



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/049045

PROPOSAL: Consolidation (Subdivision) and Cultural Centre
(Community Meeting and Entertainment)

LOCATION: 13-15 Mcrorie Court, Cambridge

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 08 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 08 December 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 08 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **Proposed Single Storey Cultural Center and Development Includes C**

Location: **13 -15 Mcorrie Court, Cambridge TAS 7170**

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

Existing small Building/House Structure

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME 163289		FOLIO 6
EDITION 3	DATE OF ISSUE 11-Mar-2021	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

City of CLARENCE
Lot 6 on Sealed Plan 163289
Derivation : Part of 292A-2R-0P Gtd. to W W Fraser
Prior CT 107496/1

SCHEDULE 1

M874724 TRANSFER to GURU NANAK SOCIETY OF TASMANIA
INCORPORATED Registered 11-Mar-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP163289 EASEMENTS in Schedule of Easements
SP163289 FENCING COVENANT in Schedule of Easements

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME 54469		FOLIO 8
EDITION 4	DATE OF ISSUE 11-Mar-2021	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

City of CLARENCE
Lot 8 on Diagram 54469
Derivation : Part of 300Ac, gtd to R.Lewis
Prior CT 2183/59

SCHEDULE 1

M874724 TRANSFER to GURU NANAK SOCIETY OF TASMANIA
INCORPORATED Registered 11-Mar-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
Burdening easement; a right of drainage (appurtenant to Lot 1
on SPD 896) over the drainage easement 1.83 wide
passing through the said land within described
B595442 Burdening easement; pipeline rights for Her Majesty
the Queen over the pipeline easement marked CDEF on D.
54469

WARNING: BEFORE DEALING WITH THIS LAND SEARCH THE CURRENT FOLIO OF THE REGISTER

Owner: Lot 1. Athol George Harris.
Lots 2, 4, 6, 8, 9. Doreen Beryl Campbell. Lot 3.
Christopher John Darcey & Sharon Lee Walters.
Lots 5 & 7. Doreen Beryl Campbell. Occupier.

Title Reference: LOT 1, C.T. 258733, LOTS 2 & 6, C.T. 2602-29
LOT 3, C.T. 4133-54, LOTS 4 & 8, C.T. 2183-59
LOT 9, CON.V. 38-906

Grantee: Lots 2, 4, 5, 6, 7 & 8. Part of 292a, 2r, 0p.
Gtd to William Wallace Fraser. Lots 3, 9 Part of
300 ac. Located to Richard Lewis & Part of
50 ac. Located to W. Smith.

PLAN OF SURVEY
by Surveyor **E. Duede** of
of land situated in the
DEPARTMENT OF ROADS AND TRANSPORT
10 MURRAY ST, HOBART

CITY OF CLARENCE

SCALE 1:1000 MEASUREMENTS IN METRES

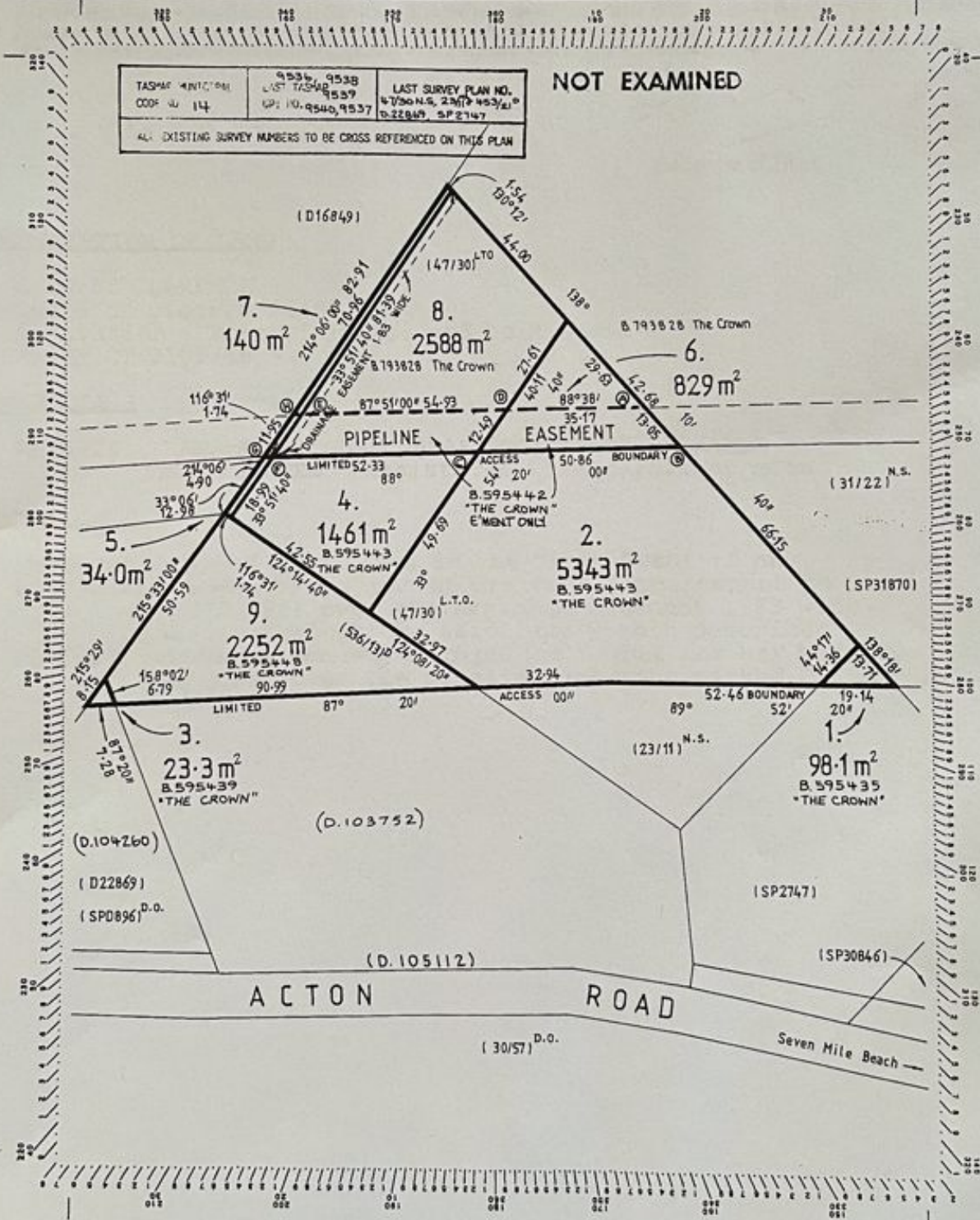
REGISTERED NUMBER

D 54469

Approved
Effective from: 23/1/92

Michael Duede

Recorder of Titles



Owner: Lot 1, Athol George Harris.
Lots 2, 4, 6, 8, 9, Doreen Beryl Campbell. Lot 3,
Christopher John Darcey & Sharon Lee Walters.
Lots 5 & 7, Doreen Beryl Campbell Occupier.

Title Reference: LOT 1, C.T. 2587-33, LOTS 2 & 6, C.T. 2602-29
LOT 3, C.T. 4133-54, LOTS 4 & 8, C.T. 2183-59
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CITY OF CLARENCE

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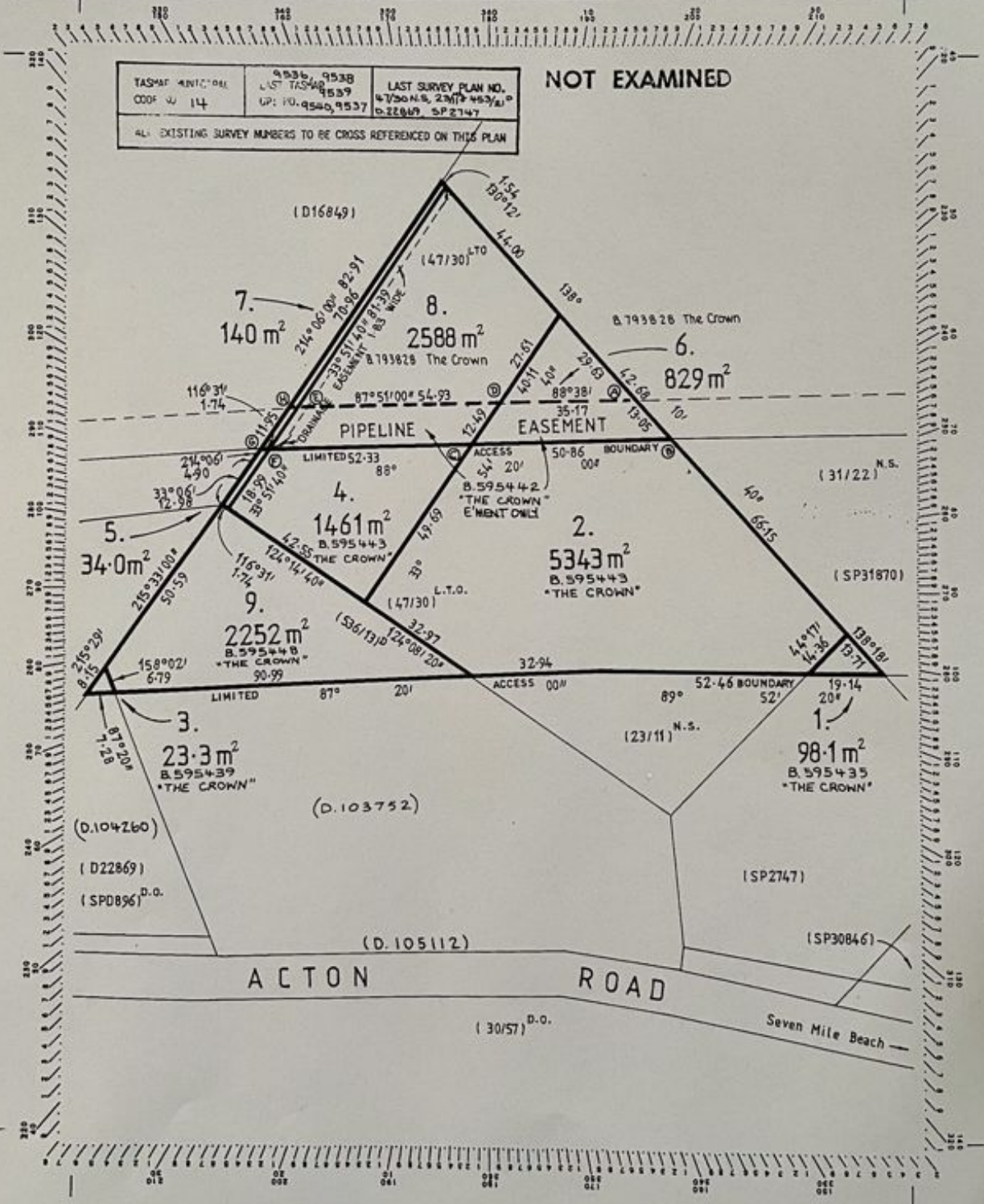
REGISTERED NUMBER

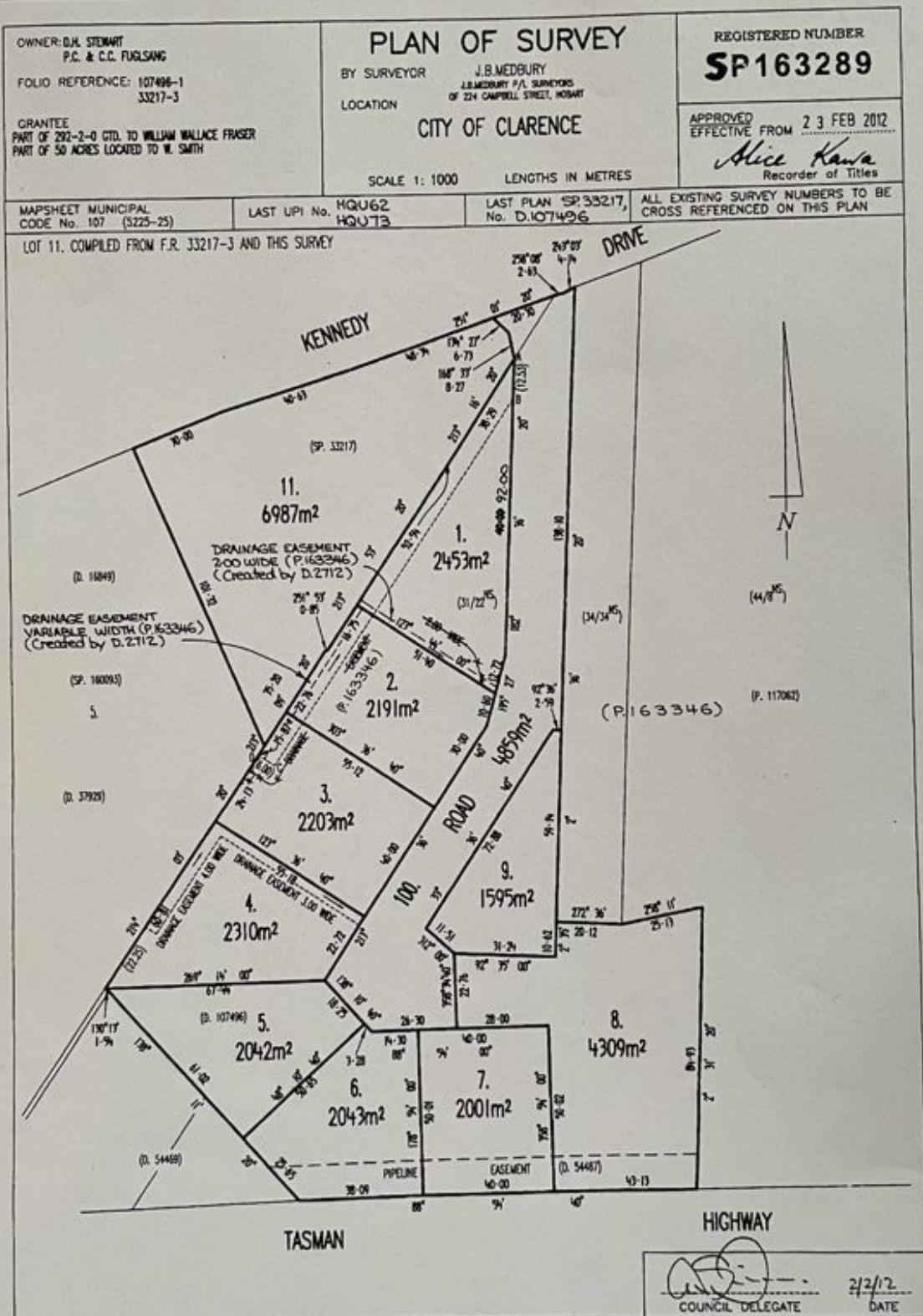
D 54469

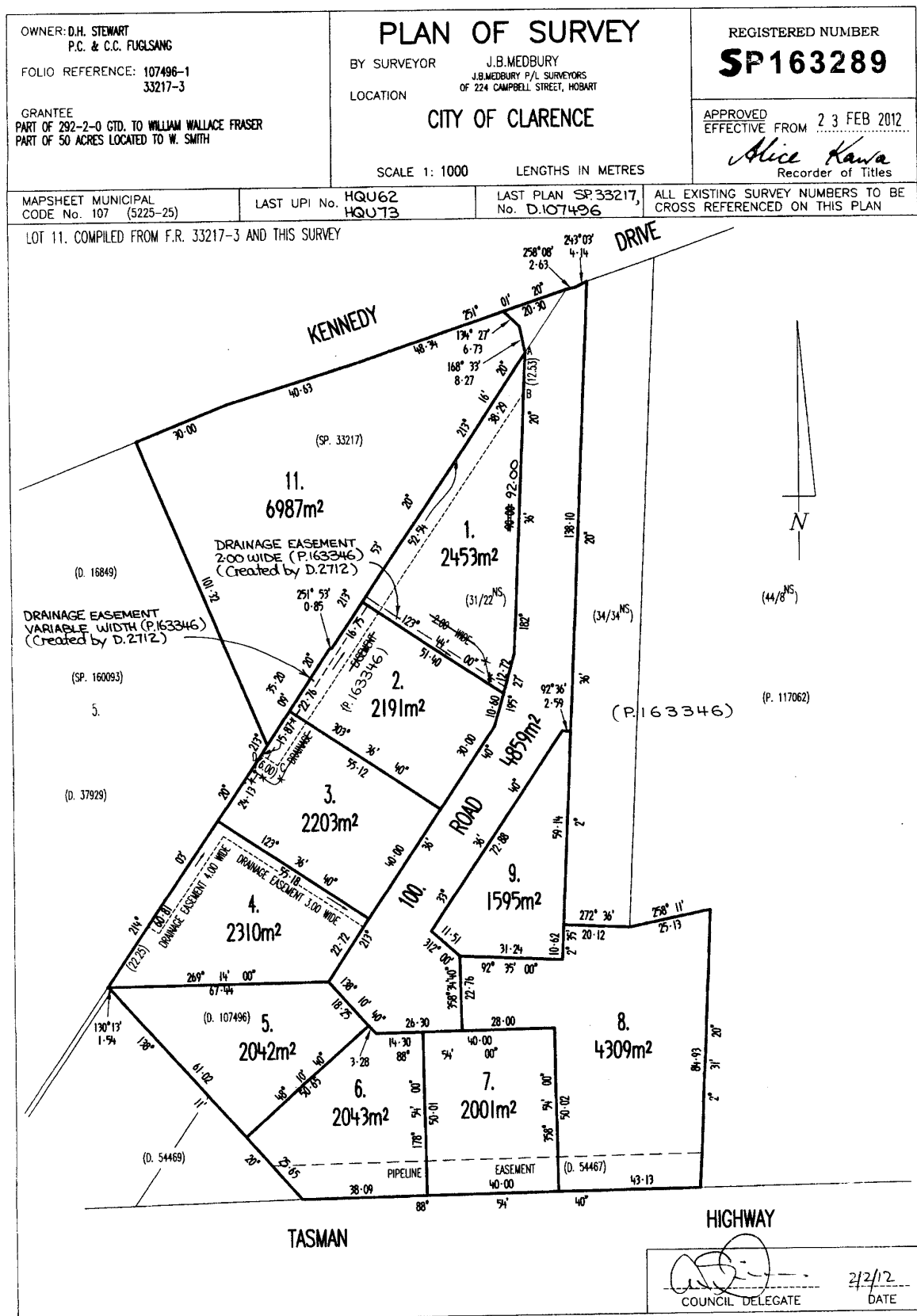
Approved
Effective from: 23/1/92

Michael J. Smith

Recorder of Titles







SEARCH OF TORRENS TITLE

VOLUME 163289	FOLIO 7
EDITION 5	DATE OF ISSUE 30-Oct-2017

SEARCH DATE : 09-Oct-2019

SEARCH TIME : 02.17 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 7 on Sealed Plan 163289

Derivation : Part of 292A-2R-0P Gtd. to W W Fraser

Prior CT 107496/1

SCHEDULE 1

M653269 TRANSFER to GURU NANAK SOCIETY OF TASMANIA
INCORPORATED Registered 30-Oct-2017 at 12.02 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP163289 EASEMENTS in Schedule of Easements
SP163289 FENCING COVENANT in Schedule of Easements
C30987 PROCLAMATION under Section 52A of the Roads and
Jetties Act 1935 Registered 24-Jun-1997 at noon
E107182 MORTGAGE to Australia and New Zealand Banking Group
Limited Registered 30-Oct-2017 at 12.03 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

0.2.2.1

SCHEDULE OF EASEMENTS	Registered Number SP 163289
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 3 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Pipeline Easement in favour of the Crown over the portion of the Pipeline
 Lots 6, 7 & 8 are ~~SUBJECT TO a Drainage Easement marked "DRAINAGE EASEMENT" in favour of the CLARENCE CITY COUNCIL specified in Dealing B595441 and as shown on the Plan.~~
 Easement shown passing through such Lot and more particularly set forth in B595441.

~~Lots 1, 2 & 3 are SUBJECT TO a Drainage Easement marked "DRAINAGE EASEMENT 2.00 WIDE" appurtenant to Certificates of Title Volume 160093 Folios 1, 2, 3, 4 & 5 as shown on the Plan.~~

Right of over the WIDE
 Lot 4 is ~~SUBJECT TO a Drainage Easement marked "DRAINAGE EASEMENT 3.00" and "DRAINAGE EASEMENT 4.00" appurtenant to Lot 5 on SP 160093.~~
 WIDE

COVENANTS FENCING COVENANT

The owner of each lot on the plan covenants with DAVID HARRIS STEWART and PETER CHRISTIAN FUGLSANG & CHRISTOPHER CHARLES FUGLSANG (the Vendors) that the Vendors will not be required to fence.

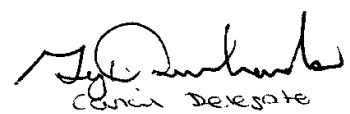
COVENANT

Lot 11 is SUBJECT TO the covenant described in dealing B407620.

LANDSCAPE ZONE

The owners of Lots 1, 2 & 3 on the Plan covenants with CLARENCE CITY COUNCIL and the owner of lot 11 to the intention that the burden of this covenant shall run with and bind the covenantors lot on each and every part and the benefits shall be in the favour of CLARENCE CITY COUNCIL and the owner of lot 11 to observe the following stipulation - not to use that part of the land marked A B C D on the Plan for any other purpose than a landscape buffer.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: David Harris Stewart and PC & CC Fuglsang 107496/1 and 33217/3 SOLICITOR & REFERENCE: BUTLER MCINTYRE & BUTLER (Jason Samec)	Plan sealed by Clarence City Council Date 17 Feb 2012 SD 2004164 Ref no.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO
SCHEDULE OF EASEMENTS

PAGE 2 OF 3 PAGES

Registered Number

SP 163289

SUBDIVIDER: Peter Christian Fuglsang & Christopher Charles Fuglsang and David Harris Stewart
FOLIO REFERENCE: 33217/3 and 107496/1

A 'landscape buffer' is defined as the terms of the Landscaping Plan lodged with Clarence City Council.

SIGNED by DAVID HARRIS STEWART in the
presence of:

Signature:



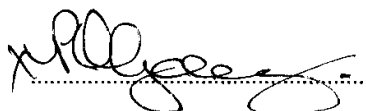
Signature:

Name: Danielle Calmen
Address: 44 New Road Franklin
Occupation: Stay at home mum

Witness PLEASE PRINT

SIGNED by PETER CHRISTIAN FUGLSANG in
the presence of:

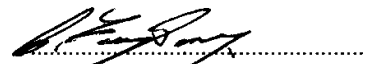
Signature:



Signature:

Name: J. Taylor
Address: THE COTTAGE, QUEENSWALK
Occupation: CORNELIAN BAY TAS 7808FINANCE Witness PLEASE PRINT
MANAGER.SIGNED by CHRISTOPHER CHARLES
FUGLSANG in the presence of:

Signature:



Signature:

Name: JOAN TAYLOR
Address: THE COTTAGE, QUEENSWALK
Occupation: CORNELIAN BAY
FINANCE MANAGER.

Witness PLEASE PRINT

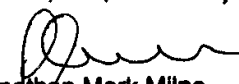
NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES	Registered Number SP 163289
SUBDIVIDER: Peter Christian Fuglsang & Christopher Charles Fuglsang and David Harris Stewart FOLIO REFERENCE: 33217/3 and 107496/1	

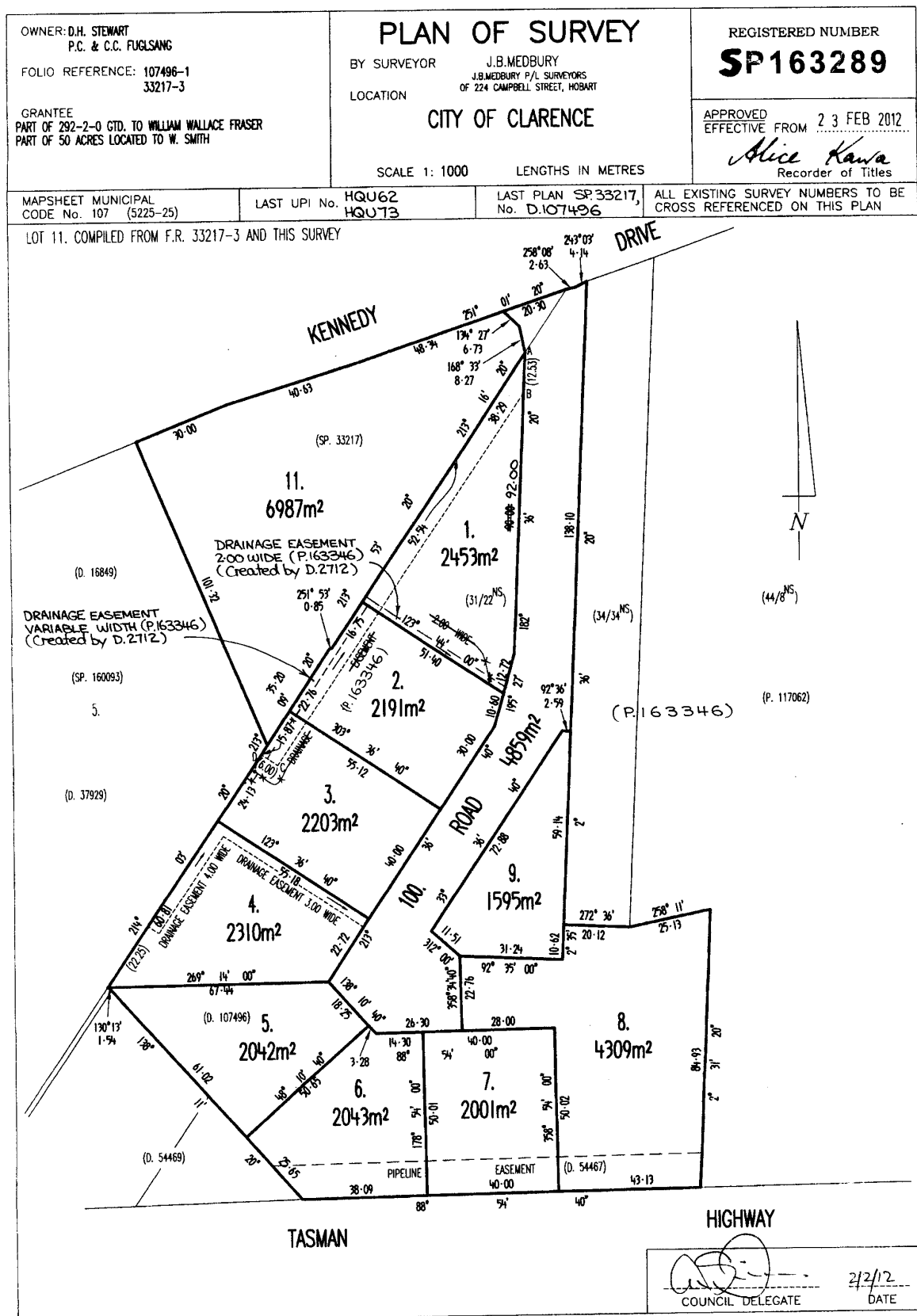
NAB attestation

Dated this 31st day of MAY 2011
 Executed by the NATIONAL AUSTRALIA BANK LIMITED)
 by its Attorney CARLTON PATRICK DIXON)
 who holds the position of Level 3 Attorney
 under Power of Attorney No. PA 18831
 (who declares that he/she has received no notice
 of revocation of the said Power) in the presence of:)




 Jonathan Mark Milne
 Associate
 National Australia Bank Ltd
 10/56 Collins Street
 HOBART TAS 7000

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME 54469		FOLIO 6
EDITION 4	DATE OF ISSUE 11-Mar-2021	
Page 1		of 1

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Recorder of Titles



DESCRIPTION OF LAND

City of CLARENCE
Lot 6 on Diagram 54469
Derivation : PART OF 300AC. GTD TO R. LEWIS
Prior CT 2602/29

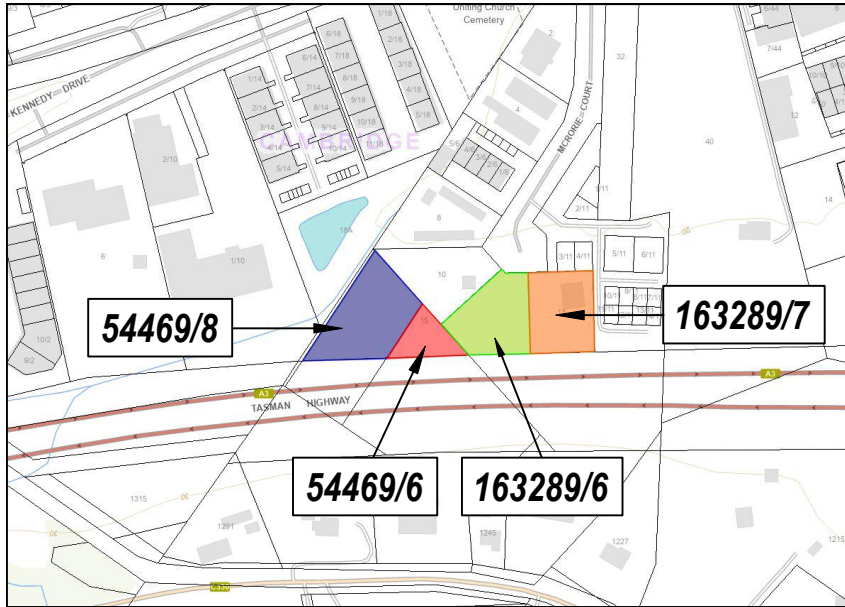
SCHEDULE 1

M874724 TRANSFER to GURU NANAK SOCIETY OF TASMANIA
INCORPORATED Registered 11-Mar-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
B595442 Burdening easement; pipeline rights for Her Majesty
the Queen over the pipeline easement marked ABCD on D.
54469

WARNING: BEFORE DEALING WITH THIS LAND SEARCH THE CURRENT FOLIO OF THE REGISTER



LOCATION PLAN

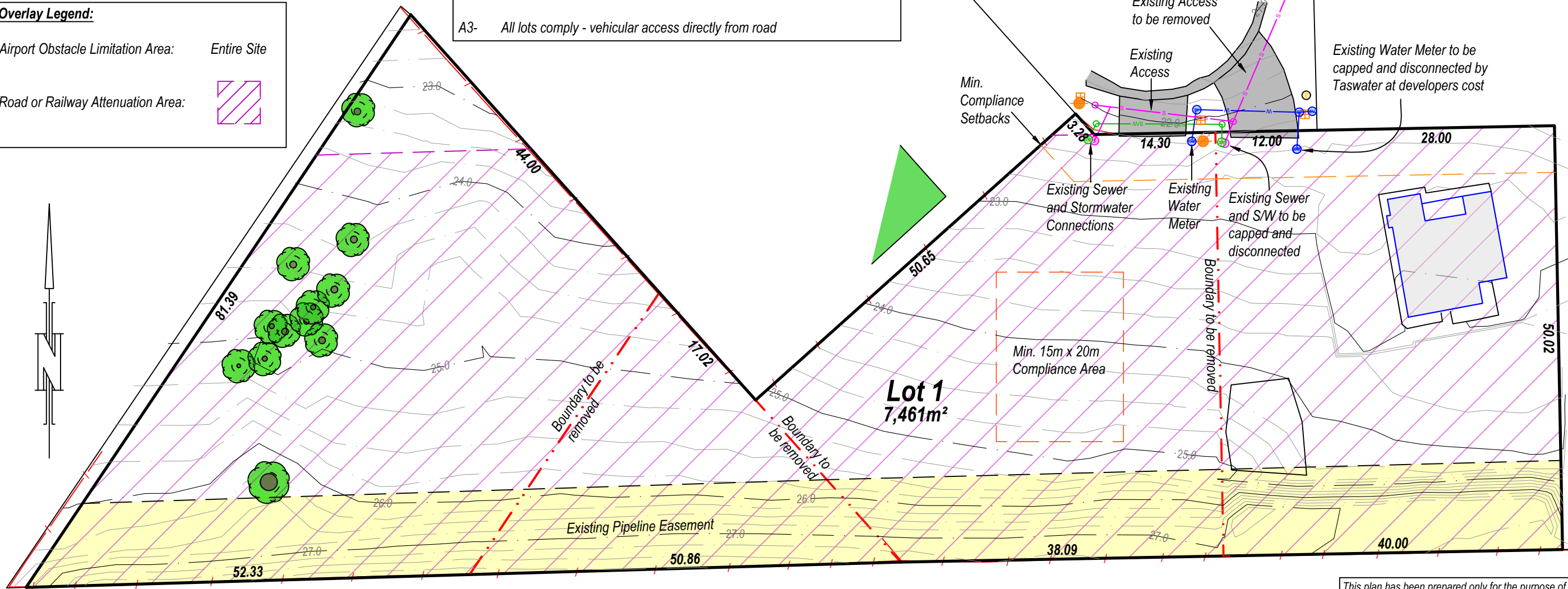
Overlay Legend:

Airport Obstacle Limitation Area: Entire Site

Road or Railway Attenuation Area:

- Clarence Council**
18.0 Light Industrial
18.6 Development Standards for Subdivision
- 18.5.1 Lot Design**
- A1
- (a)- Proposal complies - Min. 1000m²
 - (i)- Proposal complies - Contain min. area of 15m x 20m w/ gradient < 1:5
 - a- Proposal complies - All required setbacks
 - b- Proposal complies - Clear of easements
 - (ii)- All existing buildings comply - All required setbacks
- P2- Proposal complies
- (a)- The number of other lots which have the land subject to the right of carriageway as their sole or principal means of access;
 - (b)- The topography of the site;
 - (c)- The functionality and useability of the frontage;
 - (d)- The anticipated nature of vehicles likely to access the site;
 - (e)- The ability to manoeuvre vehicles on the site;
 - (f)- The ability for emergency services to access the site; and
 - (g)- The pattern of development existing on established properties in the area.
- A3- All lots comply - vehicular access directly from road

- 18.5.2 Roads**
- A1- Proposal complies - no new roads
- 18.5.3 Services**
- A1- Proposal complies - TasWater Water supply services to be provided
- A2- Proposal complies - TasWater Sewerage services to be provided
- A3- Proposal complies - Council Stormwater services to be provided



This plan has been prepared only for the purpose of obtaining preliminary subdivisional approval from the local authority and is subject to that approval.

All measurements and areas are subject to the final survey.

Base image by Nearmap (www.nearmap.com/au), © State of Tasmania
Base data from the LIST (www.thelist.tas.gov.au), © State of Tasmania

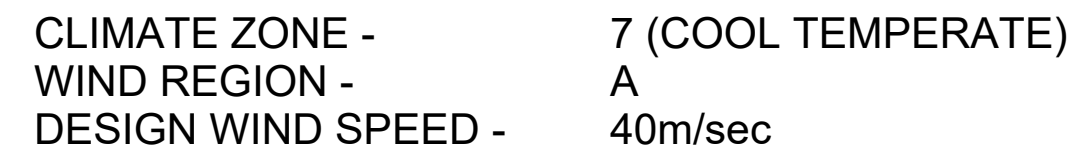
E				
D				
C				
B				
A	minor change (Add No.13 to title block)	AB	7-11-25	AB
REV	AMENDMENTS	DRAWN	DATE	APPR.



UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03)6248 5898
EMAIL: admin@rbsurveyors.com
WEB: www.rbsurveyors.com

OWNER: GURU NANAK SOCIETY OF TASMANIA INCORPORATED
TITLE REFERENCE: 163289/6, 54469/6, 54469/8 & 163289/7
LOCATION: 13 & 15 MCRORIE COURT, CAMBRIDGE

Proposed Consolidation			
Date:	22/09/2025	Reference:	GNSOT01 11724-02
Scale:	1:400 (A3)	Municipality:	CLARENCE



SOIL CLASSIFICATION - CLASS 'M'

WIND CLASSIFICATION - 'N2'

PROJECT COMPONENTS & DETAILS

The new extension to the Proposed Development at 13-15, McRorie Court, Cambridge will comprise a Carpeted Hall, New dining room, Library, Office and toilets, and an associated covered way for general usage and to meet disability standards.
The existing building will remain as is. The existing kitchen has been re-tiled to meet BCA and health department requirements.

FIRE RESISTANCE

The new Building will have a Class 9b Classification and Type C construction.
The building is not within 3m of a fire source and walls, ceilings and columns do not require a fire rating.
Carpet will have a critical radiant flux not less than 2.2.

ACCESS AND EGRESS

The double leaf doors to the dining room will be the nominated fire exit. No point within the new extension or existing building will be further than 20 meters from the exit doors. Exit signs will be provided as shown on the drawings.
The double exit doors and the doors to disability toilets will each have a minimum clear opening width of 850mm for each leaf, and on grade accessibility. All internal doors will have a minimum clear opening width of 760mm. External steps will have goings between 250mm and 355mm, risers between 115 and 190mm and 2R + T between 550 and 700mm. Treads will be solid and will have a textured non-skid indicator strip near the edge of tread nosing.
Tactile indicators will be provided at the top and bottom of stairs, braille signs and signage will be provided to disability access doors, glazing indicators will be provided to the glass exit double doors and a disability access ramp will provided to meet AS1428 requirements. Closers will be provided to toilet doors.

SERVICES AND EQUIPMENT

FIRE-FIGHTING EQUIPMENT
Portable fire extinguishers and fire blankets will be provided in line with NCC 2022 Part E1 Fire Fighting Equipment
EMERGENCY LIGHTING AND EXIT SIGNS
Emergency lighting to comply with NCC 2022 Part E4 Visibility in an Emergency, exit signs and warning systems which ensures adequate visibility, identification of exits and path of travel to exits in case of any emergency.

SERVICES

All hot water piping, and cold water piping within 500mm in and out of the hot water cylinder, will be insulated. Internal lines will be insulated to a minimum of R0.3 and external lines to a minimum of R1.0.
ARTIFICIAL LIGHTING AND POWER.
All lighting system to comply with NCC 2022 Part F6 Light & Ventilation AS 1680.0;
Sealed Light fittings to prevent contamination of food should the globe or tube shatter and, free from any features that would harbour dirt, dust, or insects or make the fitting difficult to clean.
LED lights will be used for all interior and exterior artificial lighting, and all lighting will meet the maximum illumination power density allowed.

HEATING

No heating will be provided to the toilets. Air conditioning unit will be provided within the ceiling space, by the client, to the Main Hall & Dining Room to meet BCA requirements.

HEALTH AND AMENITY

HEATING AND VENTILATION
All sarking will comply with AS 4200.1 and AS4200.2.
The toilets to the new Building will be tiled to provide a water resistant floor surface, and a minimum 150mm impermeable upstand will be provided above basins and sinks.
SANITARY FACILITIES.
Separate male and female toilets will be provided for the new extension, each with 4 wc (including 1 Ambulant toilet each), 1 shower and 3 hand-basins. 4 Urinals provided in the male Toilet area.

STRUCTURAL PROVISIONS

Certified structural engineers drawings to be followed.

ENERGY EFFICIENCY

Refer Independent Energy Advisory Services Energy Assessment for minimum insulation standards.

BUILDING FABRIC AND INSULATION

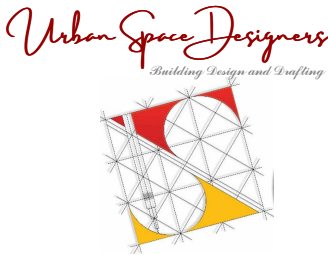
Slab: Concrete floor slab floor with R 1.0 (35 mm EPS) under slab. 35mm EPS insulation to external faces of slab to have 4.5mm cement sheet protection externally.
External walls: External cladding will be 8.5mm thick James Hardie 'Easylap' cement sheet cladding on horizontal battens at 600mm centres over a breathable membrane in line with Tas Govt. condensation recommendations, on 90 mm stud framing. A packer will be provided between the battens and the membrane to ensure moisture does not pond over battens. R2.5 insulation will be provided within the 90mm stud framing.
Roof: R 5.0 ceiling insulation between trusses generally plus R 1.8 roof blanket, reflective side facing down to air space, over 70 x 45 MGP12 pine roof battens @ 600mm min. centres (no penetration of ceiling lining by downlights).
Windows: Obsure glazed single glazed aluminium windows to the toilets and clear double glazed aluminium windows to dining room. U values and SHGC as per Energy Assessment Report.

BUILDING SEALING

All external windows and doors will have seals, exhaust fans will have gravity or mechanically closing dampers, and all floors walls and ceiling junctions will be sealed with caulking at gaps.

AIR MOVEMENT

Ventilation requirements greater than the 5% of floor area required. Mechanical ventilation will also be provided to the toilets as per Mechanical Engineer's details.



Phone: 0402438170
Email: info@urbanspacedesigners.com.au
Website: www.urbanspacedesigners.com.au
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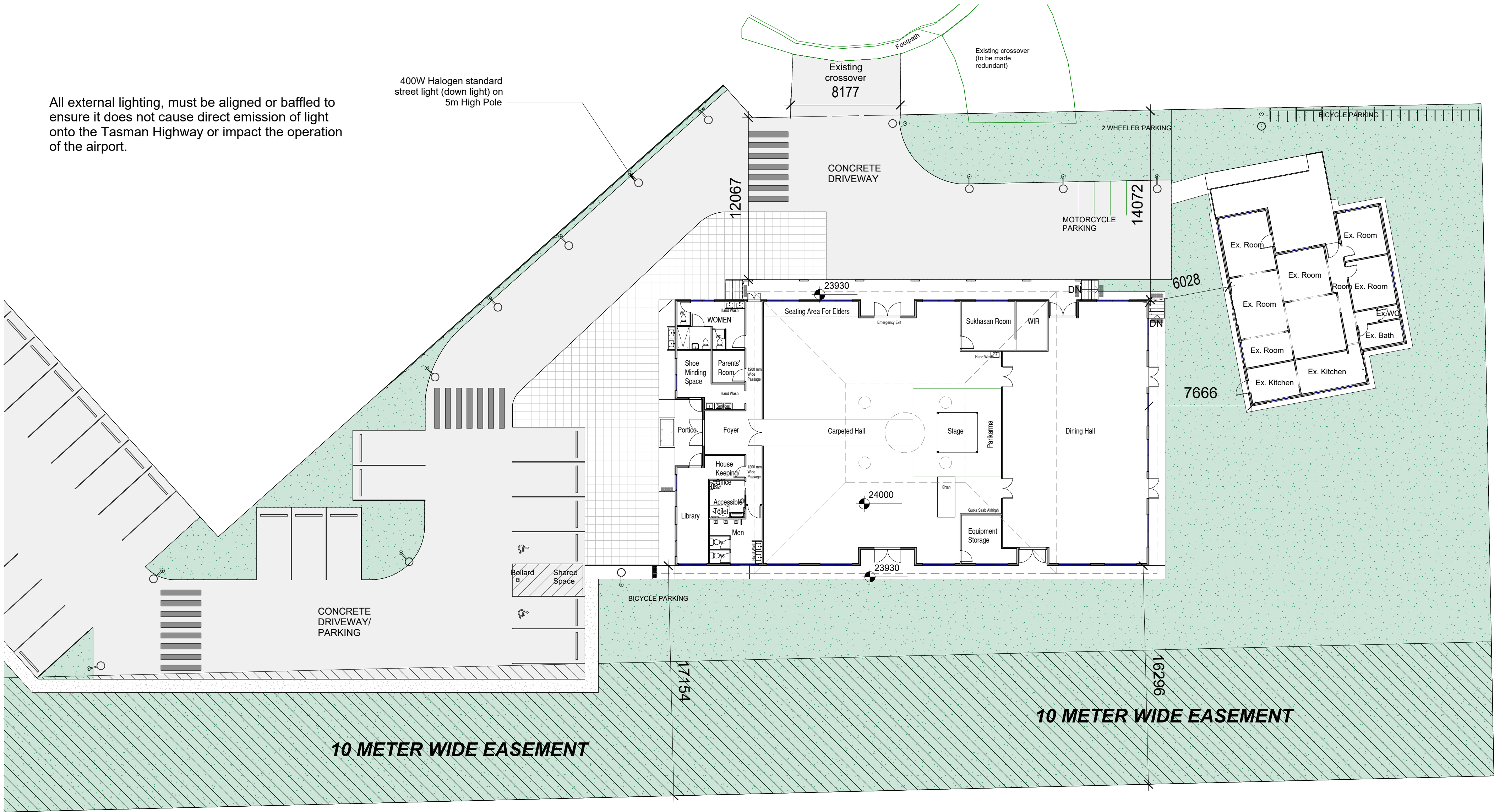
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Client: Guru Nanak Society
Project: Proposed Community Hall
Address: 13-15 McRorie Ct. Cambridge, TAS - 7170

Revisions		
Issue	Issue Name	Date
1	Parking Plan & Landscaping revised	01/07/2025
2	Parking Plan revised	07/07/2025

DRAWINGS
CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings. ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.

Sheet: PROJECT COMPONENTS
Drawn: GK
Scale: Size: A2 Date: 12/11/2024
Project: GNS/13-15MC/Arch/ Nov21 Sheet: A02 Rev: 2



SITE PLAN

1 : 200



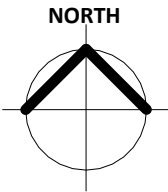
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Guru Nanak Society
Project:
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Address:
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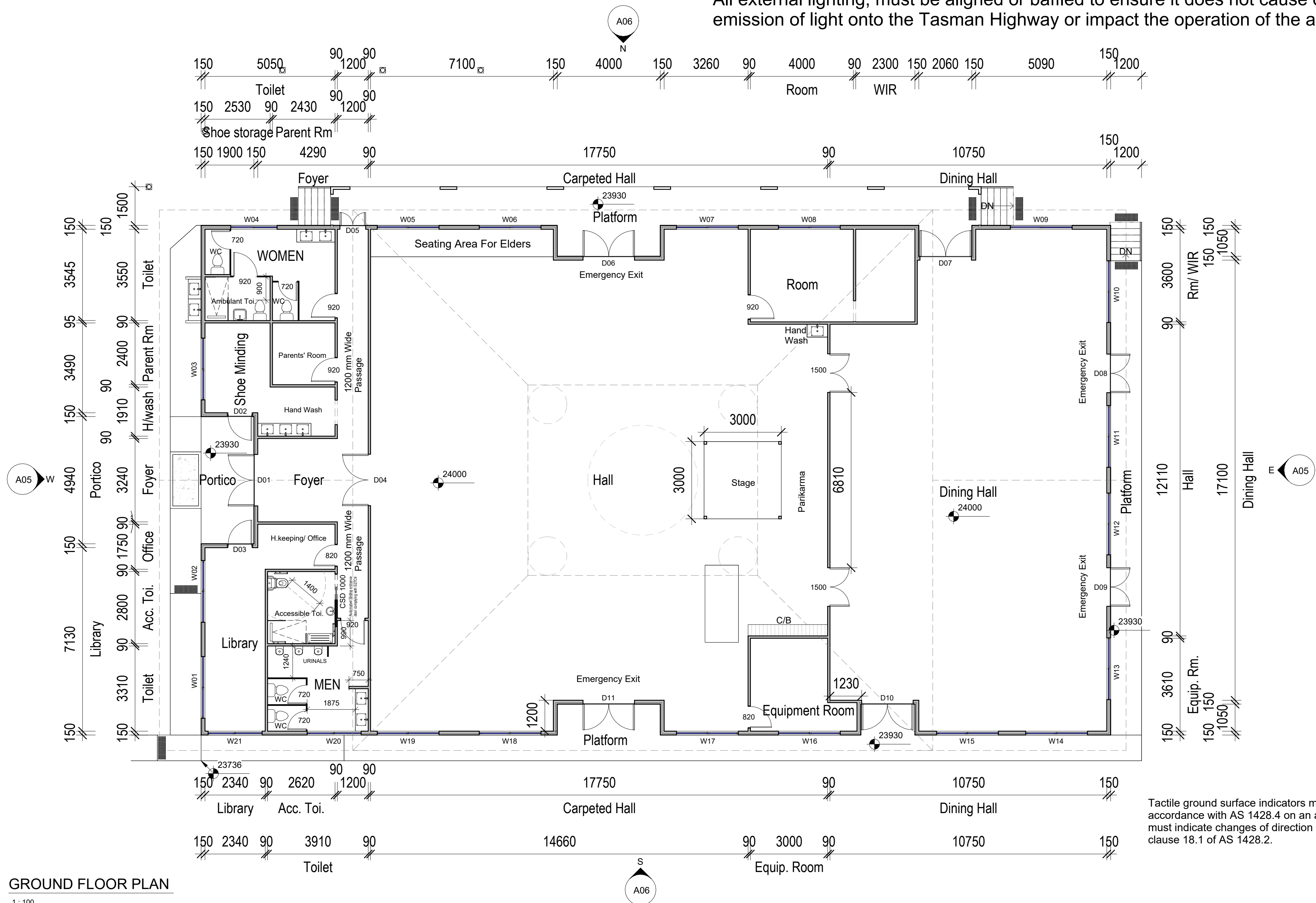
Revisions		
Issue	Issue Name	Date
1	Parking Plan & Landscaping revised	01/07/2025
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Sheet:			
SITE PLAN			
Drawn: GK			
Scale: 1 : 200	Size: A2	Date: 12/11/2024	
Project: GNS/13-15MC/Arch/ Nov21	Sheet: A03	Rev: 2	

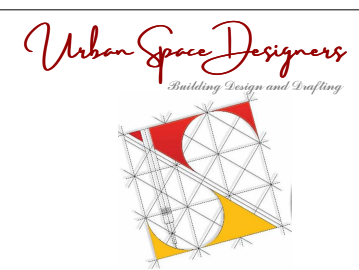
All external lighting, must be aligned or baffled to ensure it does not cause direct emission of light onto the Tasman Highway or impact the operation of the airport.



Tactile ground surface indicators must be installed in accordance with AS 1428.4 on an accessway and must indicate changes of direction in accordance with clause 18.1 of AS 1428.2.

GROUND FLOOR PLAN

1 : 100



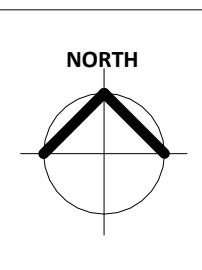
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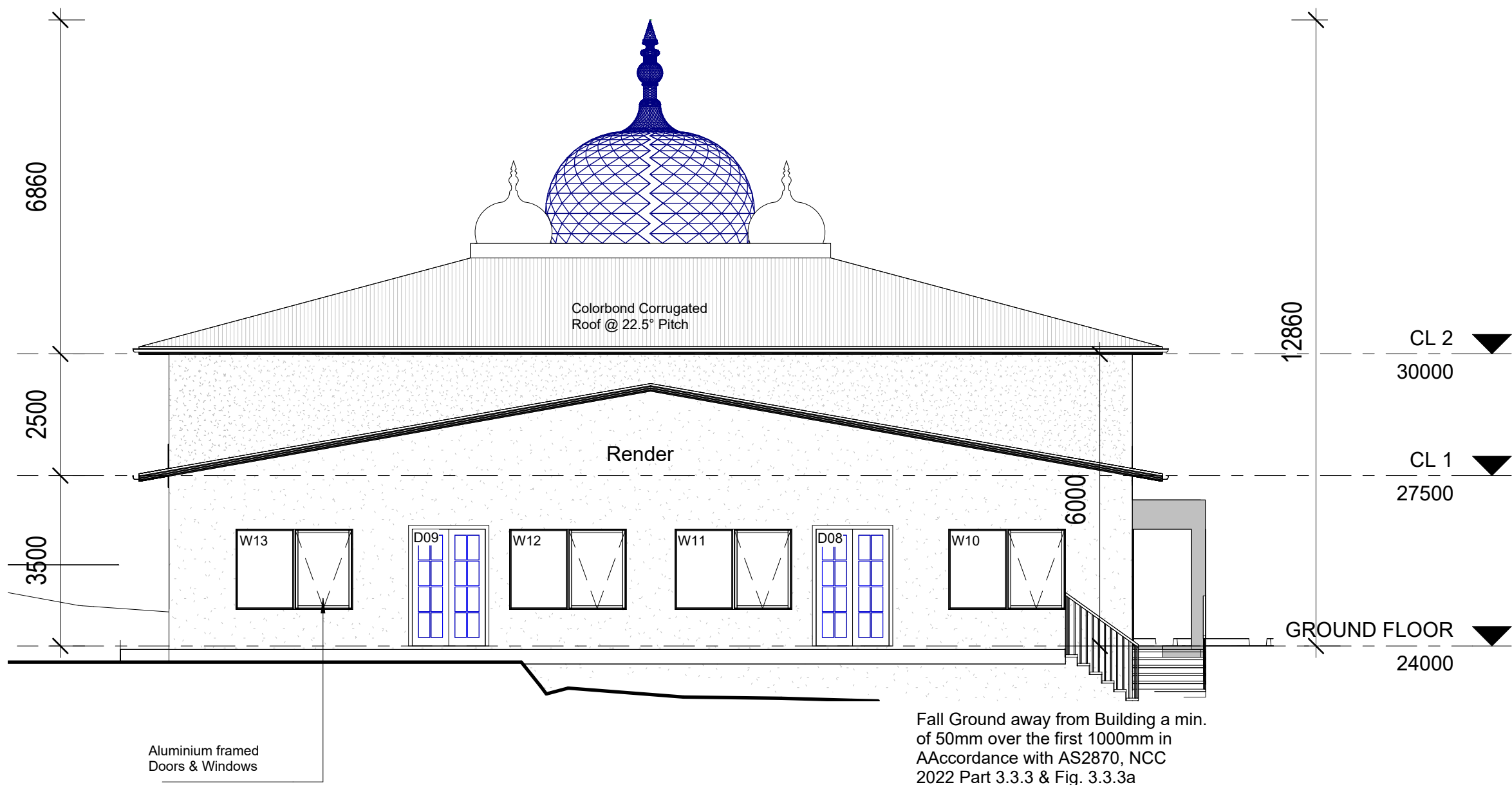
Client: Guru Nanak Society
Project: Proposed Community Hall
Address: 13-15 McRorie Ct. Cambridge, TAS - 7170

Revisions		
Issue	Issue Name	Date
1	Parking Plan & Landscaping revised	01/07/2025
2	Parking Plan revised	07/07/2025

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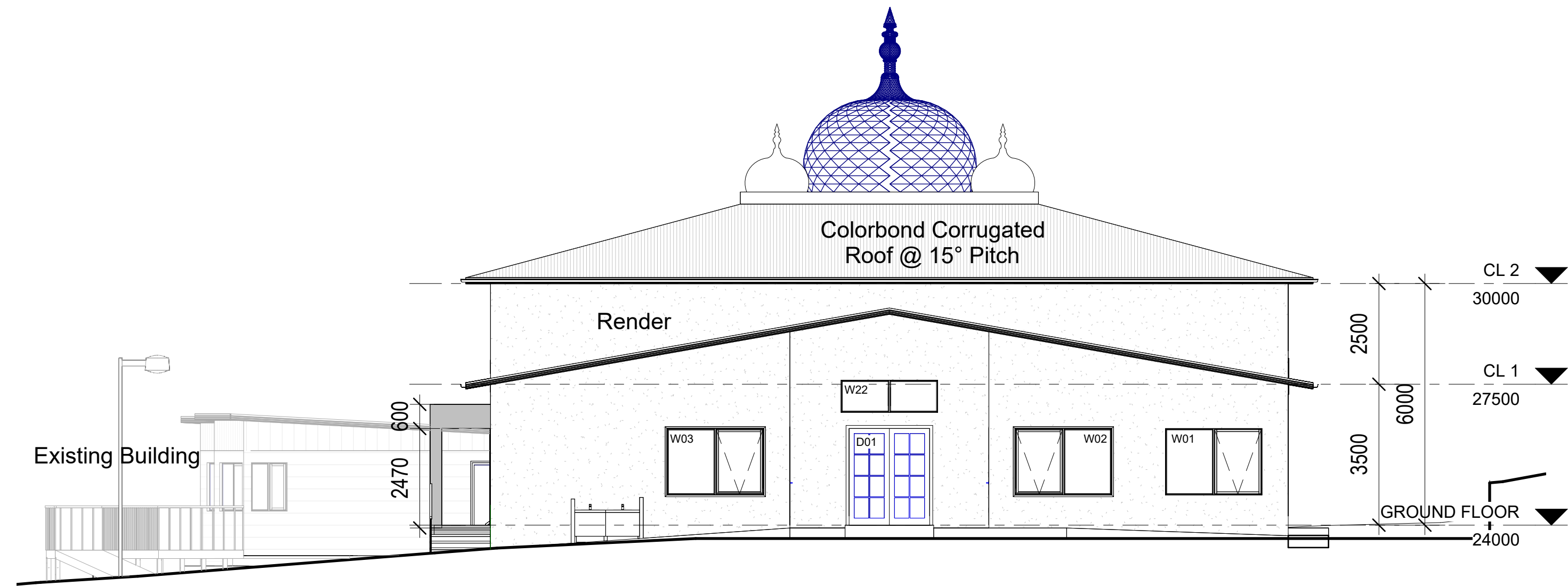
Sheet: GROUND FLOOR PLAN			
Drawn: GK			
Scale: 1 : 100	Size: A2	Date: 12/11/2024	
Project: GNS/13-15MC/Arch/ Nov21	Sheet: A04	Rev: 2	



East Elevation

1 : 100

All external lighting, must be aligned or baffled to ensure it does not cause direct emission of light onto the Tasman Highway or impact the operation of the airport.



West Elevation

1 : 100

GENERAL NOTES:

- Builder to verify all dimensions and levels on site prior to Commencement of work.
- All work to be carried out in accordance with the BCA.

WINDOWS:

- Windows to be Aluminium framed sliding unless otherwise.
- All windows to be fabricated and installed in Accordance with AS1288 and AS2047 to be specific wind speed as per Engineer's report.
- Double Glazed aluminium windows
- Glazings and Frames to BCA part 3.6 AS2047 & AS1288
- OG - Window Obscure Glass with a uniform transparency of 25%, in accordance with requirements of Interim Planning Scheme 2015.
- Controlled CUT & FILL in compliance with NCC Part 3.2.1, AS2870 & AS3798

Door Schedule		
Number	Height	Width
720	2100	720
820	2400	820
920	2400	920
1500	2400	1500
CSD 1000	2400	1000
D01	2400	2000
D02	2400	920
D03	2400	920
D04	2400	2000
D05	2400	1000
D06	2400	2000
D07	2400	2000
D08	2400	1500
D09	2400	1500
D10	2400	2000
D11	2400	2000

Window Schedule				
Number	Width	Height	Sill Height	Head Height
W01	2400	1650	750	2400
W02	2400	1650	750	2400
W03	2400	1650	750	2400
W04	1800	1650	750	2400
W05	2400	1650	750	2400
W06	2400	1650	750	2400
W07	2400	1650	750	2400
W08	2400	1650	750	2400
W09	2400	1650	750	2400
W10	2400	1650	750	2400
W11	2400	1650	750	2400
W12	2400	1650	750	2400
W13	2400	1650	750	2400
W14	2400	1650	750	2400
W15	2400	1650	750	2400
W16	2400	1650	750	2400
W17	2400	1650	750	2400
W18	2400	1650	750	2400
W19	2400	1650	750	2400
W20	2100	1650	750	2400
W21	2100	1650	750	2400
W22	2400	800	2800	3600
W23	2400	800	3300	4100
W24	2400	800	3300	4100
W25	2400	800	3300	4100
W26	2400	800	3300	4100
W27	2400	800	3300	4100
W28	2400	800	3300	4100
W29	2400	800	3300	4100
W30	2400	800	3300	4100



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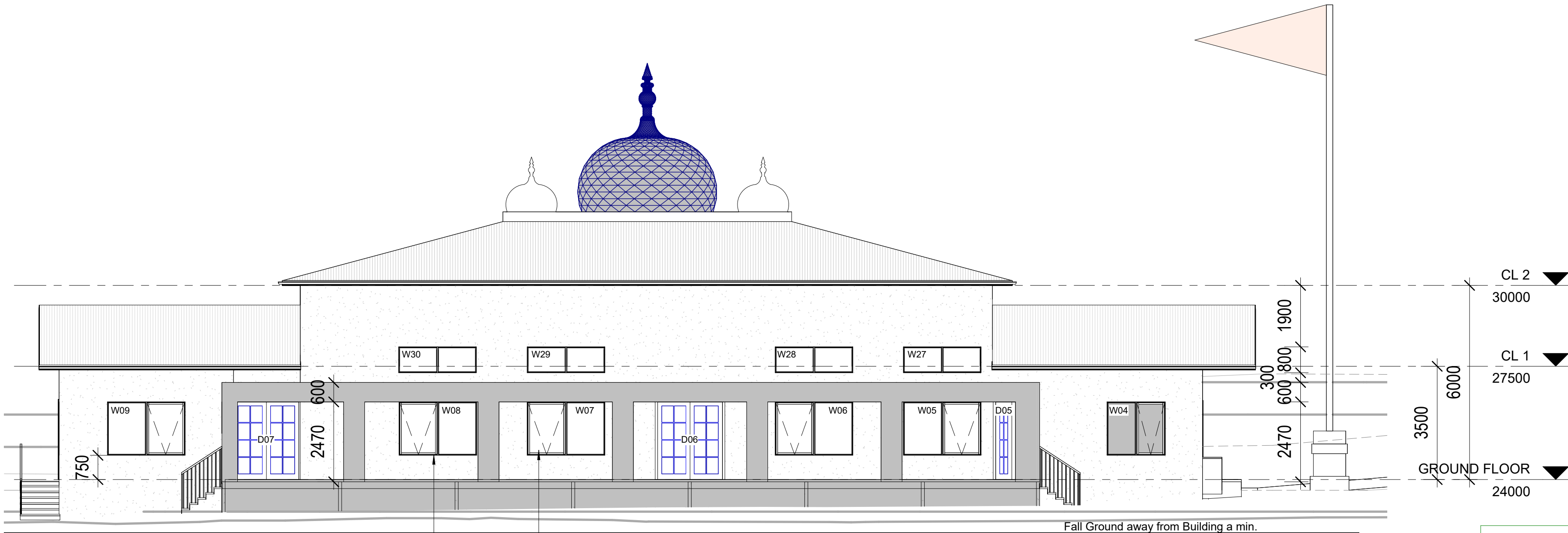
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Guru Nanak Society
Project:
Proposed Community Hall
Address:
13-15 McRorie Ct.
Cambridge, TAS - 7170

Revisions		
Issue	Issue Name	Date
1	Parking Plan & Landscaping revised	01/07/2025
2	Parking Plan revised	07/07/2025

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Sheet: ELEVATIONS		
Drawn: GK		
Scale: 1 : 100	Size: A2	Date: 12/11/2024
Project: GNS/13-15MC/Arch/ Nov21	Sheet: A05	Rev: 2



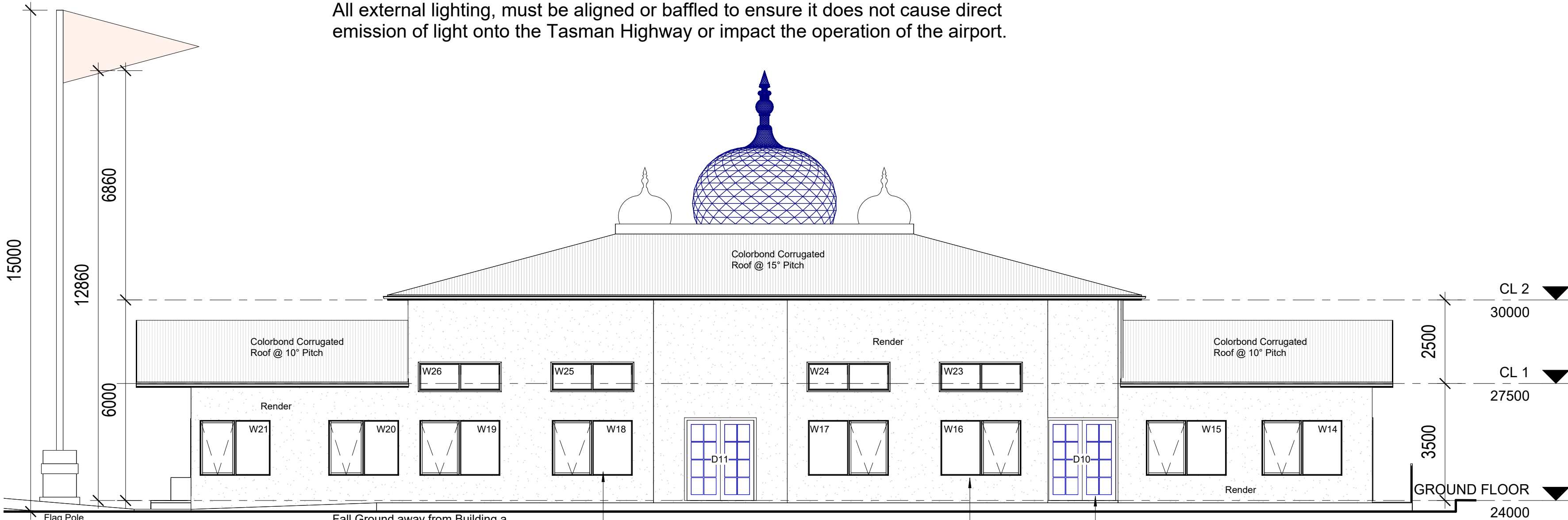
North Elevation

1 : 100

All external lighting, must be aligned or baffled to ensure it does not cause direct emission of light onto the Tasman Highway or impact the operation of the airport.

Door Schedule		
Number	Height	Width
720	2100	720
820	2400	820
920	2400	920
1500	2400	1500
CSD 1000	2400	1000
D01	2400	2000
D02	2400	920
D03	2400	920
D04	2400	2000
D05	2400	1000
D06	2400	2000
D07	2400	2000
D08	2400	1500
D09	2400	1500
D10	2400	2000
D11	2400	2000

Window Schedule				
Number	Width	Height	Sill Height	Head Height
W01	2400	1650	750	2400
W02	2400	1650	750	2400
W03	2400	1650	750	2400
W04	1800	1650	750	2400
W05	2400	1650	750	2400
W06	2400	1650	750	2400
W07	2400	1650	750	2400
W08	2400	1650	750	2400
W09	2400	1650	750	2400
W10	2400	1650	750	2400
W11	2400	1650	750	2400
W12	2400	1650	750	2400
W13	2400	1650	750	2400
W14	2400	1650	750	2400
W15	2400	1650	750	2400
W16	2400	1650	750	2400
W17	2400	1650	750	2400
W18	2400	1650	750	2400
W19	2400	1650	750	2400
W20	2100	1650	750	2400
W21	2100	1650	750	2400
W22	2400	800	2800	3600
W23	2400	800	3300	4100
W24	2400	800	3300	4100
W25	2400	800	3300	4100
W26	2400	800	3300	4100
W27	2400	800	3300	4100
W28	2400	800	3300	4100
W29	2400	800	3300	4100
W30	2400	800	3300	4100



South Elevation

1 : 100



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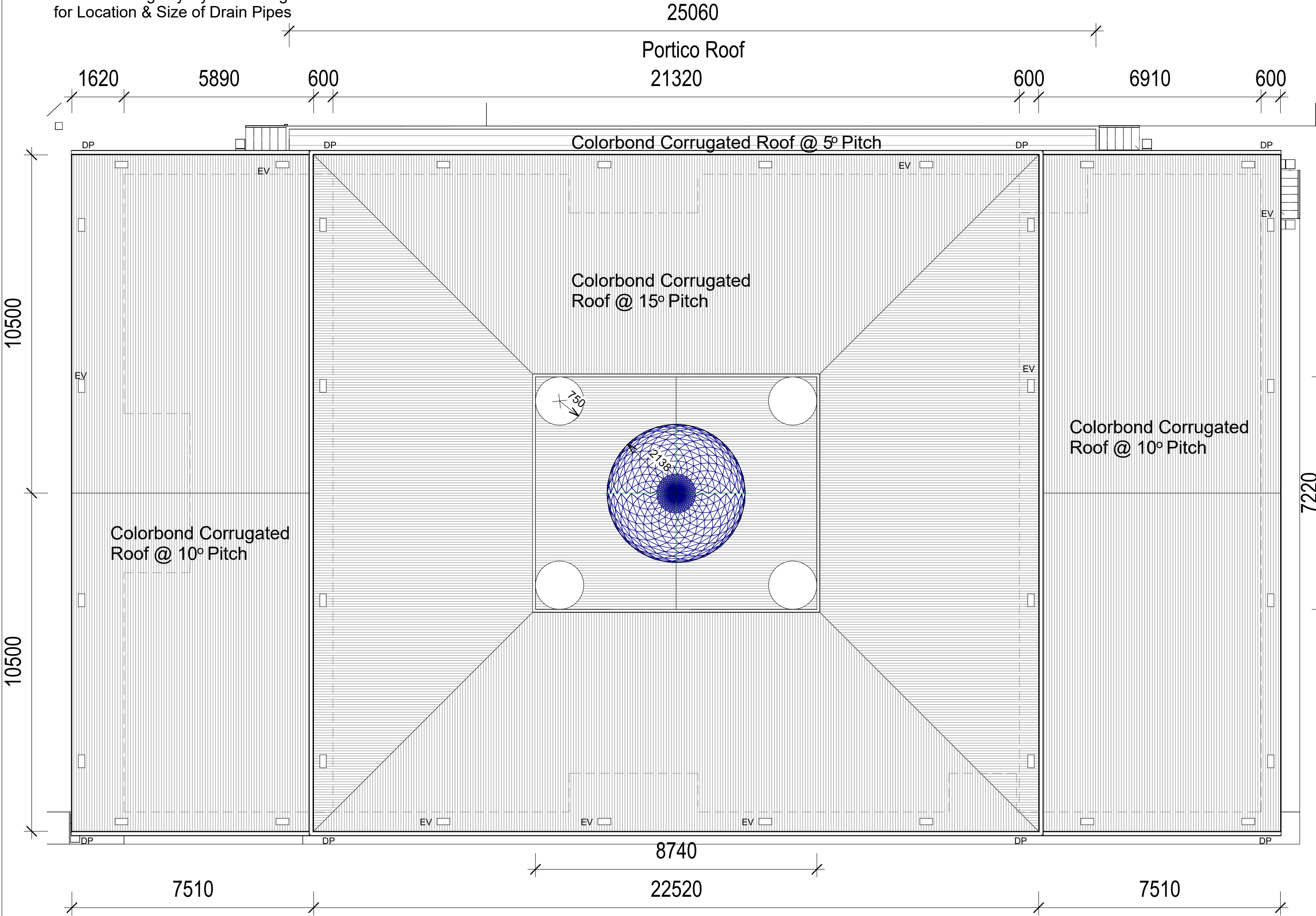
Client:
Guru Nanak Society
Project:
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Address:
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Cambridge, TAS - 7170

Revisions		
Issue	Issue Name	Date
1	Parking Plan & Landscaping revised	01/07/2025
2	Parking Plan revised	07/07/2025

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ELEVATIONS		
Drawn: GK		
Scale: 1 : 100	Size: A2	Date: 12/11/2024
Project: GNS/13-15MC/Arch/ Nov21	Sheet: A06	Rev: 2

Refer Drawings by Hydraulic Engineer
for Location & Size of Drain Pipes



Gutter and Down Pipes - NCC 2022 Part 7.4

- Colorbond metal fascias and gutters.
- Eaves gutters installed with a fall of 1:500 (normally).
- Box gutters fall of 1:100.
- Spacing between downpipes maximum 12m.
- Downpipes to be located 1.2m from a valley or provisions made for overflow.
- Gutters and downpipes to be selected in accordance with NCC Vol 2 Part 7.4.3 and table 7.4.3b and 7.4.3c. Zincalume color (B.M.T) 0.500 protected steel sheet to Australian Standard AS139\ Fascia clips/brackets shall be attached to fascia /barge at a max 1.2m centres using recommended fasteners.

Ventilation of Roof Spaces NCC 2022 Part 10.8.3

A roof must have a roof space that-

(a) is located-

(i) immediately above the primary insulation layer;or

(ii) immediately above sarking with a vapour permeance of not less than 1.14 $\mu\text{Eg/N.s}$, which is immediately above the primary insulation layer; or

(iii) immediately above ceiling insulation; and

(b) has a height of not less than 20 mm; and

(c) is either-

(i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or

(ii) located immediately underneath the roof tiles or an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roof Cladding

R5.0 Insulation batts to roof space above ceiling lining. Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
- (i) 2.8 x~ 30 mm fibre-cement nails; or
- (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
- (iii) No. 8 self embedding head screws (for 6 mm sheets only).
- Refer to table 7.5.5 for trimmer and fastener spacings.

F8D3 External wall construction

2 (b) for climate zone 6,7,& 8, 1.14 $\mu\text{g/N.s}$

Class 4 vapour control membranes meet the vapour permeance requirements of F8D3(2)(b).

ROOF PLAN

1 : 100

Parapet cappings
Where a wall cladding is used to form a parapet wall, the cladding must be attached to a supporting frame and have capping installed that complies with the following:

(a) Cappings must-

(i) be purpose made, machine-folded sheet metal or equivalent sections of a material compatible with all up and downstream metal roof covering materials in accordance with 7.2.2(2); and

(ii) extend not less than 50 mm down the sides of the parapet; and

(iii) be separated from the supporting framing by a vapour permeable sarking installed in accordance with (f); and

(iv) be fixed with either self drilling screws or rivets with rubber washers at intervals of not more than 500 mm that do not penetrate the top of cappings, except at joints and corners.

(b) The top of the capping must slope a minimum of 5 degrees.

(c) Joints in cappings must-

(i) overlap by not less than 50 mm in the direction of flow; and

(ii) be securely fastened at intervals of not more than 40 mm; and

(iii) have sealant installed between laps.

(d) Fixing for cappings must be compatible with the capping material in accordance with 7.2.2.

(e) Lead cappings must not be used with prepainted steel or zinc/aluminium steel or on any roof if the roof is part of a drinking water catchment area.

(f) Sarking must comply with AS 4200.1 and be installed behind all wall cladding where parapets are installed, with-

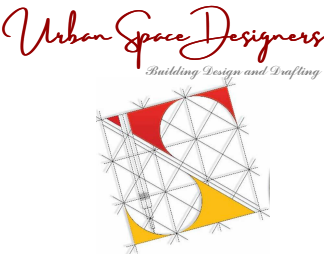
(i) each adjoining sheet or roll being -

(A) overlapped not less than 150mm; or

(B) taped together; and

(C) sarking fixed to supporting members at not more than 300mm centres.

DP - Downpipe
EV - Eave Vents (1 vent every 5m)



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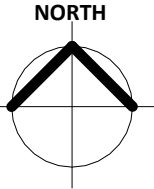
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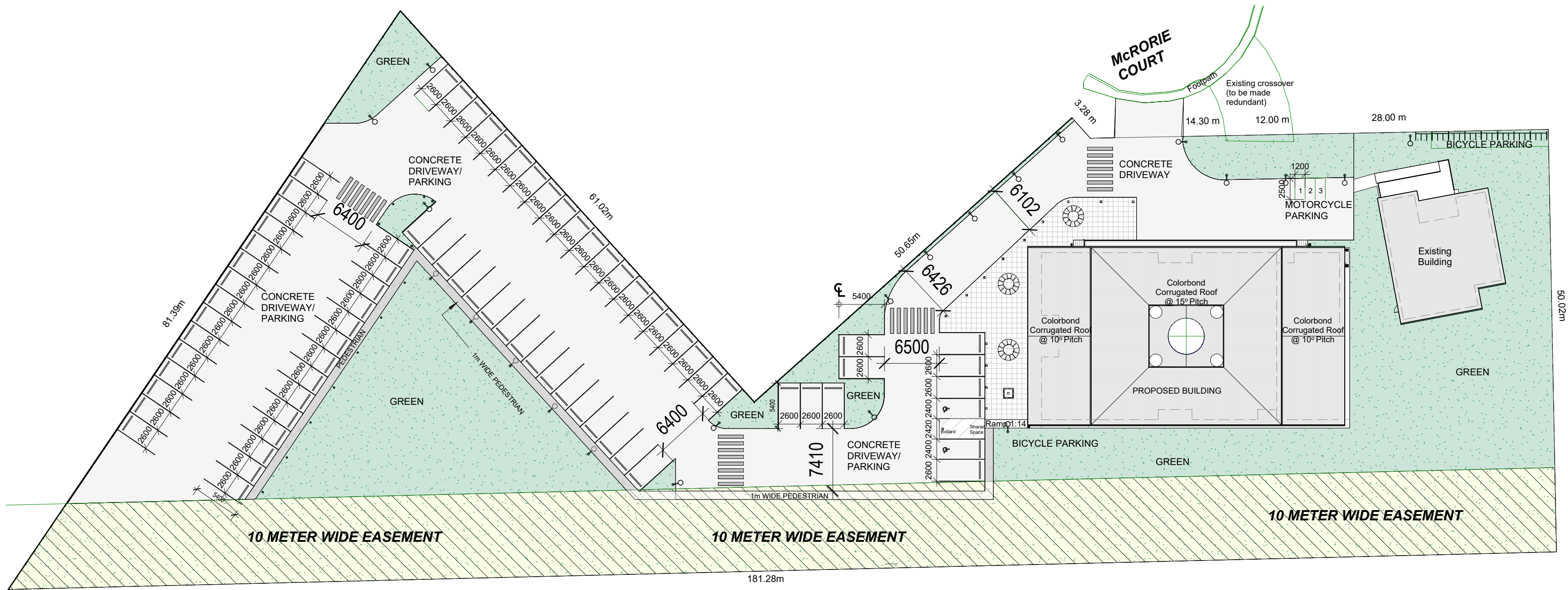
Issue	Issue Name	Date
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Sheet: ROOF PLAN		
Drawn: GK		
Scale: 1 : 100	Size: A2	Date: 12/11/2024
Project: GNS/13-15MC/Arch/ Nov21	Sheet: A07	Rev: 2



PARKING PLAN

1 : 400

NOTES: -

- FOOTPATHS, DRIVEWAYS AND PARKING BAYS ARE CONCRETE.
- FOOTPATH CROSSING ACCESS WAY IS CONCRETE.
- PEDESTRIAN ACCESS COMPLIES WITH C2.6.5 A1.1 (ACCEPTABLE SOLUTIONS)
- FOOTPATHS ARE PROPOSED MINIMUM OF 1M WIDE AND TO BE PROVIDED WITH PROTECTIVE DEVICES SUCH AS BOLLARDS, GUARD RAILS, PLANTERS ETC IN ACCORDANCE WITH C2.6.5 A1.1 (ACCEPTABLE SOLUTIONS)
- THE LAYOUT IS PROVIDED WITH ACCESSIBLE CAR PARKING SPACES FOR USE BY PERSONS WITH DISABILITY.
- FOOTPATH WIDTH PROPOSED IS 1.5M AND A GRADIENT NOT LESS THAN 1 IN 14 FROM ACCESSIBLE PARKING SPACES TO THE MAIN ENTRY POINTS TO BUILDING.
- LAYOUT IS IN ACCORDANCE WITH CLAUSE C2.6.5 A1.2 (ACCEPTABLE SOLUTIONS)
- DESIGN AND LAYOUT OF THE PARKING AREA IS IN ACCORDANCE WITH CLAUSE C2.6.2 A1.1 AND C2.6.2 A1.2 (ACCEPTABLE SOLUTIONS)
- THERE IS ONLY ONE VEHICULAR ACCESS TO SITE FROM AN EXISTING CROSSOVER COMPLY WITH THE CLAUSE C2.6.3 A1 (ACCEPTABLE SOLUTIONS)

PARKING	NUMBERS
TOTAL NUMBER OF CAR PARKS	75
DDA CAR PARKS	02
BICYCLES	25
MOTORCYCLES	03

All external lighting, must be aligned or baffled to ensure it does not cause direct emission of light onto the Tasman Highway or impact the operation of the airport.



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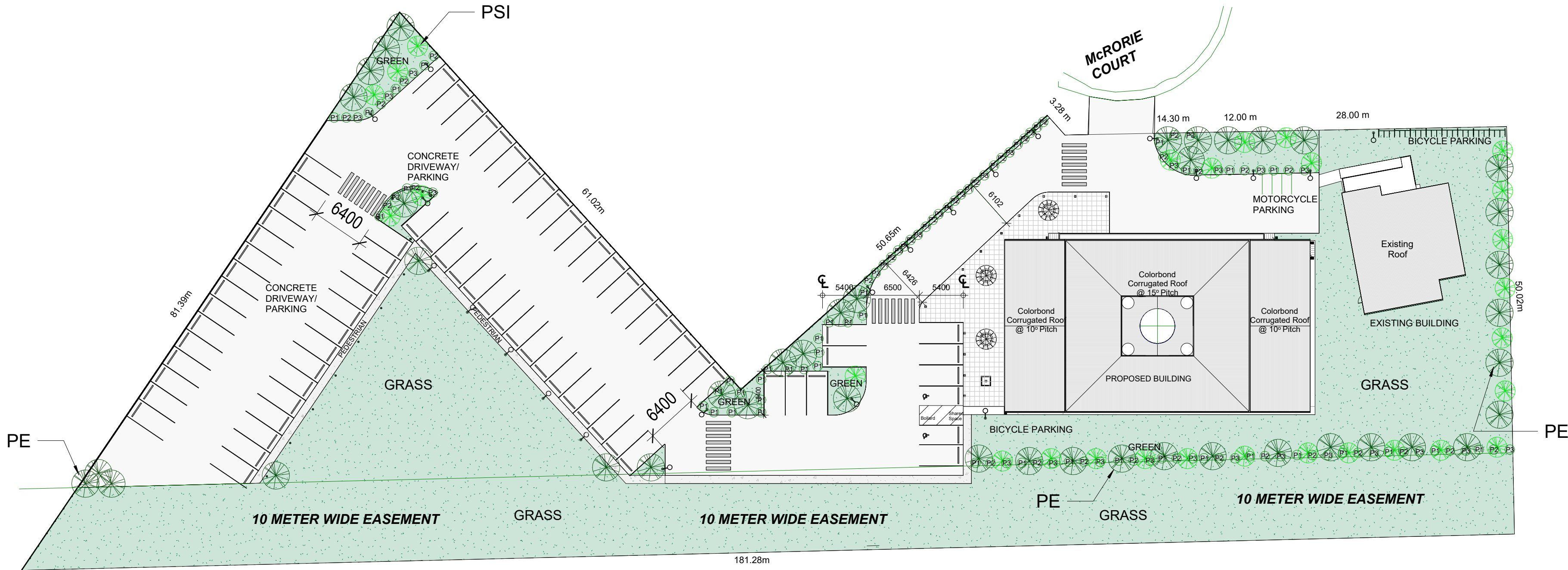
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Sheet: PARKING PLAN		
Drawn: GK		
Scale: 1 : 400	Size: A2	Date: 12/11/2024
Project: GNS/13-15MC/Arch/ Nov21	Sheet: A08	Rev: 2



LANDSCAPING PLAN

1 : 400

PLANTING SCHEDULE					
CODE	NAME	COLOUR	QUANTITY	HEIGHT	NOTES
LOW HEIGHT PLANTS					
P1	Leucophyta Brownii	Refer Photo	50	900+-	All Planting Beds to be Minimum 100min. Midnight Black Pine Bark
P2	Lomandra Tanika	Refer Photo	32	900+-	
P3	Anigozanthos Manglesii	Refer Photo	32	900+-	
TREES					
PSI	Pittosporum Stephens Island	2-3m High			
PE	Prunus Elvins (Flowering Cherry)	3m High			

NOTES: -

- LANDSCAPE LAYOUT IS IN ACCORDANCE WITH CLAUSE 18.4.5 A1 (ACCEPTABLE SOLUTION)
- LANDSCAPING TREATMENT IS PROVIDED ALONG THE FRONTAGE OF THE SITE WITH THE PROPOSED DEPTH OF 6.5M WHICH IS MORE THAT THE REQUIRED DEPTH OF 5.5M AS PER CLAUSE 18.4.5 A1 (TASMANIA PLANNING SCHEME)
- LANDSCAPE PROPOSAL COMPLY WITH CLAUSE CLA-S19.7.3 A1 (ACCEPTABLE SOLUTION) THAT THE DEPTH OF THE PROPOSED LANDSCAPING/GREEN AREA ALONG THE BOUNDARY OF TASMAN HIGHWAY IS NOT LESS THAN 10M



P1



P2



P3



PSE



PE



Phone:
0402438170
Email:
info@urbanspacedesigners.com.au
Website:
www.urbanspacedesigners.com.au
Accreditation:
TAS - 381246362
VIC - DP-AD 72846

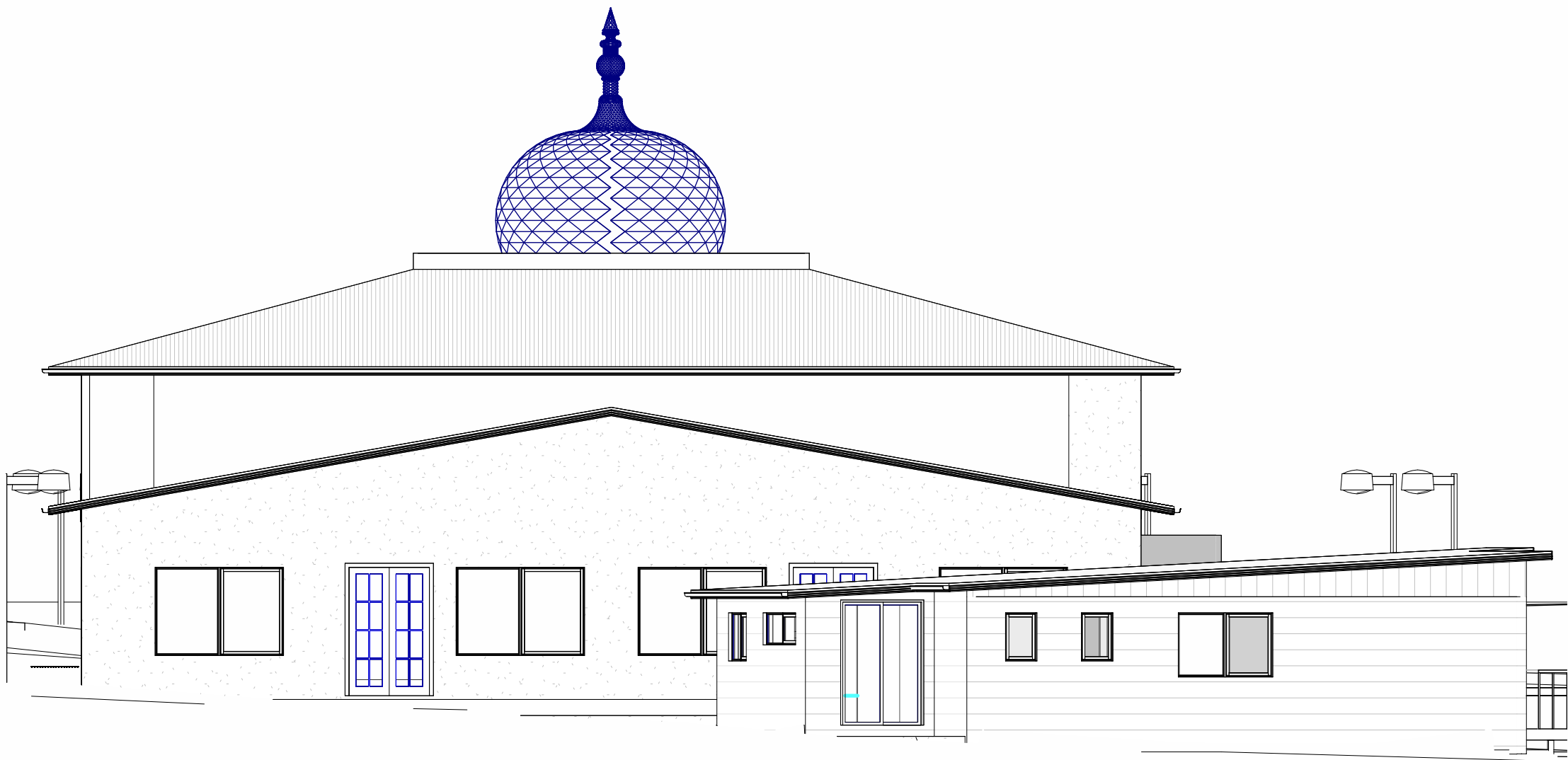
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USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically.
IF IN DOUBT ASK.
The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunction with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works. The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.

Client:
Guru Nanak Society
Project:
Proposed Community Hall
Address:
13-15 McRorie Ct.
Cambridge, TAS - 7170

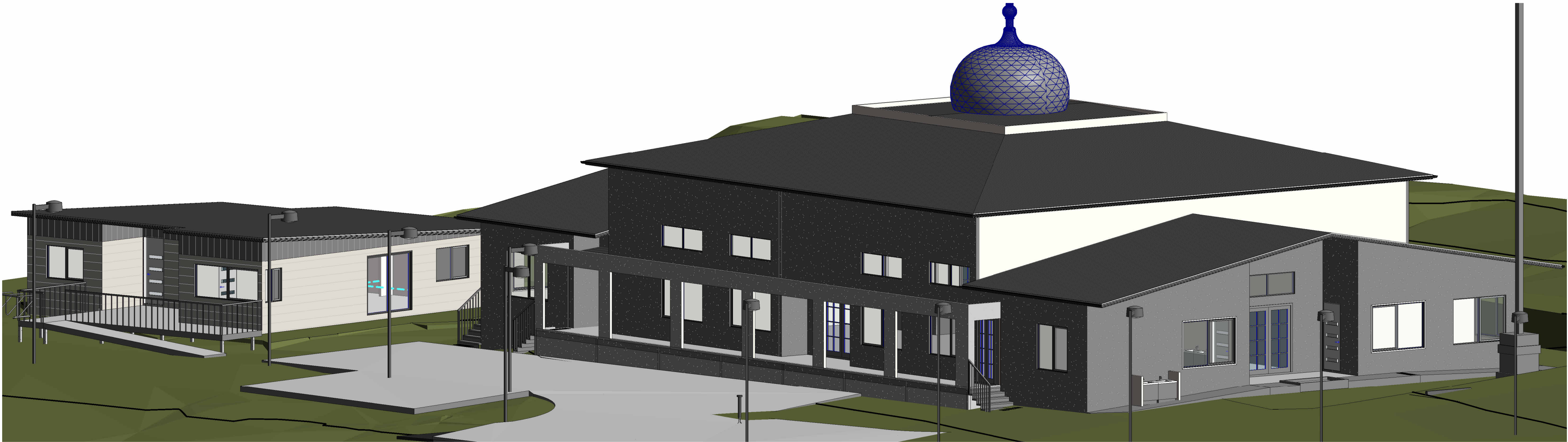
Revisions		
Issue	Issue Name	Date
1	Parking Plan & Landscaping revised	01/07/2025
2	Parking Plan revised	07/07/2025

DRAWINGS	
CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings. ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.	

Sheet: LANDSCAPE PLAN		
Drawn: GK		
Scale: As indicated	Size: A2	Date: 12/11/2024
Project: GNS/13-15MC/Arch/ Nov21	Sheet: A09	Rev: 2



VIEW (for illustration purpose only)



Phone:
0402438170
Email:
info@urbanspacedesigners.com.au
Website:
www.urbanspacedesigners.com.au
Accreditation:
TAS - 381246362
VIC - DP-AD 72846

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Client:
Guru Nanak Society
Project:
Proposed Community Hall
Address:
13-15 McRorie Ct.
Cambridge, TAS - 7170

Revisions		
Issue	Issue Name	Date
1	Parking Plan & Landscaping revised	01/07/2025
2	Parking Plan revised	07/07/2025

DRAWINGS
CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings. **ALL** work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.

Sheet: 3D VIEWS		
Drawn: GK		
Scale:	Size: A2	Date: 12/11/2024
Project: GNS/13-15MC/Arch/ Nov21	Sheet: A10	Rev: 2

PLUMBING WORK

Use this form for:

- Notice of Work
- Application for a Certificate of Likely Compliance
- Application for a Plumbing Permit

Section 108
Section 156
Section 165

Form **3**

To: Permit Authority
 Address
 Suburb/postcode

Application for: Permit ☐ CLC ☒ Notice of Work ☐ (X ones applicable)
Certificate of Completion ☐ (X to grant approval for certificate to be issued following the final inspection)

NOTE: Standard of Work Certificate and applicable fees must be submitted prior to Certificate of Completion being issued, in accordance with section 178 or section 115 of the *Building Act 2016*

Applicant / details:

Note: Only an owner or agent of the owner may make an application

Owner:
Address:

Contact person:
Phone No:
Fax No:
Email address:
Agent:
Address:

Contact person:
Phone No:
Fax No:
Email address:

Note: Agents to be authorised in writing by the owner

Details of plumbing work:

Type of work: Permit work ☐ Notifiable work ☒ Planning approval granted ☐
(X one applicable) (if applicable)
Address:

Lot No:
Certificate of title No:
The work:
(water or sewerage reticulation / stormwater / roof plumbing / on-site waste water management system / backflow prevention device / other)
Type of plumbing installation:
Brand / model:
(main use: dwelling, shop, food business, factory) Building class(es):

Plumber details:

Name: Category:
Address:

Phone No:
Fax No:
Licence No. Email address:

Plumbing designer details:			
Name:	REC Hydraulic Design P/L	Category:	Services Design
Address:	144 Lewisham Scenic Drive	Phone No:	0418 597 741
	Lewisham TAS	7173	Fax No: N/A
Licence No.	CC963M	Email address:	info@rechyd.com.au

Documents provided:	
The following documents are provided with this application -	
<i>Document description:</i>	<i>Prepared by:</i>
Documents as specified in Schedule 2 of the Director's Specified List:	
Hydraulic design documentation and Form 35	REC HYDRAULIC DESIGN CONSULTANTS P/L ROD COOPER CC963M

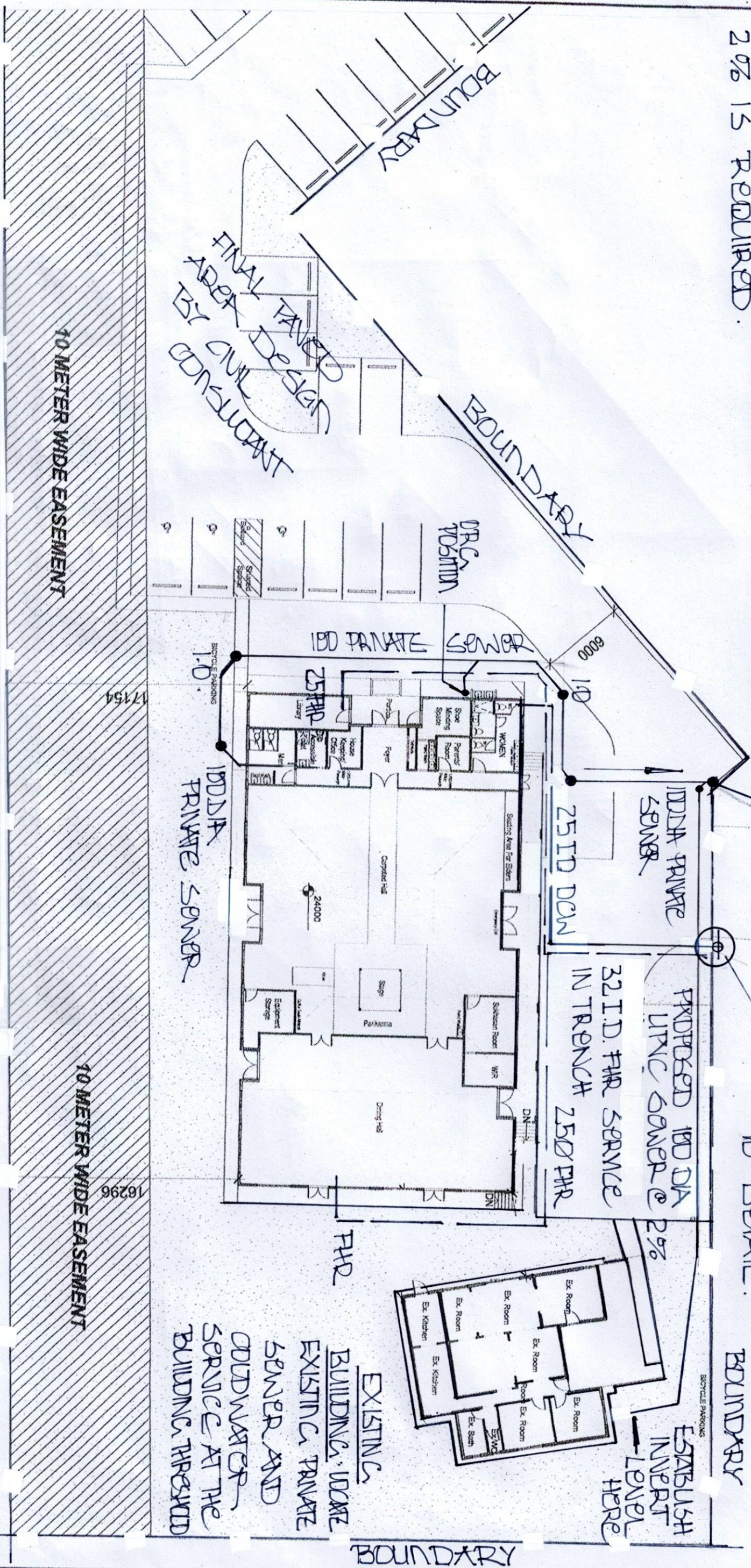
The plumbing work will be carried out in accordance with the **Building Act 2016**, the **Building Regulations 2016** and the National Construction Code.

	<i>Name: [print]</i>	<i>Signed</i>	<i>Date</i>
Owner to sign here			

EXISTING LTD
DIX SENIOR BRANCH.

EXISTING 201-D ON
SUPPLY TO BE UPGRADED
TO DEDAL. REWIRE

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IF IN DOUBT - ASK BEFORE PROCEEDING



CLIMATE CHANGE IS AN UNKNOWN FACTOR AND IS THEREFORE UNQUANTIFIABLE- THIS DESIGN IS PREPARED BASED ON STANDARDS AND CODES RELEVANT AND CURRENT AT THE DATE OF THE DESIGN. REC HYDRAULIC P/L DESIGN DO NOT ACCEPT ANY RESPONSIBILITY FOR THE FUTURE EFFECT OF DROUGHT, UNSEASONAL RAINFALL EVENTS, LACK OF SYSTEM MAINTENANCE OR OTHER OCCURRENCES RESULTING FROM THE EFFECTS OF FUTURE CLIMATE CHANGE. DATE OCTOBER 2025. ONGOING RESPONSIBILITY FOR MAINTENANCE OF THE SYSTEM REMAINS WITH THE PROPERTY OWNER.

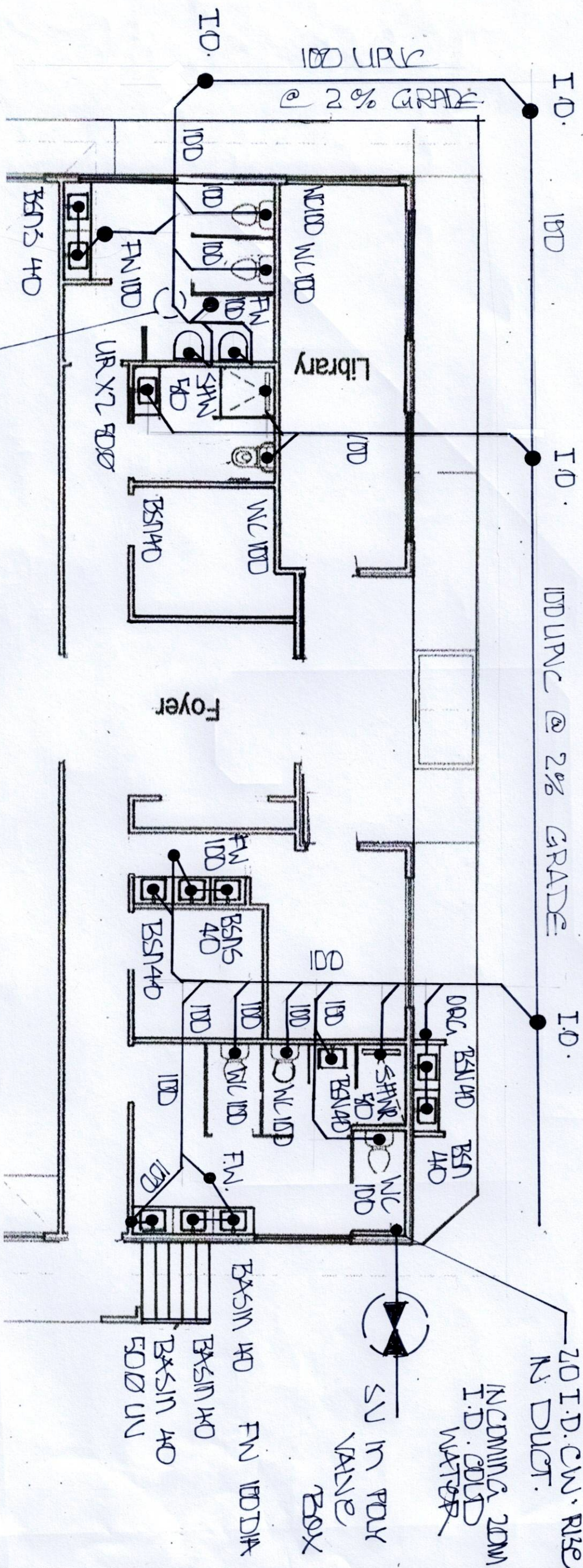
TEL - 0418 597 741 E - info@rechyd.com.au

25/52

天
地
人

HYDRAULIC DESIGN CONSULTANTS CC963M

DATE: 10-25	SCALE: NTS	DESIGNER: RRD COOPER	PROJECT: 13-15 Mc ROULE COURT
DRAWING No: DWG-H-1	REV: A	TITLE: HYDRAULIC SERVICES	



REC

HYDRAULIC DESIGN CONSULTANTS CC963M

DATE: 10/25	SCALE: NTS	DESIGNER: R00 COOPER	PROJECT: 13-15 N. FORD ST
DRAWING NO: DWG-H-2	REV: A		TITLE: HYDRAULIC SERVICES

TEL: 0418 597 741 E: info@rechyd.com.au

25/52

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DATE:	10/25/13	SCALE:	NTS	DESIGNER:	RDD COOPER	PROJECT:	3-15 N. KODIE CRT
DRAWING NO:	DWG-H-3	REV:	A			TITLE:	3-15 N. KODIE CRT

25/52





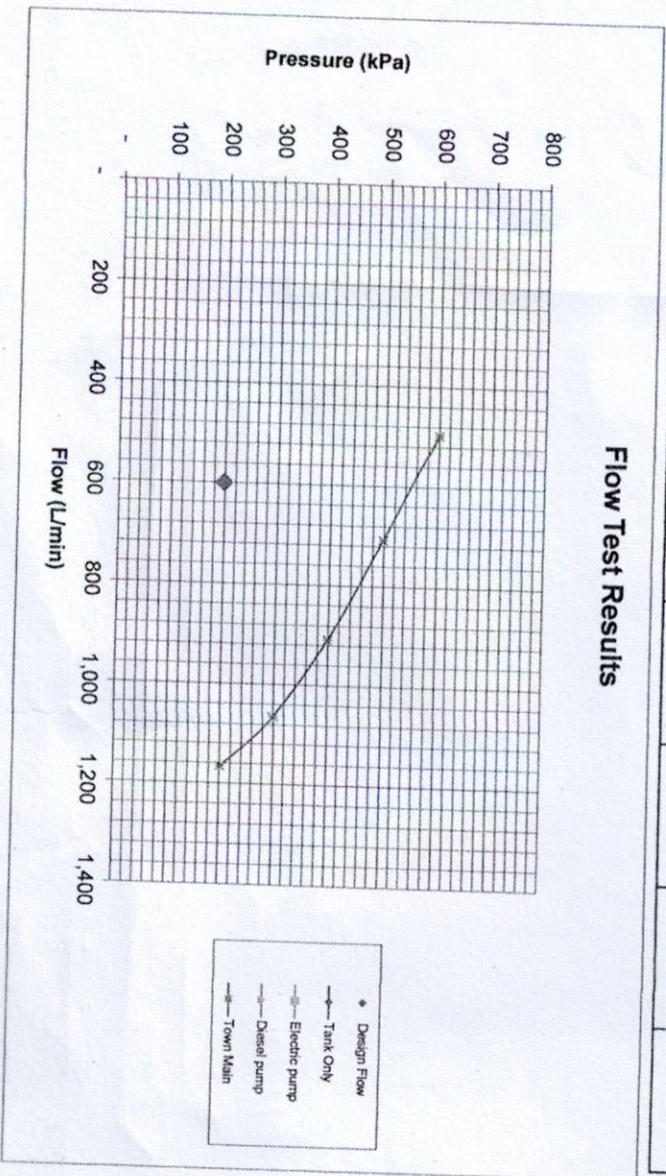
Fire and Safety Tasmania

2/126 St Leonards Road Launceston, Tasmania 7250

Hydrant flow test results

Client: Action Builders Hobart Design Standard: AS1851
Site: McRories Crt Cambridge Classification:
Date: 28/08/2025 Rated Flow: 600
Tested By: Joel Pedder Rated Pressure: 200
Water Supply: Towns Main Annubar:
Booster Pumps: Na Testing Device: Flow Box

Inches Hg	Flow (L/min)	Tank Only (kPa)	Electric pump (kPa)	Diesel pump (kPa)	Town Main (kPa)	RPM	AMP
Static	1323				700		
Open Flow	496.8				600		
	708.6				500		
	908.4				400		
	1064.4				300		
	1165.8				200		



Result: ☒ PASS ☐ FAIL

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ET CALCULATION

DEVELOPMENT ADDRESS: 13-15 McRORIE COURT CAMBRIDGE, TASMANIA
COUNCIL MUNICIPALITY: CLARENCE CITY COUNCIL: DA 2024/1397
TASWATER REFERENCE: TWDA2024/1397
TASWATER REVIEWING OFFICER: ELIO ROSS.

THE PROPOSAL HAS CHANGED SINCE THE ORIGINAL APPLICATION. THE DEVELOPERS HAVE ENGAGED SURVEYORS TO PREPARE DOCUMENTATION FOR AN AMALGAMATION OF TITLES: THE PROPOSED ARRANGEMENT WILL BE FOR A SINGLE TITLE INCLUDING THE EXISTING WEATHERBOARD BUILDING ON THE SITE.

CLASSIFICATION	UNIT	No	ET
COMMUNITY CENTRE/HALL	CF06 CASE BY CASE	0	0.0
	CF00 SHWRWC/URINAL	14	0.4
	MP01 GBFA - SQ METRES	195	0.975

LAND TITLES: AMALGAMATED FROM 3 TO 1

CREDIT ETs FOR EXISTING LAND TITLE: 1.00

TOTAL ET: 4.6

TEST RESULTS FOR ON LINE BALL HYDRANT LOCATED ON TASWATER INFRASTRUCTURE IN CUL DE SAC ARE IDENTIFIED ON DRAWING 25/52 H5(A). STATIC PRESSURE AT THE HYDRANT IS 700kpa AVAILABLE, EXISTING WATER AND SEWER BRANCHES PREVIOUSLY SERVING 3 LOTS WILL BE ABOLISHED AND SEALED BY TASWATER AT THE DEVELOPERS COST, REFER TO DRAWING 25/52 H6(A) AND H8(A) FOR SCOPE AND NOTES. A NEW LOW HAZARD 50mm DIAMETER WATER CONNECTION IS REQUIRED TO SERVE 2 BUILDINGS (1 EXISTING & 1 PROPOSED) - THE CONNECTION WILL BE SUPPLIED AND INSTALLED BY TASWATER AT THE DEVELOPERS COST AND IN ACCORDANCE WITH TASWATER STANDARD DRAWING TWS-W-002 13 OF 19.

A WATER PRESSURE OF 350kpa IS REQUIRED BEYOND THE NEW CONNECTION, ESTIMATED HEAD LOSS THROUGH THE CONNECTION ASSEMBLY IS 20 PSI PLUS A FURTHER 5 PSI FOR VERTICAL HEIGHT BETWEEN THE CONNECTION AND THE TOPMOST FIXTURE.

TEL - 0418 597 741 E - info@redhyd.com.au

25/52

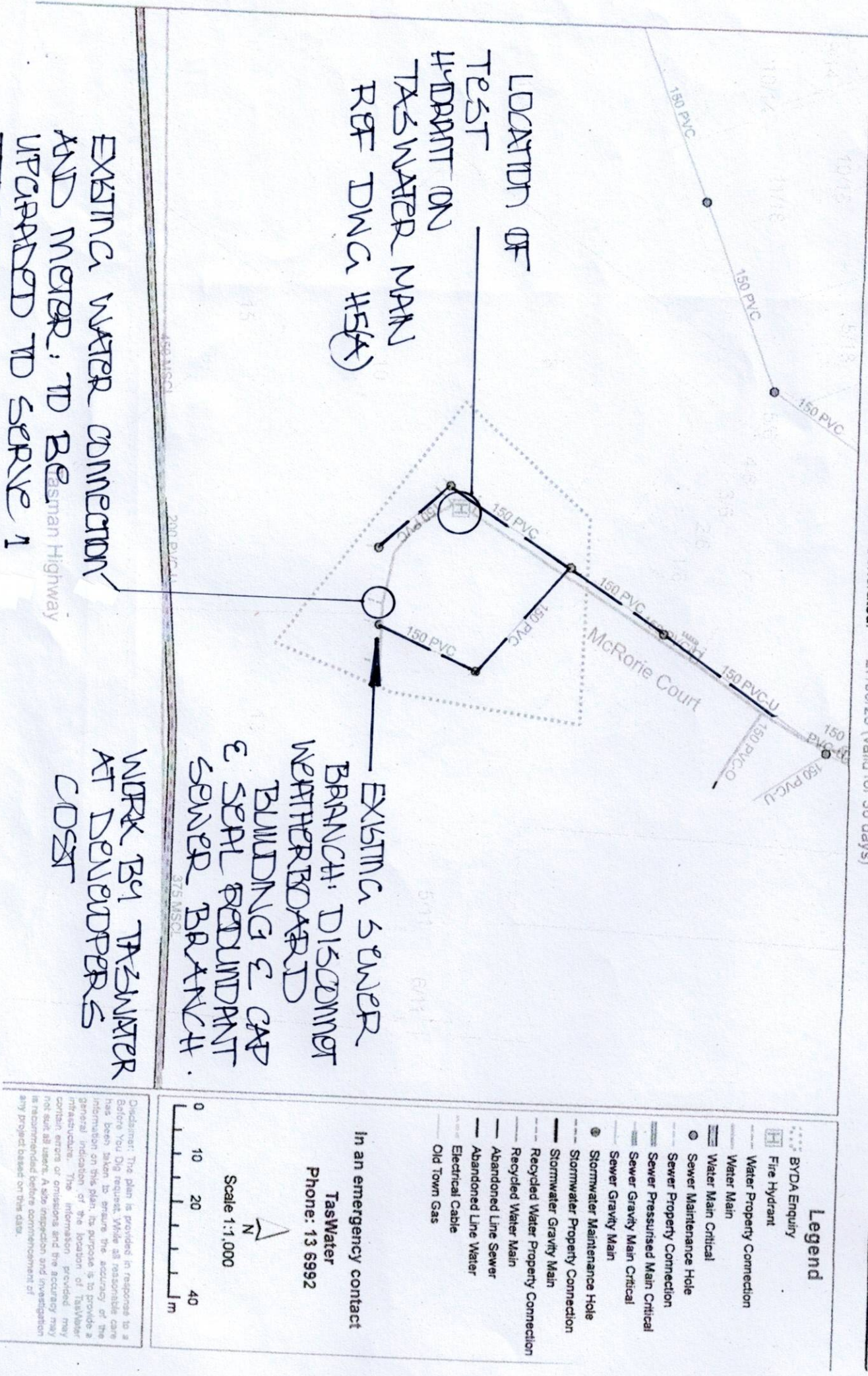
DATE: 15/08/2024 SCALE: N15 DESIGNER: R00 COOPER PROJECT: 13-15 McRories Crt
DRAWING NO: DWG-H-5 REV: A TITLE: HYDRAULIC DESIGN

REC

HYDRAULIC DESIGN CONSULTANTS CC963M

TasWater

Job # 51285325 Seq # 261779144
Provided by: TasWater
Date Generated: 27/09/25 (valid for 30 days)



LOCATION OF
TEST
HYDRANT ON
TASWATER MAIN
REF DWG H56

EXISTING SEWER
BRANCH: DISCONNECT
WEATHERBOARD
BUILDING & CAP
& SEAL REDUNDANT
SEWER BRANCH

WORK BY TASWATER
AT DEVELOPERS
COST

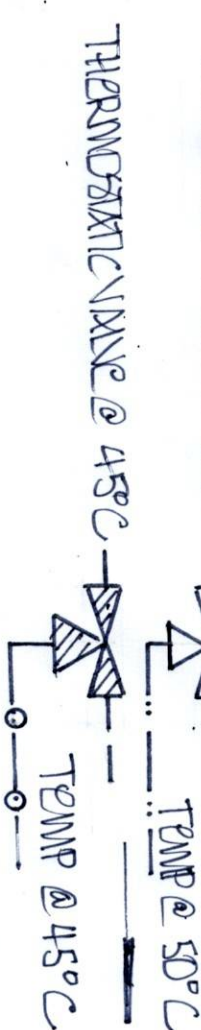
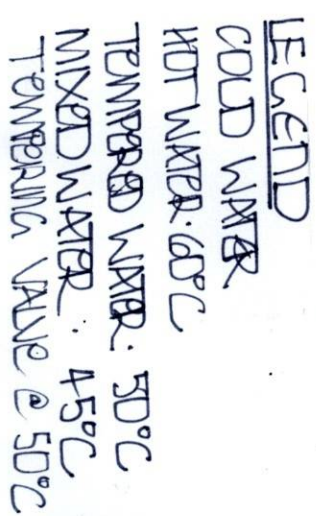
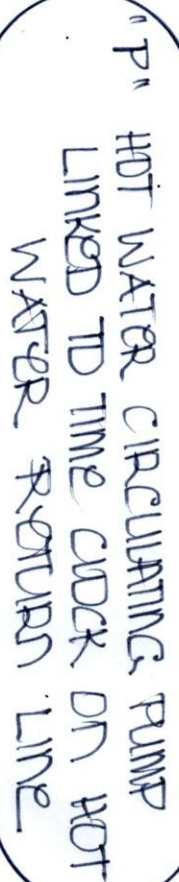
EXISTING WATER CONNECTION
AND METER TO BEASMAN HIGHWAY
UPGRADED TO SERVE 1
TITLE DEVELOPMENT
UPGRADE BY TASWATER AT
DEVELOPERS COST

REC

HYDRAULIC DESIGN CONSULTANTS CC963M

TEL - 0418 597 741 E - info@rechyd.com.au

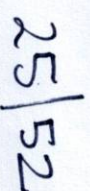
DATE	02/10/25	SCALE	N/B	DESIGNER	RDD COOPER	PROJECT	13-15 MCROBIE COURT
DRAWING NO.	DWG-H-6	REV.	A			TITLE	HYDRAULIC DESIGN DETAILS



HYDRAULIC DESIGN CONSULTANTS CC963M

DATE	10-15	SCALE	N.T.S.	DESIGNER	ROD COOPER	PROJECT	3RD POLE COURT
DRAWING NO.	DWG-H-7	REV.	A	TITLE	WATER RETICULATION		

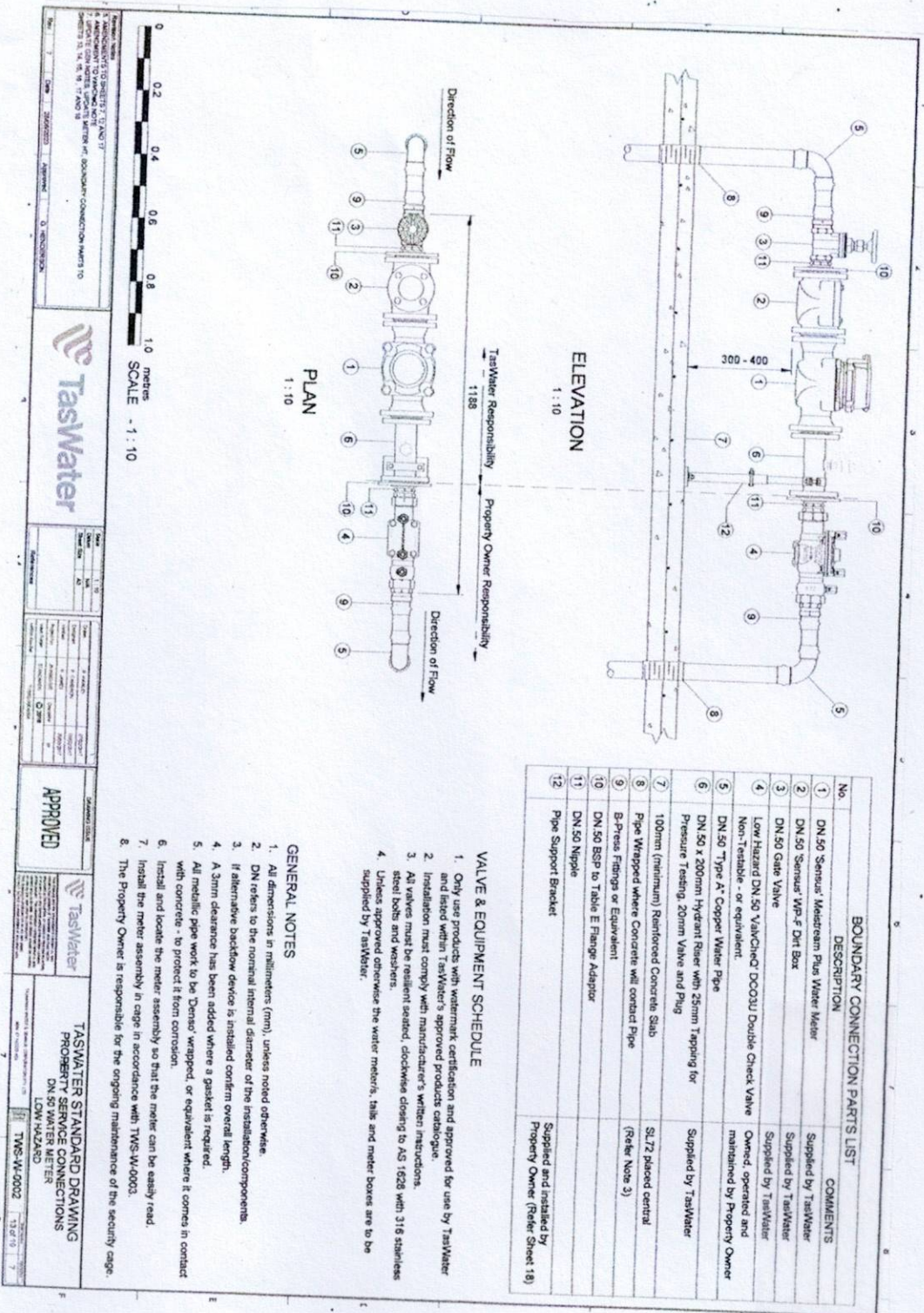
REFER TO ATLANTIDRUMWATER
REPORT FOR SITE DRUMWATER
MANAGEMENT DETAILS.



HYDRAULIC DESIGN CONSULTANTS CC963M

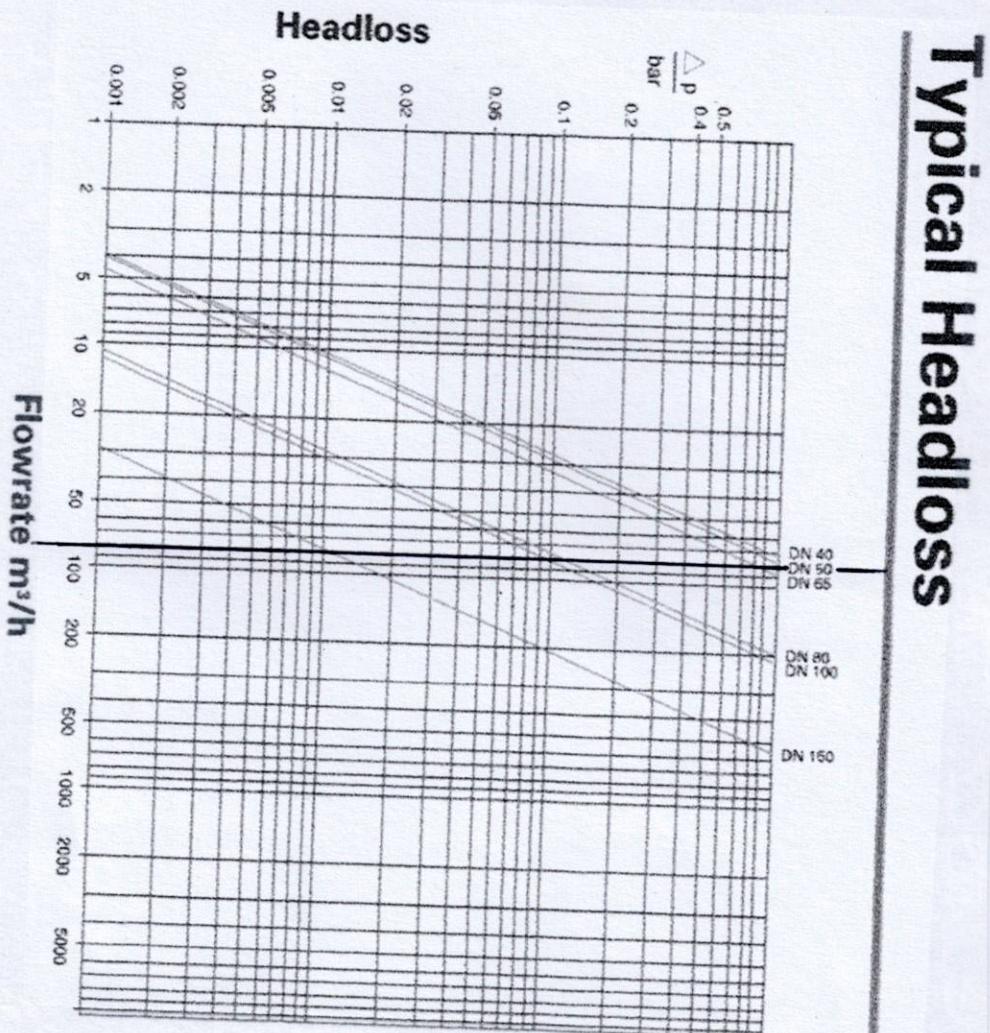
TEL - 0418 597 741 E - info@rechyd.com.au

DATE	10-25	SCALE	N75	DESIGNER	ROD COOPER	PROJECT	3-15 MCBOPES COURT
DRAWING NO.	DWG-H-	9		REV.	A	TITLE	SEWAGE WATER MANAGEMENT



PROPOSED WATER CONNECTION
BY TASWATER AT DEVELOPER'S
COST. REPLACES REDUNDANT
EXISTING 20 I.D. CONNECTION.

MAXIMUM HEAD LOSS THROUGH VALVED DOUBLE
15 ID PSI



WATER METER
LIKELY HEAD LOSS

REC

HYDRAULIC DESIGN CONSULTANTS CC963M

TEL - 0418 597 741 E - info@rechyd.com.au

25/52

DATE: 10/25/18	SCALE: NTS	DESIGNER: RDO COOPER	PROJECT: 13-15 THERMOPILES CRT
DRAWING NO: DWG-H-10	REV: A	TITLE: WATER SUPPLY	

BENCHMARK STANDARDS ARE AS/NZS3500-2021:1 TO 4 AS APPLICABLE, NATIONAL CONSTRUCTION CODE 2022, TASWATER STANDARDS FOR SEWER AND WATER CONNECTIONS AND ANY REQUIREMENTS OF CLARENCE CITY COUNCIL FOR STORMWATER MANAGEMENT.

THE DEVELOPER HAS PROCEEDED WITH A DECISION TO AMALGAMATE 3 ORIGINAL LAND TITLES INTO ONE AND THIS PROCESS IS IN PROGRESS. THE SITE WILL BE SERVED BY ONE SEWER CONNECTION, ONE WATER CONNECTION AND ONE STORMWATER CONNECTION - THE DESIGN DRAWINGS WILL REFLECT THE "ONE TITLE" ARRANGEMENT.

WATER RETICULATION :

REFER TO DESIGN DRAWINGS FOR THE LOCATION OF THE ONE PRIVATE COLD WATER CONNECTION, REDUNDANT WATER CONNECTION POINTS AS SHOWN ARE TO BE ABOLISHED AND SEALED BY TASWATER AT THE DEVELOPERS COST, ALLOWANCE IS TO BE MADE TO CONNECT THE EXISTING WEATHERBOARD BUILDING ON SITE TO THE NEW PRIVATE WATER LINE: ESTABLISHMENT OF BRANCH SIZE, CONDITION, RESIZING AND SUITABILITY IS TO BE CONFIRMED BY THE CONTRACTOR BEFORE COMMENCING ANY OTHER NEW WORK.

TO BE INSTALLED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARD AND CURRENT ISSUE OF N.C.C.. NO PIPEWORK IS TO BE INSTALLED UNDER CONCRETE FLOORS, ALLOW PRESSURE TESTING OF COMPLETE INSTALLATION BEFORE CLOSING IN, ALL MATERIALS MUST BE WATERMARK APPROVED AND ALSO MEET STANDARDS FOR LEAD FREE MATERIALS.

HEATED WATER ADOPTS A RETURN LOOP SYSTEM WITH FLOW CONTROL MANAGED BY A HOT WATER CIRCULATION PUMP AND ADJUSTABLE TIME CLOCK. ALLOW TO PROVIDE 20mm ID COLD WATER PIPING IN TRENCHES TO SERVE 4 EXTERNAL ANTI VANDAL COLD WATER HOSE BIB TAPS WITH INTEGRAL VACUUM BREAKERS AS NOMINATED BY THE DEVELOPER.

PRIVATE SEWER:

REFER TO DESIGN DRAWINGS FOR THE LOCATION OF THE ONE PRIVATE SEWER CONNECTION, REDUNDANT SEWER CONNECTION POINTS AS SHOWN ARE TO BE ABOLISHED AND SEALED BY TASWATER AT THE DEVELOPERS COST, ALLOWANCE IS TO BE MADE TO CONNECT THE EXISTING WEATHERBOARD BUILDING ON SITE TO THE NEW PRIVATE SEWER LINE: ESTABLISHMENT OF BRANCH SIZE, CONDITION AND SUITABILITY IS TO BE CONFIRMED BY THE CONTRACTOR BEFORE COMMENCING ANY OTHER NEW WORK.

STORMWATER

REFER TO DESIGN DRAWINGS FOR THE LOCATION OF THE ONE PRIVATE STORMWATER CONNECTION, REDUNDANT STORMWATER CONNECTION POINTS AS SHOWN ARE TO BE ABOLISHED AND SEALED BY CLARENCE CITY COUNCIL AT THE DEVELOPERS COST, ALLOWANCE IS TO BE MADE TO CONNECT THE EXISTING WEATHERBOARD BUILDING ON SITE TO THE NEW PRIVATE STORMWATER LINE: ESTABLISHMENT OF BRANCH SIZE, CONDITION, RESIZING AND SUITABILITY IS TO BE CONFIRMED BY THE CONTRACTOR BEFORE COMMENCING ANY OTHER NEW WORK.

ALLOW TO SUPPLY AND INSTALL THE NOMINATED GROSS POLLUTANT MANAGEMENT SYSTEM AT THE SITE BOUNDARY.

SERVICES MAINTENANCE:

ALL HYDRAULIC SERVICES ARE TO BE INCLUDED IN THE BUILDING MAINTENANCE REGISTER.

THE CONTRACTOR SHALL:

WORK ONLY FROM STAMPED AND APPROVED PLANS AND ASSOCIATED DESIGN DOCUMENTATION, A COPY OF WHICH MUST BE RETAINED ON SITE AT ALL TIMES DURING THE CONSTRUCTION PHASE. AT COMPLETION OF THE WORKS SUPPLY TWO SETS OF FULLY DIMENSIONED AS CONSTRUCTED DRAWINGS ON A BUILDING SCALE OF 1:200-1 SET TO CLARENCE CITY COUNCIL AND ONE SET TO THE PROPERTY OWNER, THE DRAWINGS MUST BE CLEAR AND LEGIBLE.

THE PROJECT NOTES AND LISTED SCOPE OF WORK IS NOT EXHAUSTIVE, LATENT CONDITIONS THAT NECESSITATE CHANGE MAY ARISE DURING THE CONSTRUCTION PHASE, THE DESIGNER MUST APPROVE ANY CHANGES TO THE DESIGN.

TEL - 0418 597 741 E - info@rechyd.com.au

25/52

DATE: 17/05/25	SCALE: 1:50	DESIGNER: ROD COOPER	PROJECT: 13-15 MCDONALD ST
DRAWING NO: DWG-H-11	REV: A		TITLE: SCOPE & NOTES

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

To: Owner name
 Address
 Suburb/postcode

Form **35**

Designer details:

Name: Category:
Business name: Phone No:
Business address:
 Fax No:
Licence No: Email address:

Details of the proposed work:

/Applicant Designer's project reference No.
Address: Lot No:

Type of work: Building work ☐ Plumbing work ☒ (X all applicable)

Description of work:

Sanitary plumbing, drainage, roof plumbing and water supply design for a building extension to an existing place of worship/amenities building.

(new building / alteration / addition / repair / removal / re-erection
water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	☐ Building design	Architect or Building Designer
	☐ Structural design	Engineer or Civil Designer
	☐ Fire Safety design	Fire Engineer
	☐ Civil design	Civil Engineer or Civil Designer
	☒ Hydraulic design	Building Services Designer
	☐ Fire service design	Building Services Designer
	☐ Electrical design	Building Services Designer
	☐ Mechanical design	Building Service Designer
	☒ Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	☐ Other (specify)	
Deemed-to-Satisfy X		Performance Solution

Design documents provided:

The following documents are provided with this Certificate –

Document description:

Drawing numbers: 23/17
H1(A)H2(A)H3(A)H4(A)H5(A)H6(A)H7(A)H8(A)H9(A)
H10(A) H11(A)

Prepared by: REC Hydraulic Design P/L Date: 5.10.25

Safety Report

Prepared by: REC Hydraulic Design P/L Date: 5.10.25

Specifications:

Prepared by: REC Hydraulic Design P/L Date: 5.10.25

Computations:

Prepared by: Date:

Performance solution proposals:

Prepared by: Date:

Standards, codes or guidelines relied on in design process: AS/NZS 3500 1 – 4 2021 Inclusive, NCC, Tasmanian Building Code and local authority requirements

Any other relevant documentation:

Attribution as designer:

I Rod Cooper am responsible for the design of that part of the work as described in this certificate, I have obtained a Form 55 for the Performance Solution component (pump transfer) of the installation.

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

Name: (print)

Signed

Date

Designer:

Rod Cooper



5.10.25

Licence No:

CC963M

Assessment of Certifiable Works: (TasWater)

- ☐ The works will not increase the demand for water supplied by TasWater
- ☐ The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- ☐ The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- ☐ The works will not damage or interfere with TasWater's works
- ☐ The works will not adversely affect TasWater's operations
- ☐ The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- ☐ I have checked the LISTMap to confirm the location of TasWater infrastructure
- ☐ If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I Rod Cooper being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at:

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:			

PROJECT SAFETY REPORT

PROJECT ADDRESS: 13 McRORIES COURT CAMBRIDGE
TASMANIA

REC Hydraulic Design Consultants P/L has been engaged to provide the following design services for this project. Our work is limited to the following:

- Design for hydraulic services for extensions to a place of worship.
- The function of this Project Safety Report is to identify potential health and safety hazards associated with the project as a workplace during its construction until hand over to the client. Ongoing responsibility for site safety and the finished project lies with the property owner.

▪

▪ Project description

The proposal is to achieve compliance for hydraulic installations as described above

Contractors Construction Sequence

- Establish site, identify & protect existing services;
- Excavate for drainage and various extensions.
- Installation of all pipework, trenching to meet WH & S requirements.
- Backfill and make good all existing surfaces disturbed elements and trenches.
- Make good to any damaged elements.

1.1 Existing site

The following site hazards may exist at the site in its existing state:

- Underground services/ power, comms,
- Overhead services: power/communication
- Road/access: site lines/construction access/geometry/strength
- Pedestrian Safety

1.2 Consultation

For this project we have consulted with the following people or organisations to understand the project and quantify any workplace health and safety risks in the areas covered by our work:

- Site Assessment
- Architects Plans
- DBYD Record
- CCC Infrastructure and Drainage Plans

Risk identification by REC Hydraulic Design P/L begins during the site investigation phase, and ends with the issue of construction documentation. The process includes the identification of existing site hazards, a review for safe constructability of designed elements, in service and maintenance hazards for the completed building, and any special demolition issues. The process for managing identified risks remains the responsibility of the contractor. Information provided by REC Hydraulic Design is not exclusive – correct WH&S procedures must be followed by the contractor.

2 Hazard Risk Identification and Risk Management Recommendations.

REC hydraulic Design Consultants P/L have not been engaged to provide any contract administration input to the project at this stage. Contractors shall be mindful of the need to develop safety plans for potential public activity adjacent. All contractors are required to provide their own Safety Management Plans to the property owner prior to commencing any work inclusive of preliminary site assessment. The SMP is to be signed and dated by all parties and include a section for employees to sign off on their understanding of the safety and risk issues.

Contractors Shall:

- ***Allow to identify the location of all existing subsurface services prior to commencing any new work.***
- ***The existing building is of an age where material containing asbestos fibre may be present, if encountered the contractor is to observe all safety requirements.***

Note that Codes of Practice are available via the Worksafe Tasmania Website, the non exhaustive list below is a reference:

- Safe Design of Structures.
- Work Health and Safety Cooperation and Coordination.
- Managing the Work Environment and Facilities.
- Managing the Risks of Plant in The Workplace.
- Managing the Risk of Falls in The Workplace.
- Managing Noise and Preventing Hearing Loss at Work.
- Managing Electrical Risks in The Workplace.
- How to Manage Work Health and Safety.
- Hazardous Manual Tasks.

Contractors have an obligation to source the above information.

3 Protection Work Identification

Protection Work involves taking steps to protect adjoining premises, their occupants and members of the public from harm that may be caused as a result of plumbing work. Protection work is required when proposed works have the potential to damage an adjoining property or risk the safety of occupants of other people. The contractor is required to take into consideration aspects of the proposed works that may have this effect and to act accordingly, where there is any doubt, particularly where a latent condition has impacted on the situation the work area must be made safe and the relevant authority and qualified experts must be notified ***before proceeding***.

The information provided in this document is not exclusive, additional issues may arise during the construction phase and must be addressed.

REC HYDRAULIC DESIGN CONSULTANTS P/L HAVE NOT BEEN ENGAGED TO PROVIDE ANY SITE SUPERVISION OF HYDRAULIC WORKS

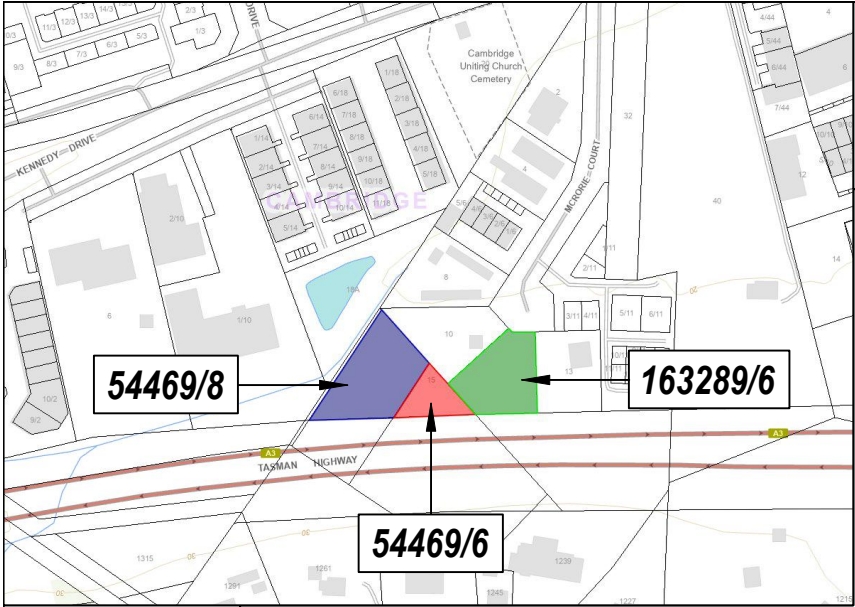
Provision of SMP's remains the responsibility of each contractor, subcontractor and their employees.

The logo for Rod Cooper, featuring a stylized 'R' and 'C' intertwined, with the name 'Rod Cooper' written in a script font to the right.

Rod Cooper- Director

REC Hydraulic Design Consultants P/L 144 Scenic Drive Lewisham Tas 7173

5th October 2025



LOCATION PLAN

Overlay Legend:

- Airport Obstacle Limitation Area: Entire Site
- Road or Railway Attenuation Area:

This plan has been prepared only for the purpose of obtaining preliminary subdivisional approval from the local authority and is subject to that approval.

All measurements and areas are subject to the final survey.

Base image by Nearmap (www.nearmap.com/au), © State of Tasmania
Base data from the LIST (www.thelist.tas.gov.au), © State of Tasmania

Clarence Council
18.0 Light Industrial
18.6 Development Standards for Subdivision

18.5.1 Lot Design

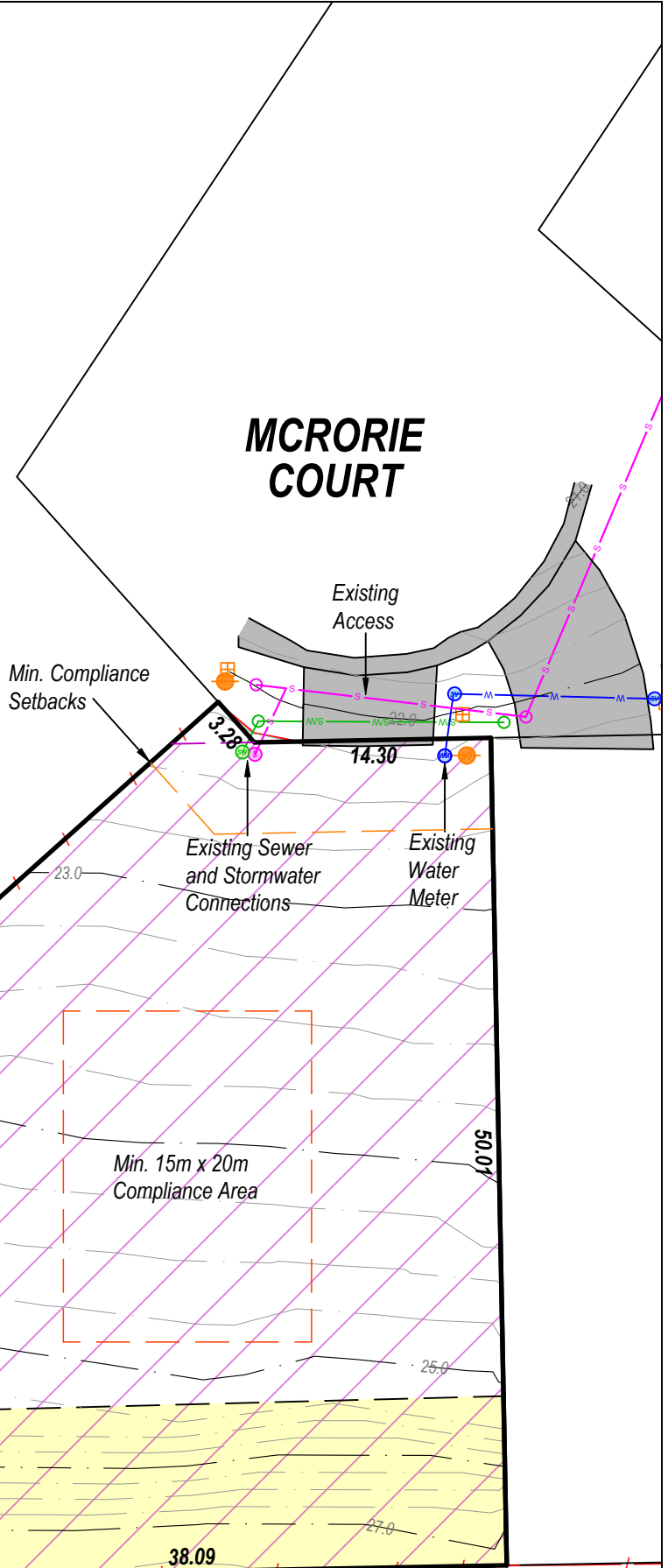
- A1
- (a)- Proposal complies - Min. 1000m²
 - (i)- Proposal complies - Contain min. area of 15m x 20m w/ gradient < 1:5
 - a- Proposal complies - All required setbacks
 - b- Proposal complies - Clear of easements
 - (ii)- All existing buildings comply - All required setbacks
- P2- Proposal complies
- (a)- The number of other lots which have the land subject to the right of carriageway as their sole or principal means of access;
 - (b)- The topography of the site;
 - (c)- The functionality and useability of the frontage;
 - (d)- The anticipated nature of vehicles likely to access the site;
 - (e)- The ability to manoeuvre vehicles on the site;
 - (f)- The ability for emergency services to access the site; and
 - (g)- The pattern of development existing on established properties in the area.
- A3- All lots comply - vehicular access directly from road

18.5.2 Roads

- A1- Proposal complies - no new roads

18.5.3 Services

- A1- Proposal complies - TasWater Water supply services to be provided
- A2- Proposal complies - TasWater Sewerage services to be provided
- A3- Proposal complies - Council Stormwater services to be provided



E				
D				
C				
B				
A				
REV	AMENDMENTS	DRAWN	DATE	APPR.



UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03)6248 5898
EMAIL: admin@rbsurveyors.com
WEB: www.rbsurveyors.com

OWNER:

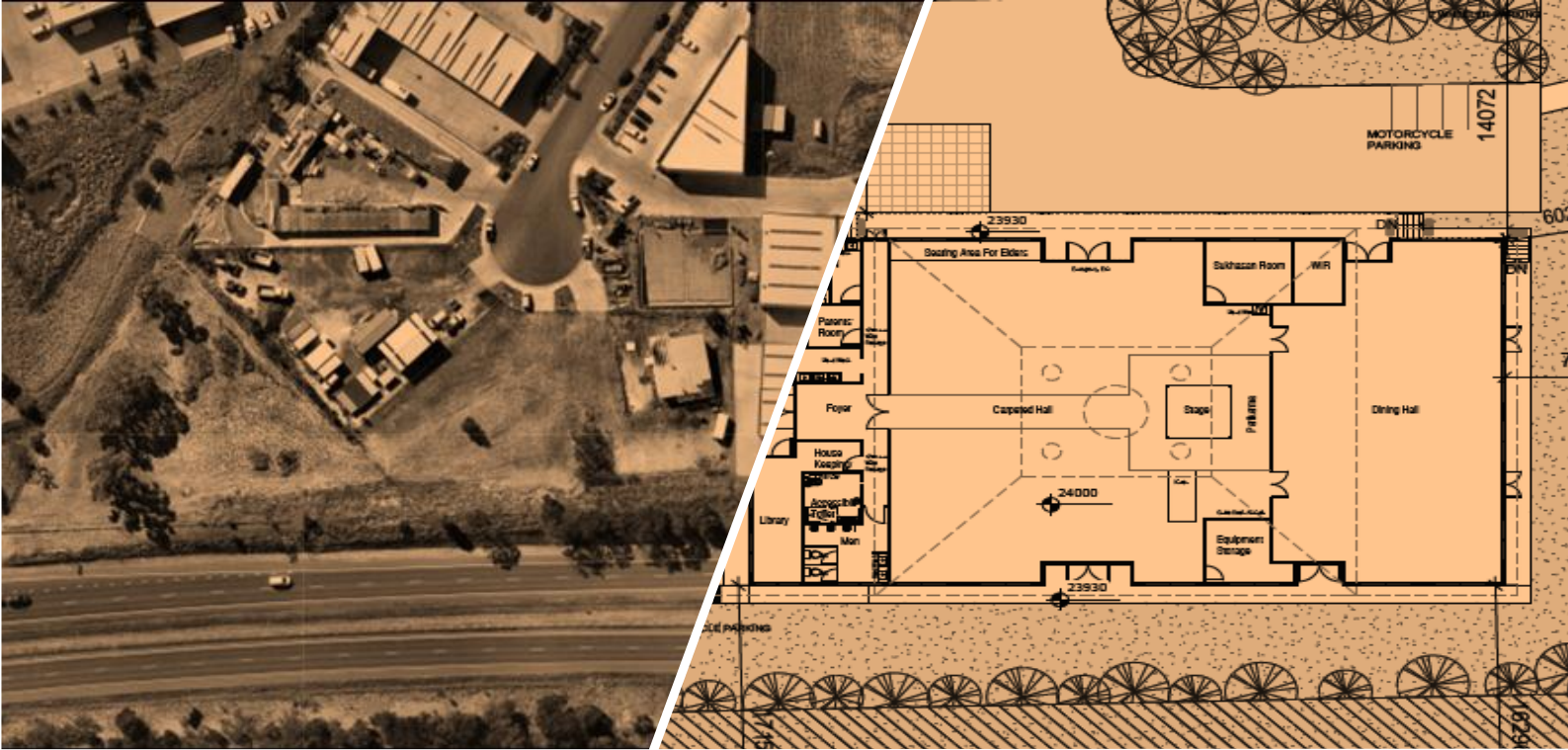
TITLE REFERENCE:

LOCATION:

GURU NANAK SOCIETY OF
TASMANIA INCORPORATED
163289/6, 54469/6 & 54469/8
15 MCRORIE COURT,
CAMBRIDGE

Proposed Consolidation

Date:	18/09/2025	Reference:	GNSOT01 11724-02
Scale:	1:400 (A3)	Municipality:	CLARENCE



SIKH TEMPLE

13-15 MCRORIE COURT, CAMBRIDGE

TRAFFIC IMPACT ASSESSMENT

SIKH TEMPLE 13-15 MCRORIE COURT, CAMBRIDGE

Client: Action Builders Pty Ltd

Report Reference: 21296T

File Path: Y:\2021\21296T - Cambridge Temple\08 Reports\21296TREP01F06.docx

Wednesday, July 23, 2025

Document Control

Version:	Prepared By:	Position:	Date:	Reviewed By:	Position:	Date:
F05	Lewis Collins	Traffic Engineer	28 February 2022	Matthew Ballard	Principal Engineer	28 February 2022
F06	Jamie Schulz	Senior Traffic Engineer	23 July 2025	Ian Bishop	Associate	23 July 2025

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1 INTRODUCTION

SALT has been engaged by Action Builders Pty Ltd to undertake an assessment of the traffic and parking impacts associated with a proposed Sikh Temple at 13-15 McRorie Court, Cambridge.

In the course of preparing this report, the following tasks have been undertaken:

- A desktop inspection of the subject site has been undertaken;
- Design plans prepared by Urban Space Designers have been reviewed; and
- The parking and traffic implications of the proposal have been assessed.

The following sets out SALT's findings.

2 EXISTING CONDITIONS

2.1 LOCATION AND LAND USE

The subject site is an irregular shaped parcel of land located at the southern end of McRorie Court in Cambridge, between the McRorie Court court bowl and Tasman Highway. It is occupied by a single building located at the eastern end of the site, while the rest of the site is undeveloped.

Land use surrounding the site is typically industrial in nature.

An aerial view of the site is provided in **Figure 1**. A map of the surrounding streets is provided in **Figure 2**.



Figure 1 Aerial view of subject site

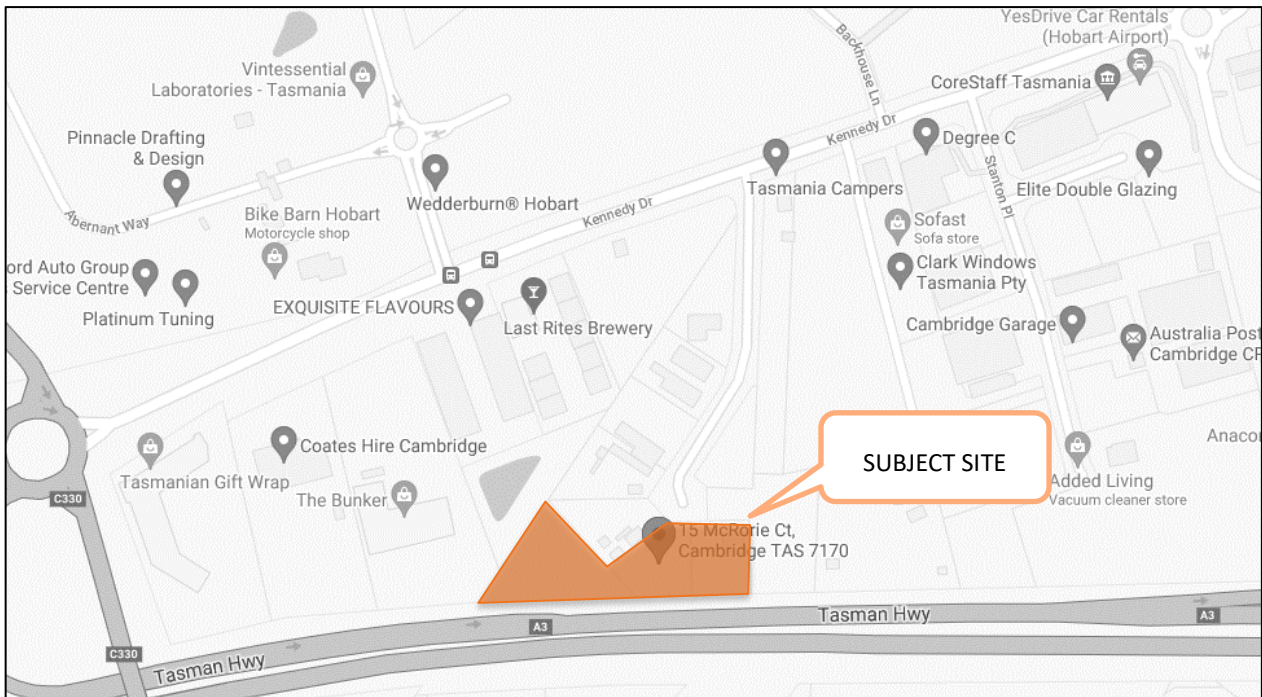


Figure 2 Subject site location

Vehicular access to the site is available via two crossovers to McRorie Court at the north of the site.

2.2 ROAD NETWORK

McRorie Court is a local cul-de-sac that extends generally south from Kennedy Drive and terminates at a court bowl at the southern end. The carriageway is approximately 10m wide and unrestricted parallel parking is permitted on both sides of the road.

There are no speed limit signs on McRorie Court, hence the default urban speed limit of 50km/h applies.

There is space for approximately 28 on-street parking spaces along McRorie Court within 150m of the site. Observations of conditions in the surrounding area indicate low levels of parking occupancy and there is subsequently high availability of unrestricted on-street car parking.

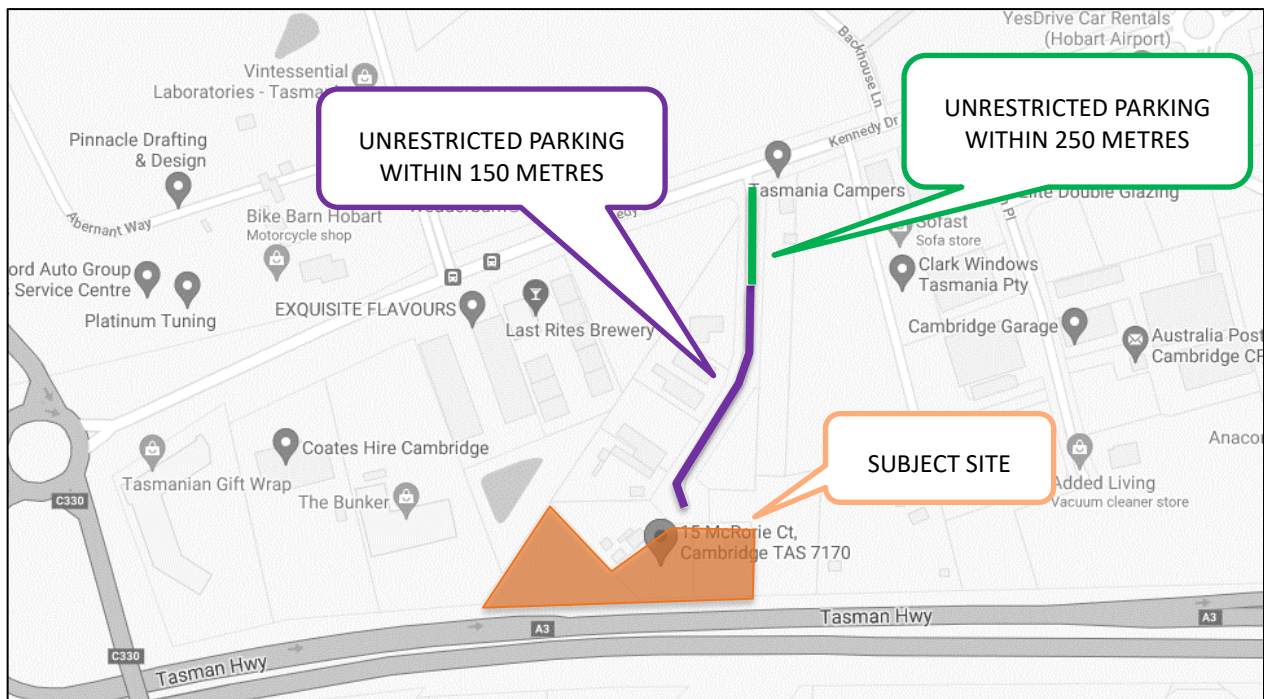


Figure 3 Unrestricted parking in the vicinity of the site

2.3 SUSTAINABLE TRANSPORT

2.3.1 WALKABILITY

Footpaths are provided along both sides of McRorie Court.

2.3.2 CYCLING

Kennedy Drive to the north of the site has dedicated bicycle lanes which encourage the use of cycling in and around the surrounding area.

2.3.3 PUBLIC TRANSPORT

Bus routes 731 (Town Hall Elizabeth St #D4 - Sorell Park & Ride, Station Lane) and 732 (Town Hall Elizabeth St #D4 - No.21 Carlton Beach Rd) operate along Kennedy Drive, with the closest stop being approximately 400m from the subject site.

3 PROPOSAL

3.1 PROPOSED DEVELOPMENT

It is proposed to construct a Sikh temple and a community meeting facility on the site, incorporating the existing building within the development.

The proposal will have a building floor area of 770m². A car park is proposed on the northern and western side of the site which will provide 75 parking spaces (including 2 x DDA spaces). Site access will be available via an existing crossover to McRorie Court.

There will also be 25 bicycle parking spaces and 3 motorcycle spaces.

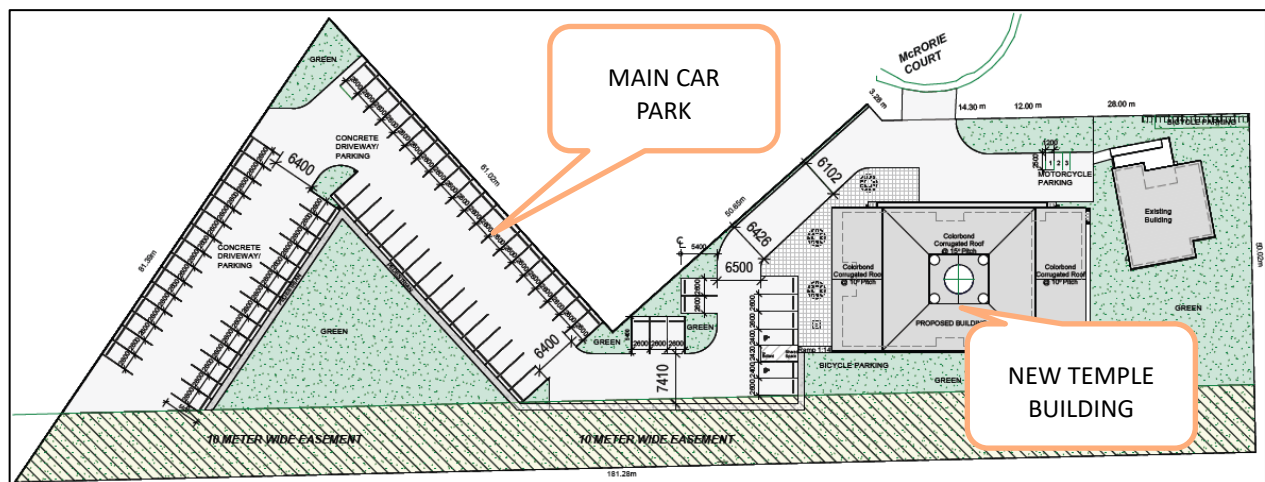


Figure 4 Site Plan

3.2 PROPOSED OPERATION

The proposal temple is intended to replace an existing facility in Roches Beach.

The temple will facilitate visitors to the site passing through a prayer/chanting section and then sharing a meal together in a communal dining space.

The temple will accommodate people who currently visit the Roches Beach facility. SALT is advised that the Roches Beach site currently accommodates between 200-225 visitors, with gatherings occurring for short periods (2-3 hours) on Sundays only.

Events at Roches Beach attract approximately 70-80 cars during services. Other days of the week typically see minimal activity. The peak demands generated on Sundays equate to a parking generation rate of between 0.3 and 0.4 parking spaces per visitor and indicates that groups of worshippers travel to the temple in shared vehicles as friendship or family groups.

SALT is advised that all uses at the site will operate ancillary to the use as a temple for worshipping and community gatherings. The other uses will not attract visitors in their own right. Uses such as the commercial kitchen and dining areas are intended to service worshippers, rather than to attract new visitors to the facility.

4 CAR PARKING

4.1 STATUTORY REQUIREMENT

Car parking requirements for developments in the City of Clarence are set out at Table C2.1 of the Tasmanian Planning Scheme – Clarence. The statutory parking requirement for a place of worship is a rate of 1 space per 3 seats or 1 space per 15m² of floor area, whichever is greater.

Application of the parking rate based on patron numbers transferring from the existing Roches Beach temple, 200-225 visitors, would equate to a requirement to provide 75 parking spaces.

Application of parking rate based on floor area would equate to a requirement to provide 52 parking spaces.

4.2 ADEQUACY OF PARKING SUPPLY

The proposed provision of 75 parking spaces meets the requirement for 75 spaces calculated by adopting the rate that considers expected visitor numbers to the site.

As stated in Section 2.2, there are approximately 28 on-street parking spaces within 150m of the site, and further parking spaces to the north along McRorie Court, with high levels of availability during proposed peak operational times.

In addition, the development benefits from public transport services operating within 400 metres of the site, and bicycle connections to the surrounding road network, which will act to reduce reliance on private motor vehicles, and subsequently parking spaces.

It is considered that the level of parking proposed is suitable and appropriate to accommodate the demands expected to be generated by visitors to the temple development. It is expected that the development will not have any impact on parking conditions in the surrounding area and demands will be accommodated onsite and peak operating periods will not coincide with operating times for the surrounding land uses.



5 DESIGN MATTERS

5.1 CAR PARK DESIGN

The car park layout design meets the requirements set out in the Australian Standards, as required by Council in the Further Information Request dated 12 January 2022. The design will provide an efficient and user-friendly layout. A copy of the design is attached in **APPENDIX 1**. The following comments are provided:

- 90-degree parking spaces will be 5.4m long x 2.6m wide with access from a 6.2m wide aisle, in accordance with Table C2.3 of the Tasmanian Planning Scheme and Australian Standard AS2890.1-2004 for User Class 2 parking;
- DDA parking spaces and the associated shared area will be 5.4m long x 2.4m wide in accordance Australian Standard AS2890.6-2009;
- Motorcycle parking spaces will be 2.5m long x 1.2m wide in accordance with Australian Standard AS2890.1-2004;
- The internal site driveway will have a pavement width of 7.9 metres in accordance with Australian Standard guidelines.

5.2 PEDESTRIAN ACCESS

Clause C2.6.5 of the Planning Scheme requires that pedestrian access within car parking areas is provided in a safe and convenient manner. The Clause specifies that uses that require 10 or more parking spaces must have a 1 metre wide footpath that is separated from the accessways or parking aisles.

The proposal includes pedestrian separate connections from the temple building to main car park and the accessible parking bays that accord with the Planning Scheme Requirements.

The main car park includes designated pedestrian walkways within the main car park to provide connection between the main pedestrian walkways, parking spaces and access aisles in accordance with Clause C2.6.5.

The design of the main car park provides an adequate arrangement to provide safety and convenience for pedestrians in line with the objectives of the Clause. Relevant discussion points are as follows:

- Pedestrian connections are provided on the southern side of the car park, connecting parking spaces to the site's main pedestrian walkway to the temple building.
- The car park will be a closed system that will not accommodate through traffic. It will be an inherently low speed environment;
- The car park design does not incorporate long, uninterrupted straight sections, and so the design will discourage speeding behaviour by motorists;
- Car parks are inherently shared zones, accommodating people on foot and people in cars as they arrive at their destination. It is not unreasonable for these users to share the same space where there are no observed high vehicle speeds, high traffic flows, heavy vehicles operating or other spatial issues.

Based on the foregoing, SALT is satisfied that the proposed car park design, which will allow for the general separation of people travelling on foot and people in cars driving within a low-speed shared environment, will provide an adequate level of safety and convenience for visitors to the development.



6 BICYCLE & MOTORCYCLE PARKING

6.1 BICYCLE PARKING

Bicycle parking requirements for developments in the City of Clarence are set out at Table C2.1 of the Tasmanian Planning Scheme – Clarence. The statutory parking requirement for a place of worship is a rate of 1 space per 50m² floor area or 1 space per 40 seats, whichever is greater.

Application of these rates results in a requirement for 16 bicycle parking spaces

A total of 25 bicycle spaces have been proposed. This meets the Planning Scheme requirement.

6.2 MOTORCYCLE PARKING

Table C2.4 of the Tasmanian Planning Scheme – Clarence requires motorcycles to be provided at a rate of 1 space to each 20 car spaces after the first 20 spaces.

Applying this to the provision of 75 car spaces equates to a requirement for 3 motorcycle spaces. A total of 3 motorcycle spaces have been proposed. This meets the Planning Scheme requirement.

7 TRAFFIC IMPACT

For the purpose of this assessment, it is conservatively assumed that during Sunday services, all 75 parking spaces will be filled and that all traffic will arrive at the site during one hour and depart the site during an hour later in the day. This would result in a peak hourly volume of 75 vehicle movements generated by the site, which would occur twice on Sundays (due to patrons arriving and departing).

This volume of traffic is considered to be low in traffic engineering terms and equates to an average of approximately 1.25 vehicle movements every minute. Traffic generation at other times and on other days and will be minimal.

Given that this development's peak traffic generation will occur on Sundays, outside of the typical road network peak, the surrounding road network will have capacity to accommodate the additional movements generated by the proposal. The proposal will not generate traffic or vehicle movements during the traditional road network peak and so will not impact on the operation of the surrounding land uses.

It is considered that traffic generated by the development will not have any material impact on the surrounding road network and will be indiscernible in areas away from the immediate vicinity of the site.

8 SITE ACCESS

SALT has reviewed the proposal against the Road and Railway Assets Code (C3.0) of the Tasmanian Planning Scheme – Clarence and confirms its compliance with the relevant requirements of the code. Access to and from the site via McRorie Court will be via a crossover located at the end of the cul-de-sac court bowl. The motorists exiting the site will have excellent sight lines to any other road users and pedestrians on the surrounding road network.



9 CONCLUSIONS

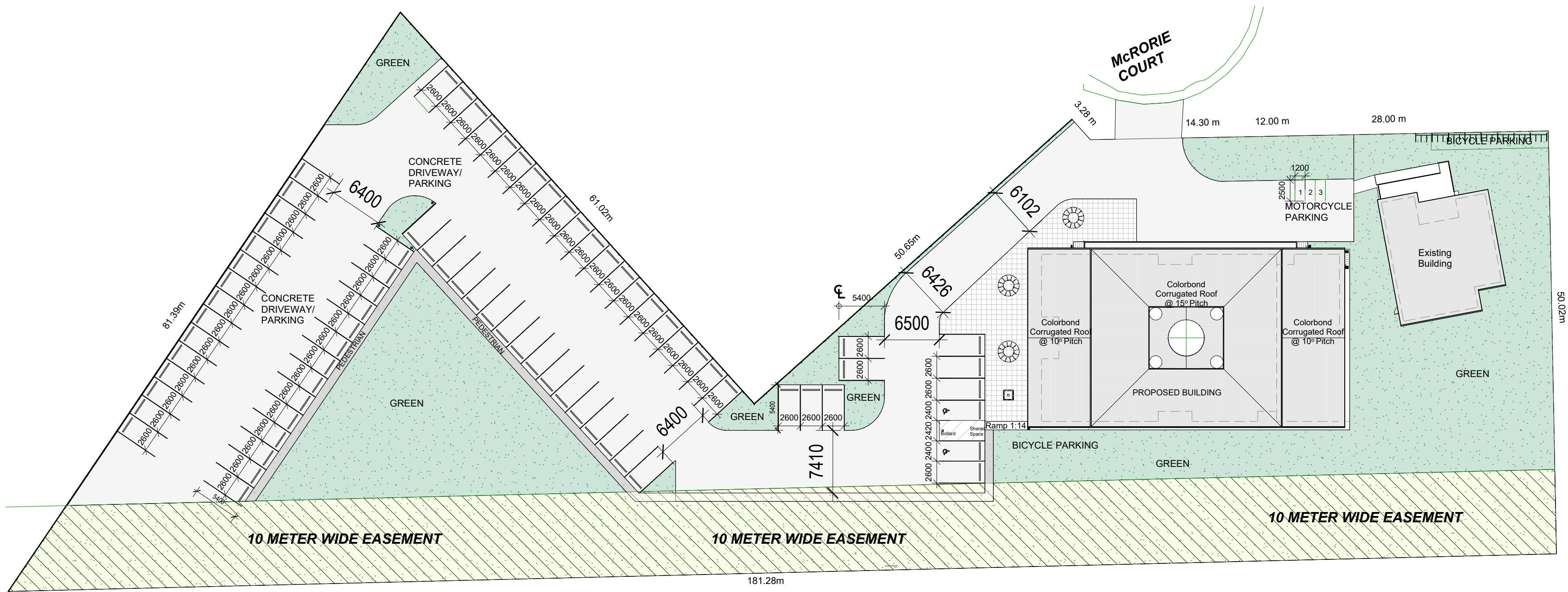
This assessment is summarised and concluded as follows:

- It is proposed to construct a Sikh Temple on the subject site that will replace an existing facility in Roches Beach. The temple is anticipated to attract 200-225 people and 70-80 cars on Sundays, with other days of the week experiencing minimal activity.
- A total of 75 on-site parking spaces are proposed to service the development.
- The statutory parking requirement for a community meeting facility is a rate of 1 space per 15m² of floor area or 1 space per 3 seats, whichever is greater.
- Application of the parking rate based on patron numbers transferring from the existing Roches Beach temple, 200-225 visitors, would equate to a requirement to provide 75 parking spaces.
- The proposed provision of 75 parking spaces meets the requirement for 75 spaces calculated by adopting the rate that considers expected visitor numbers to the site.
- There is ample on-street parking available on McRorie Court that could be used to accommodate any overflow parking, in the unlikely event that it may be required;
- The site will attract worshippers on Sundays when the surrounding industrial uses will be expected to be closed and not generating parking demands or traffic activity.
- The development will benefit from public transport services operating within 400 metres of the site, and bicycle connections to the surrounding road network, which will act to reduce reliance on private motor vehicles, and subsequently parking spaces.
- The layout of the car parking areas has been designed in accordance with AS2890.1-2004.
- The provision of 25 bicycle spaces meets the Planning Scheme requirement.
- 3 motorcycle parking spaces are proposed which meets the requirement of the Planning Scheme.
- Traffic generated by the development is considered to be low in traffic engineering terms and will not have any material impact on the surrounding road network. It will occur outside of traditional peak period times and will be indiscernible in areas away from the immediate vicinity of the site.

It is therefore concluded that there are no traffic engineering related grounds that would prohibit the granting of a planning permit for this proposal.



APPENDIX 1 CAR PARK DESIGN



PARKING PLAN

1 : 400

NOTES: -

- FOOTPATHS, DRIVEWAYS AND PARKING BAYS ARE CONCRETE.
- FOOTPATH CROSSING ACCESS WAY IS CONCRETE.
- PEDESTRIAN ACCESS COMPLIES WITH C2.6.5 A1.1 (ACCEPTABLE SOLUTIONS)
- FOOTPATHS ARE PROPOSED MINIMUM OF 1M WIDE AND TO BE PROVIDED WITH PROTECTIVE DEVICES SUCH AS BOLLARDS, GUARD RAILS, PLANTERS ETC IN ACCORDANCE WITH C2.6.5 A1.1 (ACCEPTABLE SOLUTIONS)
- THE LAYOUT IS PROVIDED WITH ACCESSIBLE CAR PARKING SPACES FOR USE BY PERSONS WITH DISABILITY.
- FOOTPATH WIDTH PROPOSED IS 1.5M AND A GRADIENT NOT LESS THAN 1 IN 14 FROM ACCESSIBLE PARKING SPACES TO THE MAIN ENTRY POINTS TO BUILDING.
- LAYOUT IS IN ACCORDANCE WITH CLAUSE C2.6.5 A1.2 (ACCEPTABLE SOLUTIONS)
- DESIGN AND LAYOUT OF THE PARKING AREA IS IN ACCORDANCE WITH CLAUSE C2.6.2 A1.1 AND C2.6.2 A1.2 (ACCEPTABLE SOLUTIONS)
- THERE IS ONLY ONE VEHICULAR ACCESS TO SITE FROM AN EXISTING CROSSOVER COMPLY WITH THE CLAUSE C2.6.3 A1 (ACCEPTABLE SOLUTIONS)

PARKING	NUMBERS
TOTAL NUMBER OF CAR PARKS	75
DDA CAR PARKS	02
BICYCLES	25
MOTORCYCLES	03



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Accreditation:
TAS - 381246362
VIC - DP-AD 72846

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USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically.
IF IN DOUBT ASK.
The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunction with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works. The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.

Client:
Guru Nanak Society
Project:
Proposed Community Hall
Address:
13-15 McRorie Ct.
Cambridge, TAS - 7170

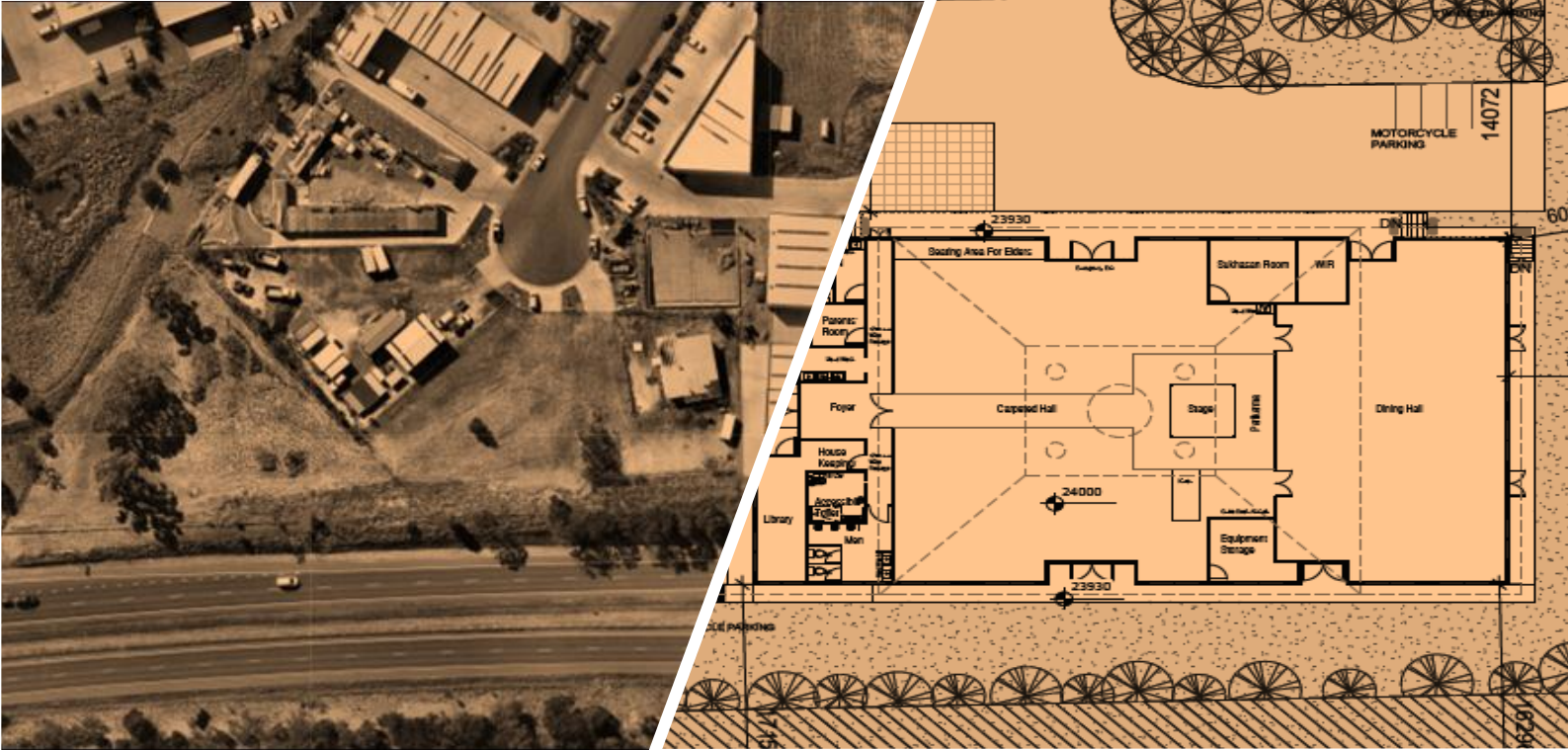
Revisions		
Issue	Issue Name	Date
1	Parking Plan & Landscaping revised	01/07/2025
2	Parking Plan revised	07/07/2025

DRAWINGS
CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.
ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.

Sheet: PARKING PLAN		
Drawn: GK		
Scale: 1 : 400	Size: A2	Date: 12/11/2024
Project: GNS/13-15MC/Arch/ Nov21	Sheet: A08	Rev: 2

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