



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056067

PROPOSAL: Single Dwelling & Outbuilding

LOCATION: 4 Bestow Road, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 08 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 08 December 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 08 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New dwelling, ancillary dwelling, shed & associated works

Location:

Address... 4 Bestow Road

Suburb/Town... Rokeby Postcode... Tas 7019

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Vacant

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

(please refer to <http://www.ccc.tas.gov.au/fees> or phone (03) 6217 9550 to determine applicable fees).

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 185621	FOLIO 1
EDITION 2	DATE OF ISSUE 21-Oct-2025

SEARCH DATE : 29-Oct-2025

SEARCH TIME : 10.18 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Sealed Plan [185621](#)

Derivation : Part of 730 Acres Gtd. to F. Butler & Anor

Prior CT [131197/2](#)SCHEDULE 1

[N280373](#) TRANSFER to CHUN MEI JAIME CHIN Registered
21-Oct-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP185621](#) EASEMENTS in Schedule of Easements[SP185621](#) COVENANTS in Schedule of Easements[SP185621](#) FENCING COVENANT in Schedule of Easements[SP131197](#) FENCING PROVISION in Schedule of Easements

[E331971](#) AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
14-Nov-2023 at 12.01 PM

[E371973](#) AMENDMENT of the above Agreement No. [E331971](#) pursuant
to Section 78 of the Land Use Planning and Approvals
Act 1993 Registered 16-May-2024 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



IO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

OWNER PHAROS CUSTODIANS PTY LTD	PLAN OF SURVEY BY SURVEYOR ANDREW STEPHEN BIRCH ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966	Registered Number SP 185621
FOLIO REFERENCE C.T.131197/2		APPROVED EFFECTIVE FROM 14 NOV 2023
GRANTEE PART OF 730 ACRES GTD TO F. BUTLER & ANOR	CITY OF CLARENCE	Recorder of Titles <i>Deena</i>
SCALE 1: 1500 LENGTHS IN METRES		
LOT 100 IS COMPILED FROM C.T.131197/2 & THIS SURVEY		
INDEX PLAN ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		
PRIORITY FINAL PLAN		
 Registered Land Surveyor		 Council Delegate Clare Shea
25-7-2023 Date		20-10-2023 Date



IO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 4 SHEETS	OWNER: PHAROS CUSTODIANS PTY LTD FOLIO REFERENCE: C.T.131197/2 SCALE 1: 500 LENGTH IN METRES	Registered Number SP185621
SIGNED FOR IDENTIFICATION PURPOSES C. Mea Council Delegate 20.10.2023 Date	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. Registered Land Surveyor 25-7-2023 Date	APPROVED EFFECTIVE FROM 14 NOV 2023 Recorder of Titles

100
5.110ha

59
684m²

58
579m²

1
683m²

2
550m²

27
498m²

26
650m²

3
661m²

4
651m²

25
662m²

Public Open Space
201
2,267m²

Public Open Space
200
544m²

Road
400
8832m²

MAUM STREET

ATKINS STREET

PIPELINE & SERVICES EASEMENT
3.00m WIDE

PIPELINE & SERVICES EASEMENT
3.75m WIDE

PIPELINE & SERVICES EASEMENT
AND DRAINAGE EASEMENT
3.00m WIDE

(SP.131197)

(SP.3475)
(P.55147)

(SP.3475)
(P.55147)

(SP.138478)

PLAN OF SURVEY ANNEXURE SHEET		OWNER: PHAROS CUSTODIANS PTY LTD FOLIO REFERENCE: C.T.131197/2	Registered Number SP185621
SHEET 2 OF 4 SHEETS	SCALE 1: 500	LENGTH IN METRES	
SIGNED FOR IDENTIFICATION PURPOSES	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.		APPROVED EFFECTIVE FROM 14 NOV 2023
C. Mea Council Delegate	20.10.2023 Date	[Signature] Registered Land Surveyor	25-7-2023 Date
			Recorder of Titles

(SP.131197)

(SP.169863)

34.18

36.64
110°40'00"

9°23'40"
23.52

9°23'40"
16.01

40°00'
18.40

117°59'00"
17.20

12°15'00"
30.15

15.70

111°28'40"
76.76

10°22'20"
32.32

36.66

21°29'
(3.00)

20°30'
21.32

6°05'
2.73

0°46'
7.49

105°03'00"
40.67

118°41'40"
2.86

118°41'40"
36.68

95°07'20"
33.57

6°54'00"
13.36

28.86

3.00m WIDE

3.75m WIDE

3.00m WIDE

PIPELINE & SERVICES EASEMENT

PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT

Public Open Space
201
2,267m²

27
4.98m²

25
662m²

100
5.110ha

206.90



IO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 4 SHEETS		OWNER: PHAROS CUSTODIANS PTY LTD FOLIO REFERENCE: C.T.131197/2 SCALE 1: 500 LENGTH IN METRES	Registered Number SP 185621
SIGNED FOR IDENTIFICATION PURPOSES Cnea Council Delegate 20.10.2023 Date		THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. Registered Land Surveyor 25-7-2023 Date	APPROVED EFFECTIVE FROM 14 NOV 2023 Recorder of Titles



IO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

PLAN OF SURVEY ANNEXURE SHEET SHEET 4 OF 4 SHEETS	OWNER: PHAROS CUSTODIANS PTY LTD FOLIO REFERENCE: C.T.131197/2 SCALE 1: 500 LENGTH IN METRES	Registered Number SP 185621
SIGNED FOR IDENTIFICATION PURPOSES Council Delegate	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. Registered Land Surveyor	APPROVED EFFECTIVE FROM 14 NOV 2023 Recorder of Titles
20.10.2023 Date 25-7-2023 Date		

100
5.110ha

PIPELINE & SERVICES EASEMENT
AND DRAINAGE EASEMENT
3.00m WIDE

PIPELINE & SERVICES EASEMENT
AND DRAINAGE EASEMENT
3.00m WIDE

Road
4.00
8832m²

18
477m²
99°40'40"
29.83

17
477m²
99°40'40"
29.85

16
478m²
99°40'40"
29.88

15
478m²
99°40'40"
29.91

14
479m²
99°40'40"
29.94

13
674m²
285°17'
1.92
273°20'
7.35
249°26'
7.35
215°31'
7.35
207°38'
17.38

10
3,717m²
189°39'20"
97.06
122.28
140.50
9°40'40"

(SP.6039)

(SP.154188)

NEW DWELLING, SHED & ASSOCIATE WORKS

OWNER:
DESIGNER:

CHUN MEI JAIME, CHIN
SIK PONG HO, JAMES
E. INFO@JAMESHOARCHITECTURE.COM.AU
P. 0489 183 999
A. SUITE 14, LEVEL 1, MOONAH BUSINESS CENTRE, 113 MAIN ROAD, MOONAH 7009
BUILDING SERVICE PROVIDER 799235148
TAS ARCHITECT REGISTRATION NO. 1132

SITE INFORMATION

LOCATION
TITLE REFERENCE
PROPERTY ID
LOCAL COUNCIL
PLANNING SCHEME
ZONING
OVERLAY

4 BESTOW ROAD, ROKEBY, TAS 7019
185621/1
9943305
CLARENCE CITY COUNCIL
TASMANIAN PLANNING SCHEME - CLARENCE
8 GENERAL RESIDENTIAL
CLA-C13.0 BUSHFIRE PRONE AREA
147 SAFEGUARDING OF AIRPORTS CODE

SITE AREA:
SITE COVERAGE:
DWELLING
SHED

683m²
180.25m² / 683m²
138m²
42.25m²

26.4%(<50%)

DRAWING SCHEDULE	
009_25_DA01	SITE PLAN & NOTES
009_25_DA02	PROPOSED FLOOR PLAN
009_25_DA03	PROPOSED FLOOR PLAN
009_25_DA04	PROPOSED FLOOR PLAN
009_25_DA05	PROPOSED ELEVATIONS (DWELLING)
009_25_DA06	PROPOSED ELEVATIONS (DWELLING)
009_25_DA07	PROPOSED ELEVATIONS (SHED & ANCILLARY DWELLING)
009_25_DA08	PROPOSED ELEVATIONS (SHED & ANCILLARY DWELLING)
009_25_DA09	SUN-SHADOW DIAGRAM

SITE PLAN
1:200

HYDRAULIC KEY	
EX S	EXISTING TASWATER SEWER LINE
EX SW	EXISTING COUNCIL STORMWATER
SW	PROPOSED uPVC STORMWATER LINE
S	PROPOSED uPVC SEWER LINE
AG	AG DRAIN
DP	Ø90 DOWNPIPE
GD	GRADED DRAIN TRAFFICABLE
GP1	450x450 GRADED uPVC PIT TRAFFICABLE
GP2	450x450 GRADED uPVC PIT

- NOTE
- LOCATION OF PIPES, LOT CONNECTIONS AND MANHOLES WERE LOCATED BY ROGERSON & BIRCH SURVEYORS AND SURVEY PLUS (REGISTERED SURVEYOR)
 - REFER TO ROGERSON & BIRCH DRAWING PAPAA35 15132-01 L1 DATED 18-08-203 & SURVEY PLUS DRAWING SP252144-01 rev A DATED 06-11-2025 FOR DETAILS



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REVISION		
A	DELETE ANCILLARY	12.11.2025

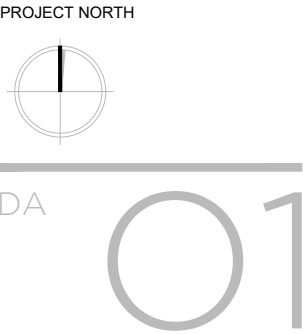
PROJECT TITLE
NEW DWELLING, SHED & ASSOCIATED WORKS

PROJECT ADDRESS
4 BESTOW ROAD,
ROKEBY, TAS 7019

PROJECT NUMBER
JHA_009_25

DRAWING TITLE
SITE PLAN & NOTES

REV NO.	A
SCALE	AS SHOWN @A3
DRAWN BY	AM
CHECK BY	-
DATE	1 OCTOBER 2025



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PROJECT TITLE
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ASSOCIATED WORKS

PROJECT ADDRESS
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ROKEBY, TAS 7019

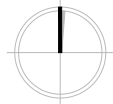
PROJECT NUMBER
JHA_009_25

DRAWING TITLE
PROPOSED FLOOR PLAN

REV NO.	A
SCALE	AS SHOWN @A3
DRAWN BY	AM
CHECK BY	-
DATE	1 OCTOBER 2025

DRAWING KEY	
BS	BASIN
C	CONCRETE
DP	DOWNPIPE
DRY	DRYER
FT	FLOOR TILE
FR	FRIDGE
GD	GRADED DRAIN
GP	GRADED PIT
HWC	HOT WATER CYLINDER
S	SINK
SHR	SHOWER
SWB	SWITCHBOARD
TF	ENGINEERED TIMBER FLOOR
TR	LAUNDRY TROUGH
WC	TOILET SUITE
WM	WASHING MACHINE

PROJECT NORTH



PROPOSED FLOOR PLAN - GROUND FLOOR
1:100

FENCE TYPE	
F1	NATURAL FINISH TREATED PINE PALING FENCING. 90x22 WITH 8MM GAP ON F7 90X35 RAILS SHS POSTS AT 2000CC. APPROX 1800H FROM GROUND LEVEL.
F2	NATURAL FINISH TREATED PINE 50x50 BATTEN. MISS EVERY SECOND BATTHEN. ON F7 90X35 RAILS SHS POSTS AT 2000CC. Min. 30% TRANSPARENCY. APPROX 1500H FROM GROUND LEVEL.
EX.F	EXISTING PALING FENCE
G1	1.5m TIMBER AUTO SLIDING DOOR. APPROX 30% TRANSPARENCY.
G2	WHOLE GATE WITHIN PROPERTY BOUNDARY.
	1.5m TIMBER SWING GATE. LOCKABLE. SWING WITHIN PROPERTY BOUNDARY.

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PROJECT TITLE
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ASSOCIATED WORKS

PROJECT ADDRESS
4 BESTOW ROAD,
ROKEBY, TAS 7019

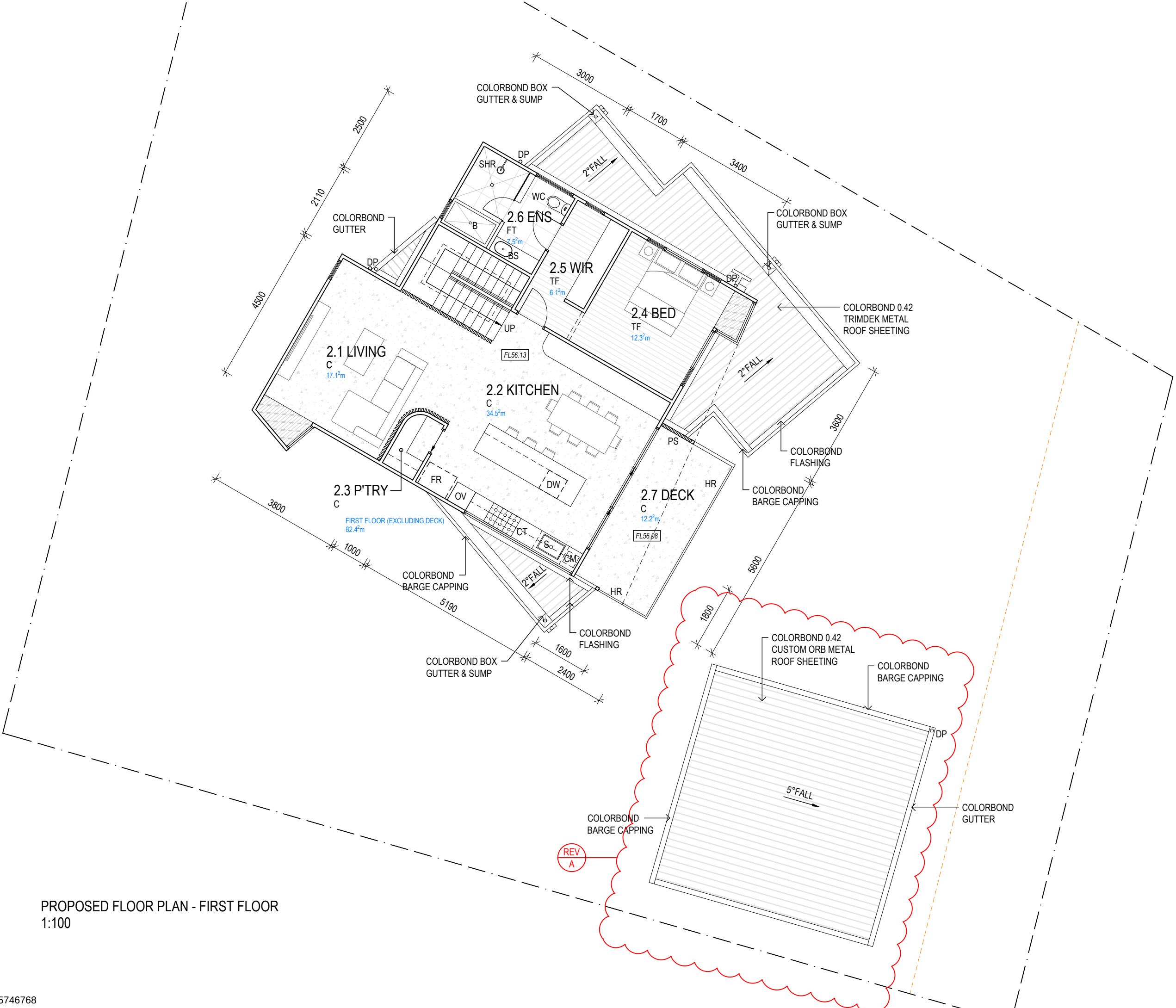
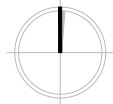
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DRAWING TITLE
PROPOSED FLOOR PLAN

REV NO.	A
SCALE	AS SHOWN @A3
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CHECK BY	-
DATE	1 OCTOBER 2025

DRAWING KEY	
B	BATH
BS	BASIN
C	CONCRETE
CT	COOKTOP
DP	DOWNPIPE
DW	DISHWASHER
FT	FLOOR TILE
FR	FRIDGE
OV	OVEN
S	SINK
SHR	SHOWER
TF	ENGINEERED TIMBER FLOOR
WC	TOILET SUITE

PROJECT NORTH



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PROJECT TITLE
NEW DWELLING, SHED &
ASSOCIATED WORKS

PROJECT ADDRESS
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ROKEBY, TAS 7019

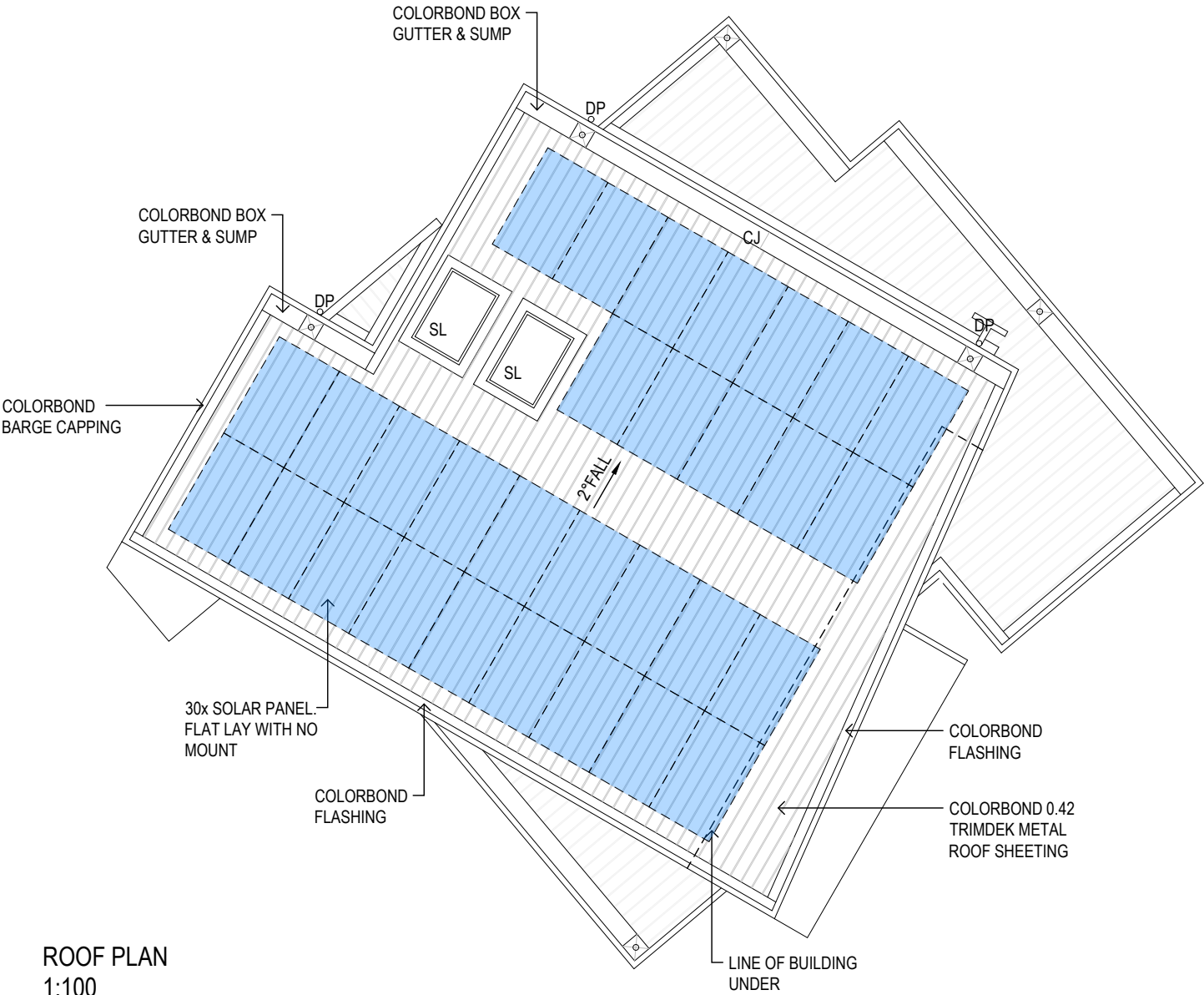
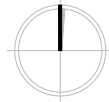
PROJECT NUMBER
JHA_009_25

DRAWING TITLE
PROPOSED FLOOR PLAN

REV NO.	A
SCALE	AS SHOWN @A3
DRAWN BY	AM
CHECK BY	-
DATE	1 OCTOBER 2025

DRAWING KEY	
CJ	CONSTRUCTION JOINT
DP	DOWNPIPE
SL	SKYLIGHT

PROJECT NORTH



ROOF PLAN
1:100

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REVISION
A DELETE ANCILLARY 12.11.2025

PROJECT TITLE
NEW DWELLING, SHED &
ASSOCIATED WORKS

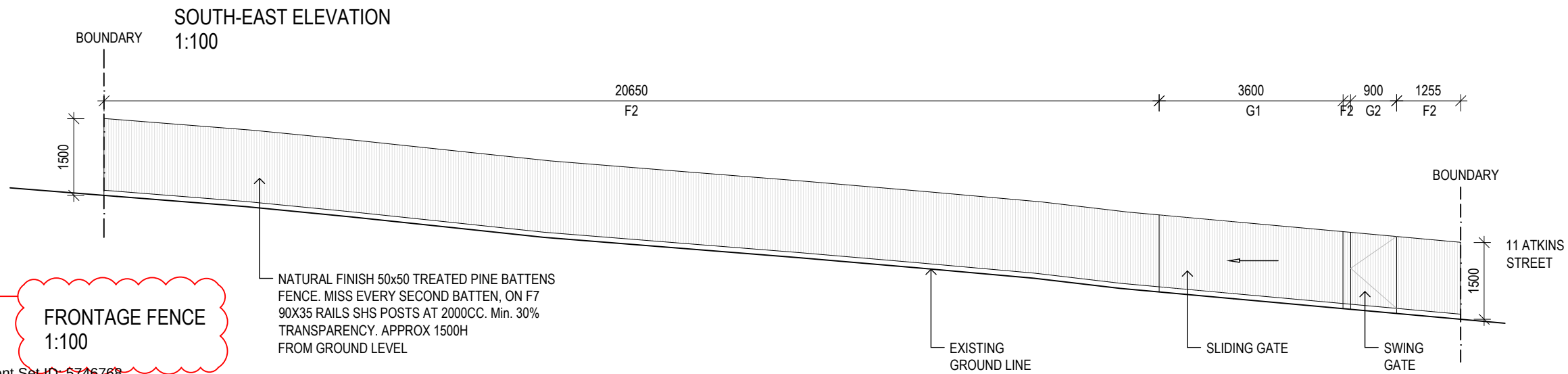
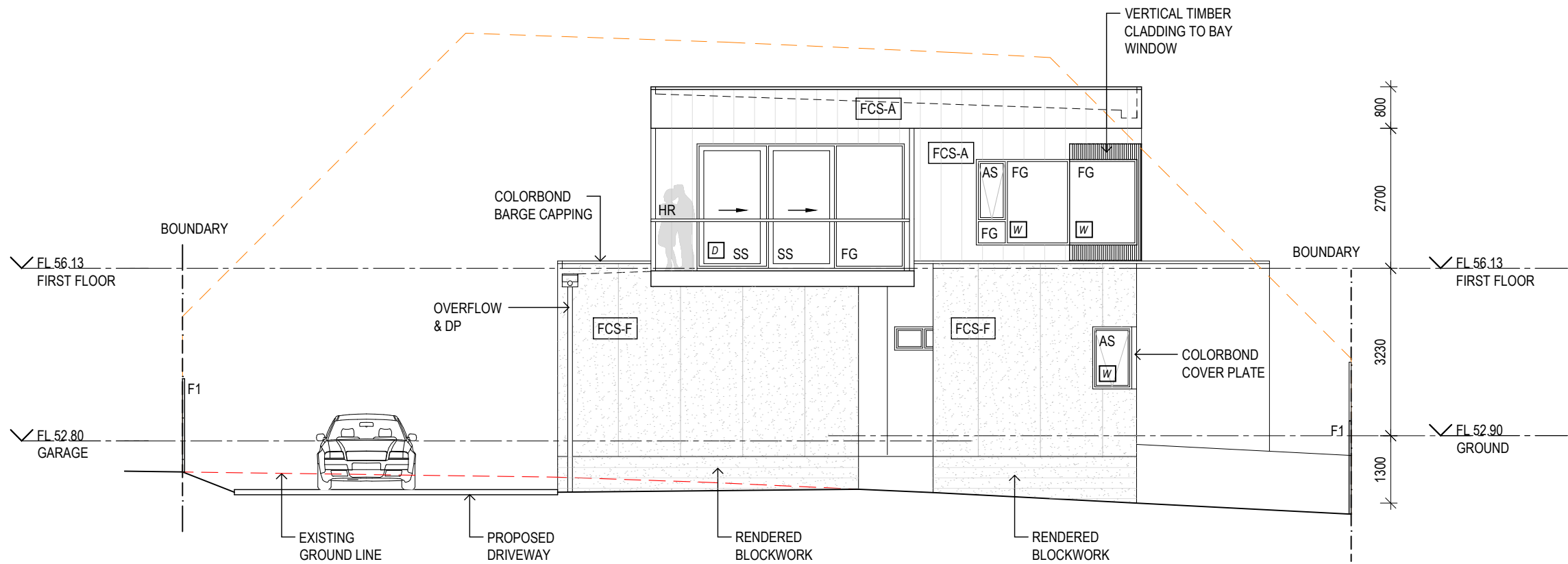
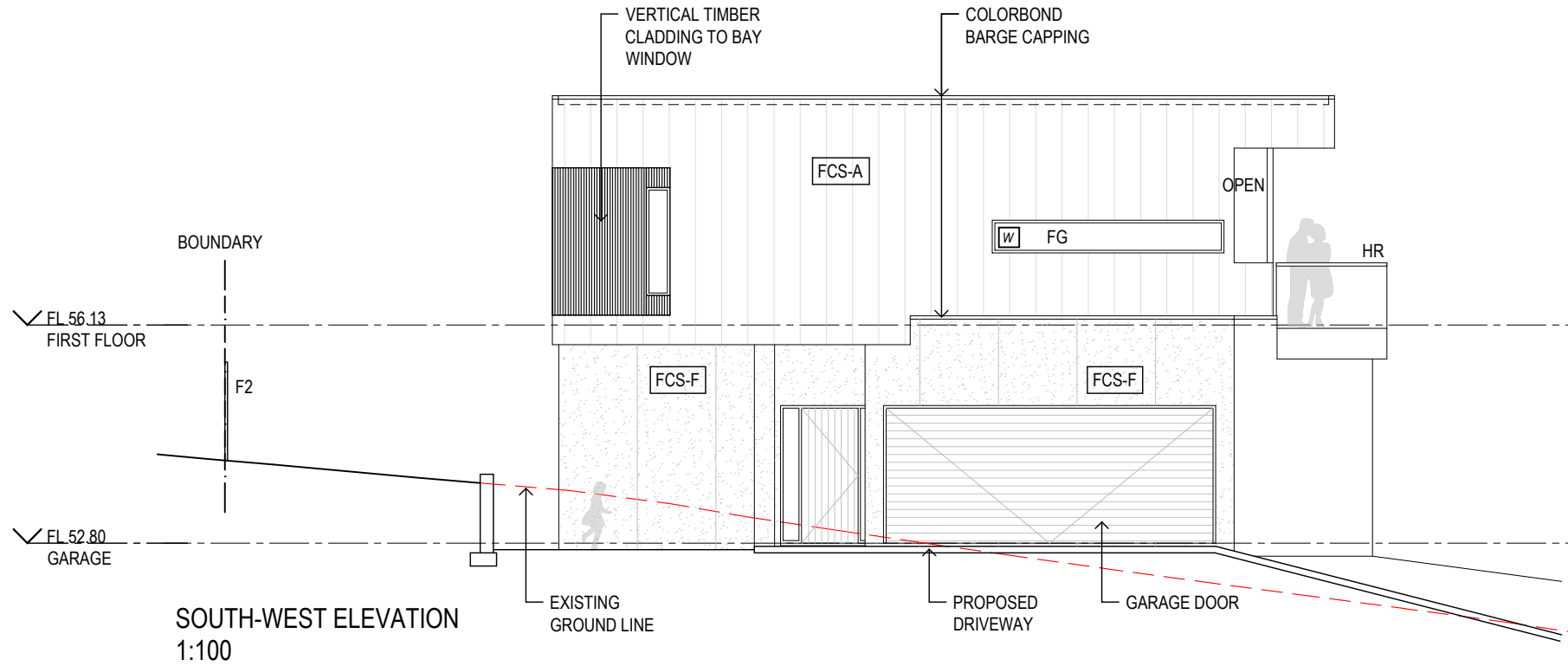
PROJECT ADDRESS
4 BESTOW ROAD,
ROKEBY, TAS 7019

PROJECT NUMBER
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DRAWING TITLE
PROPOSED ELEVATIONS
(DWELLING)

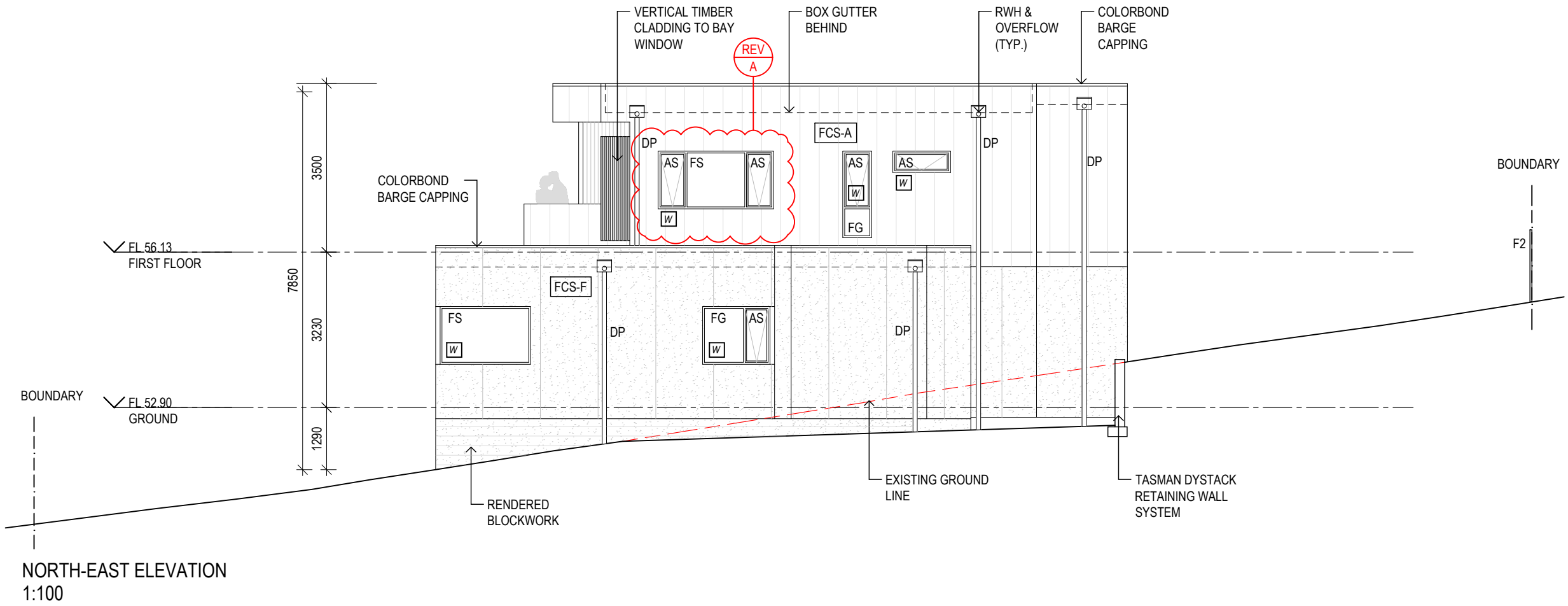
REV NO. A
SCALE AS SHOWN @A3
DRAWN BY AM
CHECK BY -
DATE 15 SEPTEMBER 2025

DRAWING KEY
AS AWNING SASH
DP DOWNPIPE
FCS-A JAMES HARDIE AXON
CLADDING SYSTEM
FCS-F JAMES HARDIE FINE TEXTURE
CLADDING SYSTEM
FG FIXED GLAZING
HR HANDRAIL
SS SLIDING SASH

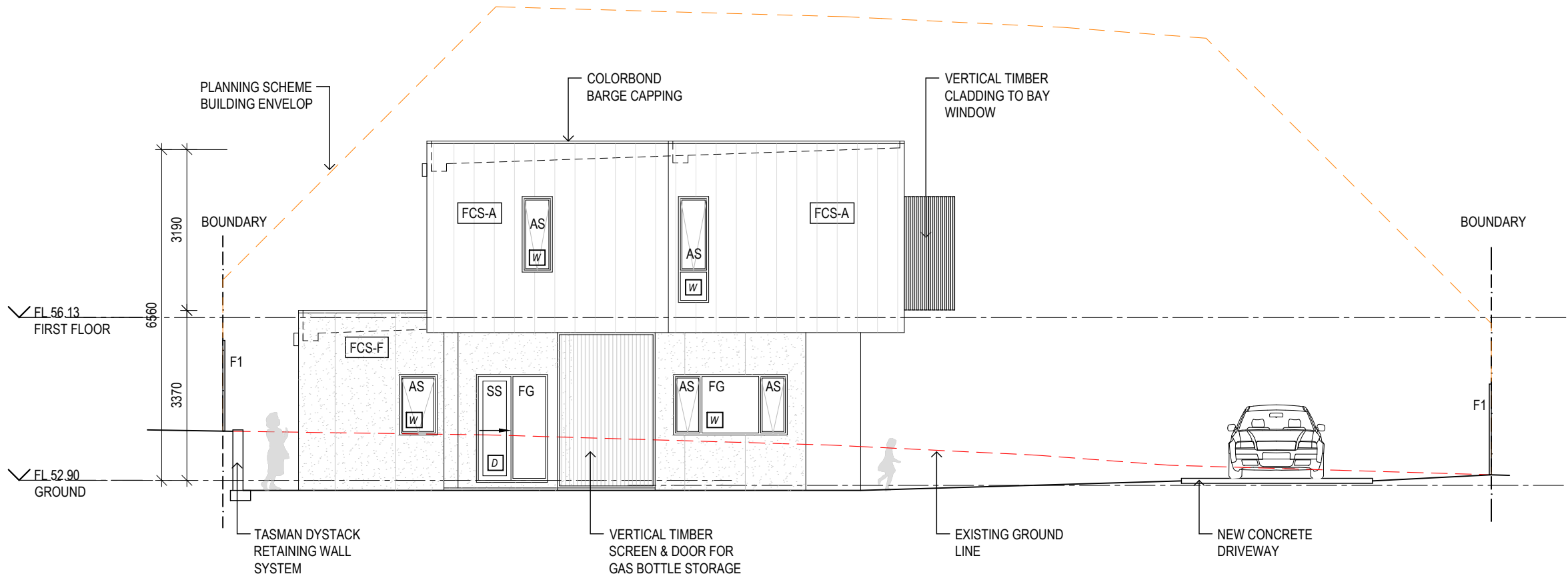


REV
A

Document Set ID: 5746768
Version: 1, Version Date: 15/11/2025



NORTH-EAST ELEVATION
1:100



NORTH-WEST ELEVATION
1:100



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PROJECT TITLE
NEW DWELLING, SHED &
ASSOCIATED WORKS

PROJECT ADDRESS
4 BESTOW ROAD,
ROKEBY, TAS 7019

PROJECT NUMBER
JHA_009_25

DRAWING TITLE
PROPOSED ELEVATIONS
(DWELLING)

REV NO.	A
SCALE	AS SHOWN @A3
DRAWN BY	AM
CHECK BY	-
DATE	1 OCTOBER 2025

DRAWING KEY	
AS	AWNING SASH
DP	DOWNPIPE
FCS-A	JAMES HARDIE AXON CLADDING SYSTEM
FCS-F	JAMES HARDIE FINE TEXTURE CLADDING SYSTEM
FG	FIXED GLAZING
HR	HANDRAIL
SS	SLIDING SASH

CONTRACTOR SHALL VERIFY ALL
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COMMENCING ANY WORK OR SHOP
DRAWINGS

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PROJECT TITLE
NEW DWELLING, SHED &
ASSOCIATED WORKS

PROJECT ADDRESS
4 BESTOW ROAD,
ROKEBY, TAS 7019

PROJECT NUMBER
JHA_009_25

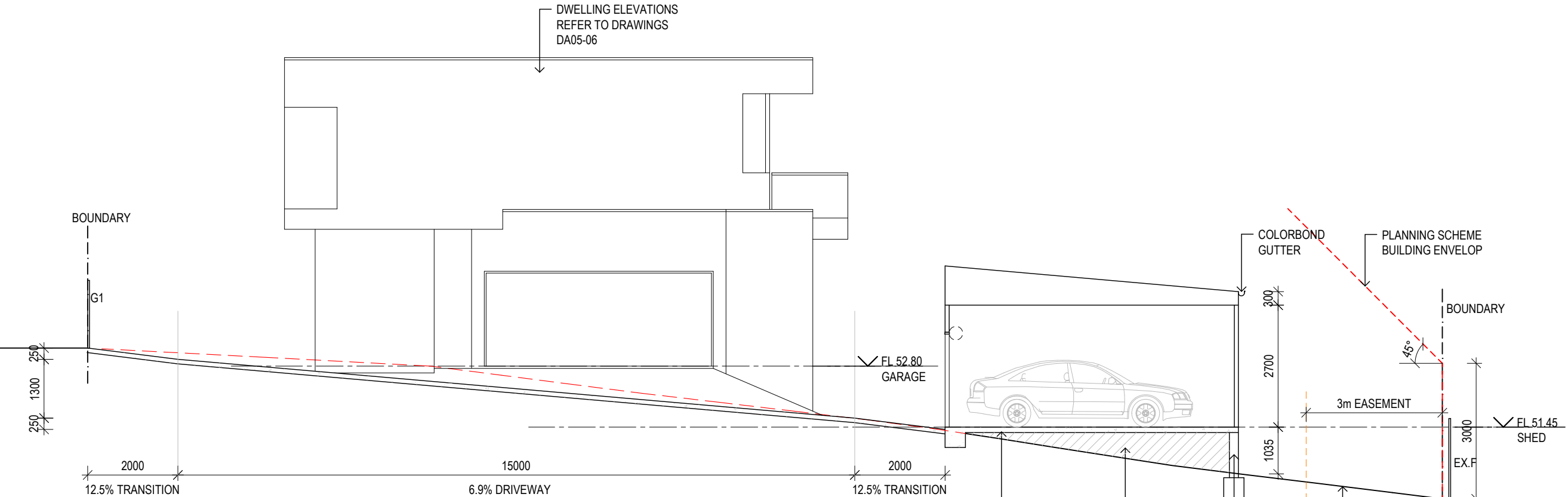
DRAWING TITLE
PROPOSED ELEVATIONS
(SHED)

REV NO.	A
SCALE	AS SHOWN @A3
DRAWN BY	AM
CHECK BY	-
DATE	1 OCTOBER 2025

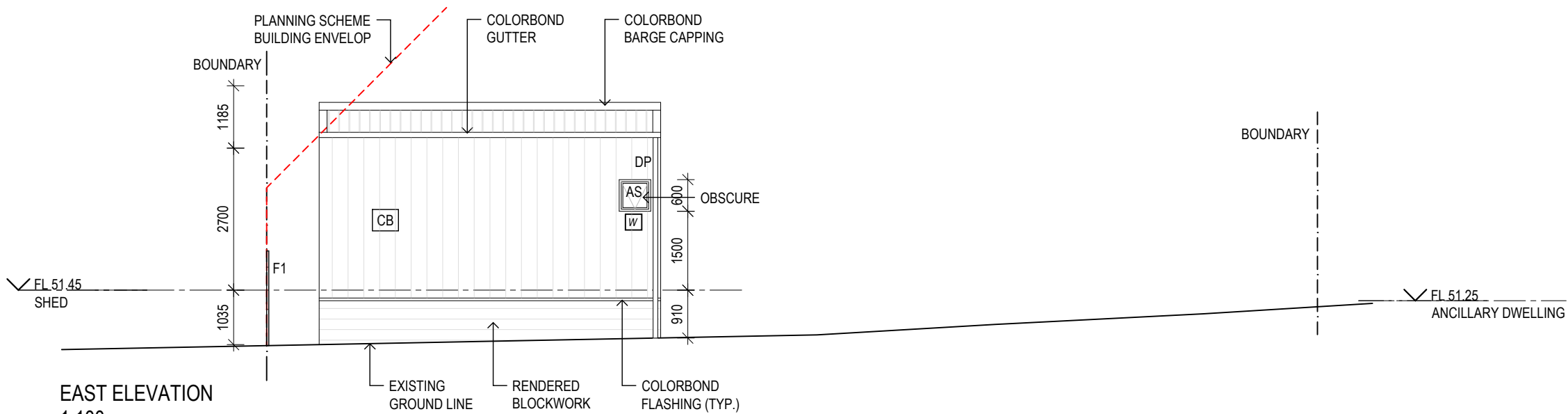
DRAWING KEY	
AS	AWNING SASH
CB	COLORBOND METAL CLADDING
DP	DOWNPIPE
FCS-A	JAMES HARDIE AXON CLADDING SYSTEM
FCS-F	JAMES HARDIE FINE TEXTURE CLADDING SYSTEM
FG	FIXED GLAZING
HR	HANDRAIL
SS	SLIDING SASH



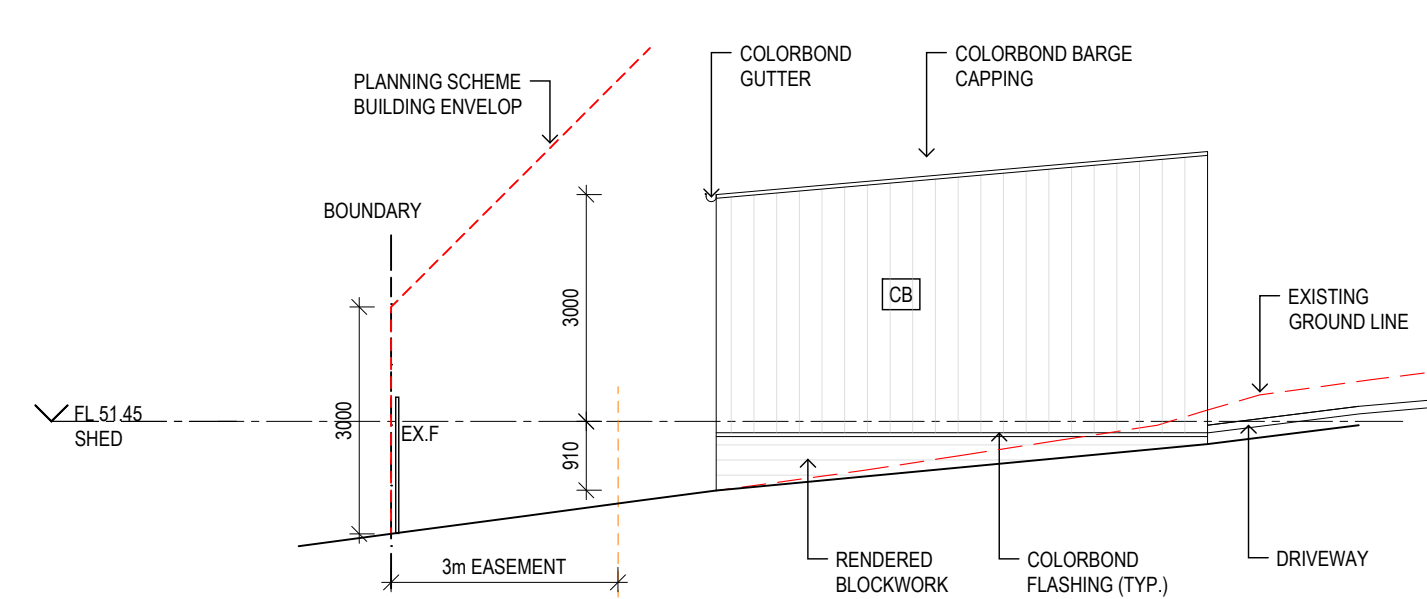
SOUTH ELEVATION
1:100



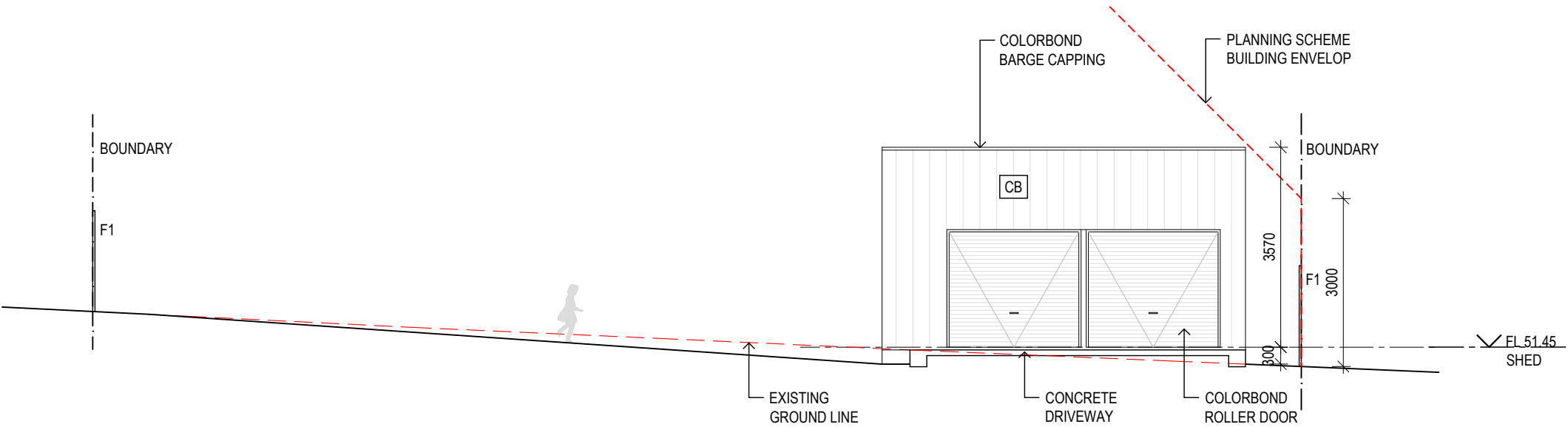
SECTION A
1:100



EAST ELEVATION
1:100



NORTH ELEVATION
1:100



WEST ELEVATION
1:100



CONTRACTOR SHALL VERIFY ALL
DIMENSIONS ON SITE BEFORE
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REVISION		
A	DELETE ANCILLARY	12.11.2025

PROJECT TITLE
NEW DWELLING, SHED &
ASSOCIATED WORKS

PROJECT ADDRESS
4 BESTOW ROAD,
ROKEBY, TAS 7019

PROJECT NUMBER
JHA_009_25

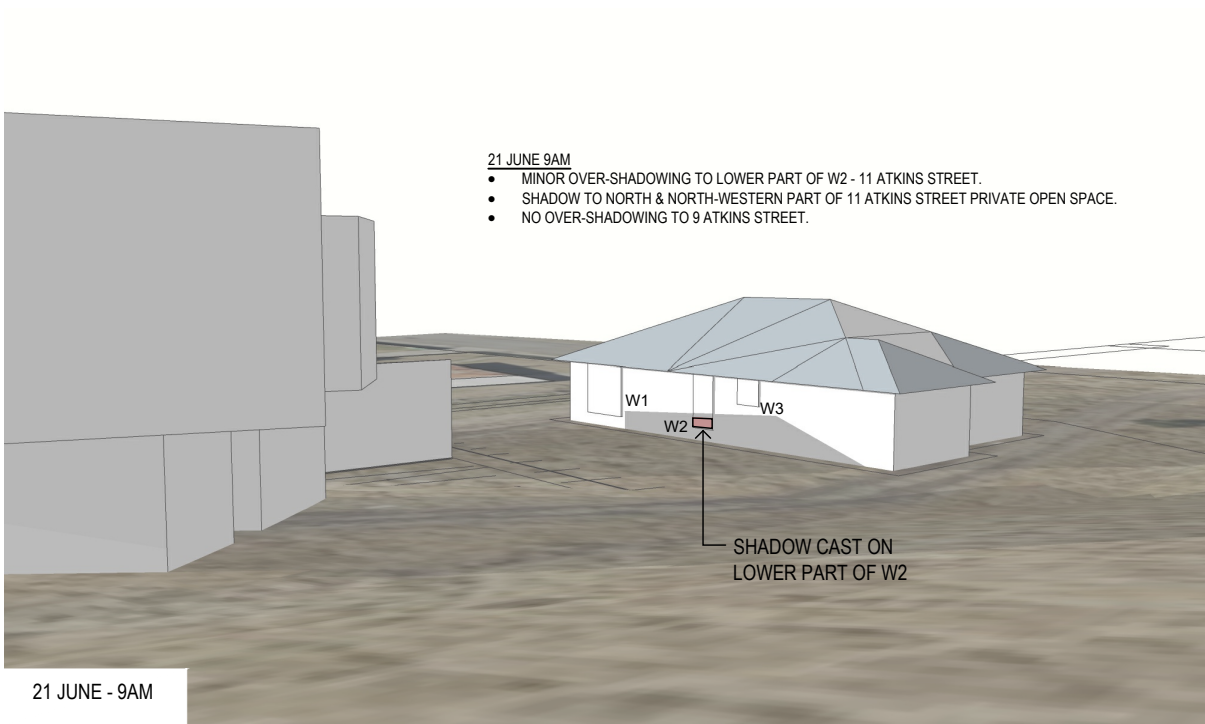
DRAWING TITLE
PROPOSED ELEVATIONS
(SHED)

REV NO.	A
SCALE	AS SHOWN @A3
DRAWN BY	AM
CHECK BY	-
DATE	1 OCTOBER 2025

DRAWING KEY	
AS	AWNING SASH
CB	COLORBOND METAL CLADDING
DP	DOWNPIPE
FCS-A	JAMES HARDIE AXON CLADDING SYSTEM
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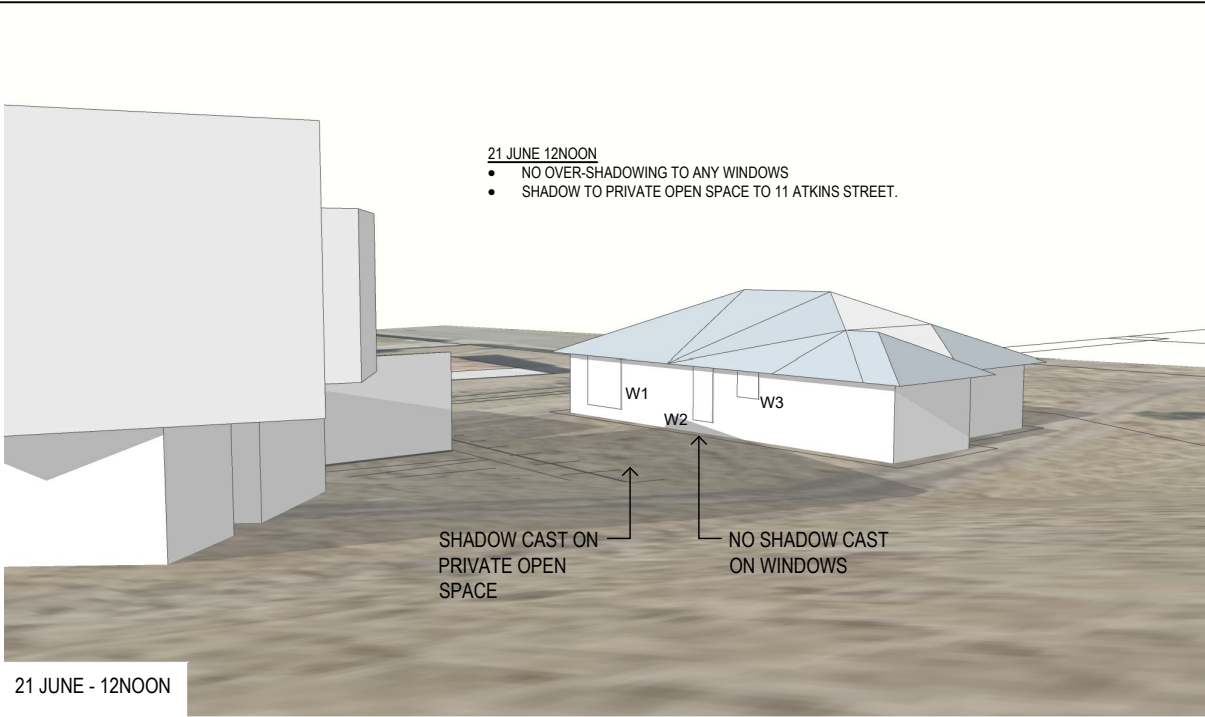
21 JUNE - 9AM



21 JUNE - 9AM



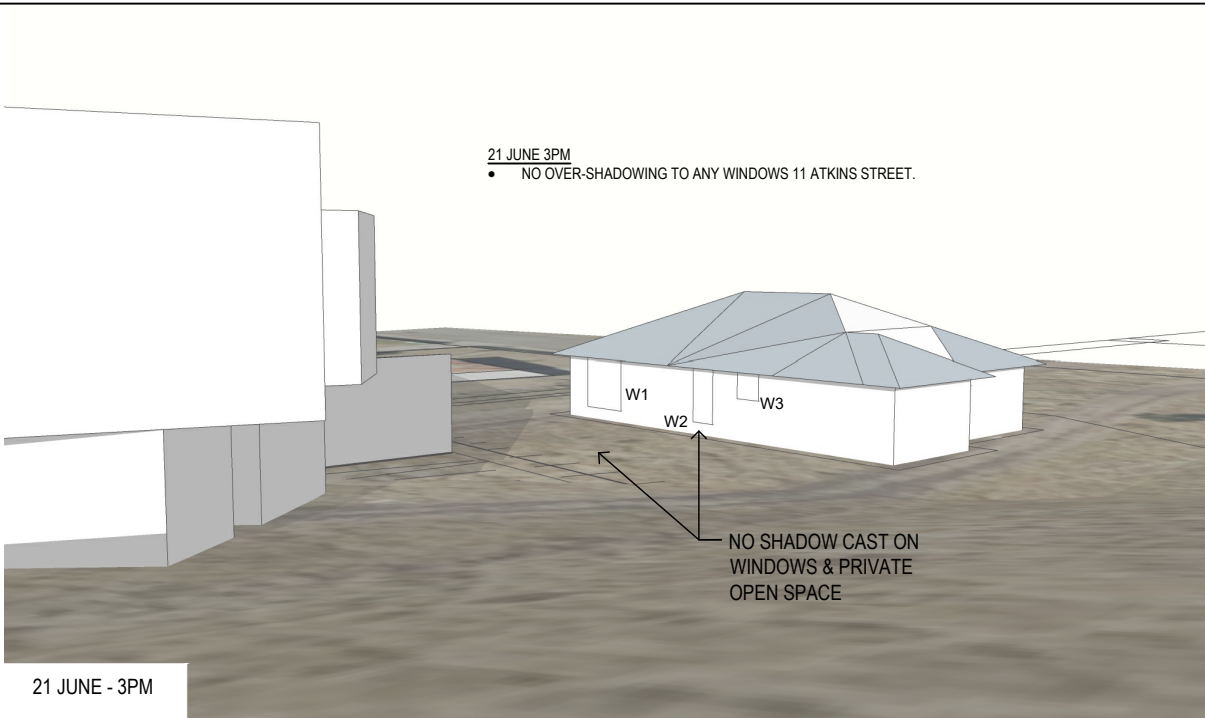
21 JUNE - 12NOON



21 JUNE - 12NOON



21 JUNE - 3PM



21 JUNE - 3PM

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PROJECT TITLE
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PROJECT ADDRESS
4 BESTOW ROAD,
ROKEBY, TAS 7019

PROJECT NUMBER
JHA_009_25

DRAWING TITLE
SUN-SHADOW DIAGRAM

REV NO.	-
SCALE	AS SHOWN @A3
DRAWN BY	AM
CHECK BY	-
DATE	10 NOVEMBER 2025

NOTE
ALL SHOW DIAGRAM GENERATED BY GOOGLE
SKETCH-UP PRO