



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056204

PROPOSAL: Dwelling

LOCATION: 5 Dora Lane, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 04 November 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 04 November 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 04 November 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council

APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New Residentail Dwelling

Location:

Address... 5 DORA LANE, ROKEBY TAS 7019

Suburb/Town Postcode

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

Estimated cost of development

\$ 400,755

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Signature	Personal Information Removed	Date
		09.10.25

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST

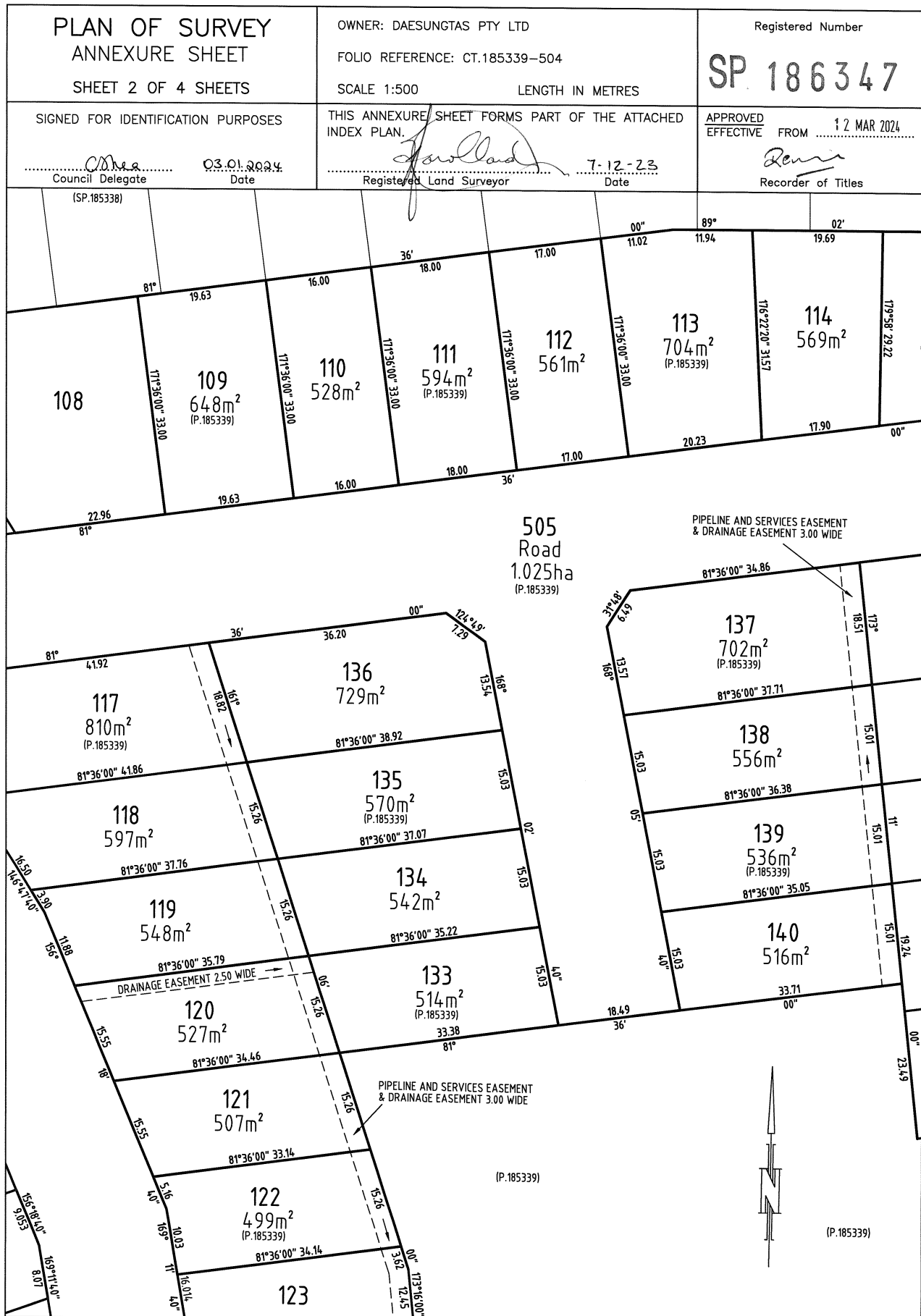


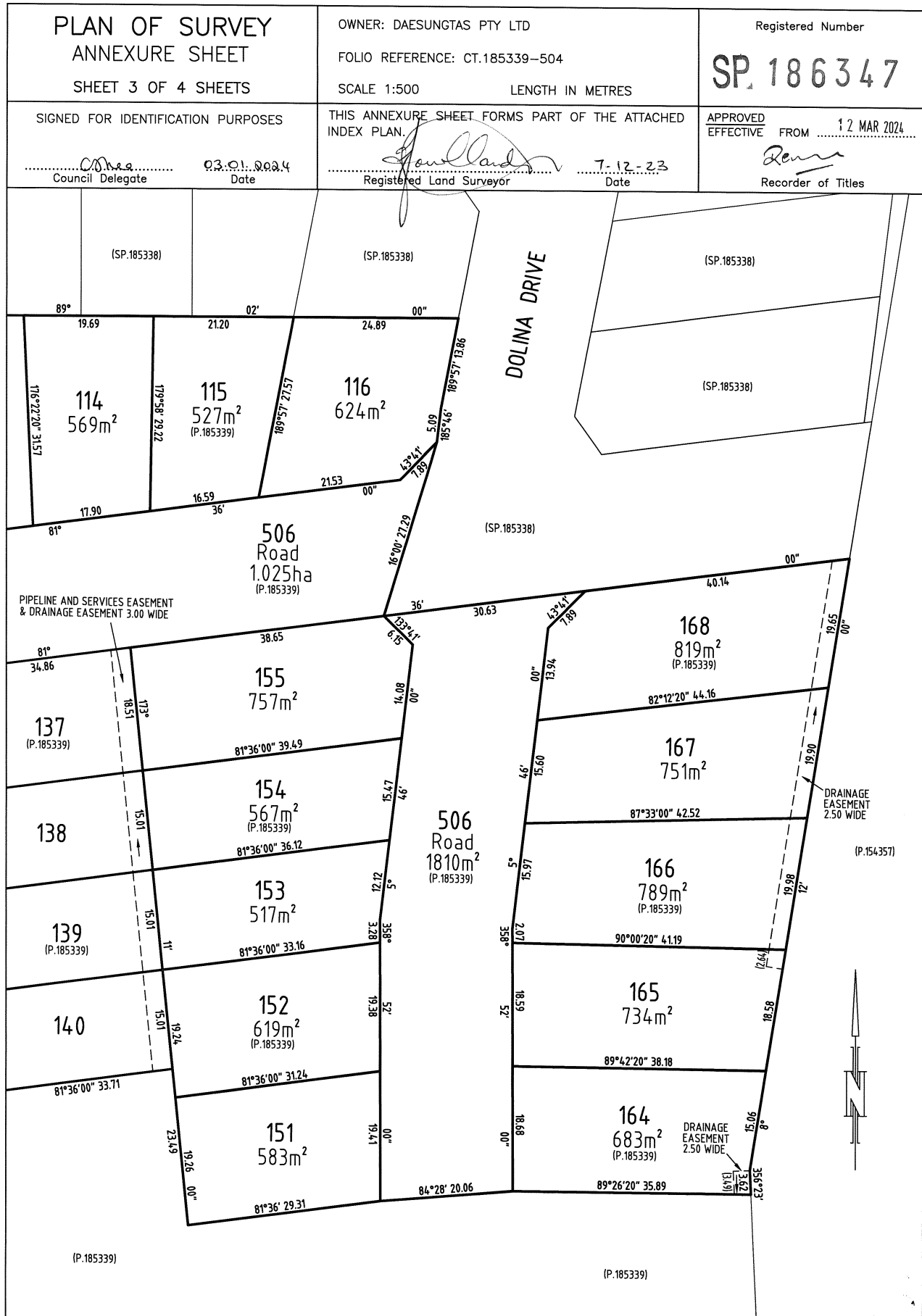
- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

[illegible]







PLAN OF SURVEY ANNEXURE SHEET SHEET 4 OF 4 SHEETS	OWNER: DAESUNG TAS PTY LTD FOLIO REFERENCE: CT.185339-504 SCALE 1:400 LENGTH IN METRES	Registered Number SP 186347
SIGNED FOR IDENTIFICATION PURPOSES Council Delegate 03.01.2024 Date	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. Registered Land Surveyor 7.12.23 Date	APPROVED EFFECTIVE FROM 12 MAR 2024 Recorder of Titles

18 544m² (P.185339)
19 531m²
20 511m²
21 607m²
22 528m²
120 (P.185339)
121 507m²
122 499m² (P.185339)
123 548m²
124 531m²
125 493m²
505 Road 1.025ha (P.185339)

PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE
PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH
PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE

(P.185339) (P.185339) (P.185339)

SEARCH OF TORRENS TITLE

VOLUME 186347	FOLIO 139
EDITION 1	DATE OF ISSUE 12-Mar-2024

SEARCH DATE : 24-Jul-2025

SEARCH TIME : 11.25 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 139 on Sealed Plan [186347](#)Derivation : Part of Lot 37617, 56.81ha Gtd. to The
Director-General of Housing & ConstructionPrior CT [185339/504](#)SCHEDULE 1[M535627](#) TRANSFER to DAESUNGTAS PTY LTD Registered
03-Nov-2015 at noonSCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP186347](#) EASEMENTS in Schedule of Easements
[SP186347](#) COVENANTS in Schedule of Easements
[SP186347](#) FENCING PROVISION in Schedule of Easements
[SP142549](#) & [SP184319](#) COVENANTS in Schedule of Easements
[SP184319](#) FENCING PROVISION in Schedule of Easements
[SP142549](#) FENCING COVENANT in Schedule of Easements
[SP142549](#) WATER SUPPLY RESTRICTION
[SP142549](#) SEWERAGE AND/OR DRAINAGE RESTRICTION
[N111707](#) MORTGAGE to Butler McIntyre Investments Ltd
Registered 06-Apr-2023 at 12.05 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 186347

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 10 to 16 (inclusive) ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP-184319)** shown on the Plan ("the Easement Land").

Lots 10 to 16 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP-184319)** on the Plan.

Lots 17, 18, 19, 137 – 140 (inclusive) and 117-125 (inclusive) ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE** shown on the Plan ("the Easement Land").

Lots 17, 18, 19, 137 – 140 (inclusive) and 117-125 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE** on the Plan.

Director

Director/Secretary

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: DAESUNGTAS PTY LTD	PLAN SEALED BY: Clarence City Council
FOLIO REF: 185339/504	DATE: 3 rd January 2024
SOLICITOR	Stage 7-10
& REFERENCE: Page Seager (DAS 221111)	REF NO. SD-2016/31
	Council Delegate <i>Clare Shea</i>

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 6 PAGES	Registered Number SP 186347
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 185339/504	

Lots 20 – 22 (inclusive) (“the Lots”) are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH** shown on the Plan (“the Easement Land”).

Lots 20 – 22 (inclusive) (“the Lots”) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH** on the Plan.

Lots 120 and 164 to 168 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT 2.50 WIDE** on the Plan.

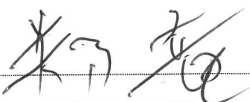
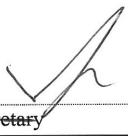
Each lot on the Plan is together with a right of way created by and fully described in the Schedule of Easements to SP 142549 over the land marked **RIGHT OF WAY (PRIVATE) 10.06 WIDE (SP.142549)** on the Plan.

Each lot on the Plan is together with a right of carriageway and service easement created by and fully described in C849483 over the land marked **RIGHT OF WAY (PRIVATE) & SERVICE EASEMENT 20.00 WIDE (P.154357) (created by C849483)** on the Plan.

COVENANTS

The owner of each Lot on the Plan covenants with the Vendor (Daesungtas Pty Ltd) and the Owner or Owners for the time being of every other Lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantor’s Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the plan to observe the following stipulations:

1. Not to subdivide that Lot at any time without the prior consent in writing of the Corporation.

Director 	Director/Secretary 
NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 6 PAGES	Registered Number SP 186347
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2. Not to erect on that Lot more than a single residence, which may include an ancillary apartment together with usual outbuildings as may be permitted by the Corporation, without the consent of the Corporation.
3. Not to use the land for any purpose except as a residence or the for the purpose of house occupation without the prior consent of the Corporation in writing.
4. Not to use any engine or machinery in any trade of business, nor erect or use or permit to be used on any part of any lot shown on the Plan nor to conduct or permit to be conducted any trade or business on or from any part of the same, including but not limited to mining, quarrying, or market gardening. The leasing of the property for private residential purposes is not deemed to be a breach of this covenant.
5. Not to keep any animals other than domestic pets on any lot shown on the Plan and not to make any application for a kennel licence in respect of any lot shown on the Plan nor to keep or establish or permit to be kept or established any licensed kennel upon any lot or any part of any lot shown on the Plan nor to keep at one time more than two adult canines on any lot shown on the Plan.
6. The Vendor may, at the Vendor's absolute discretion, waive the burden of any covenant contained in this Schedule of Easements in favour of any lot by notice in writing to the registered proprietor of that lot.

FENCING PROVISION

In respect of the Lots shown on the Plan, the Vendor (Daesungtas Pty Ltd) shall not be required to fence.

DEFINITIONS

"Corporation" means the Warden Councillors and Electors of the City of Clarence.

"Drainage Easement" means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over

Director

Director/Secretary

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 6 PAGES	Registered Number SP 186347
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 185339/504	

which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

“**Pipeline and Services Easement**” is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and

Director

Director/Secretary

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 6 PAGES	Registered Number SP 186347
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- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

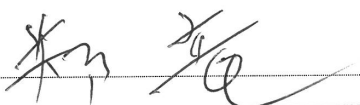
Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“TasWater” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

Director



Director/Secretary

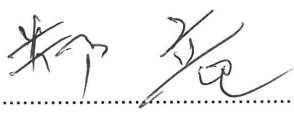


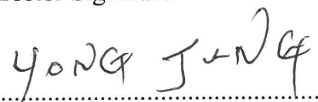
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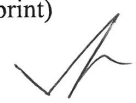


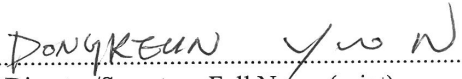
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 6 PAGES	Registered Number SP 186347
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 185339/504	

EXECUTED by **DAESUNGTAS PTY LTD (ACN 607 472 131)** as registered proprietor of the land comprised in Folio of the Register Volume 185339 Folio 504 in accordance with section 127 of the *Corporations Act 2001* (Cth) by:)


.....
Director Signature


.....
Director Full Name (print)


.....
*Director/*Secretary Signature


.....
*Director/Secretary Full Name (print)

(*please strike out inapplicable)


.....
Director


.....
Director/Secretary

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Direction to submit a Development Application

This document confirms the direction from [REDACTED] owner of 5 DORA LANE, ROKEBY TAS 7019 to Wilson Homes Tasmania Pty Limited to act as their agent within the meaning of the *Land Use Planning and Approvals Act 1993* (Tasmania).

[REDACTED]

Important Owner Confirmation

The owners acknowledge that Wilson Homes will incur non-refundable fees to third parties that are likely to exceed the proposal acceptance fee already paid, including but not limited to:

Structural engineering fees

Hydraulic engineering fees

Development application fees

Overlay reports

Arborist reports

Bushfire reports

Farm management reports; and

Dispersive soil reports

depending on the requirements of your council.

The owners acknowledge that in the unlikely event that they do not proceed to a contract, these fees will be payable by the owners to Wilson Homes.

[REDACTED]

Date of signature

Date of signature



1300 595 050
wilsonhomes.com.au

Southern Head Office 250 Murray Street, Hobart Tasmania

Northern Head Office Level 1, 78-96 Wellington Street, Launceston Tasmania

Wilson Homes Tasmania Pty Ltd. ABN: 96 126 636 897. BLN: 963880604. TAS Architect Registration No: 1036

DA
TASMANIAN PLANNING SCHEME

SHEET INDEX

1	COVER SHEET
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5	ELEVATIONS / SECTION
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8	CALCULATIONS
9	DETAILS (FACE BRICKWORK)
10	DRAINAGE PLAN
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14	BATHROOM DETAILS
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16	LAUNDRY DETAILS
17	SHADOW DIAGRAMS - JUNE 21
18	STANDARD SHOWER & WATERPROOFING
19	3D VIEWS
20	GENERAL NOTES
21	WET AREA & ENERGY EFFICIENCY NOTES

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR		
LIVING		135.31
PORCH		1.85
		137.16 m²

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

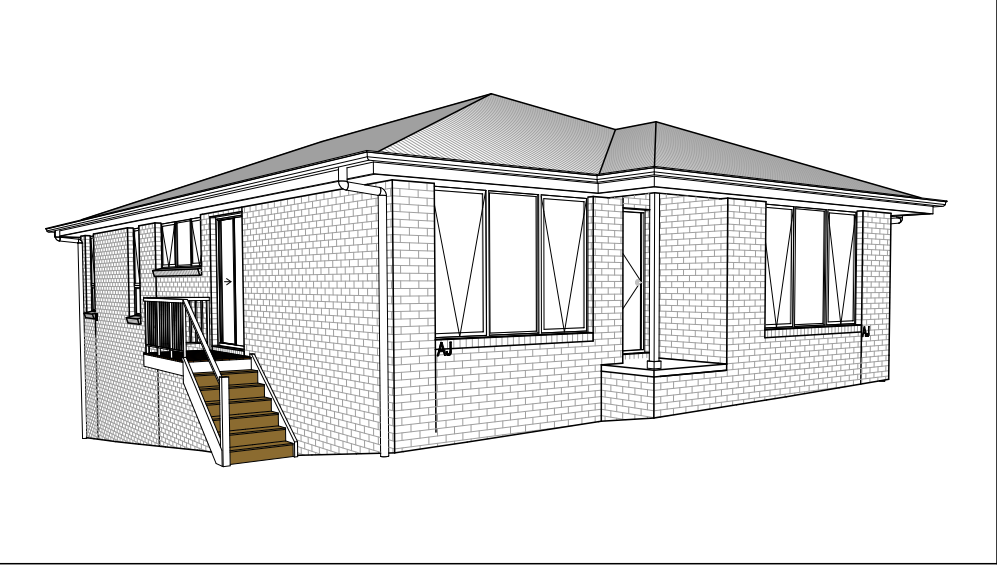
SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	YES
BUSHFIRE	BAL-LOW
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N3 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	M
SPECIFIC AREA PLAN OVERLAY	YES
PARANVILLE SPECIFIC AREA PLAN	
TERRAIN CATEGORY	TC2.5
TOPOGRAPHIC CLASSIFICATION	T2
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	5.30km
ZONING	GENERAL RESIDENTIAL
AIRPORT OBSTACLE LIMITATION AREA	

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 4,500mm	11,546mm
SIDE A	MIN. 1,500mm	2,152mm
SIDE B	MIN. 1,500mm	4,348mm
REAR	MIN. 1,500mm	7,166mm
BULK & SCALE		
SITE AREA	536m²	
SITE COVERAGE	MAX. 50%	25.59%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	124mm
FILL DEPTH	MAX. 1,000mm	0mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S) 2445mm	
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	DARK
WALL MATERIAL	BRICK VENEER
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	SARKING UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

- ACCESSIBLE SANITARY COMPARTMENT: BATH
ACCESSIBLE SHOWER LOCATION: BATH
- GENERAL NOTES:**
- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM
 - 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
 - REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

BA PLAN SET

5	BA PLAN SET - PLANNING RFI - SHADOW DIAGRAM	ALL	2025.10.08	JII	-
4	BA PLAN SET - INITIAL ISSUE, COLOUR UPDATE, VARI 001 - 003	ALL	2025.09.16	PL1	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

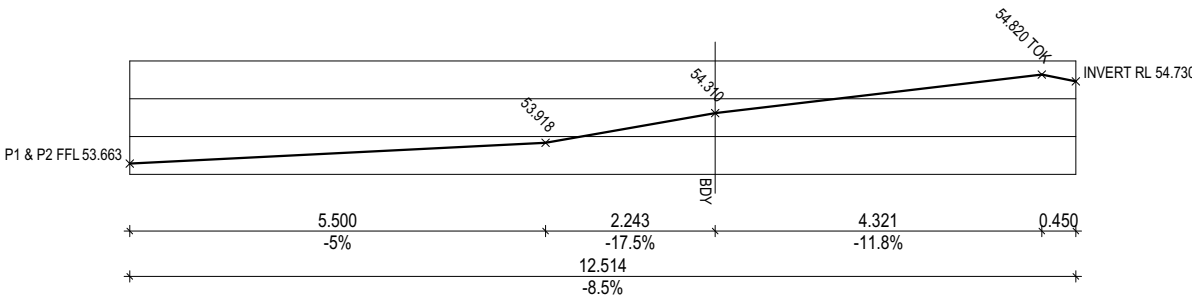
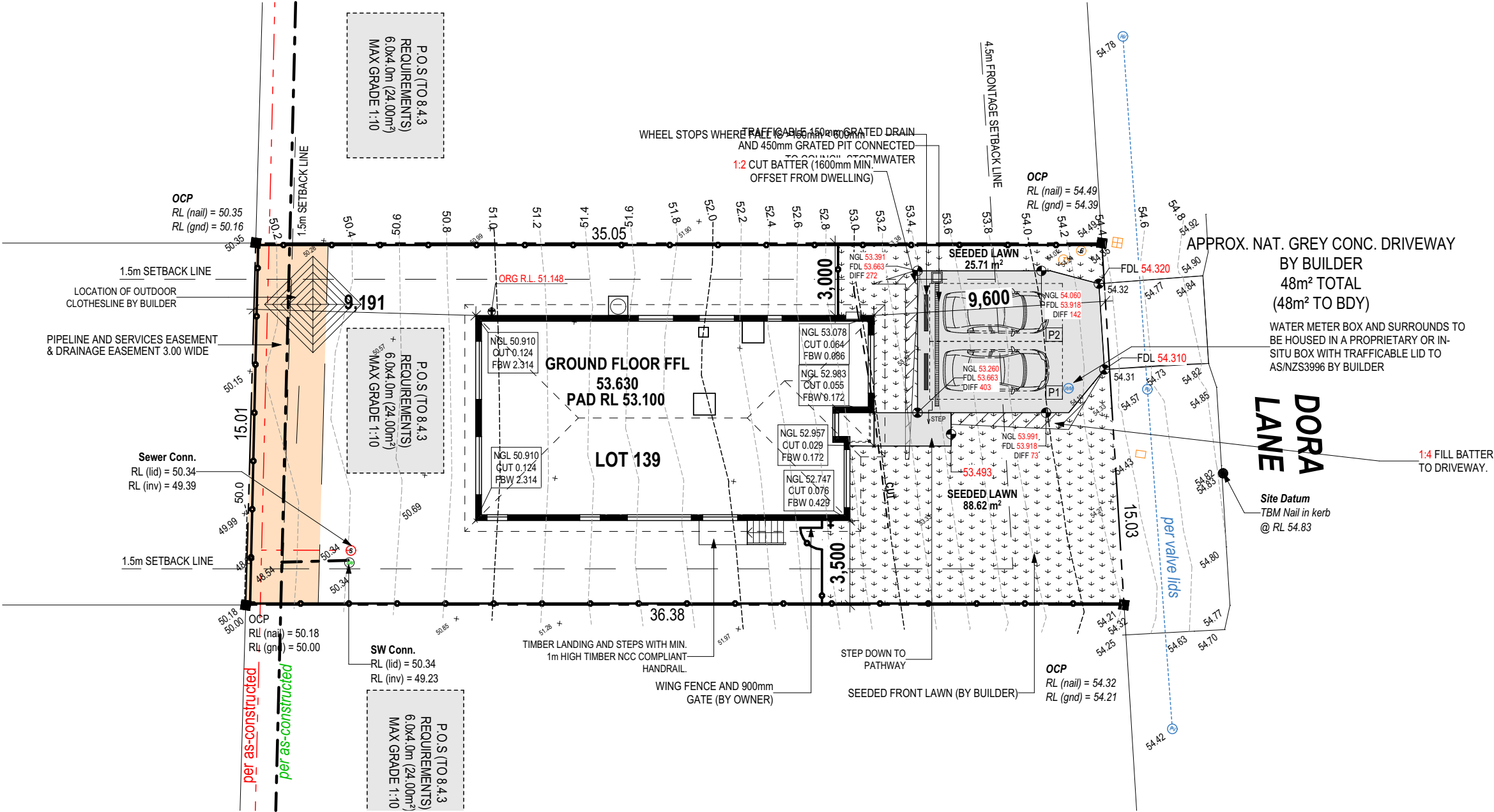
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	COPYRIGHT:	2	DRAFT SALE PLAN - AMENDMENT	HMI	04/07/2025			FACADE DESIGN:		FACADE CODE:		
	© 2025	3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025	5 DORA LANE, ROKEBY TAS 7019		CLASSIC		F-WDCYOR10CLASA		
		4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
		5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	139 / - / 186347	CLARENCE	COVER SHEET	1 / 21		714329	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

APPROX. CUT/FILL		
CUT	0.62m³	1.40t
FILL	0.00m³	0.00t
DIFFERENCE	0.62m³	1.40t
EVEN CUT & FILL		

LOT SIZE:	536m²
HOUSE (COVERED AREA):	137.16m²
SITE COVERAGE:	25.59%



DRIVEWAY DETAILS
SCALE: 1:100

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SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER	
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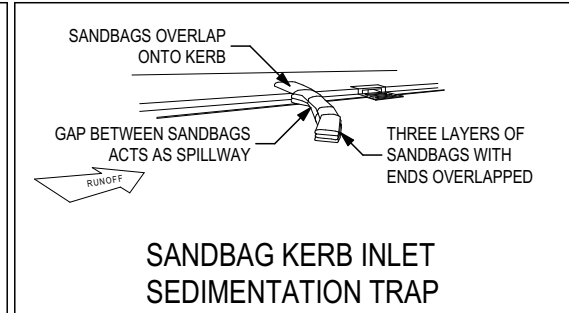
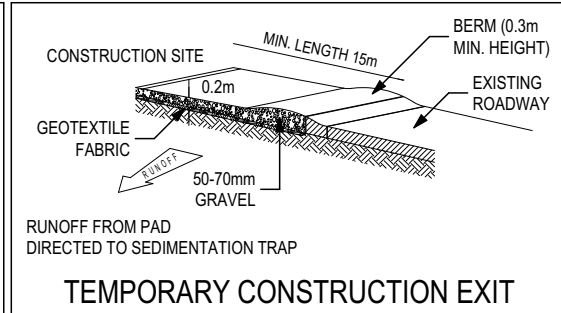
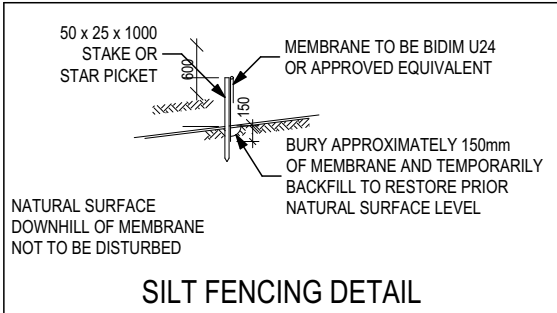
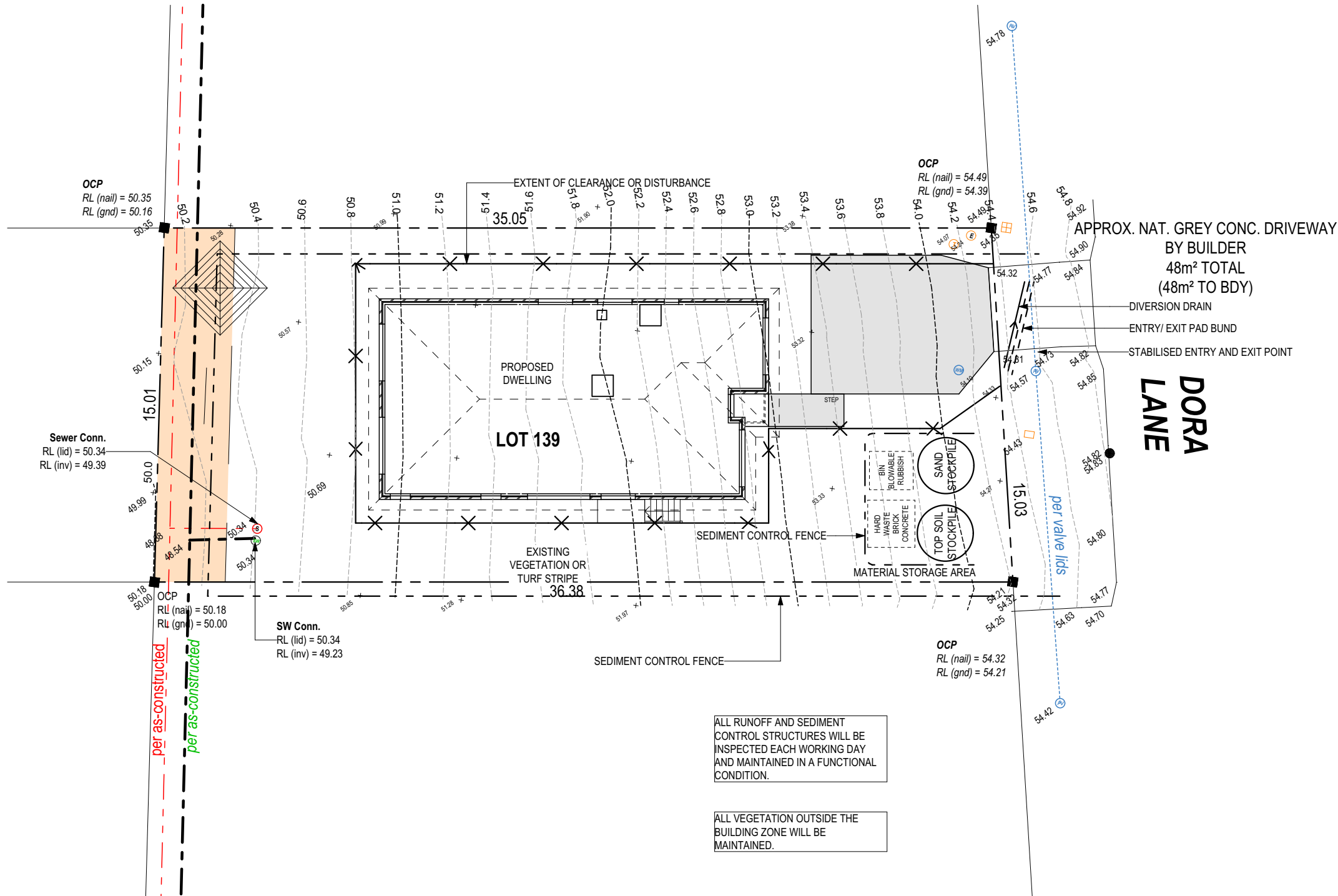
SPECIFICATION: DISCOVERY COPYRIGHT: © 2025	REVISION		DRAWN		HOUSE DESIGN: YORK 14 FACADE DESIGN: CLASSIC SHEET TITLE: SITE PLAN	HOUSE CODE: H-WDCYOR10SA FACADE CODE: F-WDCYOR10CLASA SHEET No.: 2 / 21 SCALES: 1:200, 1:100	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714329
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	2	DRAFT SALE PLAN - AMENDMENT	HMI	04/07/2025			
	3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025			
	4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025			
	5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	LOT / SECTION / CT: 139 / - / 186347 COUNCIL: CLARENCE		

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
 6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
 7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



**SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

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	DISCOVERY	1	DRAFT SALE PLAN - CT1	HMI	13/06/2025			YORK 14		H-WDCYOR10SA	
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	© 2025	3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025			CLASSIC	F-WDCYOR10CLASA		
		4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	
	5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	139 / - / 186347	CLARENCE	SOIL & WATER MANAGEMENT PLAN	3 / 21	1:200	714329	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 2022 REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



LEGEND

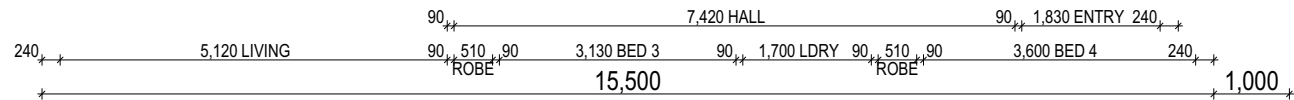
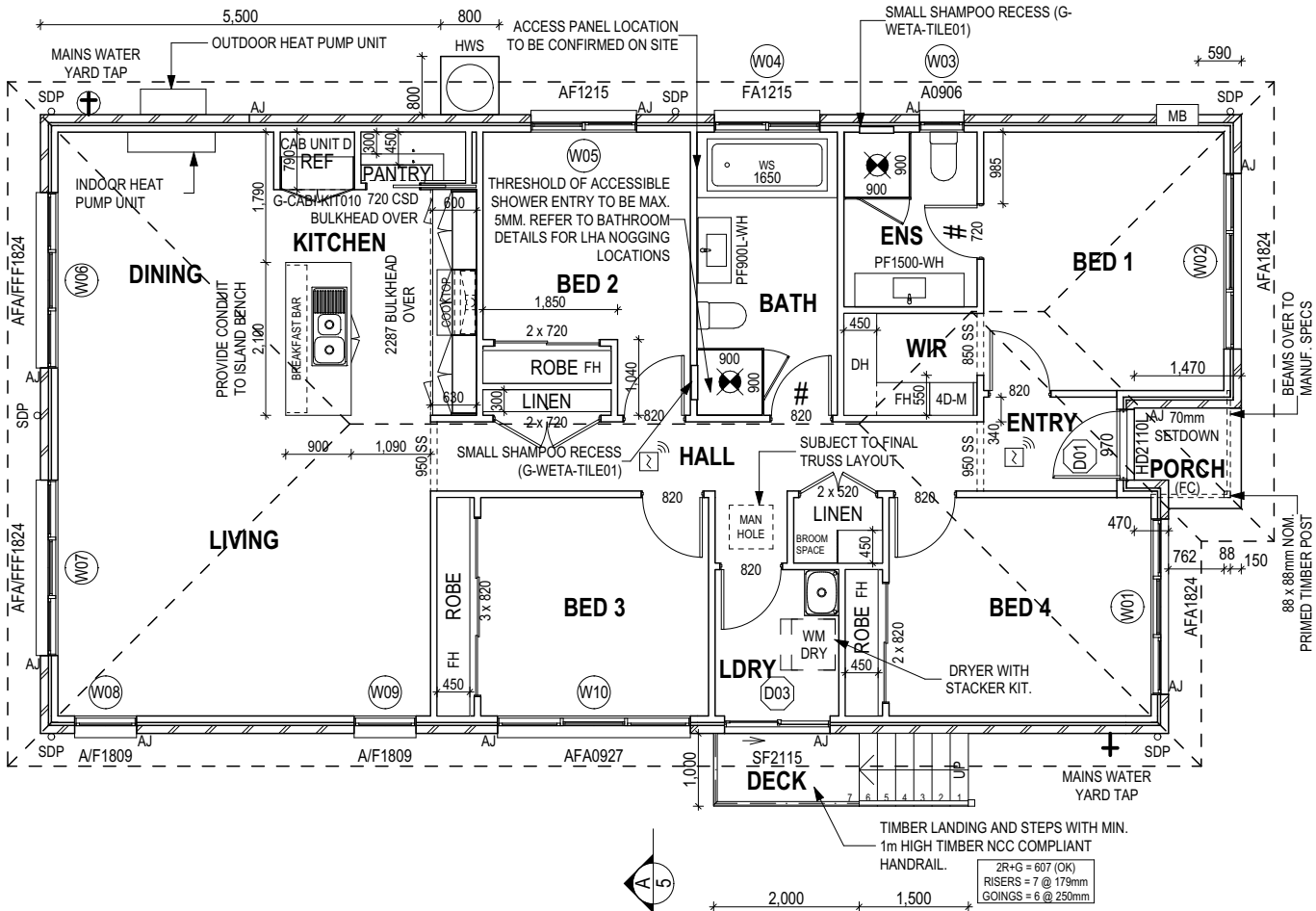
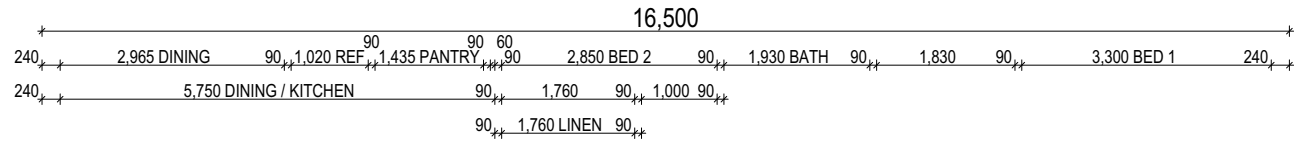
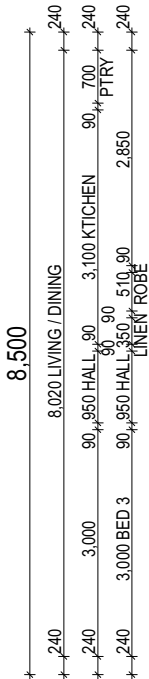
- | | |
|---------|---------------------------|
| HS / WS | HOB SPOUT / WALL SPOUT |
| | FACE BRICK / COMMON BRICK |
| | RENDER |
| | SOUND INSULATION |
| AJ | BRICK ARTICULATION JOINT |
| SDP | STANDARD DOWNPIPE |
| CDP | CHARGED DOWNPIPE |
| 3D | DENOTES DRAWER SIDE |
| | MECHANICAL VENTILATION |
| L.B.W | LOAD BEARING WALL |
| PB | PLASTERBOARD |
| FC | FIBRE CEMENT |
| | THIS DOOR OPENS FIRST |
| | SMOKE ALARM |
| # | LIFT OFF HINGE |
| + | WATER POINT |
| | FLOOR WASTE |
| | GAS BAYONET |

MAIN DWELLING, GROUND FLOOR

LIVING	135.31
PORCH	1.85
	137.16 m²

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



ALL DIMENSIONS ARE FRAME DIMENSIONS

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COPYRIGHT: © 2025	1 DRAFT SALE PLAN - CT1	HMI 13/06/2025	ADDRESS: 5 DORA LANE, ROKEBY TAS 7019	FACADE DESIGN: CLASSIC	
	2 DRAFT SALE PLAN - AMENDMENT	HMI 04/07/2025		SHEET TITLE: GROUND FLOOR PLAN	
	3 PRELIM PLANS - INITIAL ISSUE	TDI 21/07/2025		SHEET No.: 4 / 21	
	4 BA PLAN SET - INITIAL ISSUE	PL1 16/09/2025		SCALES: 1:100	
	5 BA PLAN SET - SHADOW DIAGRAM	JII 08/10/2025	COUNCIL: CLARENCE		

**SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING**

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

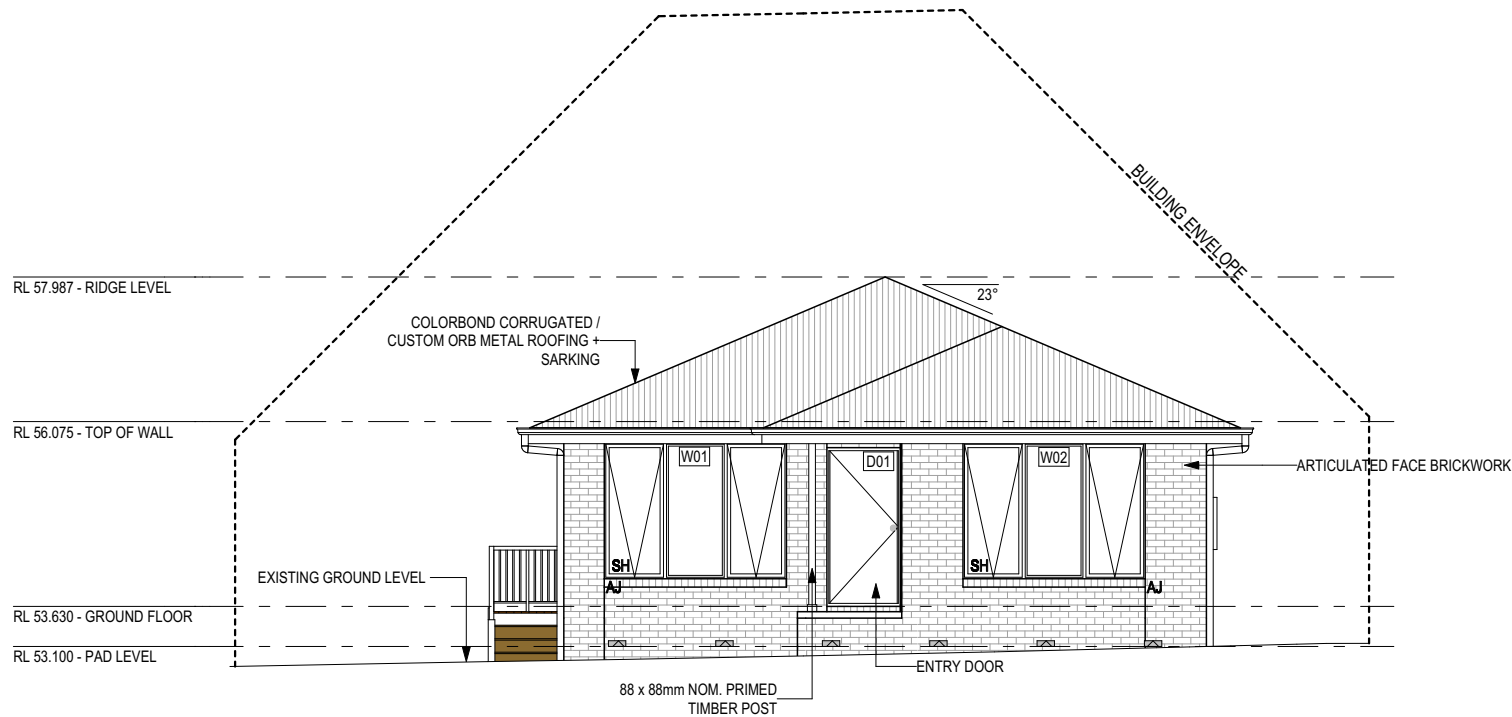
SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

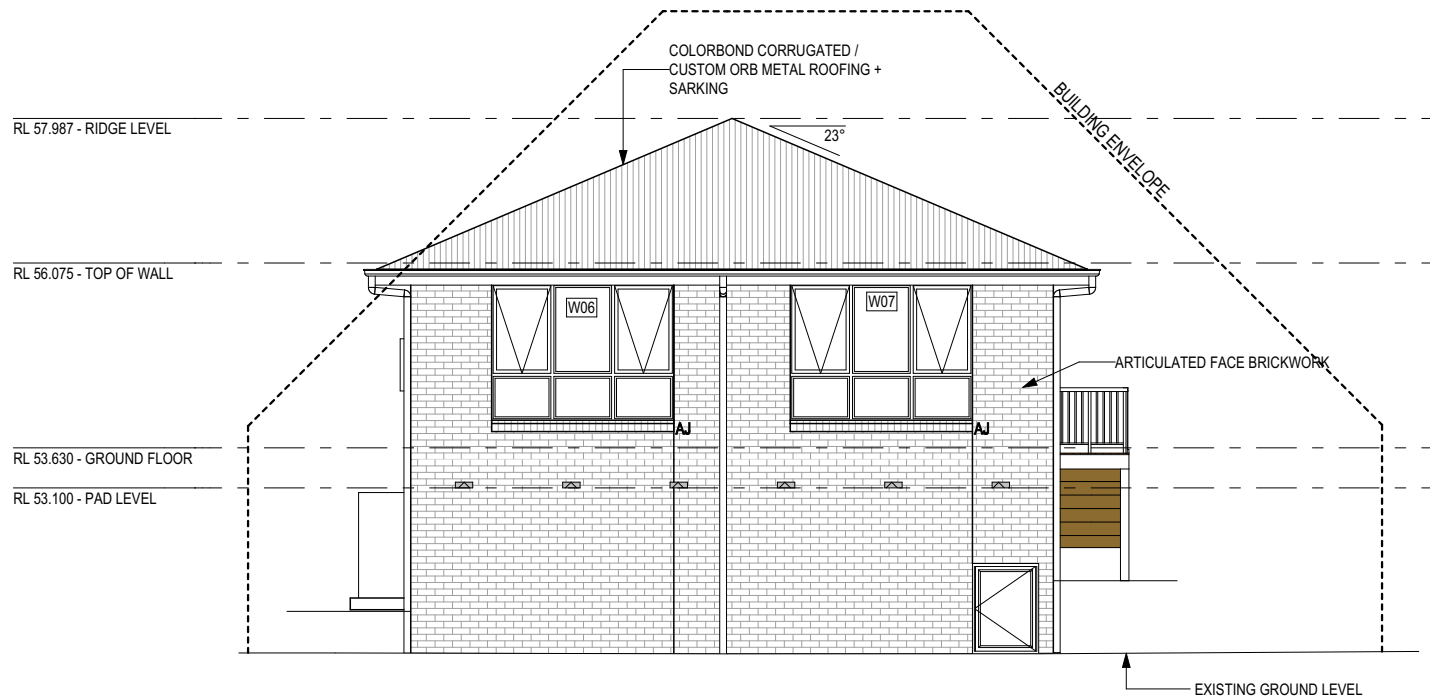
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **W-BRIC-001**

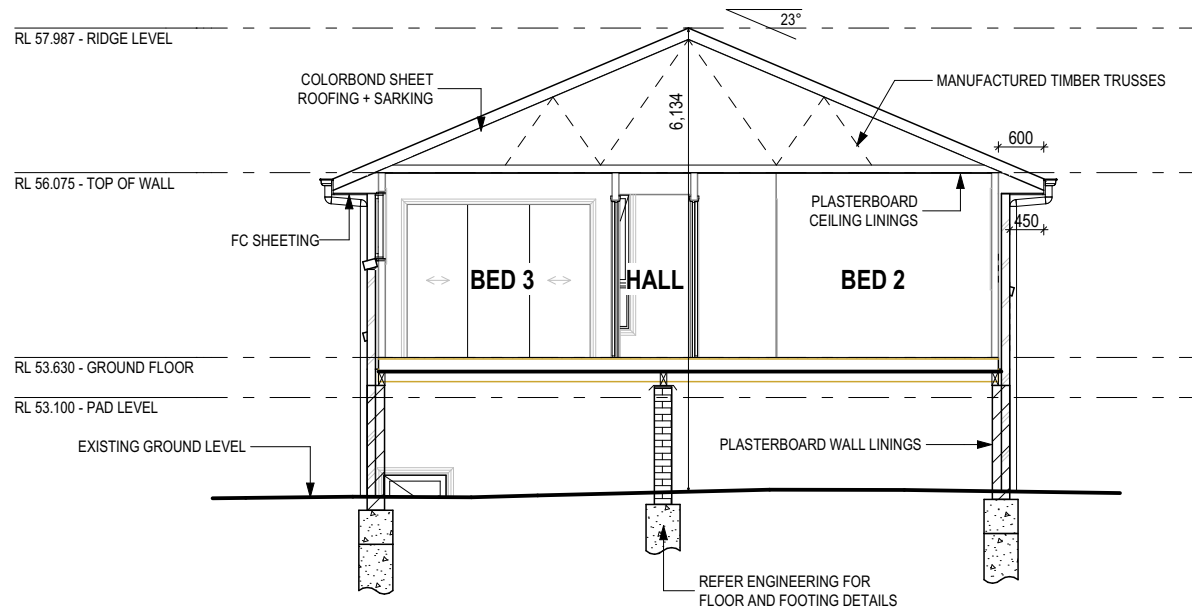


WEST ELEVATION
SCALE: 1:100



EAST ELEVATION
SCALE: 1:100

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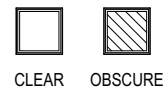
GROUND CLEARANCE IN ACCORDANCE WITH NCC TABLE 3.4.1.2 FOR CLIMATIC ZONE C TO BE 150mm FOR THE FIRST 2m THEN 400mm CLEARANCE FOR ACCESS TO SERVICES.

SECTION A-A
SCALE: 1:100

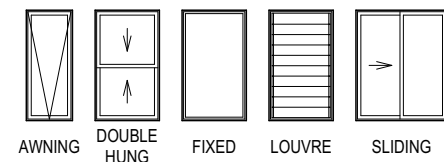
LOW REFLECTANCE GLAZING TO BE USED ON WINDOWS AND GLAZED DOORS AS REQUIRED BY CLA-S4.7.1

**SUBJECT TO NCC 2022
(1 OCTOBER 2024)
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GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

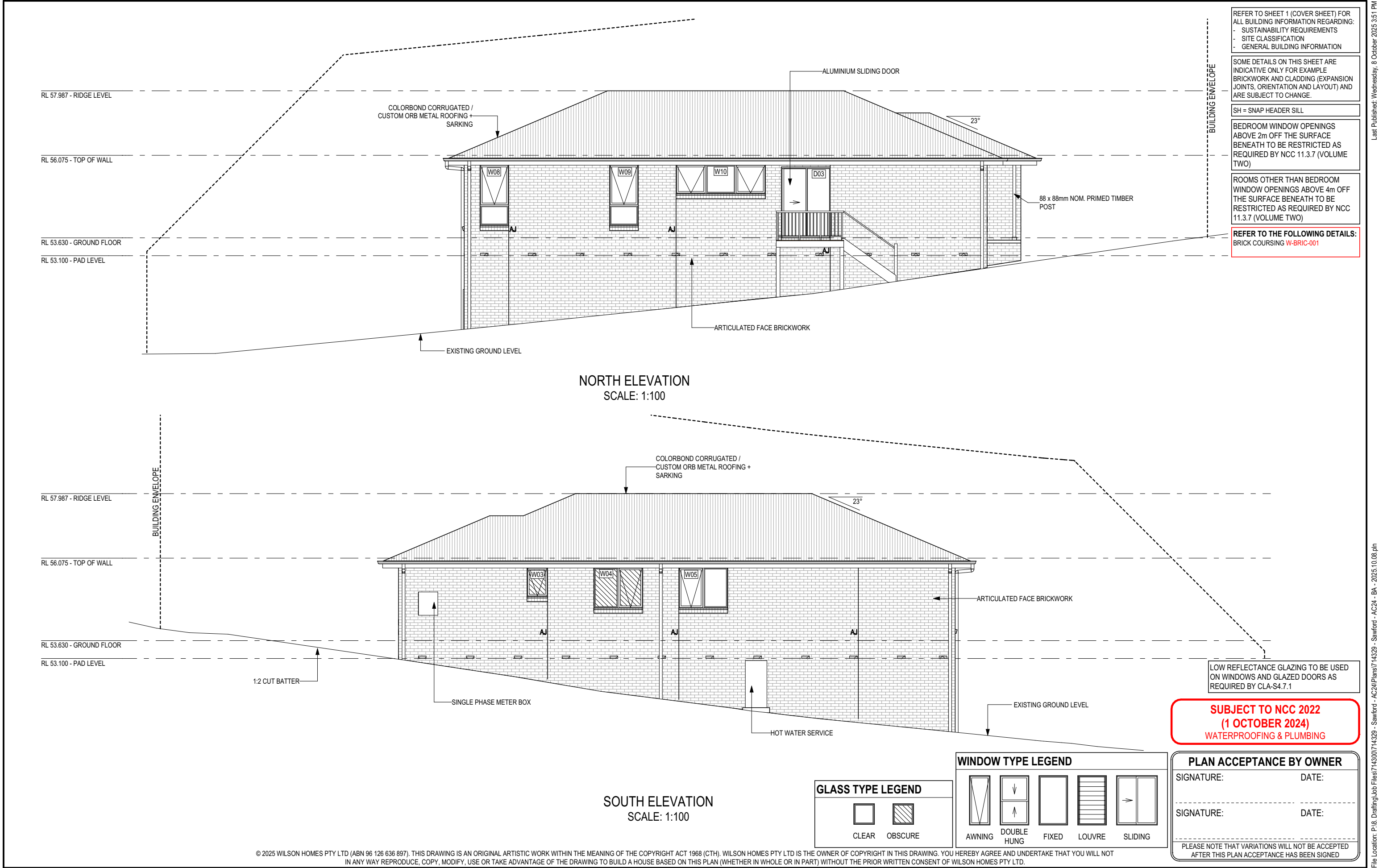
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	3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025			
	4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025			
	5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	LOT / SECTION / CT: 139 / - / 186347 COUNCIL: CLARENCE		



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		2	DRAFT SALE PLAN - AMENDMENT	HMI	04/07/2025	SHEET TITLE: ELEVATIONS		SHEET No.: 6 / 21		
		3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025	SHEET No.: 6 / 21		Scales: 1:100		
		4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025	Scales: 1:100				
		5	BA PLAN SET - SHADOW DIAGRAM	JLI	08/10/2025					

EXTERIOR WINDOW & DOOR SCHEDULE ^{1,2} ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²
WINDOW															
GROUND FLOOR	W01	AFA1824	AWNING	BED 4	1,800	2,410	8,420	4.34	ALUMINIUM	BAL-LOW	SNAP HEADER	W	3.53	CLEAR, DOUBLE GLAZED	MP 803-803
GROUND FLOOR	W02	AFA1824	AWNING	BED 1	1,800	2,410	8,420	4.34	ALUMINIUM	BAL-LOW	SNAP HEADER	W	3.53	CLEAR, DOUBLE GLAZED	MP 803-803
GROUND FLOOR	W03	A0906	AWNING	ENS	857	610	2,934	0.52	ALUMINIUM	BAL-LOW	ANGLED	S	0.35	OBSCURER, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W04	FA1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	S	1.38	OBSCURER, DOUBLE GLAZED, TOUGHENED	MP 725
GROUND FLOOR	W05	AF1215	AWNING	BED 2	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	S	1.38	CLEAR, DOUBLE GLAZED	MP 725
GROUND FLOOR	W06	AFA/FFF1824	AWNING	DINING	1,800	2,410	8,420	4.34	ALUMINIUM	BAL-LOW	ANGLED	E	3.43	CLEAR, DOUBLE GLAZED	BP 600, MP 803-803/803-803
GROUND FLOOR	W07	AFA/FFF1824	AWNING	LIVING	1,800	2,410	8,420	4.34	ALUMINIUM	BAL-LOW	ANGLED	E	3.43	CLEAR, DOUBLE GLAZED	BP 600, MP 803-803/803-803
GROUND FLOOR	W08	A/F1809	AWNING	LIVING	1,800	850	5,300	1.53	ALUMINIUM	BAL-LOW	ANGLED	N	1.19	CLEAR, DOUBLE GLAZED	BP 600
GROUND FLOOR	W09	A/F1809	AWNING	LIVING	1,800	850	5,300	1.53	ALUMINIUM	BAL-LOW	ANGLED	N	1.19	CLEAR, DOUBLE GLAZED	BP 600
GROUND FLOOR	W10	AFA0927	AWNING	BED 3	857	2,650	7,014	2.27	ALUMINIUM	BAL-LOW	ANGLED	N	1.74	CLEAR, DOUBLE GLAZED	MP 883-883
								26.69					21.15		
DOOR															
MESH	D00	820	SWINGING	<Undefined>	1,200	876	4,152	1.05	ALUMINIUM	N/A	SNAP HEADER	E	0.64	CLEAR	
GROUND FLOOR	D01	HD2110L	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	BAL-LOW	SNAP HEADER	W	1.41	N/A	
GROUND FLOOR	D03	SF2115	SLIDING	LDRY	2,100	1,450	7,100	3.05	ALUMINIUM	BAL-LOW	SNAP HEADER	N	2.59	CLEAR, DOUBLE GLAZED, TOUGHENED	
								6.14					4.64		
								32.83					25.79		

LOW REFLECTANCE GLAZING TO BE USED ON WINDOWS AND GLAZED DOORS AS REQUIRED BY CLA-S4.7.1

Window Manufacturer: Dowell Windows

No BAL / BAL 12.5 Window Type Sliding Window Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door Bi-Fold Door	WERS Code	U Value	SHGC
	DOW-022-003	2.9	0.64
	DOW-005-001	3.9	0.58
	DOW-038-001	3.03	0.71
	DAR-034-001	3.97	0.63
	DAR-034-001	3.97	0.63
	DOW-017-001	4.1	0.55
	DOW-020-001	4.1	0.54
BAL 19 Window Type Sliding Window Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door Bi-Fold Door	WERS Code	U Value	SHGC
	TND-034-001	3.1	0.61
	STG-001-066	3.91	0.54
	DOW-038-005	3.02	0.66
	AUW-009-009	4.03	0.58
	AUW-009-009	4.03	0.58
	GRN-009-001	4.25	0.53
	DOW-020-001	4.1	0.54
BAL 29 Window Type Sliding Window Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door	WERS Code	U Value	SHGC
	TND-034-001	3.1	0.61
	STG-001-066	3.91	0.54
	DOW-038-005	3.02	0.66
	AMJ-007-005	4.03	0.59
	AMJ-007-005	4.03	0.59
	GRN-009-001	4.29	0.53

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

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INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	2 x 520	SWINGING	2,040	1,040	N/A	
GROUND FLOOR	1	2 x 720	ROBEMAKER SLIDING	2,040	1,460	N/A	
GROUND FLOOR	1	2 x 720	SWINGING	2,040	1,440	N/A	
GROUND FLOOR	1	2 x 820	ROBEMAKER SLIDING	2,040	1,660	N/A	
GROUND FLOOR	1	3 x 820	ROBEMAKER SLIDING	2,040	2,460	N/A	
GROUND FLOOR	1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
GROUND FLOOR	1	720 CSD	CAVITY SLIDING	2,040	720	N/A	
GROUND FLOOR	5	820	SWINGING	2,040	820	N/A	
GROUND FLOOR	1	820	SWINGING	2,040	820	N/A	LIFT-OFF HINGES
GROUND FLOOR	1	850 SS	SQUARE SET OPENING	2,155	850	N/A	
GROUND FLOOR	2	950 SS	SQUARE SET OPENING	2,155	950	N/A	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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- SITE CLASSIFICATION
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NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

PICTURE, TV RECESS AND SS WINDOW OPENINGS

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)
-----	------	--------	-------	-----------

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COPYRIGHT: © 2025	1	DRAFT SALE PLAN - CT1	HMI	13/06/2025		FACADE DESIGN: CLASSIC	FACADE CODE: F-WDCYOR10CLASA	
	2	DRAFT SALE PLAN - AMENDMENT	HMI	04/07/2025		SHEET TITLE: WINDOW & DOOR SCHEDULES	SHEET No.: 7 / 21	
	3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025				
	4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025	LOT / SECTION / CT: 139 / - / 186347	COUNCIL: CLARENCE		
	5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025				

NATURAL LIGHT AND VENTILATION

ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ'D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN/ LIVING/ DINING	42.12 m²	W06, W07, W08, W09	4.21 m²	9.24 m²	2.11 m²	5.44 m²
BED 1	11.71 m²	W02	1.17 m²	3.53 m²	0.59 m²	2.68 m²
BED 2	10.06 m²	W05	1.01 m²	1.38 m²	0.50 m²	0.79 m²
BED 3	10.92 m²	W10	1.09 m²	1.74 m²	0.55 m²	1.38 m²
BED 4	11.83 m²	W01	1.18 m²	3.53 m²	0.59 m²	2.68 m²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)
PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

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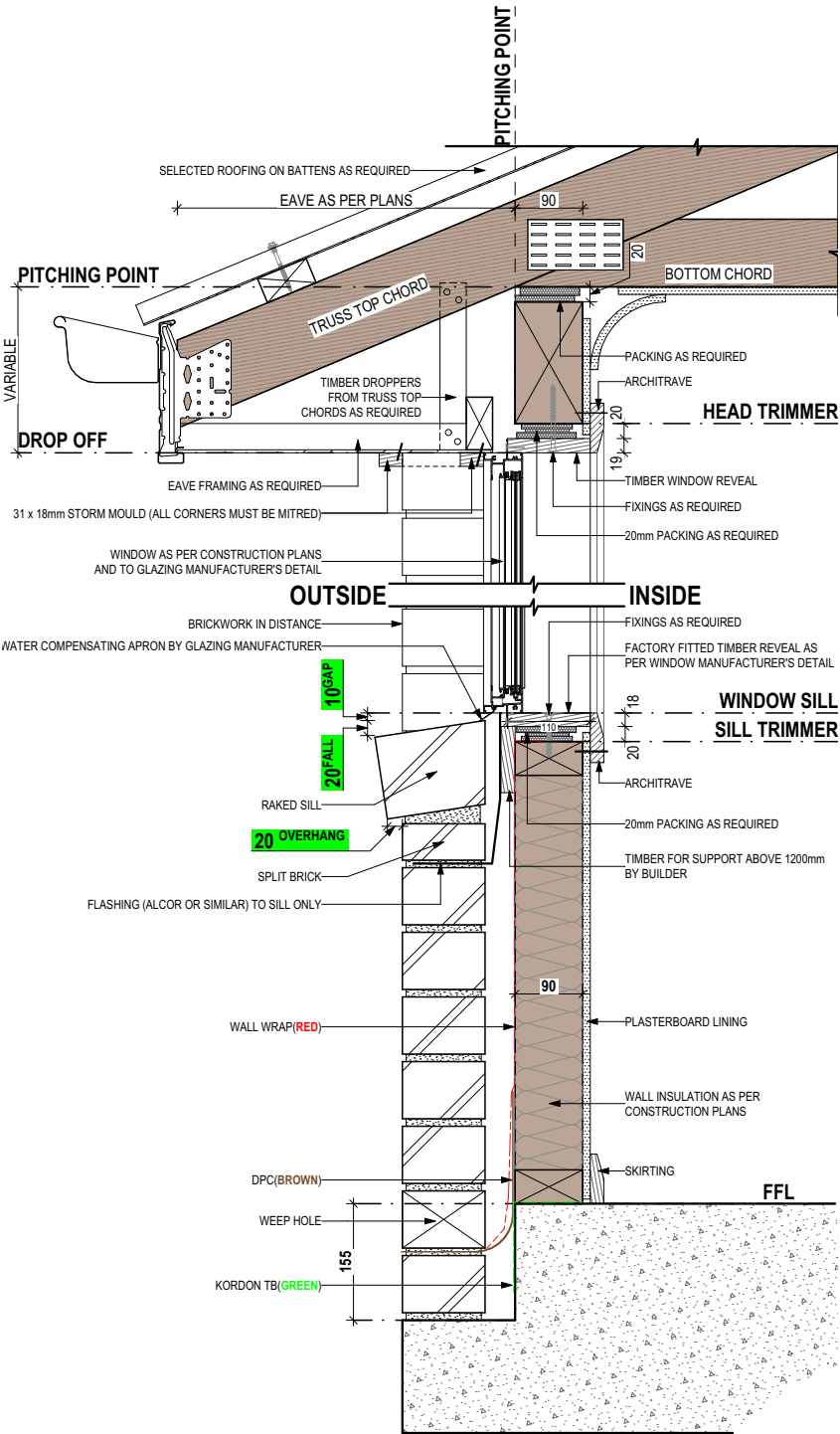
PLAN ACCEPTANCE BY OWNER

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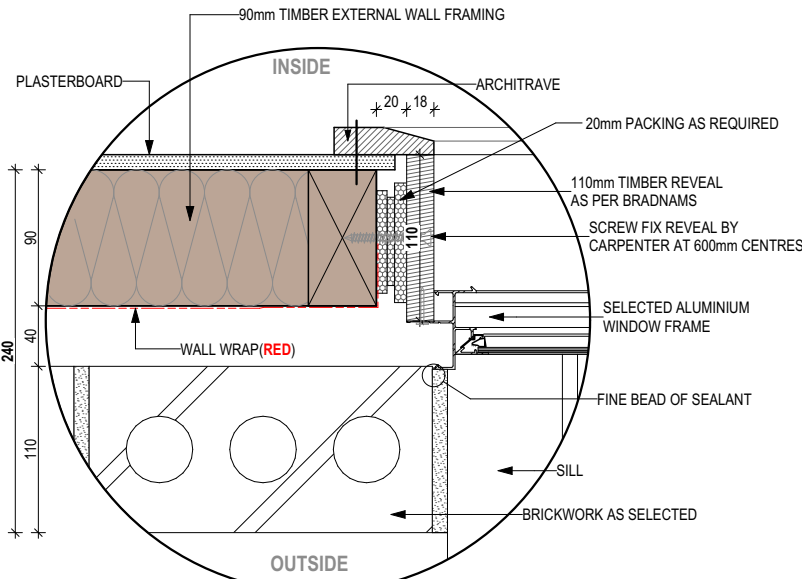
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		2	DRAFT SALE PLAN - AMENDMENT	HMI 04/07/2025		SHEET TITLE: CALCULATIONS	SCALES:	
		3	PRELIM PLANS - INITIAL ISSUE	TDI 21/07/2025	ADDRESS: 5 DORA LANE, ROKEBY TAS 7019		SHEET No.: 8 / 21	714329
		4	BA PLAN SET - INITIAL ISSUE	PL1 16/09/2025	LOT / SECTION / CT: 139 / - / 186347	COUNCIL: CLARENCE		
		5	BA PLAN SET - SHADOW DIAGRAM	JII 08/10/2025				



SECTIONS
SCALE: 1:10



DETAILS
SCALE: 1:5

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		2	DRAFT SALE PLAN - AMENDMENT	HMI	04/07/2025	SHEET TITLE: DETAILS (FACE BRICKWORK)		SHEET No.: 9 / 21				
		3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025	COUNCIL: CLARENCE		SCALES:				
		4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025	LOT / SECTION / CT: 139 / - / 186347						
		5	BA PLAN SET - SHADOW DIAGRAM	JLI	08/10/2025					714329		

Last Published: Wednesday, 8 October 2025 3:51 PM

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

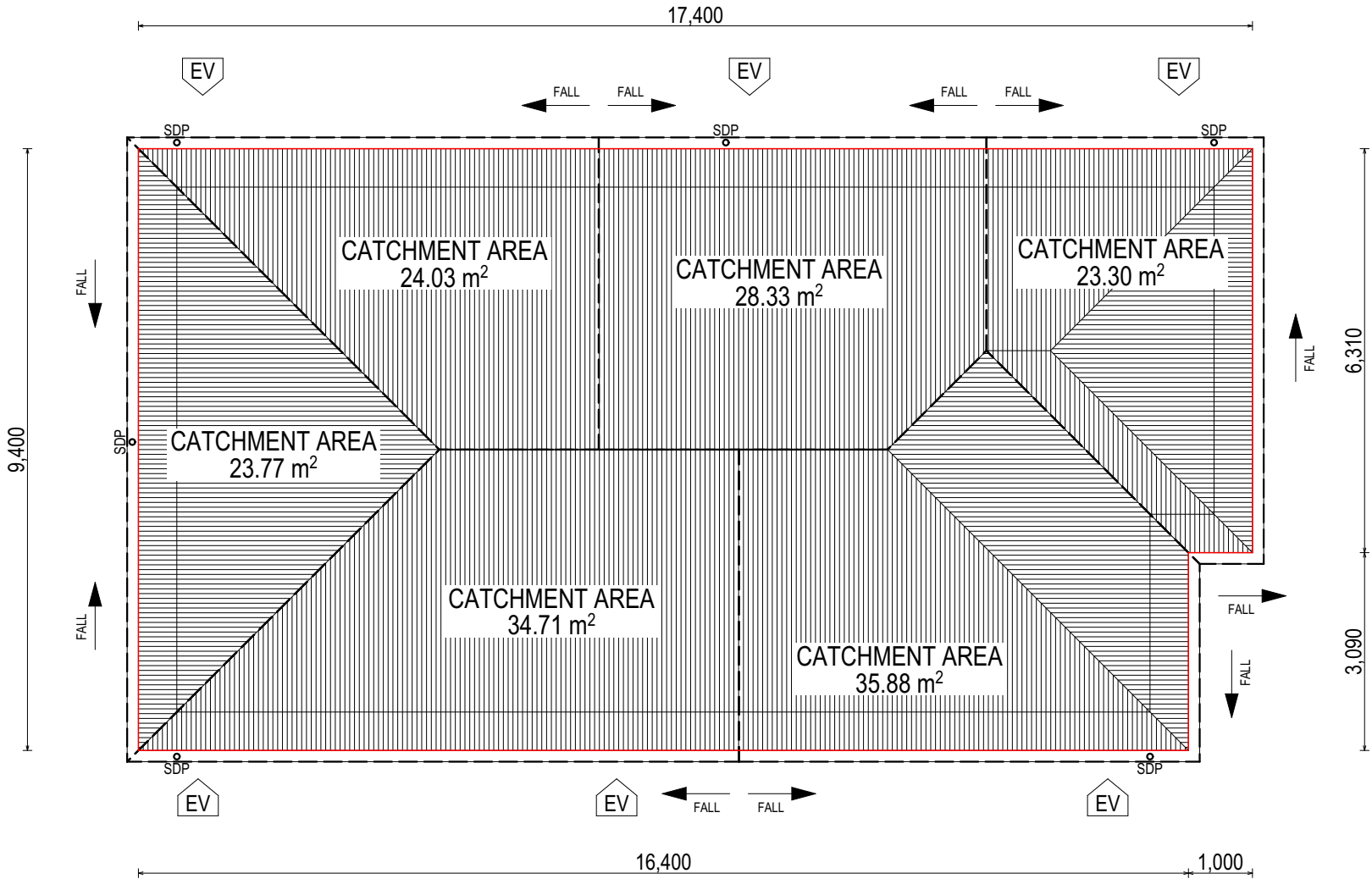
AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	160.47	Flat Roof Area (excluding gutter and slope factor) (m²)
	174.33	Roof Surface Area (includes slope factor, excludes gutter) (m²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	170.02	Area of roof catchment (including 115mm Slotted Quad Gutter) (m²)
Ac	205.72	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m²)
Required Downpipes	3.21	Ac / Acdp
Downpipes Provided	6	

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DISCOVERY		1	DRAFT SALE PLAN - CT1	HMI	13/06/2025			YORK 14			H-WDCYOR10SA	
COPYRIGHT:		2	DRAFT SALE PLAN - AMENDMENT	HMI	04/07/2025	FACADE DESIGN:		FACADE CODE:				
© 2025		3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025			F-WDCYOR10CLASA				
		4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025	SHEET TITLE:		SHEET No.:	SCALES:			
		5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	139 / - / 186347		CLARENCE	ROOF DRAINAGE PLAN	11 / 21	1:100	714329
						5 DORA LANE, ROKEBY TAS 7019						



For Roofs With >15 - <75 Degree Roof Pitch.

Longest Horizontal Dimension of Roof (m)

Ventilation Surface Area Required (Eave Ventilation - 7,000mm2/ m)

Ventilation Surface Area Required (Ridge Ventilation - 5,000mm2 /m)

Ventilation Area (m2) per Whirlybird (if used)

Ventilation Area per Eave Vents (mm2) (min. 418 x 200mm)

Minimum required soffit ventilation (eave vents) NB: to be evenly spaced around soffit

Ridge ventilation to be provided by continuous gap to ridge cappings

AS3959 Compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones

17.4

121800

87000

0.07

23700

6

EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

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FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

NO COVERING

COVER GRADE CONCRETE

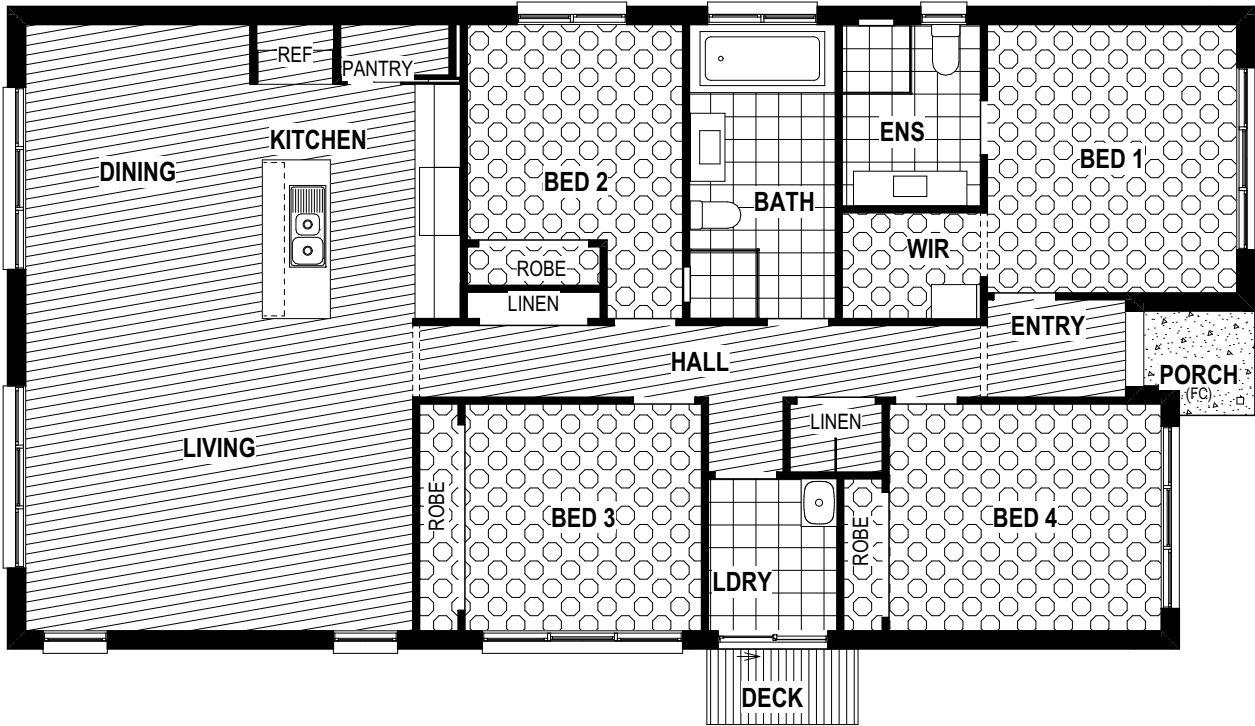
CARPET

LAMINATE

TILE (STANDARD WET AREAS)

TILE (UPGRADED AREAS)

DECKING



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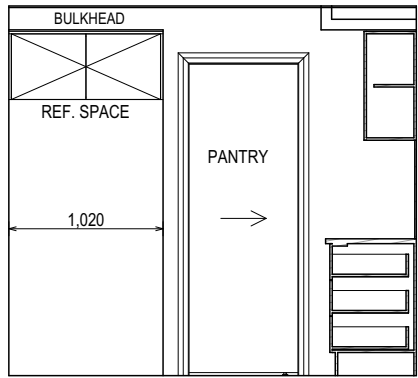
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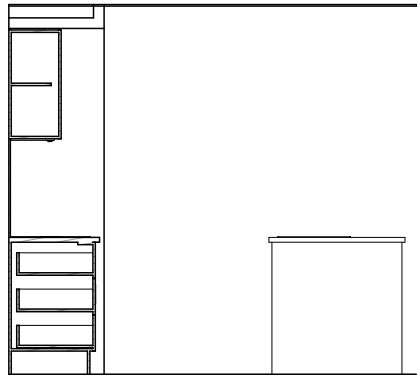
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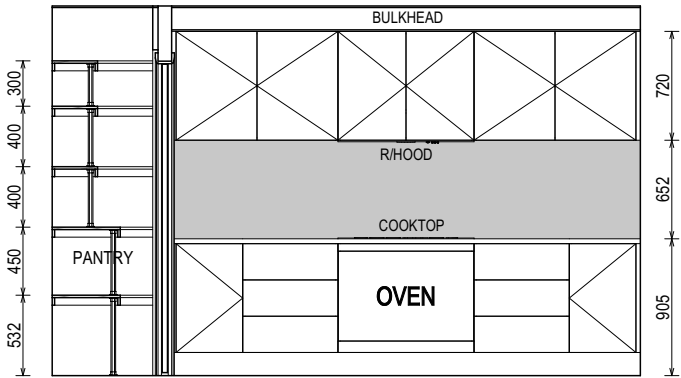
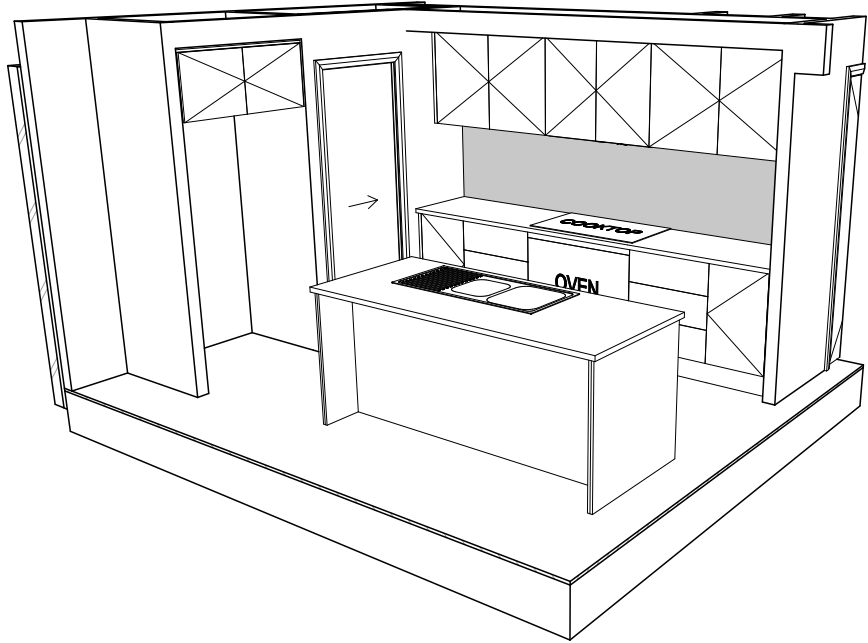
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	1	DRAFT SALE PLAN - CT1	HMI 13/06/2025				
	2	DRAFT SALE PLAN - AMENDMENT	HMI 04/07/2025				
	3	PRELIM PLANS - INITIAL ISSUE	TDI 21/07/2025				
	4	BA PLAN SET - INITIAL ISSUE	PL1 16/09/2025				
COPYRIGHT: © 2025	5	BA PLAN SET - SHADOW DIAGRAM	JII 08/10/2025	LOT / SECTION / CT: 139 / - / 186347	COUNCIL: CLARENCE	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDCYOR10CLASA
					SHEET TITLE: FLOOR COVERINGS	SHEET No.: 12 / 21	SCALES: 1:100
							714329



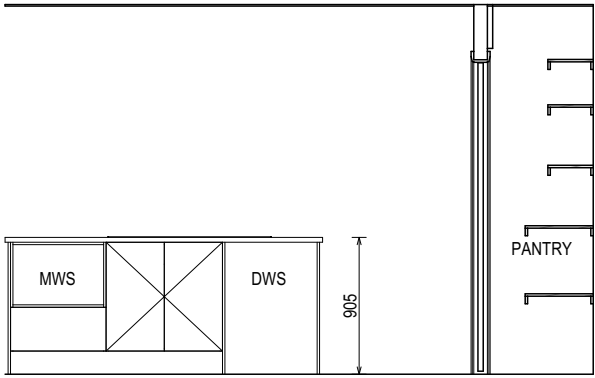
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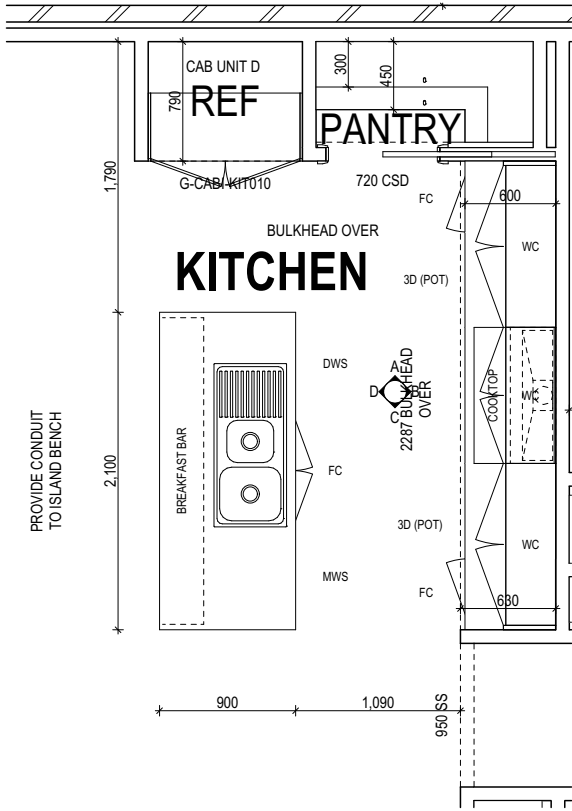
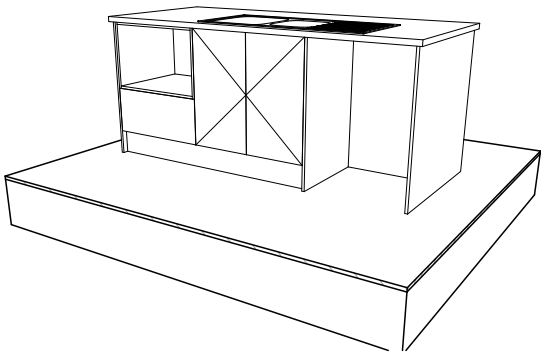
ELEVATION C
SCALE: 1:50



ELEVATION B
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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- GENERAL BUILDING INFORMATION

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 Document Set ID: 5313070	SPECIFICATION: DISCOVERY		REVISION	DRAWN		[Redacted]	HOUSE DESIGN: YORK 14		HOUSE CODE: H-WDCYOR10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714329		
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		2	DRAFT SALE PLAN - AMENDMENT	HMI	04/07/2025	ADDRESS: 5 DORA LANE, ROKEBY TAS 7019						
		3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025	LOT / SECTION / CT: 139 / - / 186347		COUNCIL: CLARENCE	SHEET TITLE: KITCHEN DETAILS		SHEET No.: 13 / 21	SCALES: 1:50
		4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025							
	5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025								

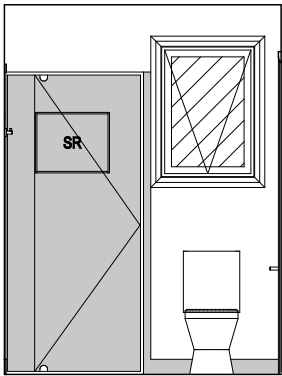
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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- GENERAL BUILDING INFORMATION

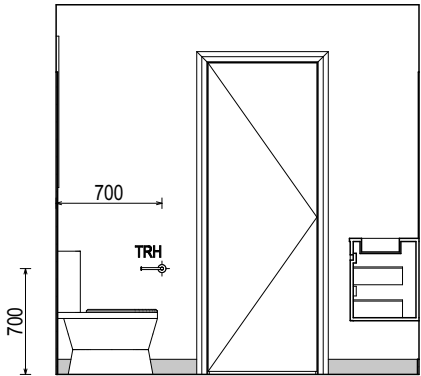
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LEGEND

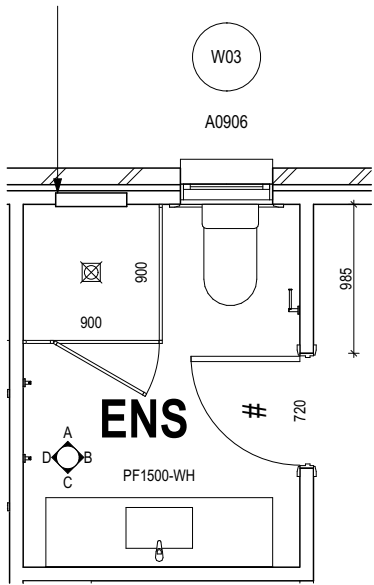
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



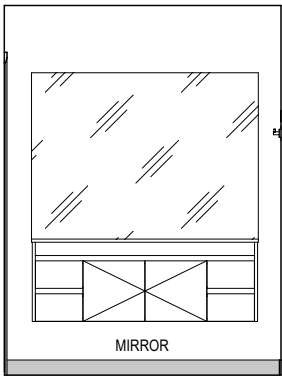
ELEVATION A
SCALE: 1:50



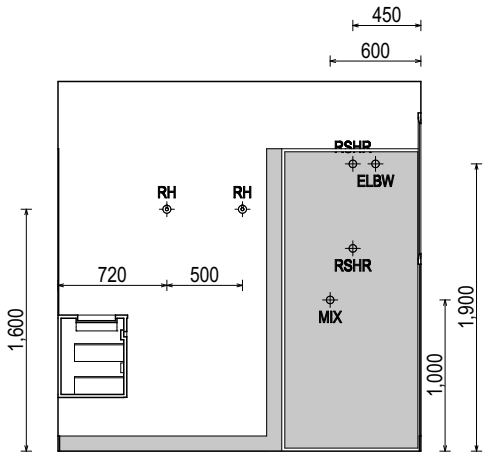
ELEVATION B
SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
"SMALL"	470 x 380mm	WIDTH 548mm	HEIGHT 446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

**SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

ALL DIMENSIONS ARE FRAME DIMENSIONS

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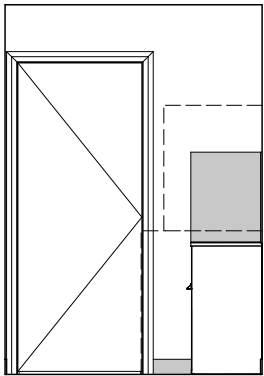


SPECIFICATION: DISCOVERY	REVISION	DRAWN	HOUSE DESIGN: YORK 14	HOUSE CODE: H-WDCYOR10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714329
COPYRIGHT: © 2025	1 DRAFT SALE PLAN - CT1	HMI 13/06/2025	ADDRESS: 5 DORA LANE, ROKEBY TAS 7019	FACADE DESIGN: CLASSIC	
	2 DRAFT SALE PLAN - AMENDMENT	HMI 04/07/2025		SHEET TITLE: ENSUITE DETAILS	
	3 PRELIM PLANS - INITIAL ISSUE	TDI 21/07/2025		SHEET No.: 15 / 21	
	4 BA PLAN SET - INITIAL ISSUE	PL1 16/09/2025	LOT / SECTION / CT: 139 / - / 186347	SCALES: 1:50	
	5 BA PLAN SET - SHADOW DIAGRAM	JII 08/10/2025	COUNCIL: CLARENCE		

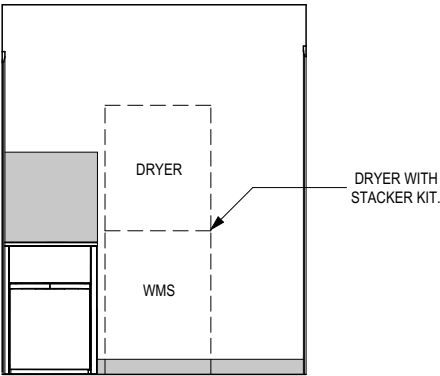
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

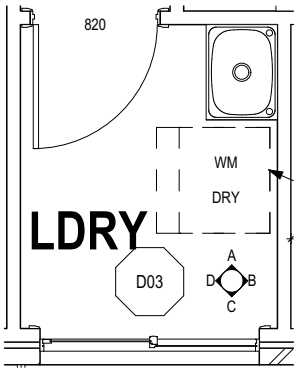
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY



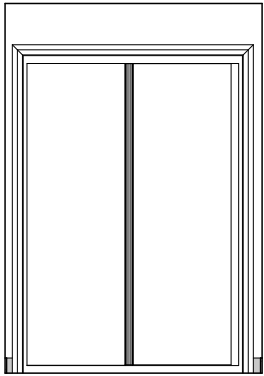
ELEVATION A
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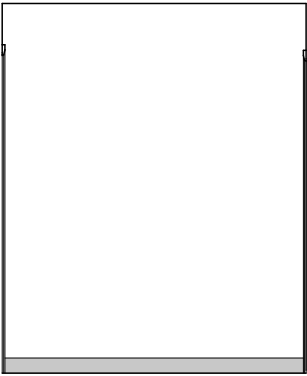
ELEVATION B
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

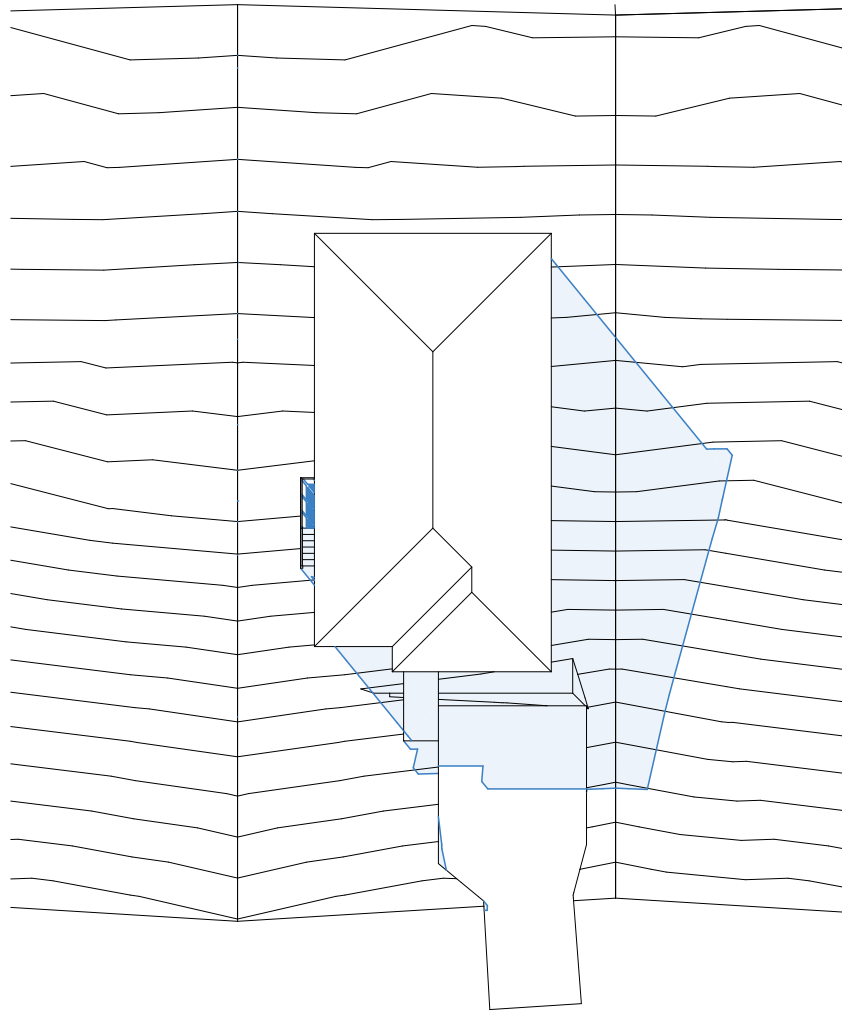
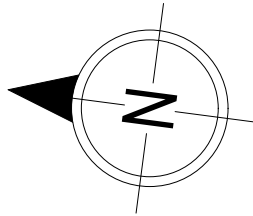
SIGNATURE: DATE:

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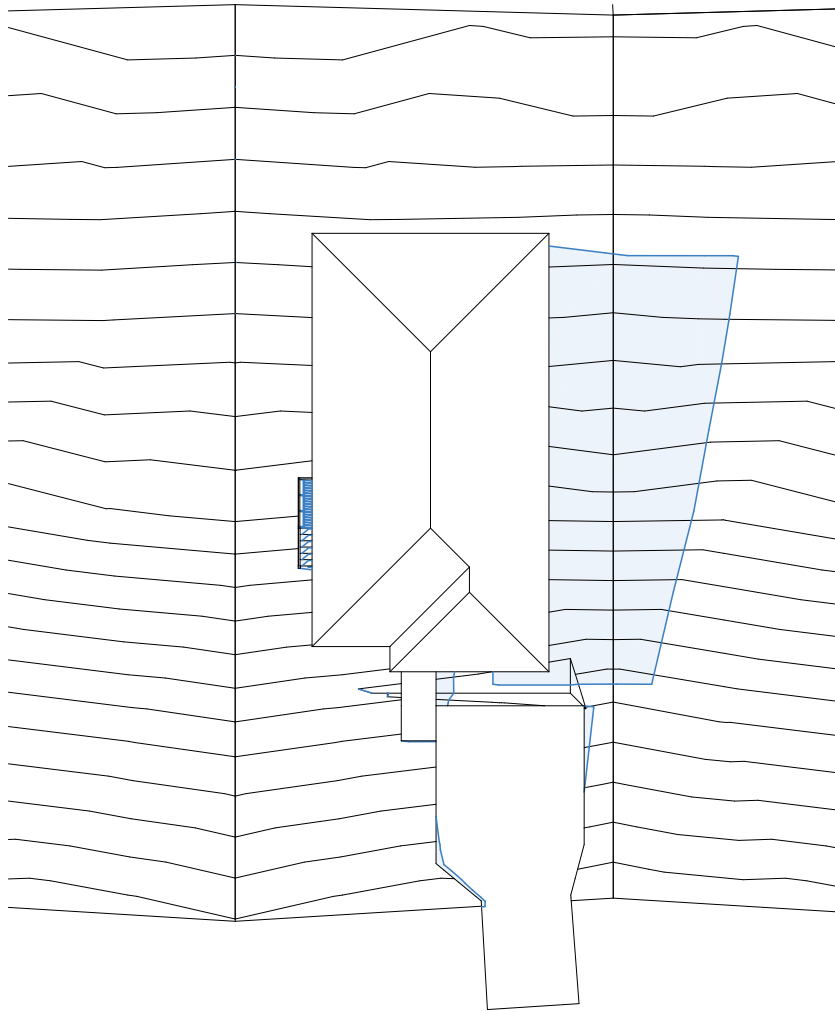
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	COPYRIGHT: © 2025	1	DRAFT SALE PLAN - CT1	HMI 13/06/2025		FACADE DESIGN: CLASSIC	FACADE CODE: F-WDCYOR10CLASA	
		2	DRAFT SALE PLAN - AMENDMENT	HMI 04/07/2025		SHEET TITLE: LAUNDRY DETAILS	SHEET No.: 16 / 21	
		3	PRELIM PLANS - INITIAL ISSUE	TDI 21/07/2025			SCALES: 1:50	
		4	BA PLAN SET - INITIAL ISSUE	PL1 16/09/2025				
		5	BA PLAN SET - SHADOW DIAGRAM	JII 08/10/2025	LOT / SECTION / CT: 139 / - / 186347	COUNCIL: CLARENCE		714329



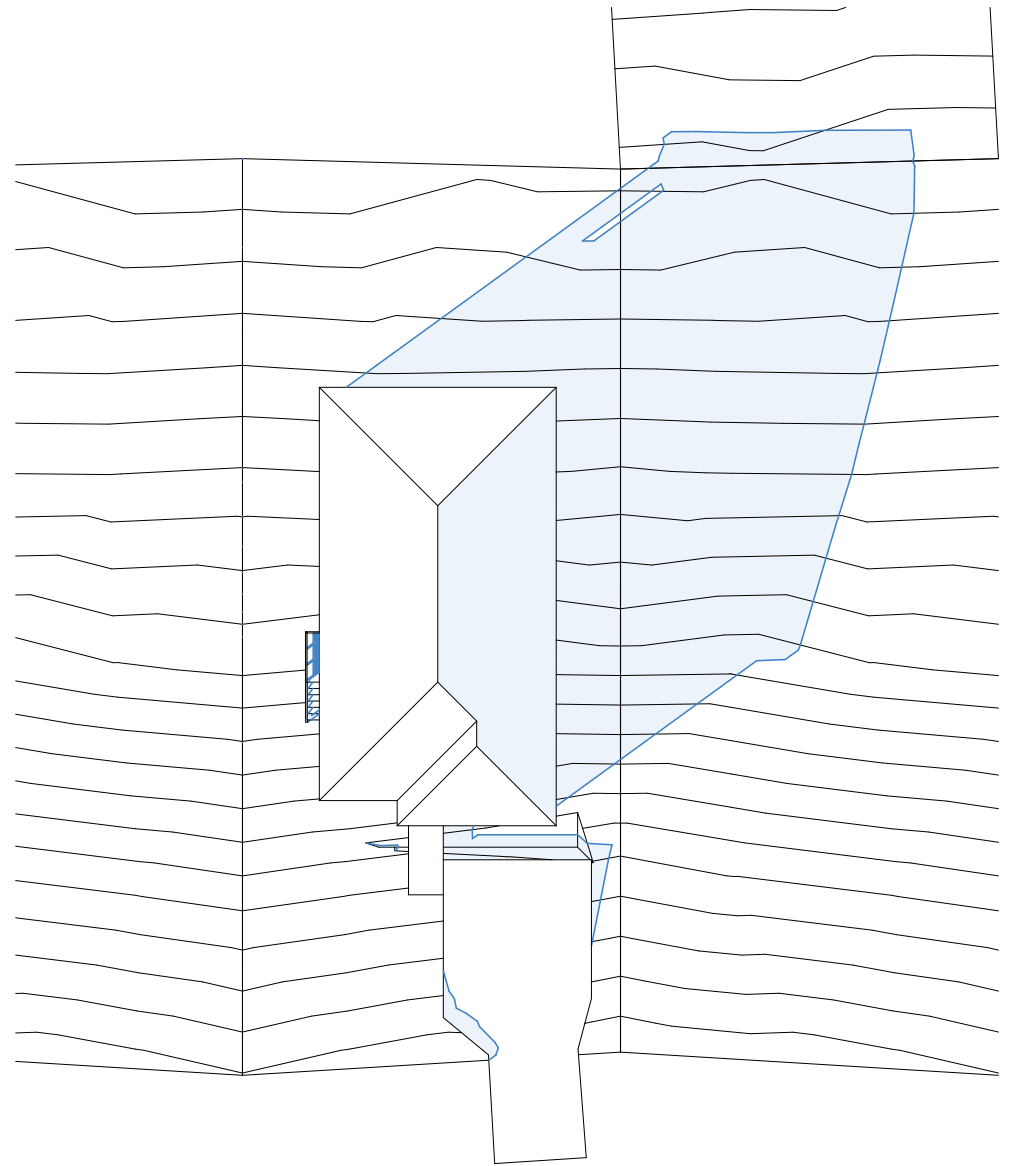
JUNE 21 - 0900

DORA LANE



JUNE 21 - 1200

DORA LANE



JUNE 21 - 1500

DORA LANE

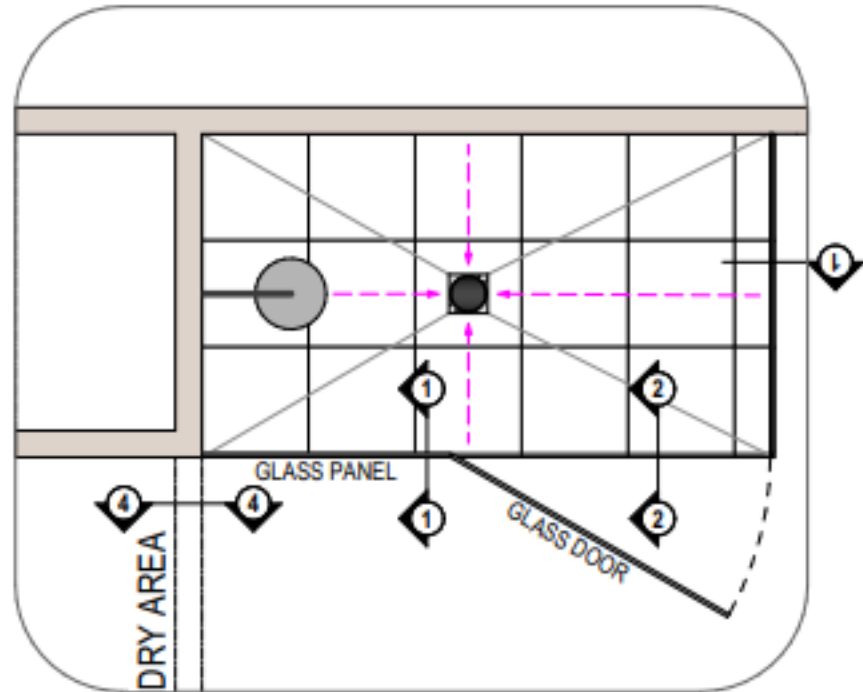
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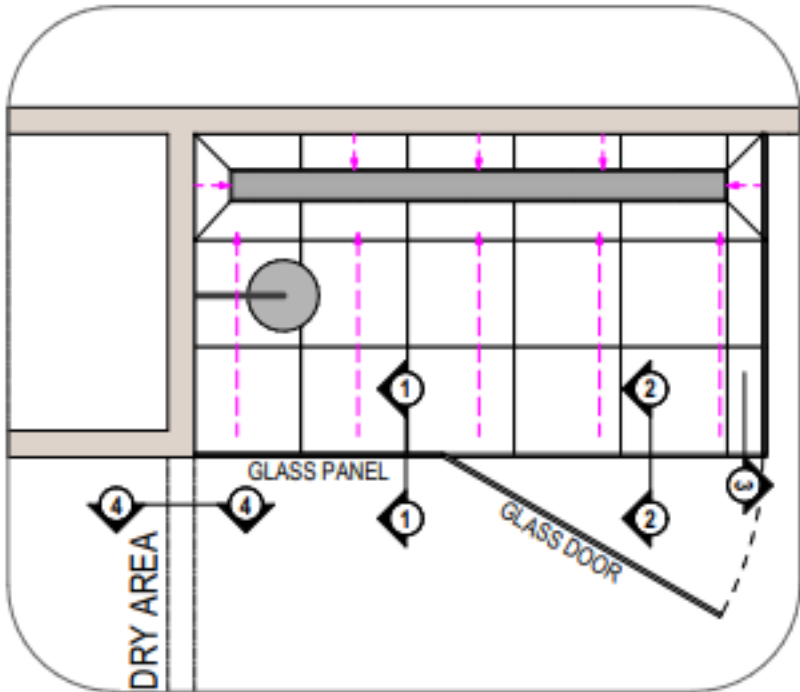
SPECIFICATION: DISCOVERY		REVISION	DRAWN		HOUSE DESIGN: YORK 14	HOUSE CODE: H-WDCYOR10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714329
COPYRIGHT: © 2025	1	DRAFT SALE PLAN - CT1	HMI	13/06/2025	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDCYOR10CLASA	
	2	DRAFT SALE PLAN - AMENDMENT	HMI	04/07/2025	SHEET TITLE: SHADOW DIAGRAMS - JUNE 21	SHEET No.: 17 / 21	
	3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025		SCALES: 1:300	
	4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025			
	5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	LOT / SECTION / CT: 139 / - / 186347	COUNCIL: CLARENCE	
				ADDRESS: 5 DORA LANE, ROKEBY TAS 7019			

STANDARD SHOWER & WATERPROOFING DETAIL

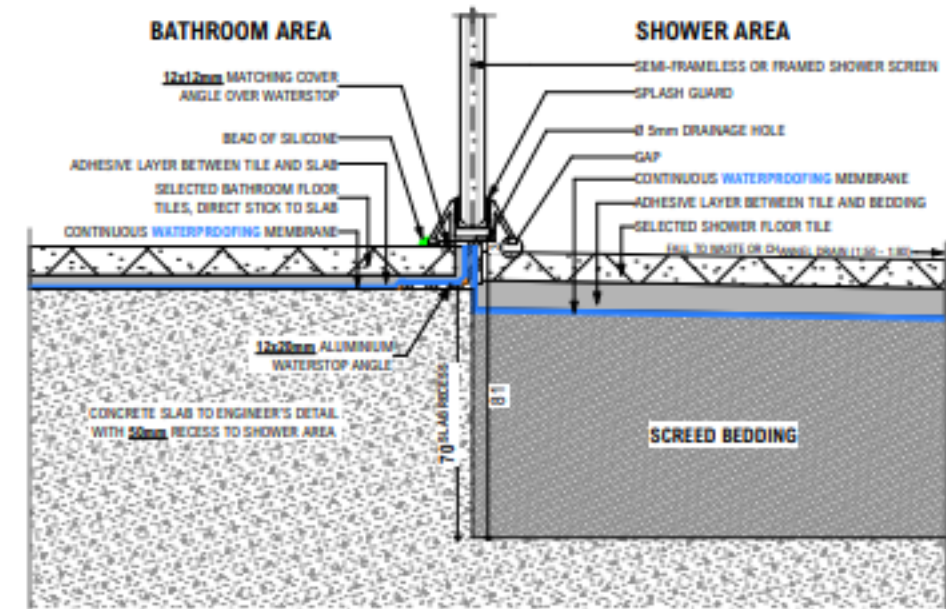
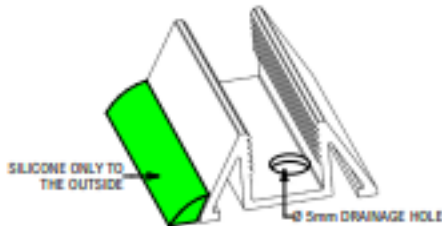
- ALL PLANS ARE DIAGRAMMATIC, REFER TO THE CONSTRUCTION PLANS FOR THE BATHROOM & SHOWER LAYOUTS.
- DO NOT SILICONE THE BOTTOM OF THE FRAME ON THE SHOWER SIDE.



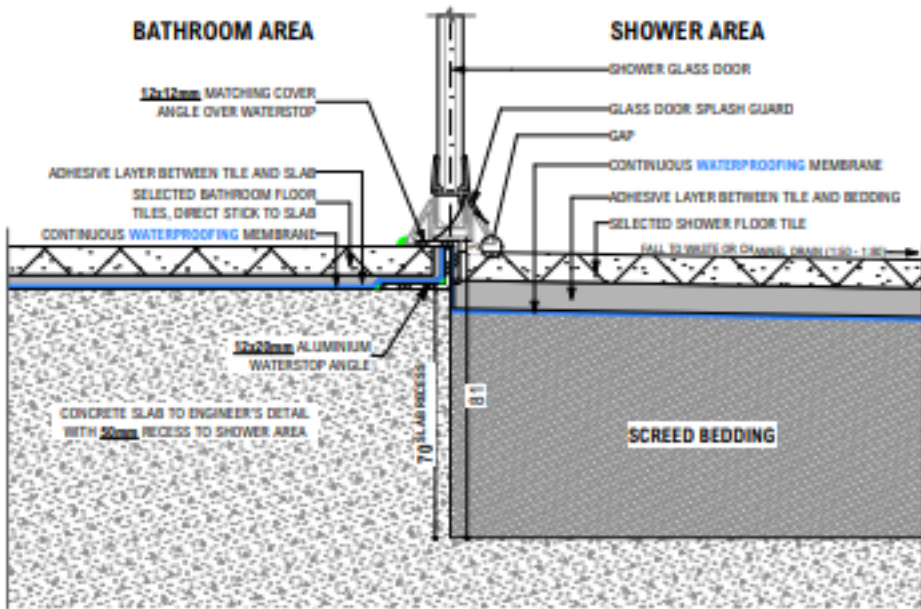
PLAN VIEW 1
(STANDARD FW)
SCALE: 1:20



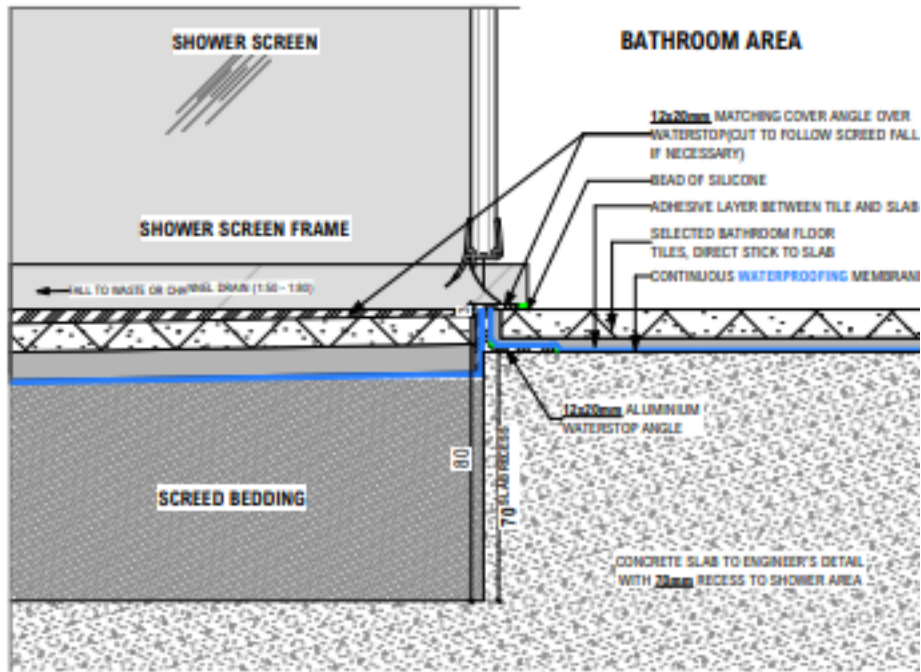
PLAN VIEW 2
(CHANNEL DRAIN)
SCALE: 1:20



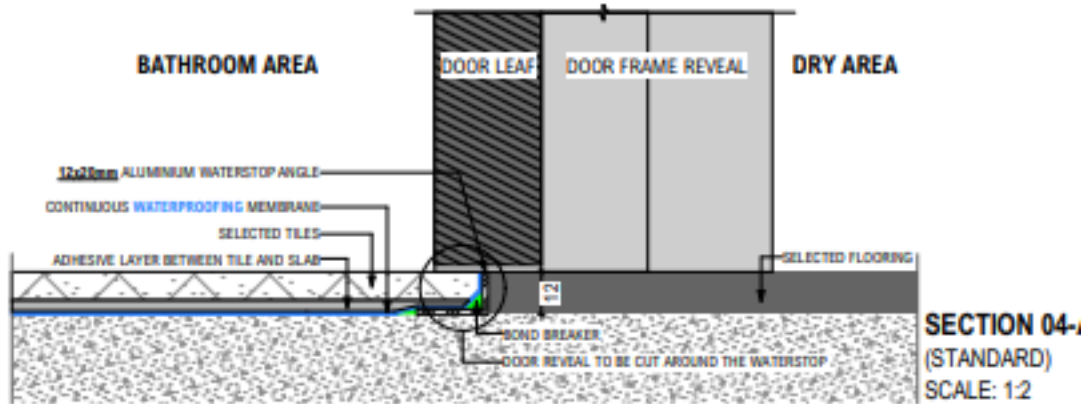
SECTION 01 - THROUGH GLASS SCREEN
SCALE: 1:2



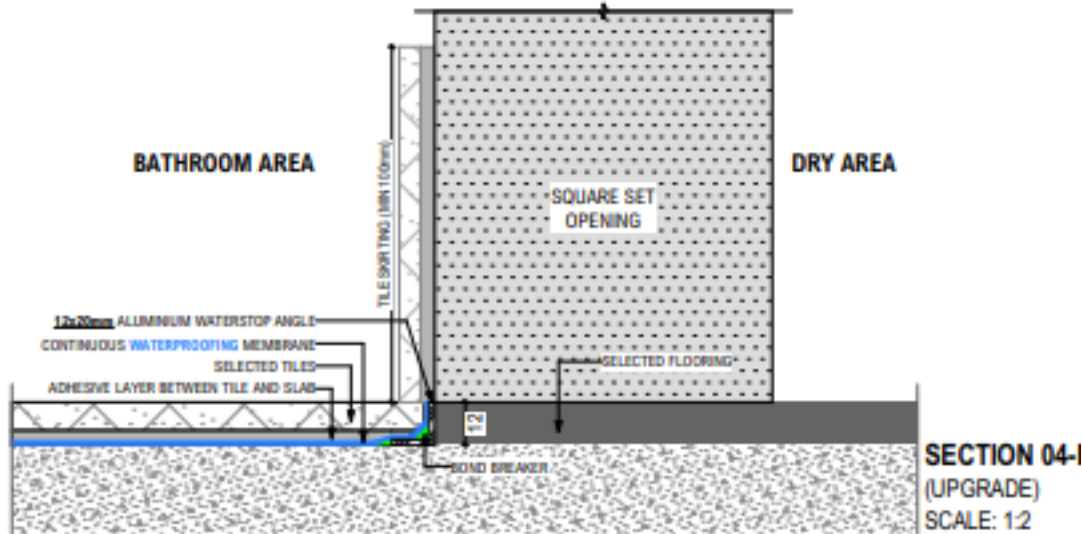
SECTION 02 - THROUGH GLASS DOOR
SCALE: 1:2



SECTION 03 - THROUGH GLASS SCREEN
SCALE: 1:2



SECTION 04-
(STANDARD)
SCALE: 1:2

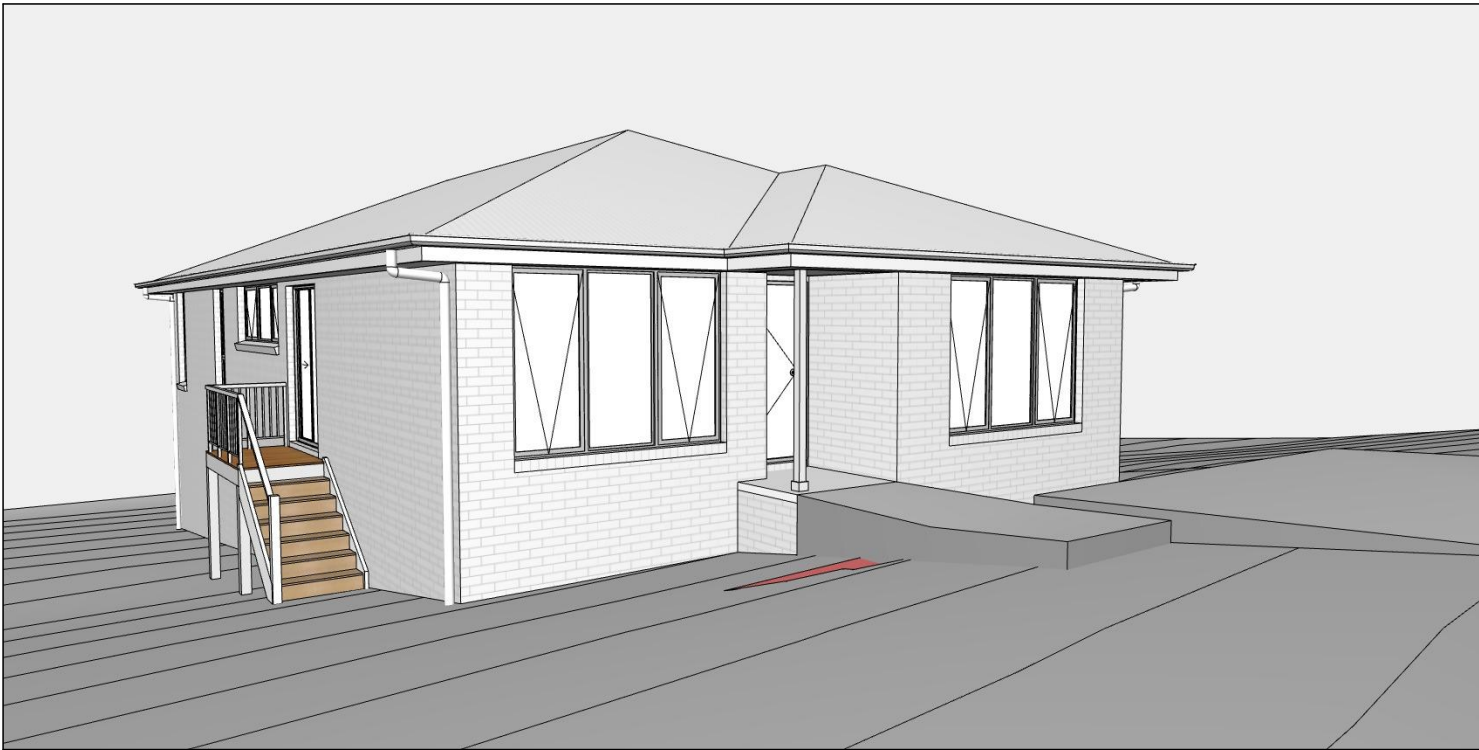


SECTION 04-
(UPGRADE)
SCALE: 1:2

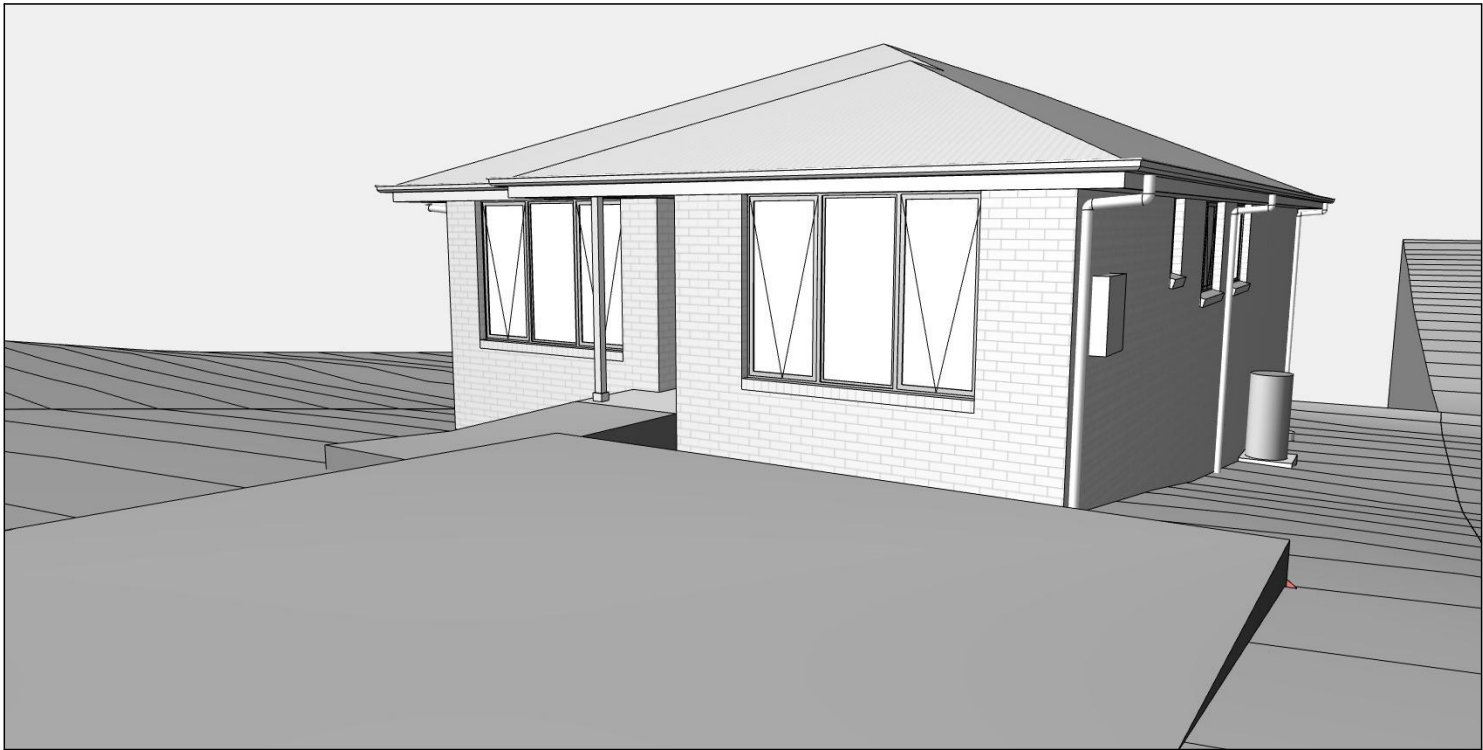
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SPECIFICATION: DISCOVERY COPYRIGHT: © 2025	REVISION		DRAWN		HOUSE DESIGN: YORK 14 FACADE DESIGN: CLASSIC SHEET TITLE: STANDARD SHOWER & WATERPROOFING	HOUSE CODE: H-WDCYOR10SA FACADE CODE: F-WDCYOR10CLASA SHEET No.: 18 / 21	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	1	DRAFT SALE PLAN - CT1	HMI	13/06/2025			
	2	DRAFT SALE PLAN - AMENDMENT	HMI	04/07/2025			
	3	PRELIM PLANS - INITIAL ISSUE	TDI	21/07/2025			
	4	BA PLAN SET - INITIAL ISSUE	PL1	16/09/2025			
	5	BA PLAN SET - SHADOW DIAGRAM	JII	08/10/2025	LOT / SECTION / CT: 139 / - / 186347 COUNCIL: CLARENCE		714329



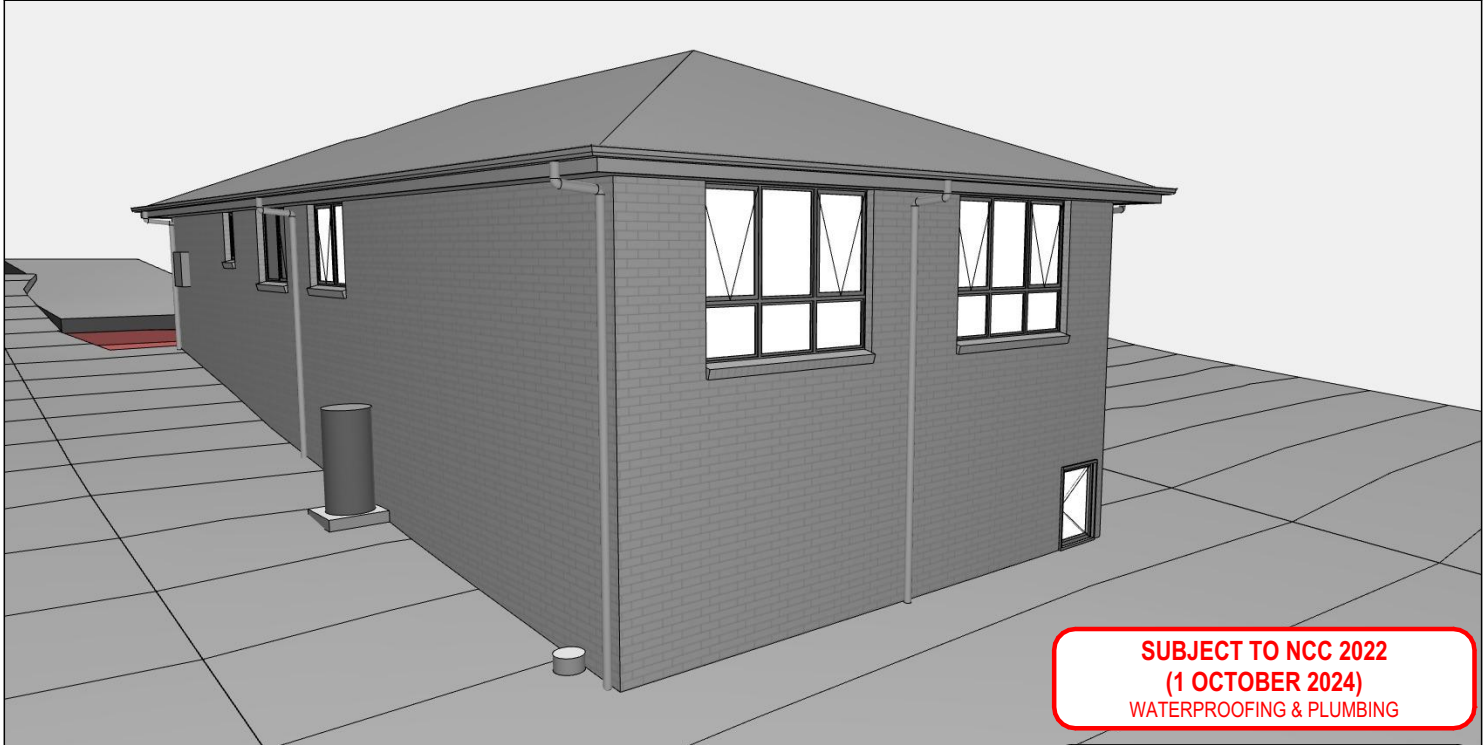
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

**SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER	
THIS PLAN HAS BEEN DRAWN TO REFLECT YOUR CONSOLIDATED TENDER. PLEASE CHECK THAT EVERYTHING IS CORRECT AND FINALISED. FURTHER STRUCTURAL CHANGES ARE NOT POSSIBLE PAST THIS POINT. PLEASE NOTE, SELECTIONS ITEMS WILL NOT APPEAR ON YOUR PLANS UNTIL AFTER YOUR INTERNAL COLOUR SELECTIONS APPOINTMENT IS COMPLETE.	
SIGNATURE:	DATE:
SIGNATURE:	DATE:

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	1	DRAFT SALE PLAN - CT1		HMI	13/06/2025					
COPYRIGHT: © 2025	2	DRAFT SALE PLAN - AMENDMENT		HMI	04/07/2025	ADDRESS: 5 DORA LANE, ROKEBY TAS 7019	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDCYOR10CLASA		
	3	PRELIM PLANS - INITIAL ISSUE		TDI	21/07/2025					
	4	BA PLAN SET - INITIAL ISSUE		PL1	16/09/2025	LOT / SECTION / CT: 139 / - / 186347	COUNCIL: CLARENCE	SHEET TITLE: 3D VIEWS		SHEET No.: 19 / 21
	5	BA PLAN SET - SHADOW DIAGRAM		JII	08/10/2025					

