



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056455

PROPOSAL: Additions & Partial Change of use to Visitor
Accommodation

LOCATION: 36 Blaney Street, Dulcot

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 15 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 15 December 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 15 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New visitors accomodation & shed

Location:

Address 36 Blaney St

Suburb/Town Dulcot

Postcode 7025

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Residential Dwelling

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 43614	FOLIO 4
EDITION 5	DATE OF ISSUE 07-Apr-2011

SEARCH DATE : 28-Jan-2025

SEARCH TIME : 03.59 PM

DESCRIPTION OF LAND

Town of DULCOT

Lot 4 on Diagram 43614

Derivation : Whole of 1A-0R-0Ps. & 2A-0R-0Ps. Granted to R.
Hanslow and Part of 3A-0R-0Ps. Granted to R. Hanslow

Prior CT 4705/58

SCHEDULE 1M321763 TRANSFER to RODNEY JAMES WILLIE and TAMEEKA ANN
PEARSON Registered 07-Apr-2011 at noonSCHEDULE 2

Reservations and conditions in the Crown Grant if any

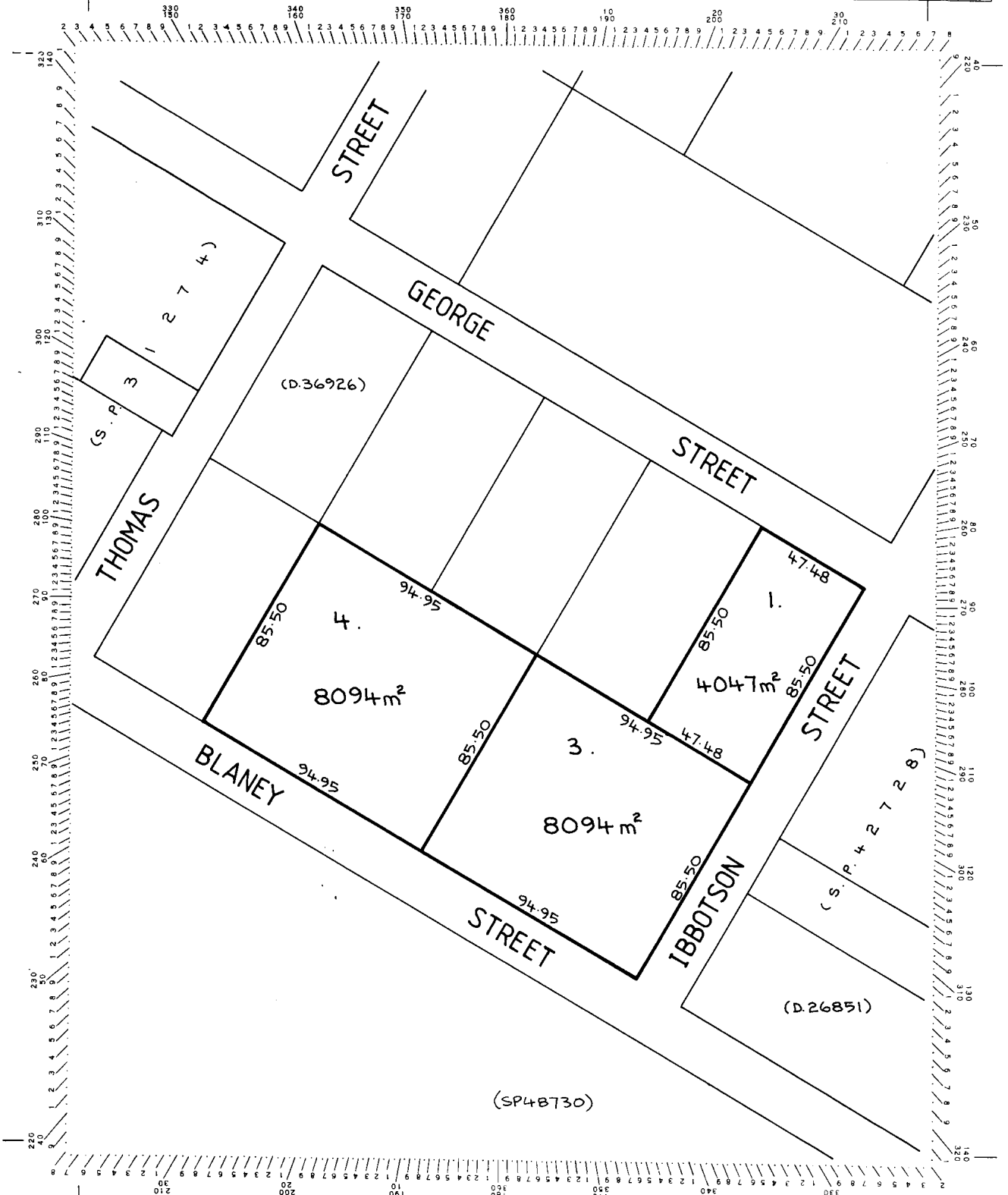
C979956 ENCUMBRANCE to Dulcot Water Association Inc

Registered 23-Aug-2010 at noon

D7807 MORTGAGE to MyState Financial Limited Registered
07-Apr-2011 at 12.01 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Owner: L.T. ACT 1980	PLAN OF SURVEY of land situated in the TOWN OF DULCOT SECTION D. COMPILED FROM <u>D/34^a L.O.</u>	Registered Number: D43614
Title Reference: BAL. RE. SP.42728 CONV. 29/0583		Approved: <u>24 SEP 1998</u> <i>[Signature]</i> Recorder of Titles
Grantee: WHOLE OF LOT 1. (1-0-0) & WHOLE OF 2-0-0 GTD TO RICHARD HANSLOW & PART OF 3-0-0 GTD TO RICHARD HANSLOW		SCALE 1:1500 MEASUREMENTS IN METRES



P I N N Δ C L E

PINNACLE



Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

36 Blaney Street, Dulcot, 7025

Owner(s) or Clients	Rodney Willie & Tameeka Pearson	Title Reference	43614/4
Building Classification	1a & 10a	Zoning	Rural Living
Designer	Jason Nickerson CC6073Y	Land Size	8094m ²
Total Floor Area (Combined)	98.55m ² Deck 23.67m ²	Design Wind Speed	N3
Alpine Area	N/A	Soil Classification	P
Other Hazards	Priority vegetation area, Bushfire-prone areas, Airport obstacle limitation area, Low landslip hazard band	Climate Zone	7
		Corrosion Environment	Low
		Bushfire Attack Level (BAL)	12.5/19

Changes List			
ID	Description of change	Date Changed	Designer

ID	Sheet Name	Issue
A.01	Existing Location Plan	DA - 01
A.02	Proposed Location Plan	DA - 01
A.03	Site Plan	DA - 01
A.04	Floor Plan - Visitors Accom.	DA - 01
A.05	Elevations - Visitors Accom.	DA - 01
A.06	Elevations - Visitors Accom.	DA - 01
A.07	Shed Floor Plan & Elevations	DA - 01
A.08	Roof Plan - Visitors Accom. & Shed	DA - 01
A.09	Electrical Plan - Visitor Accom & Shed	DA - 01
A.10	Door & Window Schedule - Visitors Accom. & Shed	DA - 01

Legend

- Electrical Connection

- Electrical Turret

- Sewer Connection

- Stormwater Connection

- Telstra Connection

- Telstra Pit

- Water Meter

- Water Stop Valve

- Fire Hydrant

- Solar Bollard Light

- Spotlight with sensor



Site Areas	
Site Area	8094 m²
Existing Building Footprint	322.19m²

Survey Notes from Surveyor

This plan is prepared for Gavin Henderson from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey.

Services shown have been located where visible by field survey. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

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- Priority Vegetation overlay as per Listmap
- Low landslip hazard overlay as per Listmap

PINNACLE

PINNACLE DRAFTING & DESIGN
7/3 Abernant Way, Cambridge 7170
03 6248 4218
admin@pinnaclecrafting.com.au
www.pinnaclecrafting.com.au
Licence: CC-6073Y

Proposed Location Plan

Revision: DA - 01
Approved by: JN/SH

Scale: 1:250 @ A3
Pg. No: A.02

Proposal: Visitor Accommodation & Shed
Client: Rodney Willie & Tameeka Pearson
Address: 36 Blaney Street, Dulcot, 7025

Date: 24/09/2025
Drawn by: CJ
Job No: 005-2025
Engineer: Aldanmark
Building Surveyor: Pitt & Sherry

ID	Date	Designer

Site Areas

Site Area 8094 m²

Site Coverage:

Existing Dwelling Site Coverage 269.84m²
Proposed Visitors Accommodation Site Coverage 110.78m²
Proposed Shed Site Coverage 12.69m²
Total Site Coverage Area 393.31m²

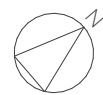
Proposed Visitors Accom. Footprint 85.75m²
Proposed Shed Footprint 11.25m²
Total Proposed Footprint 97.00m²

Patios

Entry 2.95m²
Patio 16.97m²
Total Proposed Patio 19.92m²

Important Note

Refer to bushfire report completed by DDEG dated September 2025 for details on Bushfire Hazard Management.



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ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, omissions or omissions caused by contractors and builders not following colour-printed plans.

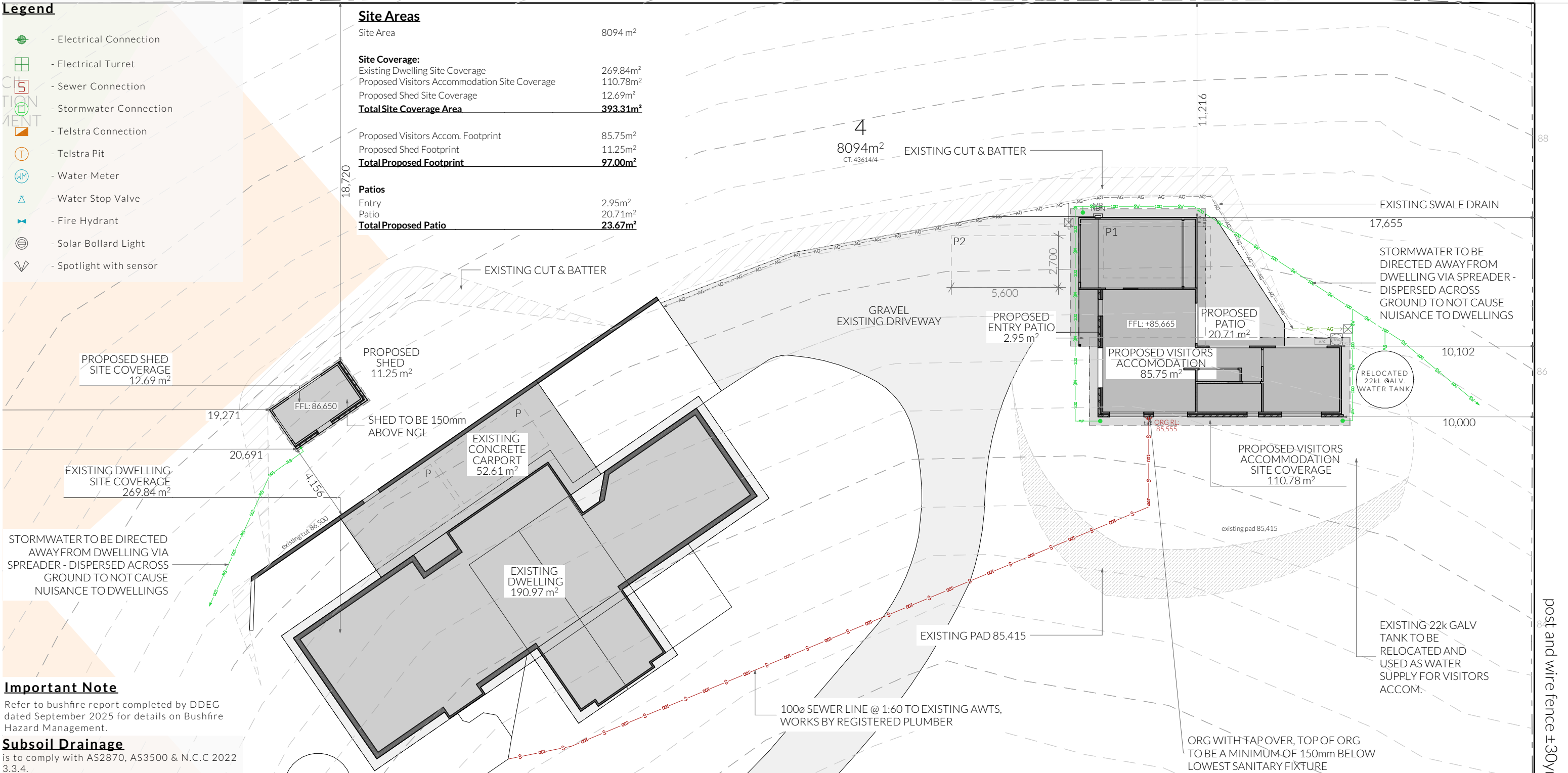


Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
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- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Site Areas

Site Area	8094 m ²
Site Coverage:	
Existing Dwelling Site Coverage	269.84m ²
Proposed Visitors Accommodation Site Coverage	110.78m ²
Proposed Shed Site Coverage	12.69m ²
Total Site Coverage Area	393.31m²
Patios	
Entry	2.95m ²
Patio	20.71m ²
Total Proposed Patio	23.67m²



Important Note

Refer to bushfire report completed by DDEG dated September 2025 for details on Bushfire Hazard Management.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with-
- (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and
- (ii) provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be Class B.

Stormwater pits are indicative. Location may vary depending on site conditions.

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
 - (i) 25mm over the first 1m from the building
 - (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); or
 - (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1(2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
 - (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than
 - (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
 - (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or
 - (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Survey Notes from Surveyor

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PINNACLE	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Site Plan	Scale: 1:200 @ A3 Pg. No: A.03	Proposal: Visitor Accommodation & Shed Client: Rodney Willie & Tameeka Pearson Address: 36 Blaney Street, Dulcot, 7025	Date: 24/09/2025 Drawn by: CJ Job No: 005-2025 Engineer: Aldanmark Building Surveyor: Pitt & Sherry	ID	Date	Designer		These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	
						NOTE: Refer to cover page for further details on changes.					

- A

P
- Access Panel
- AJ
- Articulation Joint
- SA
- Smoke Alarm

RENOVATION LEGEND

- EXISTING
- DEMOLITION
- NEW CONSTRUCTION

- BATTS TO WALL

Construction of sanitary compartments
10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of
NCC 2022

Heights of rooms and other spaces must not be less than;

(a)in a *habitable room* excluding a kitchen - 2.4 m; and

(b)in a kitchen - 2.1 m; and

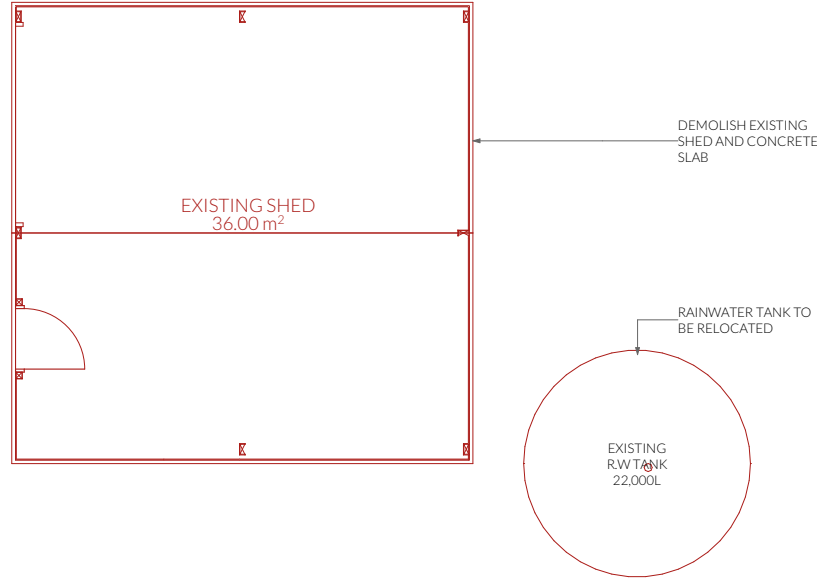
(c)in a corridor, passageway or the like - 2.1 m; and

(d)in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and

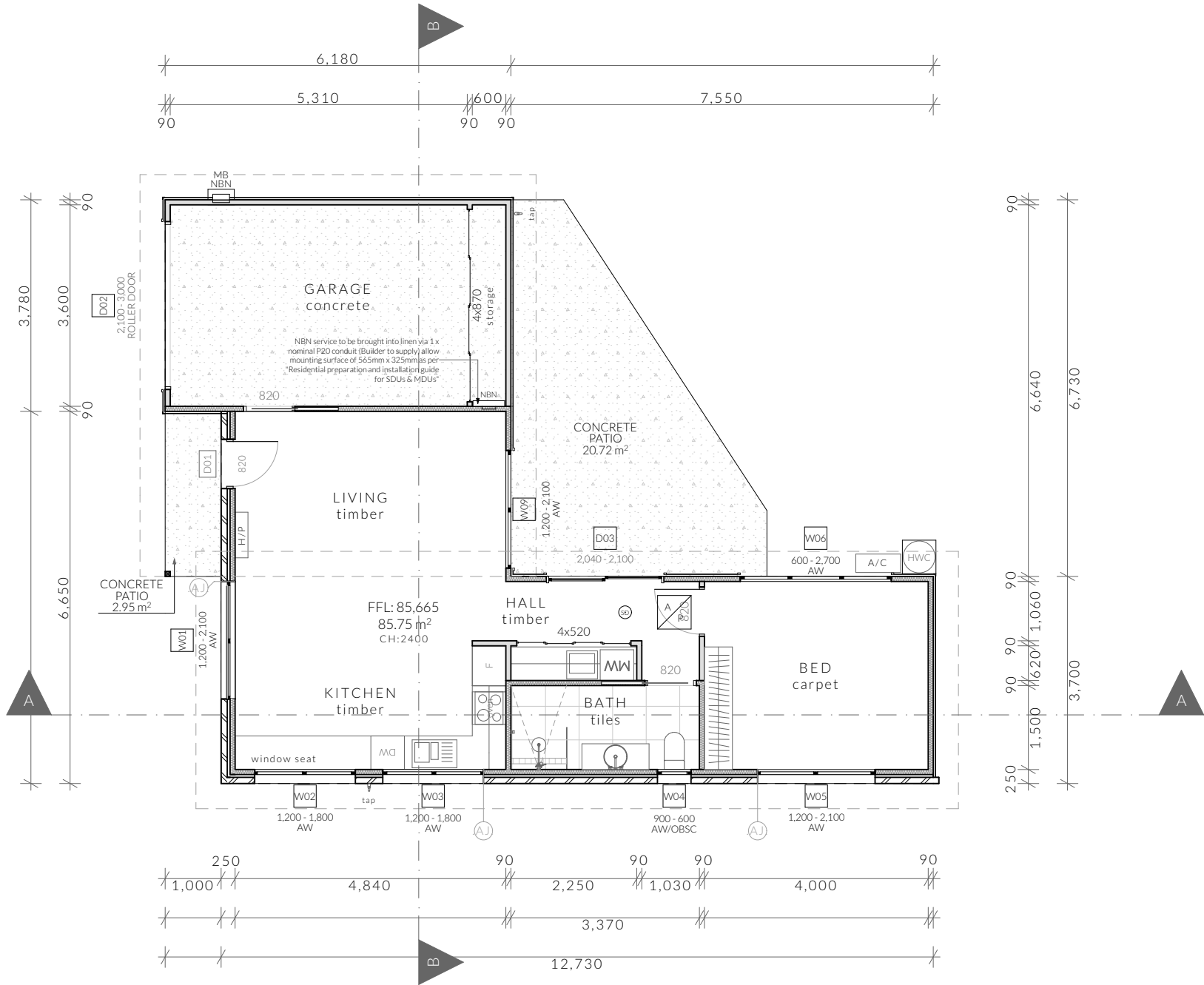
(e)in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items

(f)in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.



Existing Shed - Demolition Plan 1:100



Proposed Floor Plan

1:100

Floor Areas

Total Floor Area	85.75m²
Proposed Patio 1	2.95m²
Proposed Patio 2	20.72m²

NOT FOR CONSTRUCTION

PINNACLE	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Floor Plan - Visitors Accom.	Scale: 1:100 @ A3 Pg. No: A.04	Proposal: Visitor Accommodation & Shed Client: Rodney Willie & Tameeka Pearson Address: 36 Blaney Street, Dulcot, 7025	Date: 24/09/2025 Drawn by: CJ Job No: 005-2025 Engineer: Aldanmark Building Surveyor: Pitt & Sherry	ID	Date	Designer	 These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans. 	
	Revision: DA - 01 Approved by: JN/SH					NOTE: Refer to cover page for further details on changes.				



South East Elevation

1:100



South West Elevation

1:100

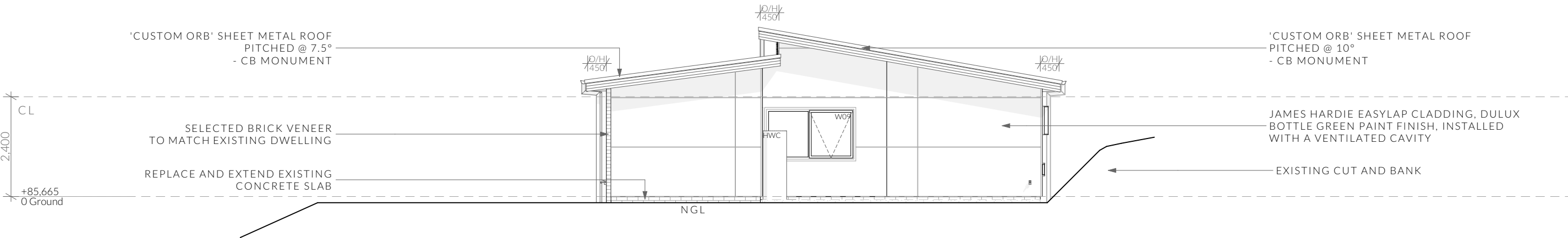
NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

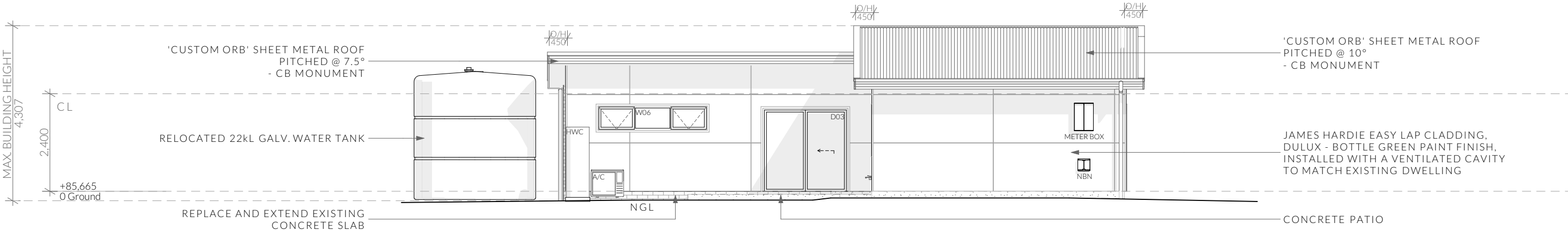
All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

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North East Elevation

1:100



North West Elevation

1:100

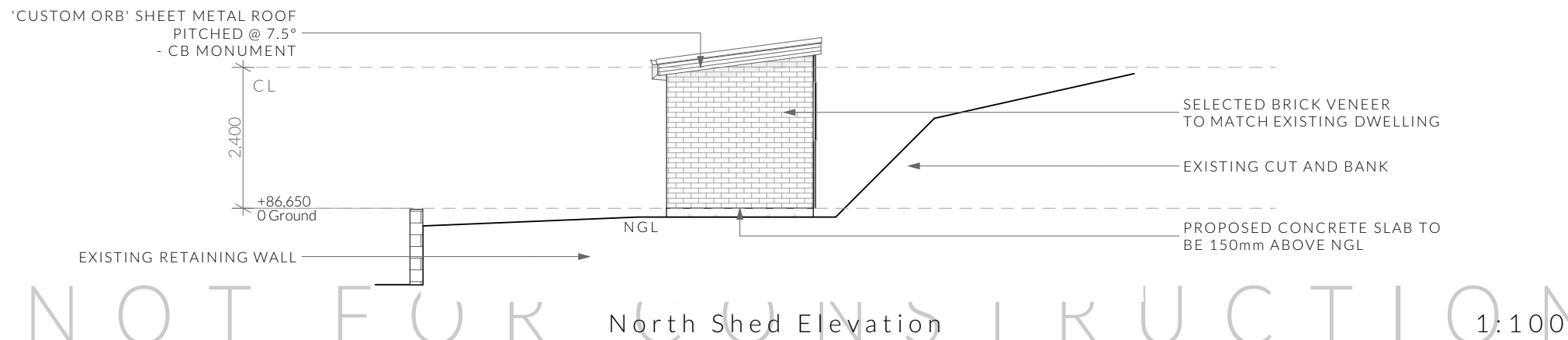
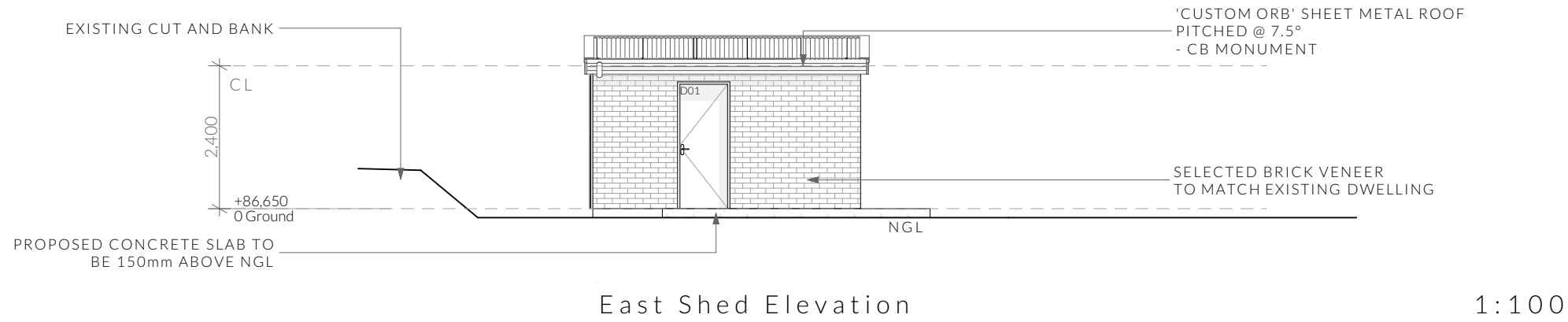
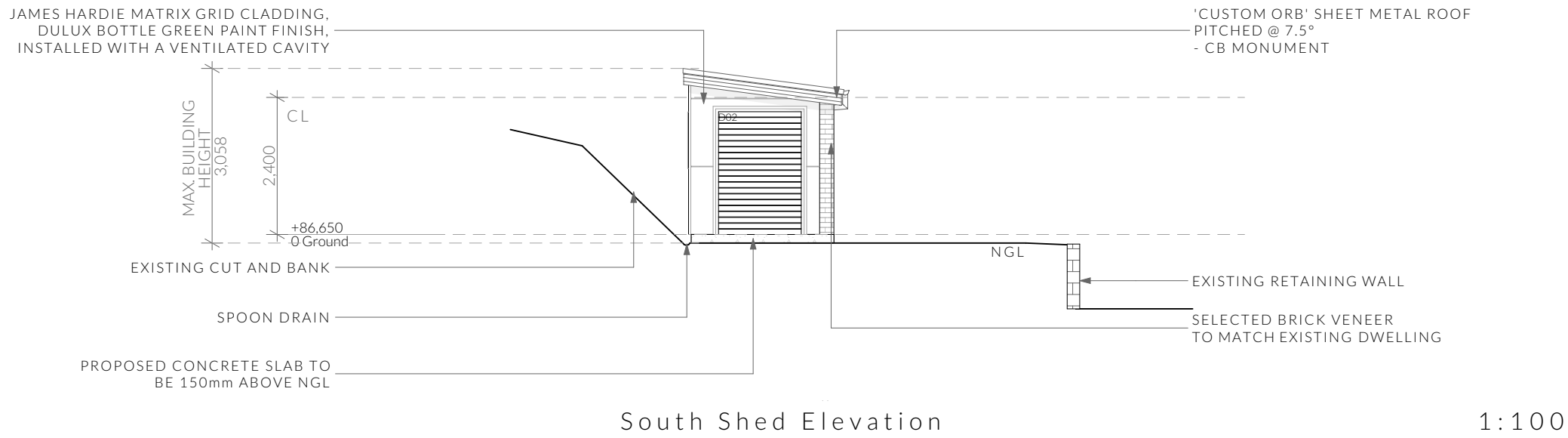
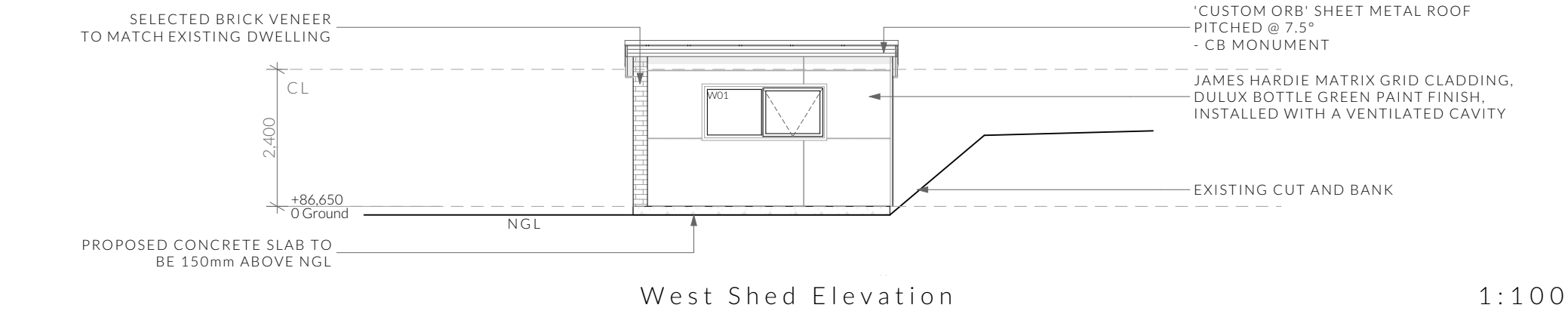
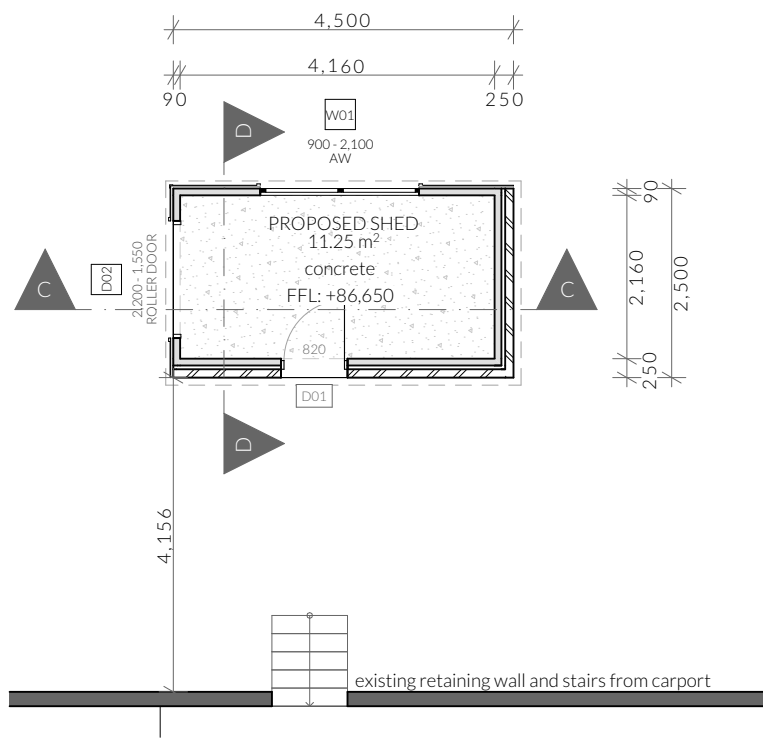
NOTE
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100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

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NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm
Going: Min 240mm - Max 355mm
Slope (2R+G): Max 550 - Min 700

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	ID	Date	Designer															
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Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a)is located-
 - (i)immediately above the primary insulation layer;
 - or
 - (ii)immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer;
 - or
 - (iii)immediately above ceiling insulation; and
- (b)has a height of not less than 20 mm; and
- (c)is either-
 - (i)ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii)located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

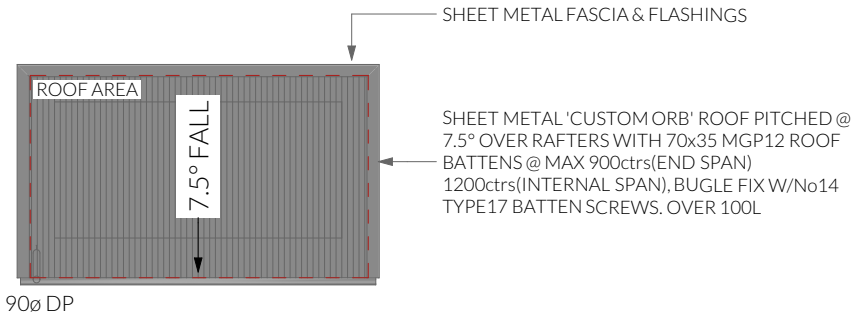
Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a)comply with AS/NZS 2908.2 or ISO 8336; and
- (b)be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 × 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.



Shed Roof Plan

REQUIRED NUMBER OF ROOF VENTS:

ROOF PITCH < 10°
MONOPITCH ROOF

REQUIRED VENT AREA

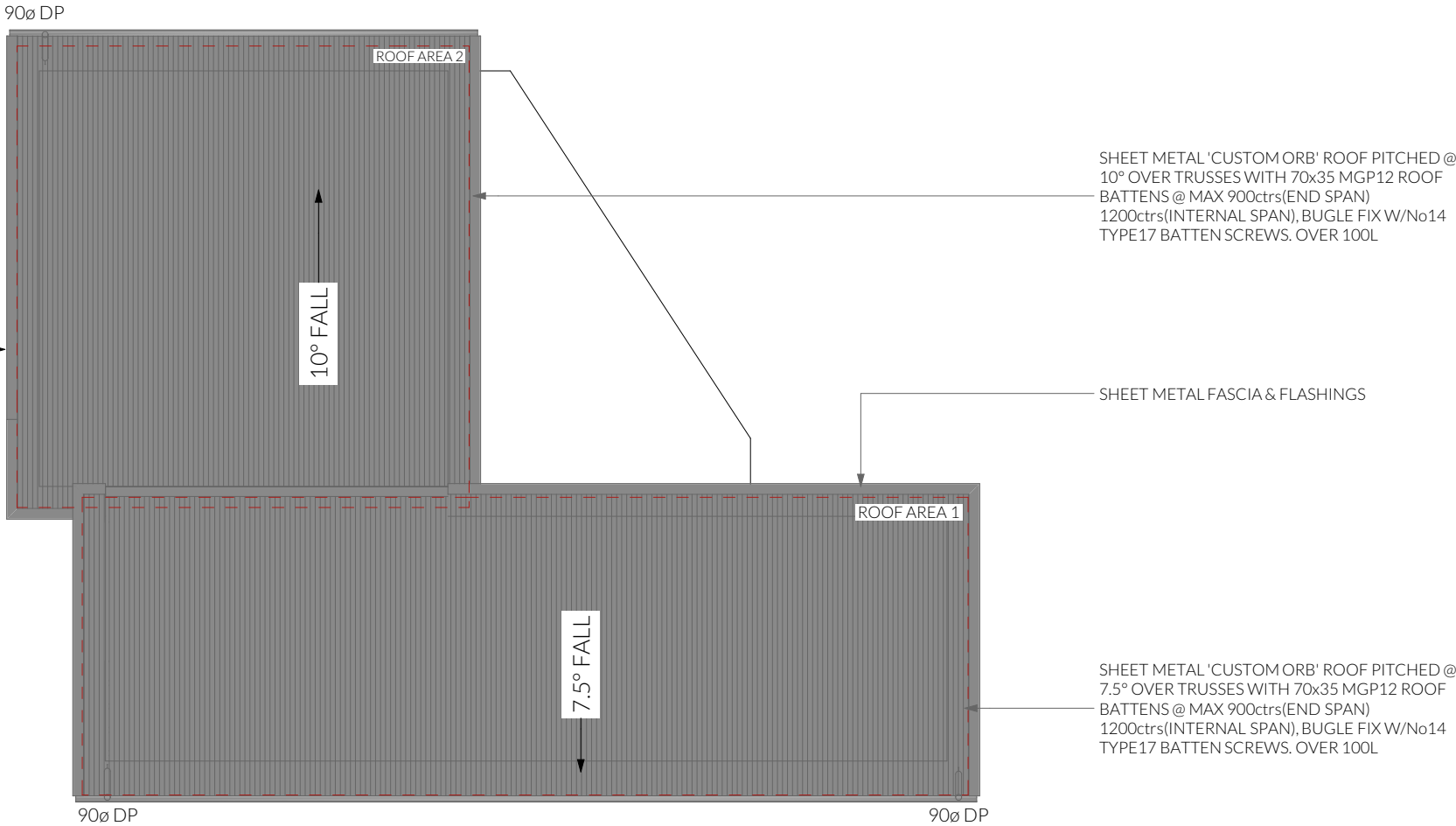
Low Vents = 0.50m² (20.18m x 25,000mm²)
High Vents = 0.50m² (20.18m x 25,000mm²)

EAVE VENTS

BUILDERS EDGE EAVE VENT (EV4020) FITTED WITH STAINLESS STEEL BUSHFIRE MESH
15x 400X200mm(0.035m²) VENTS EVENLY SPACED PER SIDE
OR
25mm CONTINUOUS VENT

RIDGE VENT SYSTEM

BUILDERS EDGE EAVE VENT (EV4020) FITTED WITH STAINLESS STEEL BUSHFIRE MESH
15x 400X200mm(0.035m²) VENTS EVENLY SPACED PER SIDE
OR
25mm CONTINUOUS VENT



Visitors Accom. Roof Plan

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ELECTRICAL LEGEND			
Symbol	Description	Allowance	Quantity
	DATA- CAT 6 (RJ45) - 1 GANG		2
	DATA- TV CONNECTION		1
	FAN - 3 IN 1 (2 LAMP)	10W (LIGHT)	1
	FAN - CEILING - EX-HAUST		2
	GPO - (1) SINGLE		1
	GPO - (2) DOUBLE		14
	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		1
	GPO - WEATHER PROOF DOUBLE		1
	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	11
	LIGHT - CEILING - LED BATTEN	20W	2
	LIGHT - WALL MOUNTED - TYPE 1	10W	2
	SWITCH - LIGHT 1 GANG		7

Smoke Alarms Part 9.5 of NCC 2022

Smoke alarms must-

(a) be located in-

- (i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and
- (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4; and

(b) comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and

(c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-

(a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and

(b) each other storey not containing bedrooms.

Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:

(a) Where a smoke alarm is located on the ceiling it must be-

- (i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and
- (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.

(b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Note: Exhaust Fans

Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have;

- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-

 - (a) 25 L/s for a bathroom or sanitary compartment; and
 - (b) 40 L/s for a kitchen or laundry.

- Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
- Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
- An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-

 - (a) be interlocked with the room's light switch; and
 - (b) include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

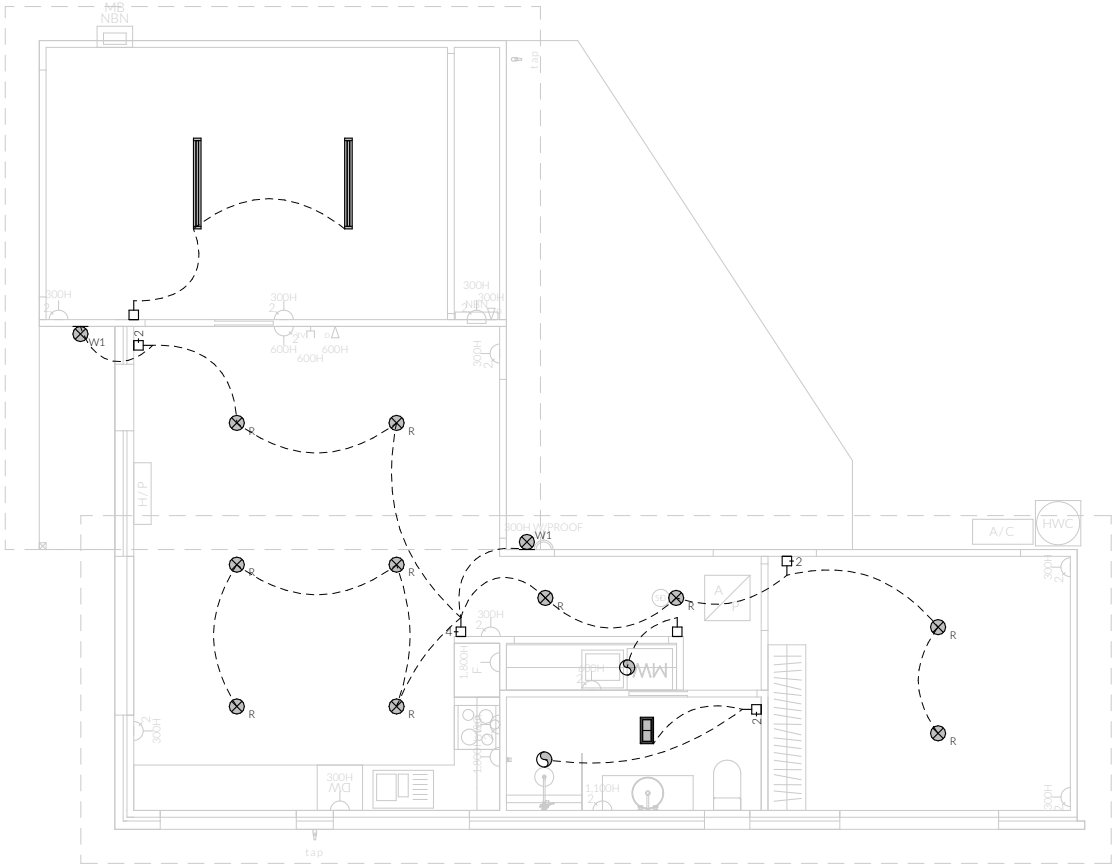
Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

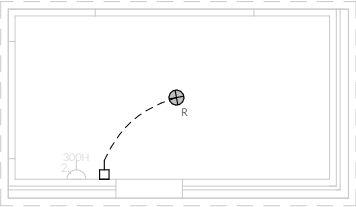
- 5W/m² in class 1a dwellings
- 4W/m² to veranda, balcony or the like
- 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

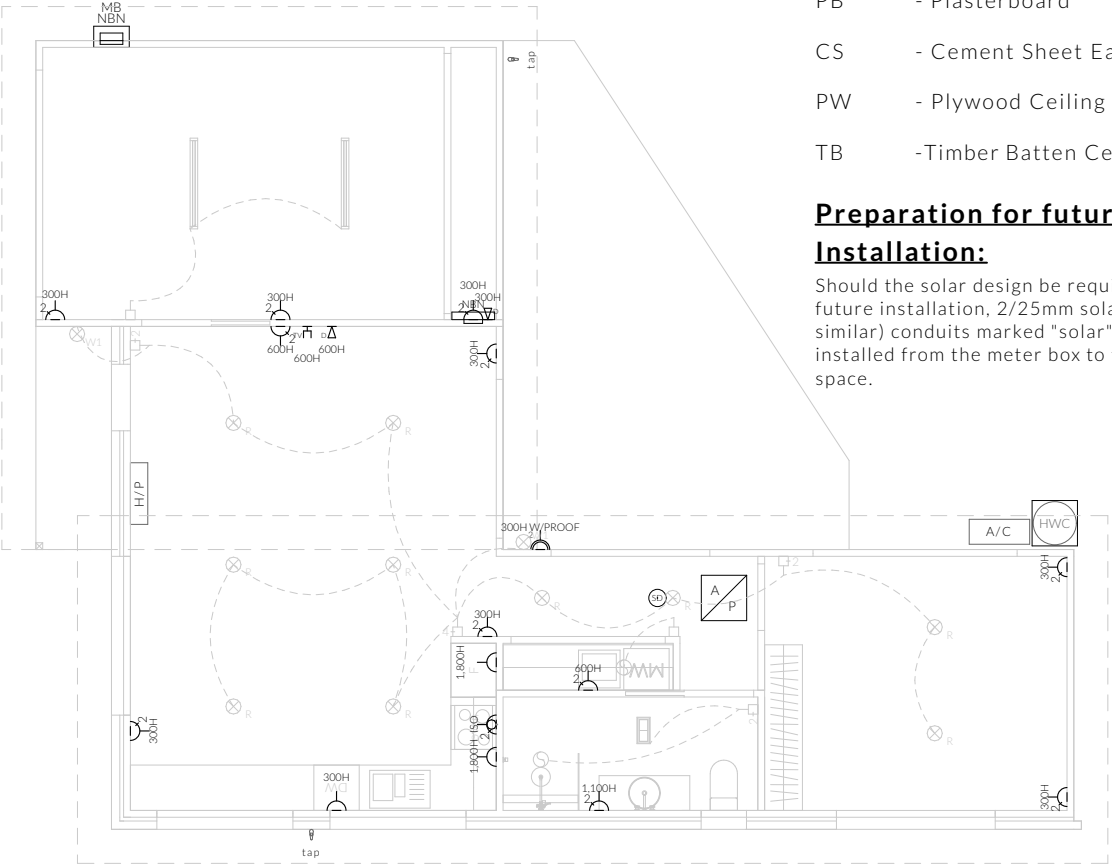
	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Electrical Plan - Visitor Accom & Shed	Scale: 1:100 @ A3 Pg. No: A.09	Proposal: Visitor Accommodation & Shed Client: Rodney Willie & Tameeka Pearson Address: 36 Blaney Street, Dulcot, 7025	Date: 24/09/2025 Drawn by: CJ Job No: 005-2025 Engineer: Aldanmark Building Surveyor: Pitt & Sherry	<table><tr><th>ID</th><th>Date</th><th>Designer</th></tr><tr><td colspan="3" rowspan="3">NOTE: Refer to cover page for further details on changes.</td></tr></table>	ID	Date	Designer	NOTE: Refer to cover page for further details on changes.				These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	
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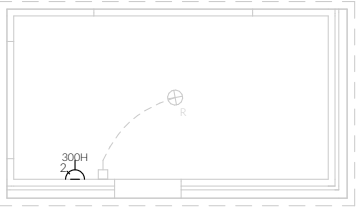
Electrical Plan - Visitors Accom.- Light/Reflected Ceiling



Electrical Plan - Shed - Light/Reflected Ceiling



Electrical Plan - Visitors Accom.- Power



Electrical Plan - Shed - Power

Notes

U.N.O ceilings are to be plasterboard.

--o----o Dimmable Circuit

--t----t Timer Circuit(as fan note)

PB - Plasterboard

CS - Cement Sheet Eaves

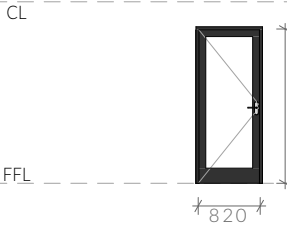
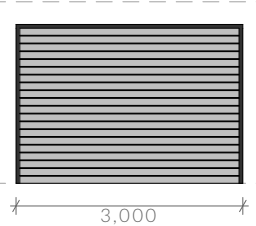
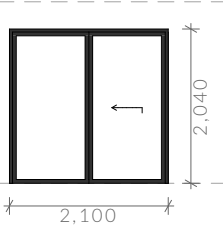
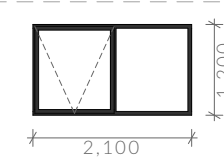
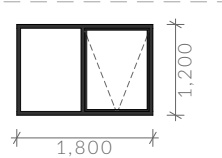
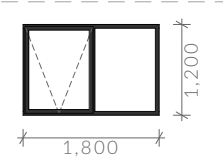
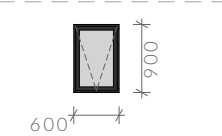
PW - Plywood Ceiling

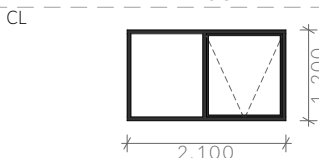
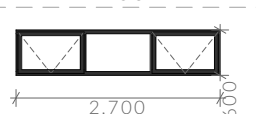
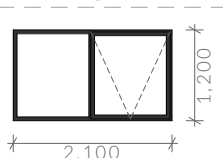
TB -Timber Batten Ceiling

Preparation for future Solar Installation:

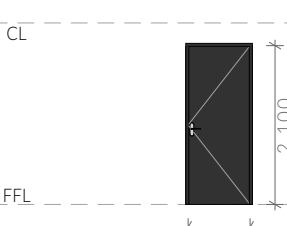
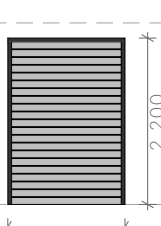
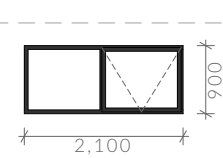
Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space.

Door & Window Schedule - Visitors Accommodation

ID	D01	D02	D03	W01	W02	W03	W04
External View							
Sill Height	0	0	0	900	900	900	1,200
Notes							OBSCURE

ID	W05	W06	W09
External View			
Sill Height	900	1,500	900
Notes			

Door & Window Schedule - Shed

ID	D01	D02	W01
External View			
Sill Height	0	0	1200
Notes			

Important note

All visitors accom. windows to be in compliance with **BAL 12.5/19** requirements.
All shed windows to be in compliance with **BAL 19** requirements.
Refer to Bushfire Protection Plan.

Important Note

- Glazing to be Reduced- or low-reflectivity glass (0–10% reflectivity) wherever possible. Alternative options are set out in Section 4.2.3 Bird-friendly applications: micro scale of the Minimizing the Swift Parrot Collision Threat where unable to meet the reduced or low-reflectivity glass option.
Some of these examples are:

- installing internal screens as close to the glass as possible so as to maximise the noise projected through the window
- attaching external screens to operable windows; (applicable in bushfire prone areas)
- attaching exterior decorative grilles, provided the sections are less than 28 cm wide (10 cm/handprint width being optimal);

Glazing

All glazing must comply with Section 8 of NCC Vol II 2022.

Windows must be installed in accordance with the following:

(a)Structural building loads must not be transferred to the window assembly.

(b)A minimum 10 mm gap must be provided between the top of the window assembly and any loadbearing framing or masonry wall element.

(c)The requirements of (b) may be increased where necessary to allow for frame settlement over wide openings.

(d)Packing, if provided between each window assembly and the frame, must be-

(i)located along each side and bottom; and

(ii)fixed to ensure the sides and bottom of the window assembly remain straight; and

(iii) clear of any flashing material.

If a door, side panel or panel is capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible with an opaque band not less than 20 mm in height located so that-

(a)the upper edge is not less than 700 mm above the floor; and

(b)the lower edge is not more than 1.2 m above the floor.

Refer to Part 8.4.7 for exemptions.

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