS PART 10.2. EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS

WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX.

1:50 GRADE (IF APPLICABLE). CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.

BUILDING SEALING IN ACCORDANCE WITH NCC 2022. SERVICES IN ACCORDANCE WITH NCC 2022.

135.31

1.85 137.16 m²

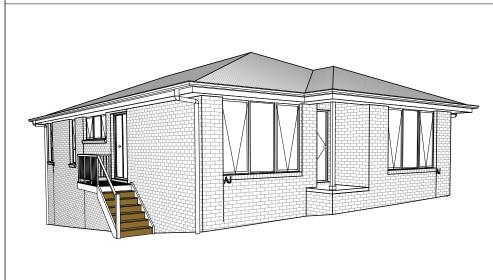
EARTHWORKS IN ACCORDANCE WITH AS 3798-2007. EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF

APPLICABLE).
EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	YES
BUSHFIRE	BAL-LOW
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N3 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	M
SPECIFIC AREA PLAN OVERLAY	YES
PARANVILLE SPECIFIC AREA PLA	AN
TERRAIN CATEGORY	TC2.5
TOPOGRAPHIC CLASSIFICATION	T2
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	5.30km
ZONING	GENERAL RESIDENTIAL
AIRPORT OBSTACLE LIMITATION AF	REA

BUILDING CONTROLS & COMPLIANCE				
ONTROL	REQUIRED	PROPOSED		
ETBACKS		•		
RONT	MIN. 4,500mm	11,546mm		
IDE A	MIN. 1,500mm	2,152mm		
IDE B	MIN. 1,500mm	4,348mm		
EAR	MIN. 1,500mm	7,166mm		
ULK & SCALE				
ITE AREA	536m²			
ITE COVERAGE	MAX. 50% 25.59%			
ANDSCAPE				
O APPLICABLE CONTROLS				
ARTHWORKS				
UT DEPTH	MAX. 2,000mm	124mm		
LL DEPTH	MAX. 1,000mm	0mm		
CCESS & AMENITY	CCESS & AMENITY			
ARKING SPACES	RKING SPACES MIN. 2 SPACES 2 SPACES			

3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE, PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.



ı	GROUND FLOOR TOP OF WALL HEIGHT(S)	2445mm	
ı	NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL		
ı	ROOF PITCH (U.N.O.)	23.0°	
l	ELECTRICITY SUPPLY	SINGLE PHASE	
ı	GAS SUPPLY	NONE	
l	ROOF MATERIAL	SHEET METAL	
l	ROOF COLOUR	DARK	
ı	WALL MATERIAL	BRICK VENEER	
ı	CLAD CLACCIFICATION	TDC	

BUILDING INFORMATION

INSULATION

- 1	11100-21	
	ROOF	SARKING UNDER ROOFING
	CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO)
	EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
	INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
-	FLOOR	BIAX SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

ACCESSIBLE SANITARY COMPARTMENT: BATH ACCESSIBLE SHOWER LOCATION: BATH

GENERAL NOTES:

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO
- ACHIEVE MIN 820MM CLEAR OPENING REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

SUBJECT TO NCC 2022 (1 OCTOBER 2024) WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

BA PLAN SET

No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK
4	BA PLAN SET - INITIAL ISSUE, COLOUR UPDATE, VARI 001 - 003	ALL	2025.09.16	PL1	-
5	BA PLAN SET - PLANNING RFI - SHADOW DIAGRAM	ALL	2025.10.08	JII	-

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DISCOVERY	1	DRAFT SALE PLAN - CT1	НМІ	13/06/2025		
COPYRIGHT:	2	DRAFT SALE PLAN - AMENDMENT	НМІ	04/07/2025	AUUKESS:	
© 2025	3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025	5 DORA LANE, ROKEBY	TAS 7019
	4	BA PLAN SET - INITIAL ISSUE				COUNCIL:
	5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	139 / - / 186347	CLARENCE

 SHOELT OF WILCONTHOMEST IT ETD.			
HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE
YORK 14		H-WDCYOR10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE
FACADE DESIGN:		FACADE CODE:	COMMENCEMENT OF ANY WORK. ALL
CLASSIC		F-WDCYOR10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
SHEET TITLE:	SHEET No.:	SCALES:	744000
COVER SHEET	1 / 21		714329

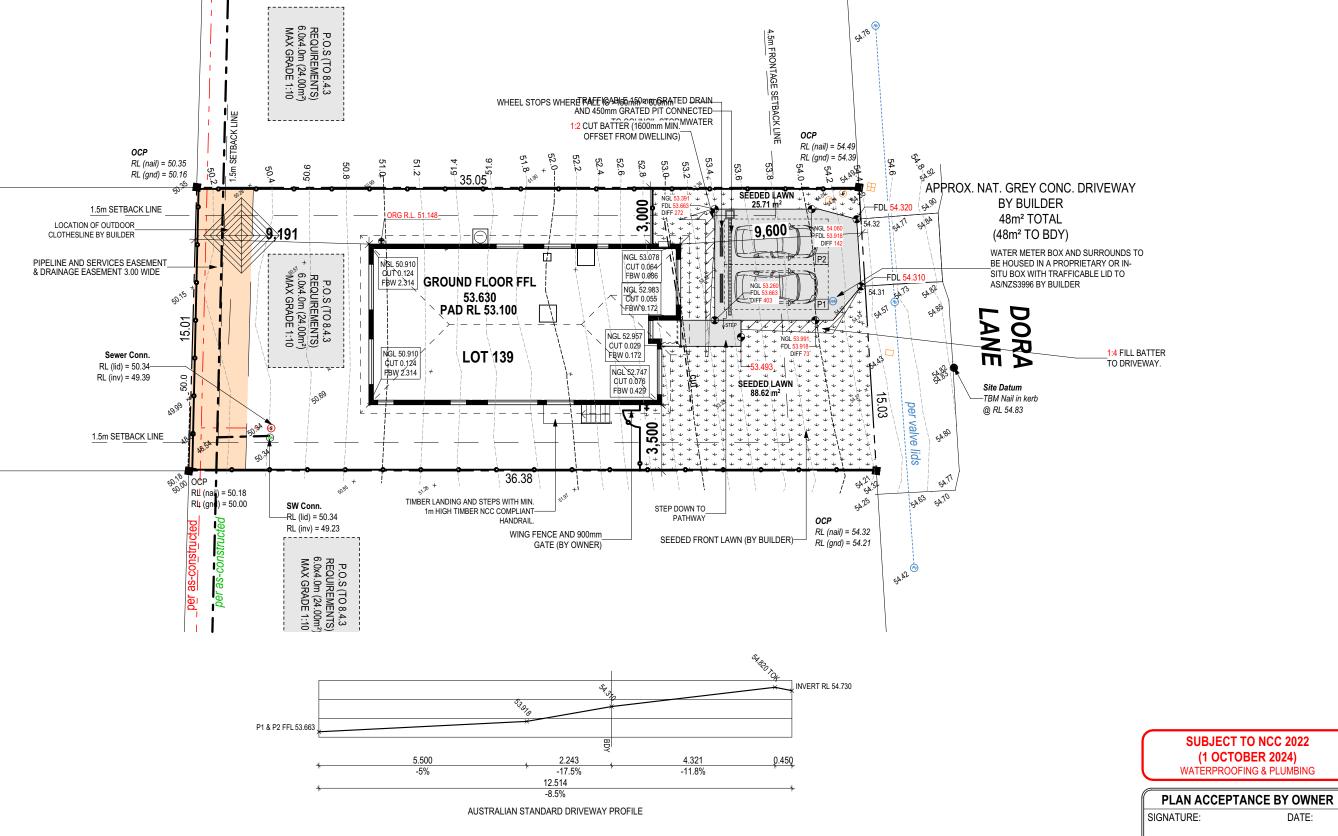
Version: 1, Version Date: 14/10/2025

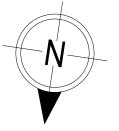
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION GENERAL BUILDING INFORMATION

APPROX. CUT/FILL

1.40t
0.00t
1.40t

LOT SIZE: 536m² HOUSE (COVERED AREA) 137.16m² SITE COVERAGE: 25.59%





DRIVEWAY DETAILS SCALE: 1:100

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FLAN ACCEPTA	NCE DI OWNER
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SIGNATURE:	DATE:

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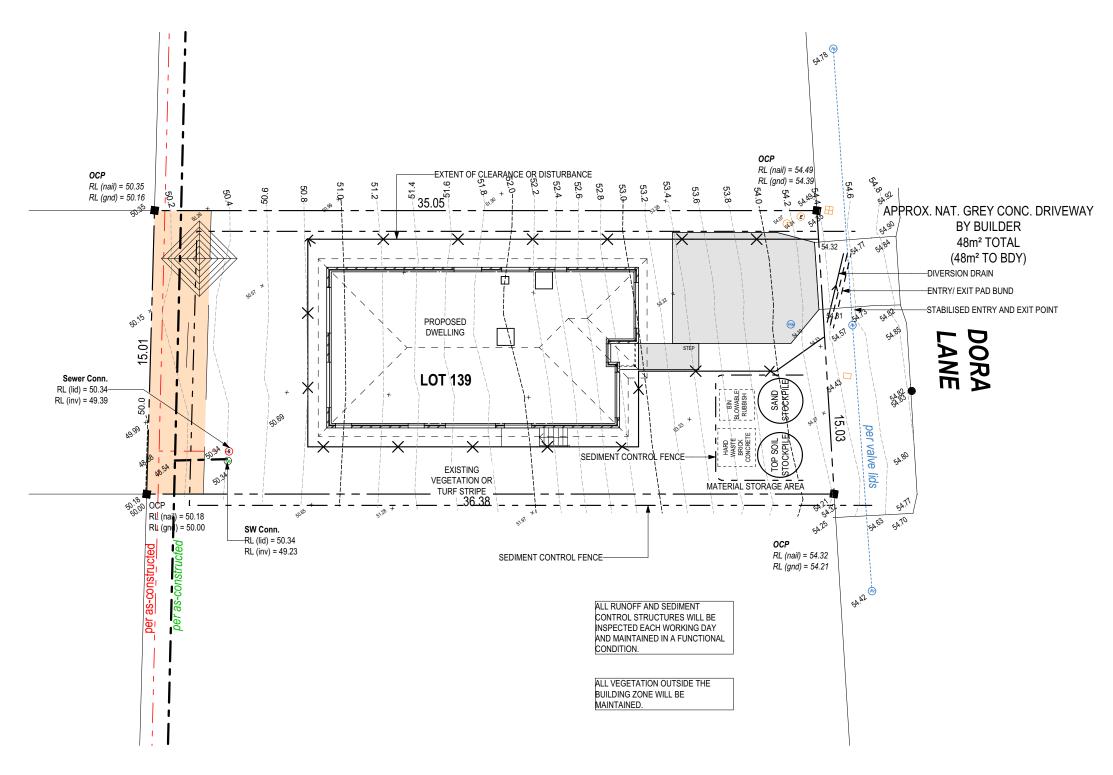
	SPECIFICATION:	REVISION	DRAWN			HOUSE DESIGN:	H	HOUSE CODE:	DO NOT SCALE DRAWINGS, USE	i
n	DISCOVERY	DRAFT SALE PLAN - CT1	IMI 13/06/2025			YORK 14		H-WDCYOR10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE	1.038
ш		DRAFT SALE PLAN - AMENDMENT	IMI 04/07/2025	AUUKESS:		FACADE DESIGN:	F		COMMENCEMENT OF ANY WORK. ALL	
_	© 2025	PRELIM PLANS - INITIAL ISSUE T	DI 21/07/2025	5 DORA LANE, ROKEBY TA	AS 7019	CLASSIC		F-WDCYOR10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	/ersio
	4	BA PLAN SET - INITIAL ISSUE			OUNCIL:		HEET No.:		714329	late
	5	RA PLAN SET - SHADOW DIAGRAM	III 08/10/2025	139 / - / 186347 C	CLARENCE	SITE PLAN 2	/ 21	1·200 1·100	/ 143Z9	Ĕ

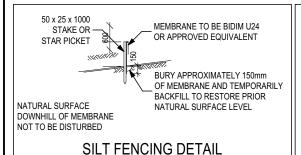
OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

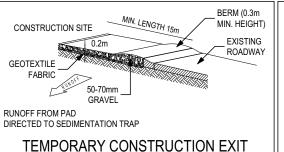
THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

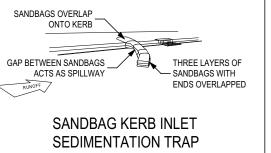
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.

- 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING
- 3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
- 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET. 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMAMENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
- 6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN). 7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.









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WATERPROOFING & PLUMBING

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1	DISCOVERY	DRAFT SALE PLAN - CT1	НМІ	13/06/2025			YORK 14		H-WDCYOR10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE	.038
	I I	DRAFT SALE PLAN - AMENDMENT	1	04/07/2025			FACADE DESIGN:			COMMENCEMENT OF ANY WORK. ALL	
	© 2025	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025	5 DORA LANE, ROKEBY	TAS 7019	CLASSIC		F-WDCYOR10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	/ersic
	4	BA PLAN SET - INITIAL ISSUE				COUNCIL:	SHEET TITLE:	SHEET No.:		71/320	olate \
	5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	139 / - / 186347	CLARENCE	SOIL & WATER MANAGEMENT PLAN	3 / 21	1:200	/ 14329	Ë.

Version: 1, Version Date: 14/10/2025

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING SUSTAINABILITY REQUIREMENTS

GENERAL BUILDING INFORMATION ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

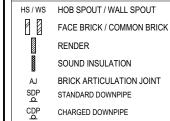
ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE MINIMUM SLIP RESISTANCE TO MEET NCC 2022 REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:





LEGEND

DENOTES DRAWER SIDE 3D MECHANICAL VENTILATION L.B.W LOAD BEARING WALL

PLASTERBOARD PB

FC FIBRE CEMENT

> THIS DOOR OPENS FIRST SMOKE ALARM

IJ, LIFT OFF HINGE

+ WATER POINT

GAS BAYONET

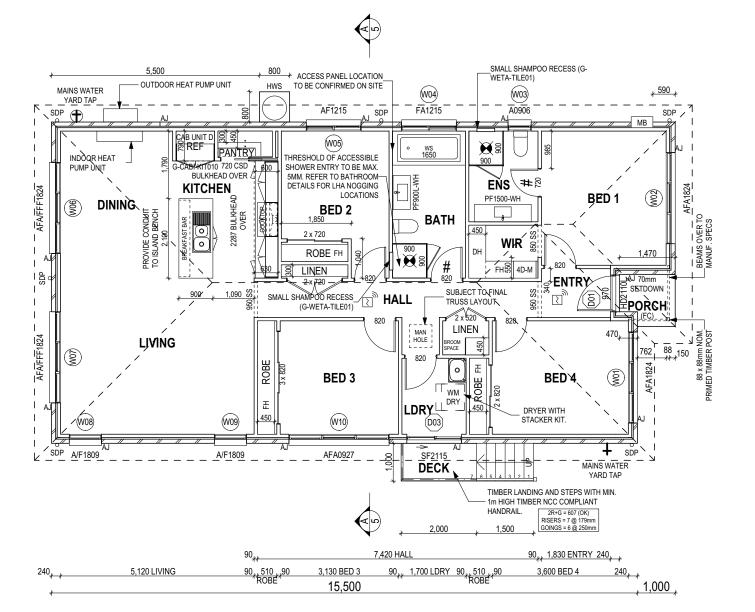
MAIN DWELLING, GROUND FLOOR 135.31 PORCH 1.85 137.16 m²

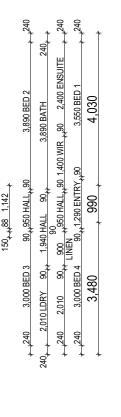
90₄ 700

3,100 KTICHEN

8,020 LIVING / DINING

16,500 90 90 60 90₄₄1,020 REF₄₄1,435 PANTRY 2,850 BED 2 90_{kk} 1,930 BATH 90_{kk} 1,830 90_{kk} 2,965 DINING 3,300 BED 1 1,760 90₄₄ 1,000 90₄₄ 5,750 DINING / KITCHEN 90_{**} 1,760 LINEN 90_{**}





ALL DIMENSIONS ARE FRAME DIMENSIONS

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OPYRIGHT:	2 DRAFT SALE PLAN - AMENDMENT		1/07/2025 ADUKESS:	FACADE DESIGN:		FACADE CODE:	COMMENCEMENT OF ANY WORK. ALL
2025	3 PRELIM PLANS - INITIAL ISSUE	TDI 21/	07/2025 5 DORA LANE, ROKEBY TAS 7019	CLASSIC		F-WDCYOR10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	4 BA PLAN SET - INITIAL ISSUE		5/09/2025 LOT / SECTION / CT: COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	71/220
	5 BA PLAN SET - SHADOW DIAGRAM	JII 08/	0/10/2025 139 / - / 186347 CLARENCE	GROUND FLOOR PLAN	4 / 21	1:100	714329

Version: 1, Version Date: 14/10/2025

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SUBJECT TO NCC 2022

(1 OCTOBER 2024) WATERPROOFING & PLUMBING

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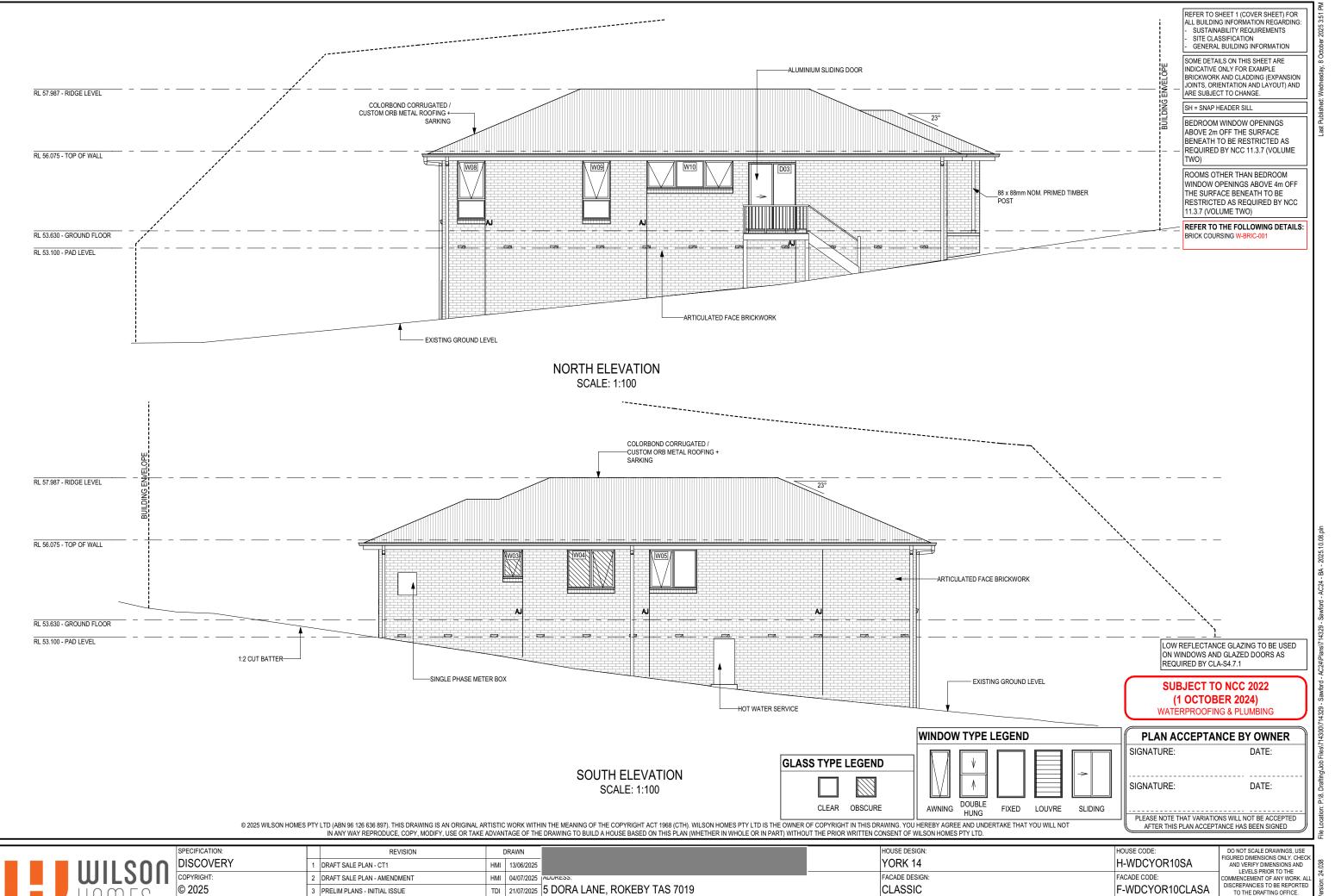
5 BA PLAN SET - SHADOW DIAGRAM

ELEVATIONS / SECTION

5 / 21

1:100

Version: 1, Version Date: 14/10/2025



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CLASSIC

SHEET TITLE:

ELEVATIONS

3 PRELIM PLANS - INITIAL ISSUE

5 BA PLAN SET - SHADOW DIAGRAM

4 BA PLAN SET - INITIAL ISSUE

PL1 16/09/2025 LOT / SECTION / CT:

JII 08/10/2025 139 / - / 186347

Version: 1, Version Date: 14/10/2025

F-WDCYOR10CLASA

SHEET No.: SCALES:

1:100

6 / 21

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	Last Published: Wednesday, 8 October 202	
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STOREY	ID CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA FRAME (m²) TYPE	BAL SILL TYPE	ORIENT.	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION ²	
INDOW		<u> </u>					<u> </u>				'	
GROUND FLOOR	W01 AFA1824	AWNING	BED 4	1,800	2,410	8,420	4.34 ALUMINIUM	BAL-LOW SNAP HEADER	W	3.53 CLEAR, DOUBLE GLAZED	MP 803-803	
GROUND FLOOR	W02 AFA1824	AWNING	BED 1	1,800	2,410	8,420	4.34 ALUMINIUM	BAL-LOW SNAP HEADER	W	3.53 CLEAR, DOUBLE GLAZED	MP 803-803	
GROUND FLOOR	W03 A0906	AWNING	ENS	857	610	2,934	0.52 ALUMINIUM	BAL-LOW ANGLED	S	0.35 OBSCURE, DOUBLE GLAZED, TOUGHENED		
GROUND FLOOR	W04 FA1215	AWNING	BATH	1,200	1,450	5,300	1.74 ALUMINIUM	BAL-LOW ANGLED	S	1.38 OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725	
GROUND FLOOR	W05 AF1215	AWNING	BED 2	1,200	1,450	5,300	1.74 ALUMINIUM	BAL-LOW ANGLED	S	1.38 CLEAR, DOUBLE GLAZED	MP 725	
GROUND FLOOR	W06 AFA/FFF1824	AWNING	DINING	1,800	2,410	8,420	4.34 ALUMINIUM	BAL-LOW ANGLED	Е	3.43 CLEAR, DOUBLE GLAZED	BP 600, MP 803-803/803-803	
GROUND FLOOR	W07 AFA/FFF1824	AWNING	LIVING	1,800	2,410	8,420	4.34 ALUMINIUM	BAL-LOW ANGLED	E	3.43 CLEAR, DOUBLE GLAZED	BP 600, MP 803-803/803-803	
GROUND FLOOR	W08 A/F1809	AWNING	LIVING	1,800	850	5,300	1.53 ALUMINIUM	BAL-LOW ANGLED	N	1.19 CLEAR, DOUBLE GLAZED	BP 600	
GROUND FLOOR	W09 A/F1809	AWNING	LIVING	1,800	850	5,300	1.53 ALUMINIUM	BAL-LOW ANGLED	N	1.19 CLEAR, DOUBLE GLAZED	BP 600	
GROUND FLOOR	W10 AFA0927	AWNING	BED 3	857	2,650	7,014	2.27 ALUMINIUM	BAL-LOW ANGLED	N	1.74 CLEAR, DOUBLE GLAZED	MP 883-883	
							26.69			21.15		
OOR												
MESH	D00 820	SWINGING	<undefined></undefined>	1,200	876	4,152	1.05 ALUMINIUM	N/A SNAP HEADER	E	0.64 CLEAR		
GROUND FLOOR	D01 HD2110L	SWINGING	ENTRY	2,100	970	6,140	2.04 ALUMINIUM	BAL-LOW SNAP HEADER	W	1.41 N\A		
GROUND FLOOR	D03 SF2115	SLIDING	LDRY	2,100	1,450	7,100	3.05 ALUMINIUM	BAL-LOW SNAP HEADER	N	2.59 CLEAR, DOUBLE GLAZED, TOUGHENED		
							6.14			4.64		
							32.83			25.79		

LOW REFLECTANCE GLAZING TO BE USED ON WINDOWS AND GLAZED DOORS AS REQUIRED BY CLA-S4.7.1

Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door Bi-Fold Door **BAL 29** Window Type Sliding Window Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door

Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

PICTURE, TV RECESS AND SS WINDOW OPENINGS HEIGHT WIDTH AREA (m²) QTY TYPE

Window Manufacturer: Dowell Windows

WERS Code

DOW-022-003

DOW-005-001

DOW-038-001

DAR-034-001

DAR-034-001

DOW-017-001

DOW-020-001

WERS Code

TND-034-001

STG-001-066

DOW-038-005

AUW-009-009

AUW-009-009

GRN-009-001

DOW-020-001

WERS Code

TND-034-001

STG-001-066

DOW-038-005

AMJ-007-005

AMJ-007-005

GRN-009-001

U Value SHGC

3.9

3.03

3.97

3.97

4.1

3.1

3.91

3.02

4.03

4.03

4.25

3.1

3.91

3.02

4.03

4.03

4.29

U Value

0.64

0.58

0.71

0.63 0.63

0.55

0.54

SHGC

0.61

0.54

0.66

0.58

0.58

0.53

0.54

0.61

0.54

0.66

0.59

0.59

0.53

U Value | SHGC

No BAL / BAL 12.5

Fixed External Window

Window Type Sliding Window

Awning Window

Sliding Door

Stacking Door

Hinged Door

Bi-Fold Door

Sliding Window

BAL 19 **Window Type**

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

REFER TO SHEET 1 (COVER SHEET) FOR SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION GENERAL BUILDING INFORMATION

STOREY

GROUND FLOOR 1

GROUND FLOOR 1

GROUND FLOOR

GROUND FLOOR 2

DOOR

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COUNCIL:

CLARENCE

	SF
WILSON	D
mir9011	C
11000 = 0	C
HUMES	

INTERIOR WINDOW & DOOR SCHEDULE

QTY CODE

2 x 520

2 x 720

2 x 720

2 x 820

3 x 820

720 CSD

720

820

820

850 SS

950 SS

TYPE

SWINGING

SWINGING

SWINGING

SWINGING

CAVITY SLIDING

ROBEMAKER SLIDING

ROBEMAKER SLIDING

ROBEMAKER SLIDING

SQUARE SET OPENING

SQUARE SET OPENING

SPECIFICATION:		REVISION		DRAWN	
DISCOVERY	1	DRAFT SALE PLAN - CT1	НМІ	13/06/2025	
COPYRIGHT:	2	DRAFT SALE PLAN - AMENDMENT	НМІ	04/07/2025	AUUKESS:
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	4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025	LOT / SECTION / CT:
	5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	139 / - / 186347

1,040 N/A

1,460 N/A

1,440 N/A

1,660 N/A

2,460 N/A

720 N/A

720 N/A

820 N/A

820 N/A

850 N/A

950 N/A

2,040

2,040

2,040

2,040

2,040

2,040

2,040

2.040

2,155

2,155

HEIGHT WIDTH GLAZING TYPE ADDITIONAL INFORMATION

LIFT-OFF HINGES

LIFT-OFF HINGES

RAWN		
13/06/2025		
04/07/2025	אטעאבסס:	
21/07/2025	5 DORA LANE, ROKEBY TAS 7019	

HOUSE CODE YORK 14 H-WDCYOR10SA FACADE DESIGN: FACADE CODE: CLASSIC F-WDCYOR10CLASA SHEET TITLE: SHEET No.: SCALES: WINDOW & DOOR SCHEDULES 7 / 21

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DATE:

DATE:

SUBJECT TO NCC 2022

(1 OCTOBER 2024)

WATERPROOFING & PLUMBING

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SIGNATURE:

714329

Version: 1, Version Date: 14/10/2025

ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ`D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN/ LIVING/ DINING	42.12 m²	W06, W07, W08, W09	4.21 m²	9.24 m²	2.11 m²	5.44 m²
BED 1	11.71 m²	W02	1.17 m²	3.53 m²	0.59 m²	2.68 m²
BED 2	10.06 m²	W05	1.01 m ²	1.38 m²	0.50 m ²	0.79 m²
BED 3	10.92 m²	W10	1.09 m²	1.74 m²	0.55 m²	1.38 m²
BED 4	11.83 m²	W01	1.18 m²	3.53 m²	0.59 m²	2.68 m²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION
GENERAL BUILDING INFORMATION

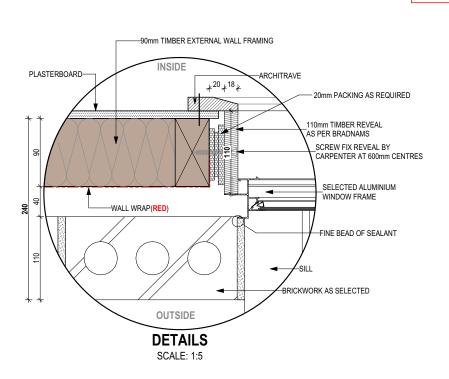
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- 1	SPECIFICATION:		REVISION		DRAWN				HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK	
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					04/07/2025			FACADE DESIGN:		FACADE CODE: COMMENCEM	COMMENCEMENT OF ANY WORK. ALL		
	© 2025	3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025	5 Dora Lane, Rokeby	TAS 7019		CLASSIC		F-WDCYOR10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	/ersic
		4	BA PLAN SET - INITIAL ISSUE				COUNCIL:		SHEET TITLE:		: SCALES:	714329	late \
		5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	139 / - / 186347	CLARENCE		CALCULATIONS	8 / 21		114323	Temp

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED

AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



BRICKWORK DIMENSIONS Bricks per m² in wall = 48.5 approx.

MANUFACTURING SIZE:

26¹ ₂

27¹ ₂

28¹ ₂

29¹ ₂

30¹ ₂

31¹₂

34¹ ₂

230x110x76mm

VERTICAL GAUGE: 7 Courses to 600mm

FORMAT SIZE: 240x120x86mm

11 ¹ ₂

FORMAT SIZE:

1¹₂

3¹ ₂

41 2

5¹ ₂

6¹ 2

8¹ ₂

91₂

240x120x86mm

SUBJECT TO NCC 2022 (1 OCTOBER 2024) WATERPROOFING & PLUMBING

SHEET No.: SCALES:

9 / 21

PLAN ACCEPTA	PLAN ACCEPTANCE BY OWNER						
SIGNATURE:	DATE:						
SIGNATURE:	DATE:						
	TIONS WILL NOT BE ACCEPTED PTANCE HAS BEEN SIGNED						

SELECTED ROOFING ON BATTENS AS REQUIRED EAVE AS PER PLANS PITCHING POINT **BOTTOM CHORD** -PACKING AS REQUIRED TIMBER DROPPERS **HEAD TRIMMER** DROP OFF EAVE FRAMING AS REQUIRED--FIXINGS AS REQUIRED 31 x 18mm STORM MOULD (ALL CORNERS MUST BE MITREE -20mm PACKING AS REQUIRED WINDOW AS PER CONSTRUCTION PLANS AND TO GLAZING MANUFACTURER'S DETAIL **INSIDE** OUTSIDE FIXINGS AS REQUIRED BRICKWORK IN DISTANCE-WATER COMPENSATING APRON BY GLAZING MANUFACTURER FACTORY FITTED TIMBER REVEAL AS ER WINDOW MANUFACTURER'S DETAIL WINDOW SILL SILL TRIMMER RAKED SILL 20mm PACKING AS REQUIRED TIMBER FOR SUPPORT ABOVE 1200mm SPLIT BRICK-FLASHING (ALCOR OR SIMILAR) TO SILL ONLY -PLASTERBOARD LINING WALL INSULATION AS PER **FFL SECTIONS** SCALE: 1:10

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: SUSTAINABILITY REQUIREMENTS GENERAL BUILDING INFORMATION

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	DISCOVERY	1	DRAFT SALE PLAN - CT1	НМІ	13/06/2025	
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© 2025		3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025	5 DORA LANE, F
		4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025	LOT / SECTION / CT:
		5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	139 / - / 186347

٧		HOUSE DESIGN:	HOUSE CODE:
6/2025		YORK 14	H-WDCYOR10S
7/2025	AUUKESS:	FACADE DESIGN:	FACADE CODE:
1/2025	5 DORA LANE, ROKEBY TAS 7019	CLASSIC	F-WDCYOR10C

SHEET TITLE:

DETAILS (FACE BRICKWORK)

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY, CHEC AND VERIFY DIMENSIONS AND I EVELS PRIOR TO THE

WHERE AG DRAIN IS < 1.5m FROM FOOTING, THE FOLLOWING ENGINEERING PRINCIPLES ARE

1. AG DRAIN TO BE CAPPED WITH 300mm OF CLAY TO PREVENT INGRESS OF SURFACE RUN-OFF UNLESS IT IS UNDER A PAVING SLAB ETC (AG DRAINS ARE DESIGNED FOR REMOVAL OF GROUND WATER, SURFACE WATER SHOULD BE DEALT WITH SEPARATELY).

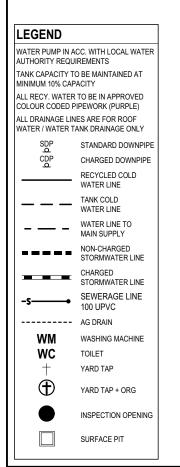
2. AG DRAIN TO HAVE A MINIMUM 1% TO A GRATED PIT WHICH DRAINS TO THE STORMWATER SYSTEM.

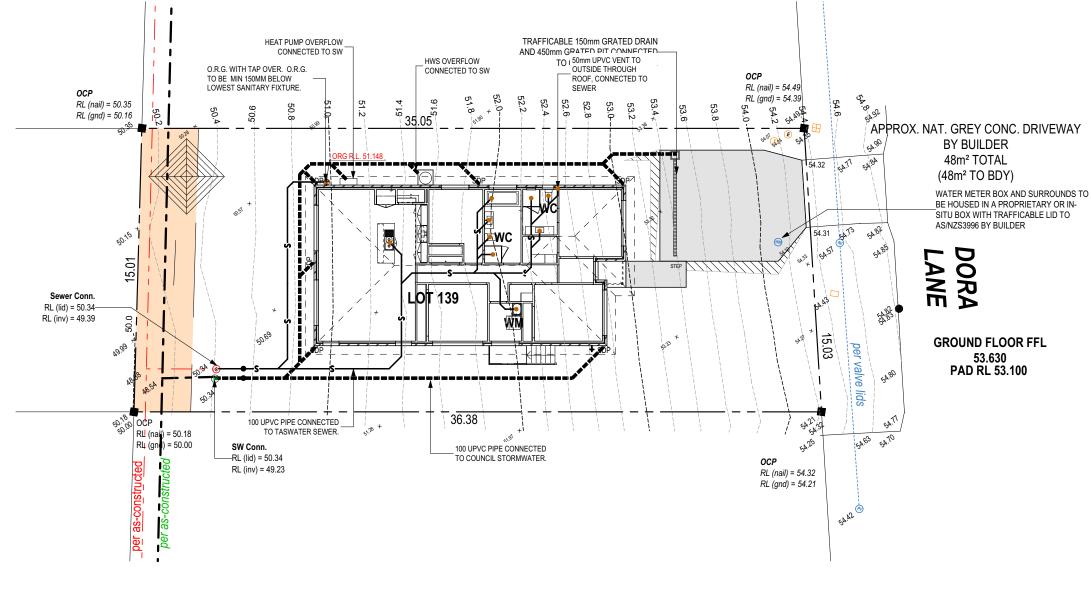
3. INSTALL A GEOTEXTILE FILTER SOCK TO THE SLOTTED DRAIN, AND ENCLOSE THE WHOLE DRAIN IN GEOFABRIC (TO THE UNDERSIDE OF CLAY CAPPING)

4. PROVIDE ADDITIONAL GRATED PITS/ OR INSPECTION OPENINGS ALONG THE LENGTH OF THE AG DRAIN AND AT THE HIGH POINT TO MAKE THE EFFECT OF A BLOCKAGE VISIBLE AND ENABLE A BLOCKAGE TO BE

5. <u>IF REQUIRED</u>, IN GROUND ABSORPTION TRENCHES TO BE TREATED WITH GYPSUM AT 1kg/m², AS PER THE DISPERSIVE

AG DRAIN DETAIL N.T.S.





SUBJECT TO NCC 2022 (1 OCTOBER 2024)

WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER					
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PLEASE NOTE THAT VARIATION		1			
AFTER THIS PLAN ACCEPTA	NCE HAS BEEN SIGNED	/ [-			

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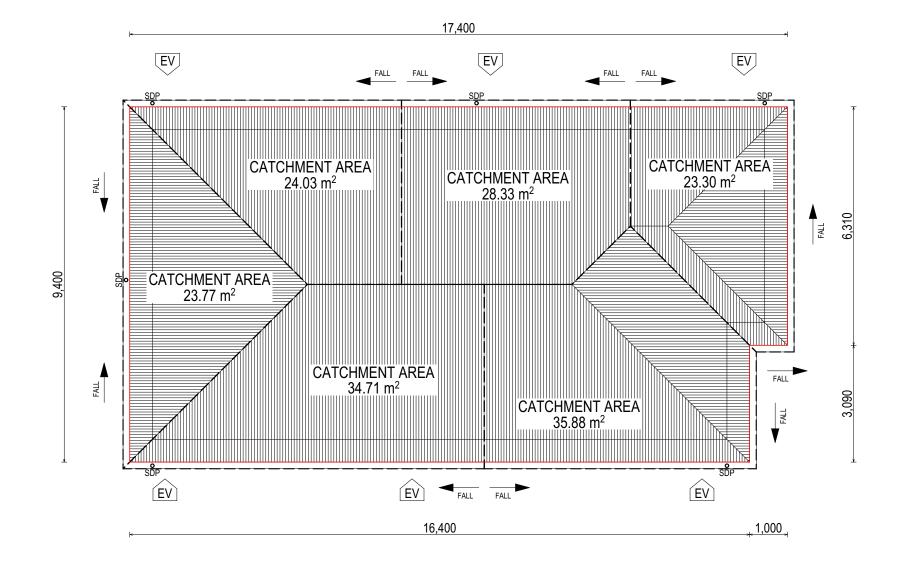
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ш			IMI 04/07/2025	-		FACADE DESIGN:	FACADE CODE:	LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK, ALL	: 24.0
	6 000F			5 DORA LANE, ROKEBY	TAS 7019	CLASSIC	F-WDCYOR10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
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	5	BA PLAN SET - SHADOW DIAGRAM JI	JII 08/10/202	139 / - / 186347	CLARENCE	DRAINAGE PLAN 10 / 21	1:200	714329	empl

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS CATCHMENT AREAS, NOT PLAN AREAS

Roofi	ng Data	
	160.47	Flat Roof Area (excluding gutter and slope factor) (m²)
	174.33	Roof Surface Area (includes slope factor, excludes gutter) (m²)
Down	pipe roof	calculations (as per AS/NZA3500.3:2021)
Ah	170.02	Area of roof catchment (including 115mm Slotted Quad Gutter) (m²)
Ac	205.72	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m²)
Required Downpipes	3.21	Ac / Acdp
Downpipes Provided	6	



For Roofs With >15 - <75 Degree Roof Pitch.

Longest Horizontal Dimension of Roof (m) 17.4 Ventilation Surface Area Required (Eave Ventilation - 7,000mm2/ m) 121800 87000 Ventilation Surface Area Required (Ridge Ventilation - 5,000mm2 /m) Ventilation Area (m2) per Whirlybird (if used) 0.07 Ventilation Area per Eave Vents (mm2) (min. 418 x 200mm) 23700 Minimum required soffit ventilation (eave vents) NB: to be evenly spaced around soffit

Ridge ventilation to be provided by continuous gap to ridge cappings

AS3959 Compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones

EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

> **SUBJECT TO NCC 2022** (1 OCTOBER 2024)

WATERPROOFING & PLUMBING

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COPYRIGHT:	2 DRAFT SALE PLAN - AMENDMENT		04/07/2025			FACADE DESIGN:		FACADE CODE:	LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL	
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	5 BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	139 / - / 186347	CLARENCE	ROOF DRAINAGE PLAN	11 / 21	1:100	/14329	Lemp

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

NO COVERING

COVER GRADE CONCRETE

CARPET

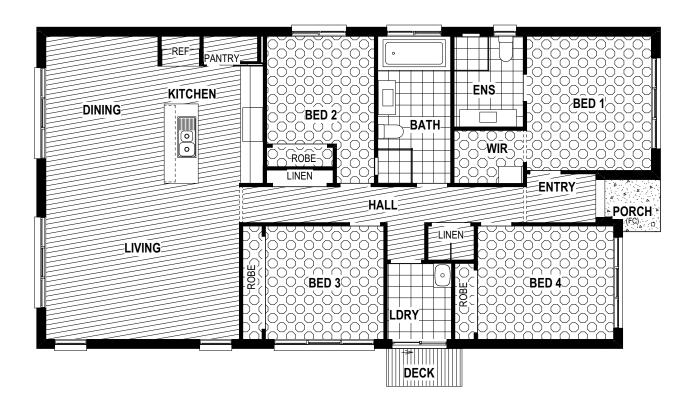
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LAMINATE

TILE (STANDARD WET AREAS)

TILE (UPGRADED AREAS)

DECKING



SUBJECT TO NCC 2022 (1 OCTOBER 2024)

WATERPROOFING & PLUMBING

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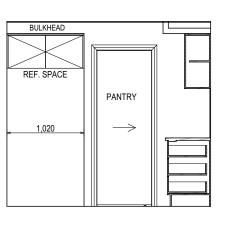
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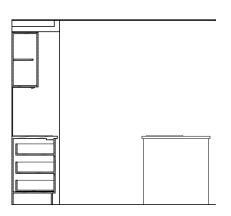
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DISCOVERY	1 DRAFT SALE PLAN - CT1	HMI 13/06/2025		YORK 14	H-WDCYOR10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND
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	4 BA PLAN SET - INITIAL ISSUE		LOT / SECTION / CT: COUNCIL:	SHEET TITLE:	SHEET No.: SCALES:	71/220
	5 BA PLAN SET - SHADOW DIAGRAM	JII 08/10/2025	139 / - / 186347 CLARENCE	FLOOR COVERINGS	12 / 21 1:100	714329

Version: 1, Version Date: 14/10/2025

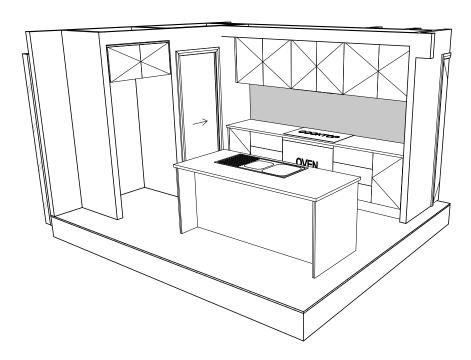
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ELEVATION A SCALE: 1:50

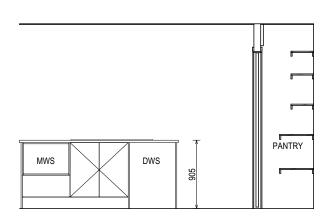


ELEVATION C SCALE: 1:50

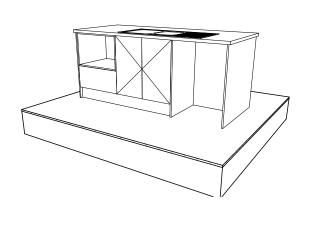


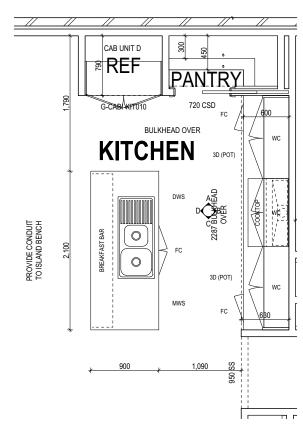
COOKTOP PANT OVEN

ELEVATION B SCALE: 1:50



ELEVATION D SCALE: 1:50





KITCHEN PLAN SCALE: 1:50

SUBJECT TO NCC 2022 (1 OCTOBER 2024) WATERPROOFING & PLUMBING

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		4 BA PLAN SET - INITIAL ISSUE		16/09/2025 LOT / SECTION / CT: COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	71/220	late
		5 BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025 139 / - / 186347 CLARENCE	KITCHEN DETAILS	13 / 21	1:50	714329	Lemp

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

CONNECTION

MIXER TAP

HOT TAP

COLD TAP

HOB SPOUT

WALL SPOUT

STOP COCK

TOILET ROLL HOLDER

TOWEL RAIL - SINGLE TR-D TOWEL RAIL - DOUBLE

TOWEL LADDER

TOWEL HOLDER

TOWEL RACK TMB TUMBLER HOLDER RNG TOWEL RING

ROBE HOOK

SOAP SOAP HOLDER

SHAMPOO RECESS

RSHR RAIL SHOWER ROSE SHOWER ROSE SHOWER ELBOW

LEGEND

ELBW

MIX

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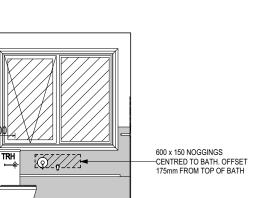
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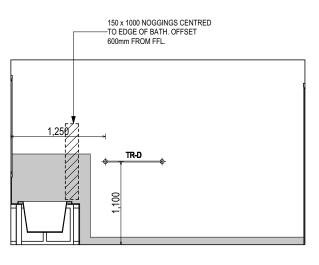
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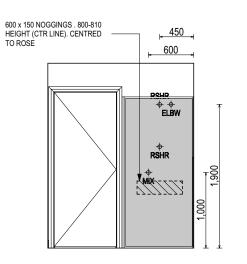


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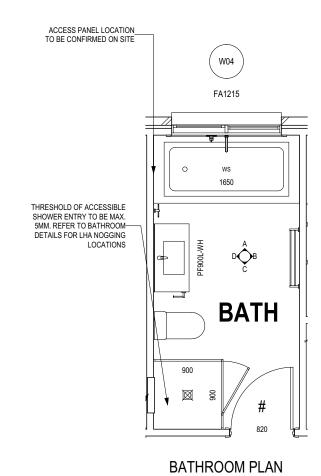
ELEVATION B

SCALE: 1:50



600 x 150 NOGGINGS . 800-810 HIGHT (CTR LINE). OFFSET— 250mm FROM WALL AREA WHERE WALL -REINFORCING IS REQ. NEXT TO TOILET 1,000

ELEVATION D SCALE: 1:50



SCALE: 1:50

SHAMPOO	RECESS SIZE	STRUCTU	RAL DIMENSIONS		
		WIDTH	HEIGHT		
"SMALL"	470 x 380mm	548mm	446mm		
"MEDIUM"	800 x 380mm	878mm	446mm		
"LARGE"	1500 x 380mm	1578mm	446mm		
REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.					

SUBJECT TO NCC 2022 (1 OCTOBER 2024)

WATERPROOFING & PLUMBING

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ELEVATION C

SCALE: 1:50

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	© 2025	PRELIM PLANS - INITIAL ISSUE	TDI :	21/07/2025 5 DORA LANE, ROKEBY TAS 7019	CLASSIC		F-WDCYOR10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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	5	BA PLAN SET - SHADOW DIAGRAM	JII (08/10/2025 139 / - / 186347 CLARENCE	BATHROOM DETAILS	14 / 21	1:50	714329

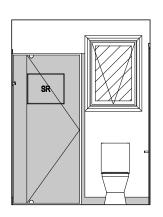
TH TOWEL HOLDER TR TOWEL RACK TMB TUMBLER HOLDER RNG TOWEL RING

ROBE HOOK SHLF SHELF SR SHAMPOO RECESS

SOAP SOAP HOLDER

VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001 STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002 SQUARE SET WINDOWS G-WIND-SSET02 FULL HEIGHT TILING D-LINI-WETA

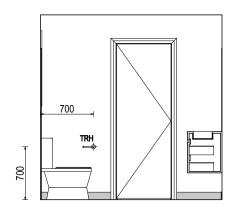
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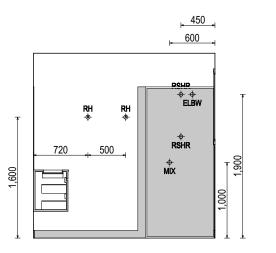
ELEVATION A SCALE: 1:50

ELEVATION C

SCALE: 1:50

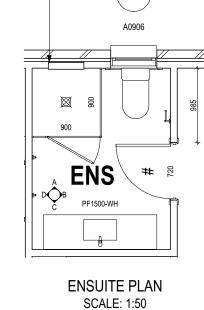


ELEVATION B SCALE: 1:50



SCALE: 1:50

ELEVATION D



W03

SHAMPOO	RECESS SIZE	STRUCTU	RAL DIMENSIONS
		WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm	446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

FURTHER DETAIL PRIOR TO INSTALLATION.

SUBJECT TO NCC 2022 (1 OCTOBER 2024)

WATERPROOFING & PLUMBING

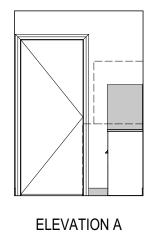
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ALL DIMENSIONS ARE FRAME DIMENSIONS

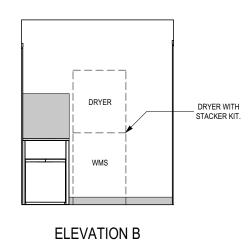
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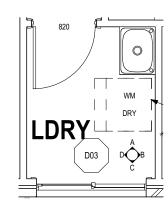
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\cap	DISCOVERY	1	DRAFT SALE PLAN - CT1	НМІ	13/06/2025			YORK 14		H-WDCYOR10SA	AND VERIFY DIMENSIONS AND	.038
ш	COPYRIGHT:	2	DRAFT SALE PLAN - AMENDMENT		04/07/2025			FACADE DESIGN:		FACADE CODE:	LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL	n: 24
	© 2025	3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025	5 DORA LANE, ROKEBY	TAS 7019	CLASSIC		F-WDCYOR10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	/ersic
		4	BA PLAN SET - INITIAL ISSUE		1		COUNCIL:	SHEET TITLE:		SCALES:	71/220	late \
		5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	139 / - / 186347	CLARENCE	ENSUITE DETAILS	15 / 21	1:50	714329	emp



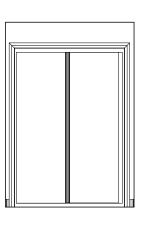
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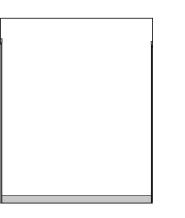
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LAUNDRY PLAN SCALE: 1:50



ELEVATION C SCALE: 1:50



ELEVATION D SCALE: 1:50

SUBJECT TO NCC 2022 (1 OCTOBER 2024)

WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER SIGNATURE: DATE: SIGNATURE: DATE: PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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1	DISCOVERY	1 DRAFT SALE PLAN - CT1 H	MI 13/06/2025		YORK 14	H-WDCYOR10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE
L	COPYRIGHT:	2 DRAFT SALE PLAN - AMENDMENT	MI 04/07/2025	AUUKEOD:	FACADE DESIGN:		COMMENCEMENT OF ANY WORK. ALL
_	© 2025	3 PRELIM PLANS - INITIAL ISSUE T	DI 21/07/2025	5 DORA LANE, ROKEBY TAS 7019	CLASSIC	F-WDCYOR10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
		4 BA PLAN SET - INITIAL ISSUE P		LOT/SECTION/CT: COUNCIL:		SHEET No.: SCALES:	71/220
		5 BA PLAN SET - SHADOW DIAGRAM .	III 08/10/2025	139 / - / 186347 CLARENCE	LAUNDRY DETAILS	16 / 21 1:50	714329

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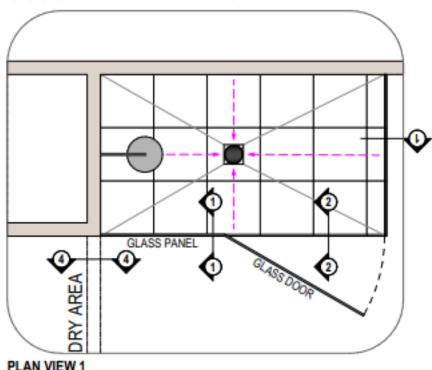
DORA LANE

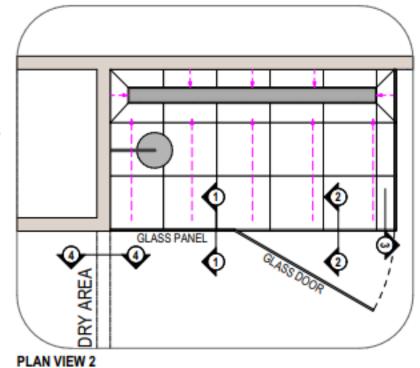


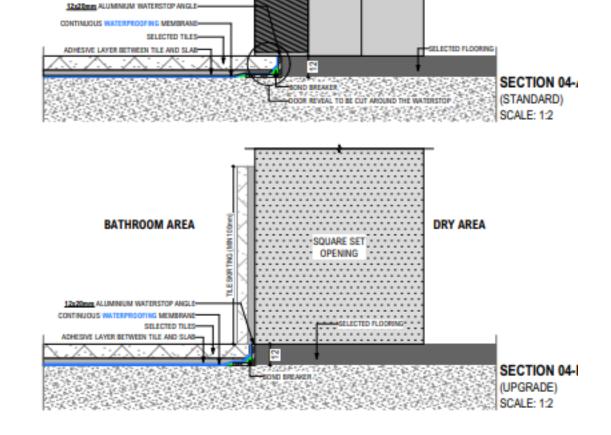
DORA LANE

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1	DISCOVERY	1 DRAFT SALE PLAN - CT1	HMI 13/06/2025			YORK 14		H-WDCYOR10SA	AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE	.038
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		4 BA PLAN SET - INITIAL ISSUE			COUNCIL:	SHEET TITLE:	<u> </u>	SCALES:	71/220	late \
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DORA LANE







DOOR LEAF

DOOR FRAME REVEAL

DRY AREA

BATHROOM AREA

SCALE: 1:2



BATHROOM AREA

ADHESIVE LAYER BETWEEN TILE AND SLAB-

WITH 50mm RECESS TO SHOWER AREA.

12x12mm MATCHING COVER

SELECTED BATHROOM ELOOP

TILES, DIRECT STICK TO SLAB

ANGLE OVER WATERSTOR



SHOWER AREA

5mm DRAINAGE HOLE

-SELECTED SHOWER FLOOR TILE

SCREED BEDDING

SPLASH GUARD

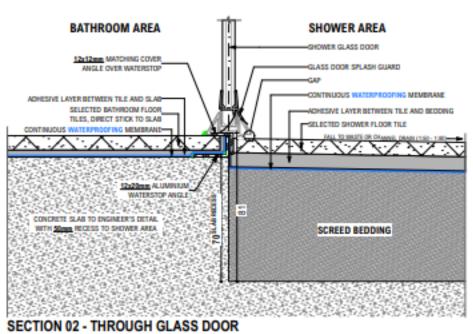
SEMI-FRAMELESS OR FRAMED SHOWER SCREEN

-CONTINUOUS WATERPROOFING MEMBRANE

ADHESIVE LAYER BETWEEN TILE AND BEDDING

(CHANNEL DRAIN)

SCALE: 1:20



BATHROOM AREA SHOWER SCREEN 12x20mm MATCHING COVER ANGLE OVER TOP/OUT TO FOLLOW SCREED FALL IF NECESSARY) BEAD OF SILICONE ADHESIVE LAYER BETWEEN TILE AND SLAB SHOWER SCREEN FRAME SELECTED BATHROOM FLOOR TILES, DIRECT STICK TO SLAB SCREED BEDDING CONCRETE SLAB TO ENGINEER'S DETAIL: SECTION 03 - THROUGH GLASS SCREEEN

SECTION 01 - THROUGH GLASS SCREEEN SCALE: 1:2

WATERSTOP ANGLE:

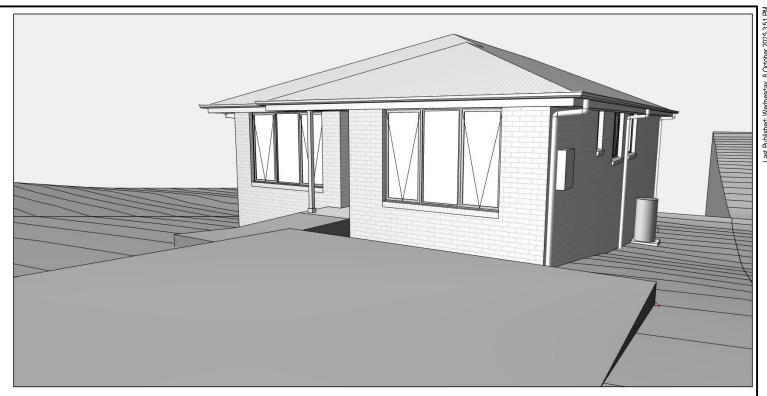
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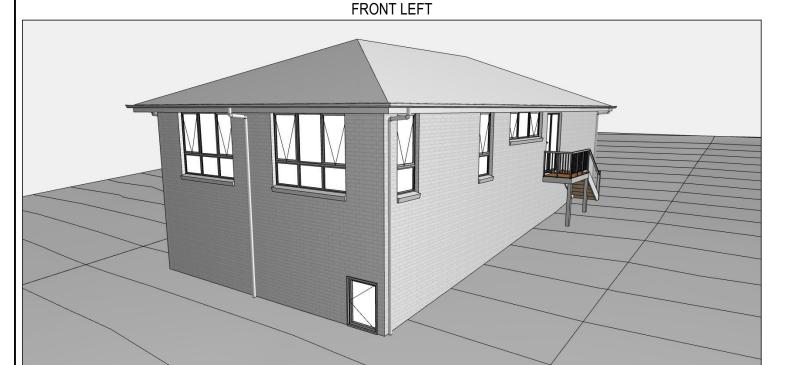
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Version: 1, Version Date: 14/10/2025





FRONT RIGHT



REAR LEFT

REAR RIGHT

19 / 21

PLAN ACCEPTANCE BY OWNER

THIS PLAN HAS BEEN DRAWN TO REFLECT YOUR
CONSOLIDATED TENDER. PLEASE CHECK THAT EVERYTHING
IS CORRECT AND FINALISED. FURTHER STRUCTURAL
CHANGES ARE NOT POSSIBLE PAST THIS POINT.
PLEASE NOTE, SELECTIONS ITEMS WILL NOT APPEAR ON
YOUR PLANS UNTIL AFTER YOUR INTERNAL COLOUR
SELECTIONS APPOINTMENT IS COMPLETE.

NATURE:	DATE:

SIGNATURE:

DATE:

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	4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025
	5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025

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PL1 16/09/2025 LOT	/ 8

ORA LANE, ROKEBY TAS 7019 SECTION / CT: COUNCIL: 139 / - / 186347 CLARENCE

YORK 14 FACADE DESIGN: CLASSIC SHEET TITLE: 3D VIEWS

HOUSE DESIGN

HOUSE CODE: H-WDCYOR10SA FACADE CODE: F-WDCYOR10CLASA SHEET No.: SCALES:

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714329

CONDENSATION

- WHERE RAKED CEILINGS EXIST, IT IS HIGHLY RECCOMENDED THAT SUITABLE SPACING BETWEEN SARKING AND BULK INSULATION EXISTS. (NO CONTACT BETWEEN PRODUCTS). THE BUILDER IS TO ENSURE ADEQUATE SIZED TIMBER IS USED TO ENSURE THIS SEPARATION IS PROVIDED.
- IN STANDARD ROOF SPACES. IT IS HIGHLY RECOMMENDED TO PROVIDE SEPARATION BETWEEN SARKING AND CEILING INSULATION AROUND THE BUILDING PERIMETER, TO ENSURE AIRFLOW FROM EAVE VENTS IS MAINTAINED
- IT IS HIGHLY RECOMMENDED THAT ALL LIGHTWEIGHT CLADDING IS BATTENED OUT FROM STUDS (METAL / FC SHEET / TIMBER)

WOOD HEATERS

- ALL WOOD HEATERS ARE TO COMPLY WITH MANUFACTURERS SPECIFICATION AND NCC PART 12.4

FIRE SAFETY

- SMOKE ALARMS TO BE MAINS POWERED AND INSTALLED AS PER AS3786. LOCATIONS AS PER NCC 9.5.
- SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
- INSTALLATION OF WOOD HEATERS TO COMPLY WITH AS2918. PROVIDE LOCAL AUTHORITIES WITH INSULATION AND **COMPLIANCE CERTIFICATES**

TIMBER FRAMING

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NCC
- ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE **WITH AS1684**
- MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS
- GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS

BRACING / LINTELS

- WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND
- WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- PLYWOOD BRACING IN ACCORDANCE WITH AS1684 TABLE 8.18 (H) METHOD B. 900 WIDE SHEET PLY BRACING PANELS (6mm THICK F11 OR 4mm THICK F14) TO BE FIXED TO STUD FRAME WITH 2.8mm DIA x 30mm LONG MIN. FLAT HEAD NAILS.
- 65 x 19mm HW DIAGONAL TIMBER BRACING CHECKED INTO STUDS AND FIXED IN ACCORDANCE WITH AS1684

TIMBER LINTELS FOR SINGLE (OR UPPER STORY) TO BE F17 HARDWOOD AS FOLLOWS:

0 - 1500 120 x 35 1500 - 2400 140 x 35 2400 - 2700 190 x 35

TIEDOWN AND FIXING CONNECTIONS TO COMPLY WITH AS1684

STEEL LINTELS FOR SINGLE (OR UPPER STOREY) TO BE AS FOLLOWS:

0 - 2700 90 x 90 x 6 EA 2700 - 3200 100 x 100 x 8 EA 3200 - 4000 150 x 90 x 8 EA

*LINTELS REQUIRE 150mm BEARING EITHER SIDE OF OPENING

ALL LINTEL SIZES SHOWN ARE SUBJECT TO ENGINEERS DETAILS

CONCRETE

- CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH AS2870
- CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS3600 AND:
- HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25MpA (N25 GRADE)
- HAVE A 20mm NOMINAL AGGREGATE SIZE
- HAVE A NOMINAL 80mm SLUMP
- CONCRETE SLAB TO BE LAID OVER 0.2mm POLYTHENE MEMBRANE, 50mm WELL BEDDED SAND AND MINIMUM COMPACTED FCR (20mm)
- SLAB THICKNESS AND REINFORCEMENT TO BE AS PER ENGINEERS DESIGN

DRAINAGE / WATER

150mm AND 760mm FROM FFL.

WINDOWS

OTHERWISE

REQUIREMENTS

- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY

HUMAN IMPACT TO COMPLY WITH NCC PART 8.4

- STORMWATER PIPES TO BE UPVC CLASS HD
- SEWER PIPES TO BE UPVC CLASS SH
- PROVIDE Ø20mm K2 POLYETHYLENE WATER RETICULATION

- WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED

ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND

AS PER NCC 11.3.6 ALL BEDROOM WINDOWS WHERE THE

OF THE WINDOW OR SCREEN SO THAT A 125mm SPHERE

CANNOT PASS THROUGH: AND RESISTING OUTWARDS

LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7m

OF FFL AND THE FFL IS 2m OR MORE ABOVE NGL. REQUIRE A

PERMANANTLY FIXED DEVICE RESTRICTING ANY OPENINGS

HORIZONTAL ACTION OF 250N AGAINST THE WINDOW. WHERE

THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR

OVER-RIDDEN, THE DEVICE OR SCREEN MUST HAVE A CHILD

RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER

BELOW THE WINDOW THAT IS 865mm HIGH ABOVE FFL AND

RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A

HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN

GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR

125mm SPHERE CANNOT PASS THROUGH, AND HAS NO

- ALL WINDOWS TO BE FABRICATED AND INSTALLED IN

- ALL OPENING WINDOWS TO COMPLY WITH NCC 8

SPEED AS PER ENGINEERS REPORT

- TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY
- BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR
- PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE 150 MIN. BELOW LOWEST SANITARY DRAINAGE POINT
- CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT NCC TABLE 3.1.1.1
- AG DRAIN REQUIRED AROUND PERIMETER OF DWELLING FOR ALL CLASS M, H, E SITES. LOCATE AG DRAIN NOT CLOSER THAN 1.5m FROM FOOTINGS IN ACCORDANCE WITH AS2870 SECTION 5.6
- PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3
- PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 SECTION 5.6.4 FOR ALL CLASS H AND E SITES. REFER TO GEOTECH FOR FURTHER INFORMATION
- DOWNPIPES AND GUTTERS DESIGNED IN ACCORDANCE WITH AS/NZS 3500 3

ROOFING

11.2.4

STAIR TREADS

STAIR RISERS

THAN 125mm

ANY FLOOR COVERINGS)

LEVELS IS GREATER THAN 570mm

- ROOF TO BE COLORBOND 'CUSTOM ORB' METALDECK UNLESS NOTED OTHERWISE. PROVIDED AND INSTALLED IN ACCORDANCE WITH AS1562.1 (IF TILED REFER TO AS2050)

STAIRCASES / BALUSTRADES / HANDRAILS

- HANDRAIL REQUIRED WHERE CHANGE OF LEVEL BETWEEN

- NO GAPS IN STAIRCASES OR BALUSTRADE TO BE GREATER

BALUSTRADE REQUIRED WHERE LEVEL OF LANDING OR DECK

IS GREATER THAN 1000mm ABOVE ADJACENT GROUND LEVEL

BALUSTRADE TO BE MINIMUM 1000mm ABOVE FFL (INCLUDING

- DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A

NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH NCC

DOORS. OPERATING DOOR LEAFS ARE TO BE SCREWED FIXED

- GLAZED BALUSTRADE AND HANDRAILS TO COMPLY WITH NCC

LANDING (MIN. 750mm WIDE) WHERE THE DIFFERENCE IN

WHERE LANDINGS ARE NOT NOMINATED TO EXTERNAL

SHUT, OR PROVIDED WITH A FORMED FCR LANDING

NOMINALLY 180mm BELOW FLOOR LEVEL.

PART 8.4, 11.3 AND AS1288 REQUIREMENTS

FLOOR / LANDINGS > 1m AS PER CURRENT NCC 11.3.5

240mm MIN. - 355mm MAX.

115mm MIN. - 190mm MAX.

PREFABRICATED ROOF TRUSSES TO BE SUPPLIED AND INSTALLED TO MANUFACTURERS SPECIFICATIONS, TRUSS MANUFACTURER TO CONFIRM LINTEL SIZES.

ELECTRICAL

- EXHAUST FAN TO COMPLY WITH CURRENT NCC PART 10.6.2 SECTION C
- EXHAUST FANS TO BE SEALED AND DUCTED TO OUTSIDE OF DWELLING IN ACCORDANCE WITH NCC VOLUME 2, PARTS 10.8.2 AND 10.8.3
- IF VENTING OCCURS DIRECTLY THROUGH WALLS/ROOF ADJACENT TO FAN. THEN UNIT REQUIRES SELF CLOSING BAFFLES TO BE CLASSIFIED AS A SEALED UNIT
- ELECTRICIAN IS TO ENSURE THAT ALL GPO'S IN WET AREAS MEET ALL STANDARD AND CODE REQUIREMENTS - ALL GPO'S TO BE 300mm FROM FFL UNLESS NOTED OTHERWISE

WET AREAS

- WALLS TO WET AREAS TO BE FINISHED WITH WET AREA PLASTERBOARD
- COMPLIANCE WITH NCC PART 10.2 AND AS3740
- ALL UNENCLOSED SHOWERS ABOVE BATHS TO HAVE MINIMUM 900mm SHOWER SCREEN OR FLOORWASTE WITHIN 1500mm OF SHOWER CONNECTION AS PER AS3740

SUBJECT TO NCC 2022 (1 OCTOBER 2024) WATERPROOFING & PLUMBING

PLAN ACCEPTAN	ICE BY OWNER
SIGNATURE:	DATE:
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SPECIFICATION REVISION DRAWN DISCOVERY DRAFT SALE PLAN - CT1 HMI 13/06/2025 2 DRAFT SALE PLAN - AMENDMENT HMI 04/07/2025 3 PRELIM PLANS - INITIAL ISSUE 4 BA PLAN SET - INITIAL ISSUE 5 BA PLAN SET - SHADOW DIAGRAM

PL1 | 16/09/2025 | LOT / SECTION / CT: JII 08/10/2025 139 / - / 186347

TDI 21/07/2025 5 DORA LANE, ROKEBY TAS 7019

COUNCIL . CLARENCE

FACADE DESIGN **CLASSIC** SHEET TITLE:

OUSE DESIGN

YORK 14

GENERAL NOTES

FACADE CODE F-WDCYOR10CLASA SHEET No : SCALES 20 / 21

HOUSE CODE

H-WDCYOR10SA

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DO NOT SCALE DRAWINGS, USE

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Version: 1. Version Date: 14/10/2025

GENERAL

BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE

INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO

CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO

ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO

ENGINEERING ADVICE ONCE À SATISFACTORY SOIL TEST HAS

ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE

STABILISED WITH VEGETATION OR SIMILAR TO PREVENT

EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT

THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES

ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE

COMPACTED FILL

EMBANKMENT OF SLOPE

1:2

1:4

1:1

2:3

NOT SUITABLE

SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE NCC

3:3

1:2

1:4

1:2

NOT SUITABLE

NOT SUITABLE

ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH

EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED

MORTAR MIXED @ 1:1:6 CEMENT:LIME:SAND UNLESS STATED

DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO

EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @

VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX.

AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5M

WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN

WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER

CTRS FOR UNREINFORCED MASONARY WALLS EXCEPT

PRIOR TO COMMENCEMENT OF WORK

NATIONAL CONSTRUCTION CODE (NCC)

COMPLY WITH THE NCC TABLE 3.2.1

BEEN RECEIVED AND REVIEWED

OF SOIL RETAINING METHODS

SOIL TYPE /

CLASSIFICATION

STABLE ROCK (A)

SAND (A)

SILT (P)

FIRM CLAY

SOFT CLAY

SOFT SOILS (P)

MASONRY

OTHERWISE

OTHERWISE BY ENGINEER

1200 CTRS IN ACCORDANCE WITH AS2904

ACCORDANCE WITH AS4100 AND AS3700a

AS3700

NOT INCLUDE WALL LININGS

SITE WORKS

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPRROF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

WAFFLE POD ALLOWANCES:

- R0.6 175mm DEEP
- R0 7 225mm DEEP
- R0.8 300mm DEEP
- R0.9 375mm DEEP

N.C.C 2022 TAS PART H6

IN TASMANIA. FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS

TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION

BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE

- (i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENERATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.
- (ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION FOR CONCRETE SLAB ON GROUNG WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING

3.12.3.1 - CHIMNEYS AND FLUES

THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE

- 3.12.3.2 ROOF LIGHTS
 (a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN
- (i) A CONDITIONED SPACE; OR
- ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8
- (b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:
 - (i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
 - (ii) A WATERPROOF SEAL; OR
 - (iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT

- 3.12.0.1 EXTERNAL WINDOWS AND DOORS

 (a) A SEAL TO RESTRIC AIR INFILTRATION MUST BE FITTED TO EACH OF AN EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING:
- (I) WHEN SERVING A CONDITIONED SPACE; OR
- (II) IN CLIMATE ZONES 4, 5, 6, 7 OR 8, WHEN SERVING A HABITABLE ROOM
- (b) A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES. SPECIFIED IN AS2047 NEED NOT COMPLY WITH (a)
- (c) A SEAL REQUIRED BY (a)
- (i) FOR THE BOTTOM EDGE OF AN INTERNAL SWING DOOR, MUST BE A DRAFT PROTECTION DEVICE; AND
- (ii) FOR THE OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW OR OTHER SUCH OPENING, MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR

3.12.3.4 - EXHAUST FANS

AN EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF CLOSE DAMPER, FILTER OR THE LIKE WHEN SERVING:

(a) A CONDITIONED SPACE: OR

(b) A HABITABLE ROOM IN THE CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.3.5 - CONSTRUCTION OF ROOF, WALLS AND FLOORS

- (a) ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND AN OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE IN ACCORDANCE WITH (b) WHEN FORMING PART OF THE EXTERNAL FABRIC OF:
 - (i) A CONDITIONED SPACE; OR
- (ii) A HABITABLE ROOM IN CLIMATE ZONE 4, 5, 6, 7 OR 8.
- (b) CONSTRUCTION REQUIRED BY (a) MUST BE:
- (i) ENCLOSED BY AN INTERNAL LINING SYSTEM THAT ARE CLOSE
- FITTING AT CEILING, WALL AND FLOOR JUNCTIONS; OR

 (ii) SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE

3.12.3.6 - EVAPORATIVE COOLERS

AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:

(a) A HEATED SPACF: OR

(b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.5.5 - ARTIFICIAL LIGHTING

- (a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF:
- (i) 5W/m2 IN A CLASS 1 BUILDING
- (ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS); (iii) 3W/m2 IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1
- BUILDING.
- (b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS PER N.C.C TABLE

SUBJECT TO NCC 2022 (1 OCTOBER 2024)

WATERPROOFING & PLUMBING

PLAN ACCEPTAN	CE BY OWNER	1	7143
SIGNATURE:	DATE:		Drafting\Job Files\7143
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PLEASE NOTE THAT VARIATION AFTER THIS PLAN ACCEPTA		,	ocatic

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Version: 1. Version Date: 14/10/2025

WET AREA NOTES