



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056528

PROPOSAL: Dwelling

LOCATION: 14 Toronto Drive, Seven Mile Beach

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 15 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 15 December 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 15 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **New Residnetail Dwelling**

Location: **14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170**

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 188363	FOLIO 4
EDITION 2	DATE OF ISSUE 26-Jul-2025

SEARCH DATE : 22-Oct-2025

SEARCH TIME : 03.40 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 4 on Sealed Plan [188363](#)

Derivation : Part of 97 Acres Gtd. to William Garlick

Prior CT [182879/250](#)

SCHEDULE 1

[N268847](#) TRANSFER to JACK CURTIS ANDREWS and COURTNEY JAYNE ANDREWS Registered 26-Jul-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP188363](#) EASEMENTS in Schedule of Easements

[SP188363](#) COVENANTS in Schedule of Easements

[SP188363](#) FENCING PROVISION in Schedule of Easements

[SP188363](#) SEWERAGE AND/OR DRAINAGE RESTRICTION

[SP188363](#) COUNCIL NOTIFICATION under Section 83(5) of the Local Government (Building and Miscellaneous Provisions) Act 1993.

[SP172346](#), [SP181390](#) & [SP182879](#) FENCING PROVISION in Schedule of Easements

[SP172346](#), [SP181390](#) & [SP182879](#) SEWERAGE AND/OR DRAINAGE RESTRICTION

[SP172346](#) & [SP181390](#) SEPTIC TANK NOTIFICATION

[SP182879](#) COUNCIL NOTIFICATION under Section 83(5) of the Local Government (Building and Miscellaneous Provisions) Act 1993.

[C403611](#) AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 03-Sep-2002 at noon

[E38838](#) AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 21-Apr-2016 at noon

[E61128](#) AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 29-Sep-2016 at noon

[E236437](#) AGREEMENT pursuant to Section 78 of the Land Use

Planning and Approvals Act 1993 Registered
12-Nov-2020 at noon

[E247637](#) AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
16-Mar-2021 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER TORONTO PASTORAL COY. PTY. LTD. FOLIO REFERENCE C.T.182879/250 GRANTEE PART OF 90 ACRES GRANTED TO GEORGE AND CHARLOTTE JOSEPH AND 97 ACRES GRANTED TO WILLIAM GARLICK, PART OF 1000 ACRES LOCATED TO JOHN JEWELL, PART OF 1000 ACRES LOCATED TO WILLIAM RUMNEY	PLAN OF SURVEY BY SURVEYOR SAMUEL FRANKLIN HARVEY ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0402-476-360 CITY OF CLARENCE SCALE 1: 2,000 LENGTHS IN METRES	REGISTERED NUMBER SP188363 APPROVED EFFECTIVE FROM 7 APR 2025 <i>Ren</i> Recorder of Titles
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ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

PRIORITY FINAL PLAN

L1 105°34' 19.89
 L2 130°39' 10.22
 L3 157°57' 8.77
 L4 31°16' 18.07
 L5 233°58' 10.50
 L6 303°08' 15.65
 L7 327°00' 6.25

<i>[Signature]</i> 16/12/2024 Registered Land Surveyor Date	<i>[Signature]</i> 05/03/2025 Council Delegate Date
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SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 188363

PAGE 1 OF 3 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Drainage easement

Lot 3 on the plan is SUBJECT TO a right of drainage over that part of Lot 3 shown on the plan as "DRAINAGE EASEMENT 6.00 WIDE" appurtenant to Lot 100 on Sealed Plan 165950 (subject to conditions more fully set forth in Sealed Plan 165950 (if any))

Lot 4 on the plan is SUBJECT TO a right of drainage over that part of Lot 4 shown on the plan as "DRAINAGE EASEMENT 6.00 WIDE" appurtenant to Lot 100 on Sealed Plan 165950 (subject to conditions more fully set forth in Sealed Plan 165950 (if any))

Lot 5 on the plan is SUBJECT TO a right of drainage over that part of Lot 5 shown on the plan as "DRAINAGE EASEMENT 6.00 WIDE" appurtenant to Lot 100 on Sealed Plan 165950 (subject to conditions more fully set forth in Sealed Plan 165950 (if any))

Pipeline easement

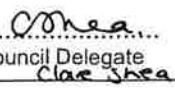
Lot 308 on the plan is SUBJECT TO a PIPELINE EASEMENT over that part of Lot 308 shown on the plan as "PIPELINE EASEMENT 5.00 WIDE", being pipeline rights (as defined therein and subject to conditions therein) (appurtenant to Lot 1 on Sealed Plan 126713) (subject to conditions more fully set forth in Sealed Plan 126713 if any)

Pipeline and services easements in gross

Lot 308 on the plan is SUBJECT TO a PIPELINE AND SERVICES EASEMENT over that part of Lot 308 shown on the plan as "PIPELINE AND SERVICES EASEMENT 'B' 2.50 WIDE" in favour of Tasmanian Water & Sewerage Corporation Pty Ltd (subject to conditions more fully set forth in Sealed Plan 181390)

3471-5014-8147, v. 2

(USE ANNEXURE PAGES FOR CONTINUATION)

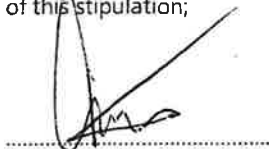
SUBDIVIDER: Toronto Pastoral Coy Pty Ltd FOLIO REF: CT 182879/250 SOLICITOR & REFERENCE: Dobson Mitchell Allport James Ramsay	PLAN SEALED BY: Clarence City Council DATE: 5th March 2025 SD-2012/1 REF NO.
 Council Delegate Clare Shea	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 3 PAGES	Registered Number SP 188363
SUBDIVIDER: Toronto Pastoral Coy Pty Ltd FOLIO REFERENCE: CT 182879/250	

Restrictive covenants

The owners of Lot 3, 4 and 5 each covenant with the Vendor and the owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantor's lot, and every part of it, and that the benefit of it may be annexed to and devolve with each and every part of every other lot shown on the plan, to observe the following stipulations:

1. NOT TO, without the consent of Council, erect or permit to be erected or permit to remain on a Lot any advertising signs of any type whatsoever PROVIDED THAT a sign indicating that a Lot is for sale will be permitted for a limited period;
2. NOT TO use reflective materials in the construction of any dwelling on a Lot nor to erect any shed or outbuilding of anything but non-reflective materials;
3. NOT TO construct a residential building on a Lot using materials other than general brick, weatherboard, finished rendered surface or masonry construction but the use of other timber or non-masonry materials used as in-fill panels will be permitted PROVIDED THAT these latter materials do not exceed 30 percent of the total external wall area;
4. NOT TO use galvanised iron or other reflective material in the construction of the roof of any dwelling or other structure on a Lot;
5. NOT TO construct a dwelling on a Lot that has a minimum floor area of less than 160 square metres which area does not include patios, garages or carports;
6. NOT TO permit vehicles with a Gross Vehicle Mass greater than 10 tonne to be parked, stored or allowed to remain on the Lot for in excess of six hours;
7. NOT TO store or allow to remain on a Lot any construction plant and equipment, transport equipment or salvage or building materials except where immediately required for use in the construction of a dwelling and associated infrastructure on a Lot;
8. NOT TO bring on a Lot any transportable house or a house relocated from another place;
9. NOT TO place or permit to remain on a Lot any water tank which has any external metal finish;
10. NOT TO place or permit to remain on a Lot any caravan, shed or other structure (excluding dwellings) to be used as a permanent residence provided that a caravan, shed or other structure may be utilised for a period not exceeding one year during the construction of a permanent dwelling or residence;
11. NOT TO, without the consent of Council, conduct any trade or business on a Lot PROVIDED THAT the letting for residential purposes of the whole of any dwelling erected on a Lot will not be in contravention of this stipulation;




3471-5014-8147, v. 2

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES	Registered Number SP 188363
SUBDIVIDER: Toronto Pastoral Coy Pty Ltd FOLIO REFERENCE: CT 182879/250	

12. NOT TO use colourbond and/or cedar boards as the main materials in the construction of a residential dwelling;

In respect of Lot 3:

13. NOT TO construct any building or part of a building on the Lot outside the building envelope area marked A3, B3, C3, D3 on the plan unless otherwise approved by Council;

In respect of Lot 4:

14. NOT TO construct any building or part of a building on the Lot outside the building envelope area marked A4, B4, C4, D4 on the plan unless otherwise approved by Council;

In respect of Lot 5:

15. NOT TO construct any building or part of a building on the Lot outside the building envelope area marked A5, B5, C5, D5 on the plan unless otherwise approved by Council.

Fencing provision

In respect of each lot shown on the plan the Vendor will not be required to fence

Definitions

Council means the Clarence City Council or its legal successors from time to time

Vendor means Toronto Pastoral Coy Pty Ltd ACN 009 480 086 or its legal successors from time to time

Executed by Toronto Pastoral Coy Pty Ltd in
 accordance with section 127(1) of the Corporations
 Act 2001)
)
)

Full name: CRAIG BRADLEY ROGERSON
 Position held: DIRECTOR



Full name: ANDREW JOHN FARRELL
 Position held: DIRECTOR

3471-5014-8147, v. 2

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



Direction to submit a Development Application

This document confirms the direction from Jack & Courtney Andrews owner/s of Lot 4, Toronto Drive, Seven Mile Beach to Wilson Homes Tasmania Pty Limited to act as their agent within the meaning of the *Land Use Planning and Approvals Act 1993* (Tasmania) and Building Act 2016.

Signed by:

Jack Andrews

DD6DCDAE3D1E457...

Signature

22/10/2025

Date of signature

Signed by:

Courtney andrews

5062789E449E446...

Signature

22/10/2025

Date of signature

Important Owner Confirmation

The owners acknowledge that Wilson Homes will incur non-refundable fees to third parties that are likely to exceed the proposal acceptance fee already paid, including but not limited to:

Structural engineering fees

Hydraulic engineering fees

Development application fees

Overlay reports

Arborist reports

Bushfire reports

Farm management reports; and

Dispersive soil reports

depending on the requirements of your council.

The owners acknowledge that in the unlikely event that they do not proceed to a contract, these fees will be payable by the owners to Wilson Homes.

Signed by:

Jack Andrews

DD6DCDAE3D1E457...

Signature

22/10/2025

Date of signature

Signed by:

Courtney andrews

5062789E449E446...

Signature

22/10/2025

Date of signature



1300 595 050
wilsonhomes.com.au

Southern Head Office 250 Murray Street, Hobart Tasmania

Northern Head Office Level 1, 78-96 Wellington Street, Launceston Tasmania

DA
TASMANIAN PLANNING SCHEME

SHEET INDEX

1	COVER SHEET
2	SITE PLAN 1:500
3	SITE PLAN 1:200
4	SOIL & WATER MANAGEMENT PLAN
5	GROUND FLOOR PLAN 1:125
6	GROUND FLOOR PLAN LHS (1:100)
7	GROUND FLOOR PLAN RHS (1:100)
8	ELEVATIONS / SECTION
9	ELEVATIONS
10	WINDOW & DOOR SCHEDULES
11	CALCULATIONS
12	DETAILS (FACE BRICKWORK)
13	DETAILS (CLADDING)
14	DRAINAGE PLAN
15	ROOF DRAINAGE PLAN
16	FLOOR COVERINGS
17	KITCHEN DETAILS
18	BUTLER'S PANTRY DETAILS
19	BATHROOM DETAILS
20	ENSUITE DETAILS
21	POWDER ROOM DETAILS
22	LAUNDRY DETAILS
23	3D VIEWS
24	GENERAL NOTES
25	WET AREA & ENERGY EFFICIENCY NOTES
26	BUILDING ACT BUSHFIRE HAZARD AREAS
27	BAL 19 NOTES
28	BAL 12.5 - BAL 40 ROOF DETAILS

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR		
ALFRESCO		31.62
GARAGE		48.80
LIVING		236.60
PORCH		9.79
		326.81 m ²

ON SITE WASTEWATER
TREATMENT REQUIRED. REFER
TO REPORT PREPARED BY
GES (04/11/2025)

ON SITE STORMWATER
MANAGEMENT.
REFER TO REPORT PREPARED BY
GES/FLUSSIG (04/11/2025)

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	NO
BUSHFIRE	BAL-19
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N2 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	M
SPECIFIC AREA PLAN OVERLAY	YES
SINGLE HILL SPECIFIC AREA PLAN	
TERRAIN CATEGORY	TC2.5
TOPOGRAPHIC CLASSIFICATION	T1
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	925m
WITHIN 50km BREAKING SURF	0.93km
ZONING	RURAL LIVING

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 20,000mm	51,523mm
SIDE A	MIN. 10,000mm	31,297mm
SIDE B	MIN. 10,000mm	15,850mm
REAR	MIN. 10,000mm	78,029mm
BULK & SCALE		
SITE AREA	10,830m ²	
SITE COVERAGE	MAX. 3.69%	3.02%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	903mm
FILL DEPTH	MAX. 1,000mm	925mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

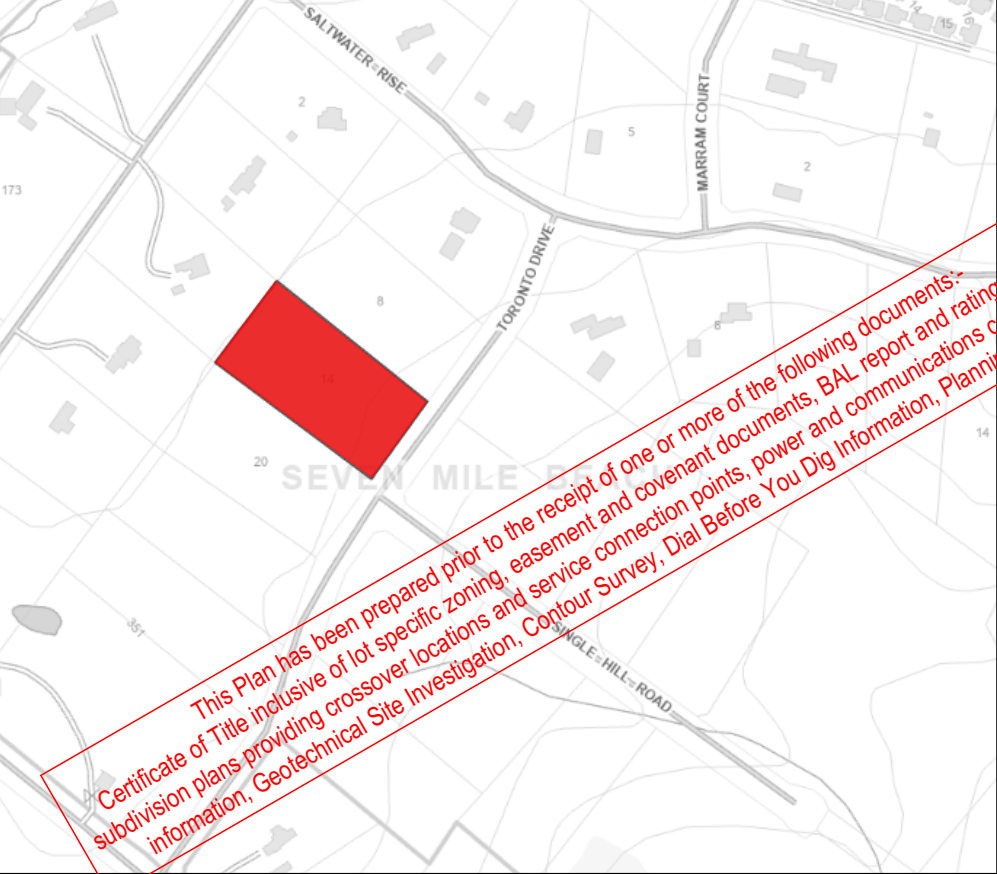
3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S) 2745mm	
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	3-PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	DARK
WALL MATERIAL	BRICK VENEER CLADDING
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	MIN. 50mm FOIL FACED BLANKET UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

ACCESSIBLE SANITARY COMPARTMENT: PWD
ACCESSIBLE SHOWER LOCATION: BATH

GENERAL NOTES:

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM
- 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
- REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

BUSHFIRE REQUIREMENTS - BAL-19

THE BUILDER USES MATERIALS THAT COMPLY WITH AS 3959-2018 OR HAVE BEEN TESTED TO AS 1530.8.1 IN ACCORDANCE WITH AS 3959-2018 (CLAUSE 3.8).

ROOF:

- PROVIDE FOIL FACED BLANKET INSULATION TO ALL COLORBOND SHEET ROOFING.
- PROVIDE SARKING TO ALL TILED ROOFING INCLUDING PRESSTITE TO VALLEYS.
- PROVIDE BAL-19 RATED DEKTITE TO ALL AIR VENTS ON ROOF.
- PROVIDE BAL-19 RATED ALUMINIUM MESH TO ALL SOFFIT AND EAVE VENTS.
- PROVIDE BAL-19 RATED ALUMINIUM MESH TO ALL EXHAUST VENTS.

WALLS, POSTS AND BEAMS:

- EXTERNAL TIMBER POSTS WITHIN 400mm OF ADJACENT FINISHED FLOOR LEVEL TO BE BUSHFIRE-RESISTING TIMBER UNLESS MOUNTED ON STIRRUPS TO PROVIDE MIN. 75mm CLEARANCE ABOVE ADJACENT FINISHED FLOOR LEVEL.
- PROVIDE SPARK ARRESTORS TO ALL EXTERNAL BRICKWORK.

WINDOWS AND DOORS:

- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN BI-FOLD / FRENCH / SLIDING / STACKER DOORS).
- PROVIDE BAL-19 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING / STACKER DOORS.
- SPECIFIED ALUMINIUM FRENCH DOORS HAVE BEEN TESTED TO AS 1530.8.1 WITHOUT SCREENS.
- SPECIFIED ALUMINIUM WINDOWS HAVE BEEN TESTED TO AS 1530.8.1 WITHOUT SCREENS TO FIXED PANELS.
- PROVIDE ALUMINIUM DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS.
- PROVIDE SAFETY SCREENS WITH CORROSION RESISTANT MESH TO EXTERNAL TIMBER HUNG DOORS (IF REQUIRED).
- PROVIDE SEAL TO ALL GARAGE PANELIFT / ROLLER DOORS.

OTHER:

- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE.

SUBJECT TO NCC 2022
(1 MAY 2023)

WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

PRELIMINARY PLAN SET

05	PRELIMINARY PLAN SET - PLAN CORRECTIONS	ALL	2025.11.21	NVO	-
04	PRELIMINARY PLAN SET - COLOUR UPDATE	ALL	2025.11.12	NVO	-
03	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2025.10.10	KPH	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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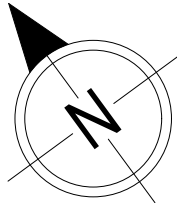
SPECIFICATION: NEXTGEN	REVISION	DRAWN	CLIENT: JACK CURTIS & COURTNEY JAYNE ANDREWS	HOUSE DESIGN: LAKEWOOD 30	HOUSE CODE: H-WATLKW10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714402
COPYRIGHT: © 2025	1 DRAFT SALE PLAN - CT1	HMI 04/09/2025	ADDRESS: 14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170	FACADE DESIGN: NEWHAVEN	FACADE CODE: F-WATLKW10NHAVA	
	2 DRAFT SALE PLAN - CT2	HMI 22/09/2025	LOT / SECTION / CT: 4 / - / 188363	SHEET TITLE: COVER SHEET	SCALES:	
	3 PRELIM PLANS - INITIAL ISSUE	KPH 10/10/2025	COUNCIL: CLARENCE			
	4 PRELIM PLANS - COLOUR UPDATE	NVO 12/11/2025				
	5 PRELIM PLANS - PLAN CORRECTIONS	NVO 19/11/2025				

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

APPROX. CUT/FILL		
CUT	120.06m³	270.14t
FILL	120.52m³	271.17t
DIFFERENCE	0.46m³	1.04t
EVEN CUT & FILL		

LOT SIZE: 10830m²
HOUSE (COVERED AREA): 326.81m²
SITE COVERAGE: 3.02%

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



TORONTO DRIVE

THE WATER TANK HAS:
(A) A MINIMUM CAPACITY OF 10,000L AND IS CONNECTED TO ALL ROOFED DEVELOPMENTS; AND
(B) MAINTAINS A FREE VOLUME OF NOT LESS THAN 2,500L TO REDUCE THE DISCHARGE OF PEAK FLOWS FROM A RAINFALL EVENT; AND
(C) SUPPLIES WATER FOR DOMESTIC PURPOSES, OTHER THAN FOR DRINKING WATER, SUCH AS IN LAUNDRIES, TOILETS OR GARDEN WATERING; AND
(D) DIRECTS OVERFLOWS TO A SUITABLY LOCATED SOAKAGE TRENCH OR DETENTION AREA TO MINIMISE EROSION.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE:	DATE:
SIGNATURE:	DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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SPECIFICATION: NEXTGEN COPYRIGHT: © 2025	REVISION		DRAWN		CLIENT: JACK CURTIS & COURTNEY JAYNE ANDREWS ADDRESS: 14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170 LOT / SECTION / CT: 4 / - / 188363 COUNCIL: CLARENCE	HOUSE DESIGN: LAKEWOOD 30 FACADE DESIGN: NEWHAVEN SHEET TITLE: SITE PLAN 1:500	HOUSE CODE: H-WATLKW10SA FACADE CODE: F-WATLKW10NHAVA SHEET No.: 2 / 28 SCALES: 1:500	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714402
	1	DRAFT SALE PLAN - CT1	HMI	04/09/2025				
	2	DRAFT SALE PLAN - CT2	HMI	22/09/2025				
	3	PRELIM PLANS - INITIAL ISSUE	KPH	10/10/2025				
	4	PRELIM PLANS - COLOUR UPDATE	NVO	12/11/2025				
	5	PRELIM PLANS - PLAN CORRECTIONS	NVO	19/11/2025				

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

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- SITE CLASSIFICATION
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APPROX. CUT/FILL

CUT	120.06m³	270.14t
FILL	120.52m³	271.17t
DIFFERENCE	0.46m³	1.04t

EVEN CUT & FILL

LOT SIZE:

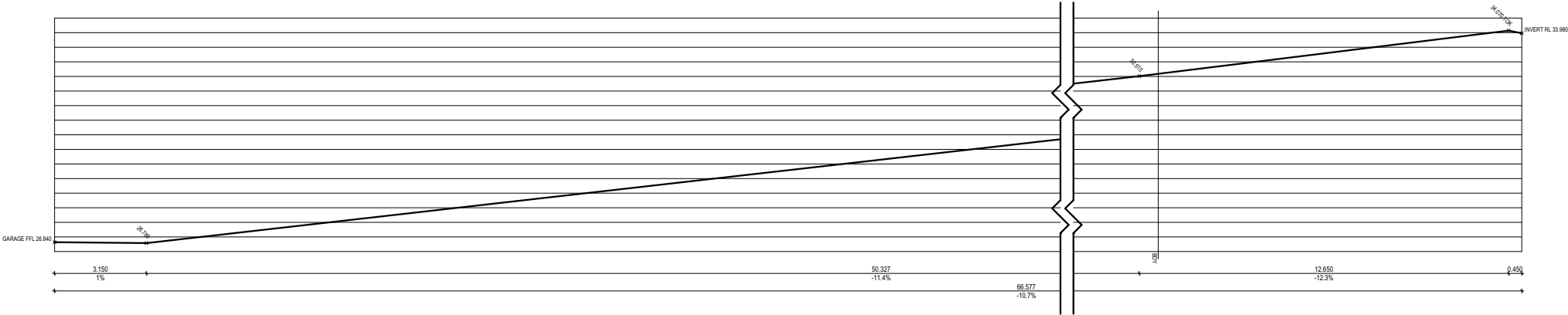
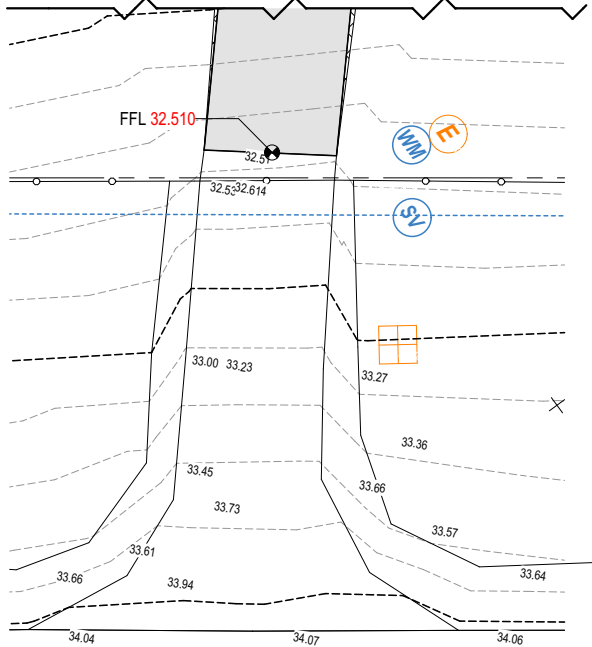
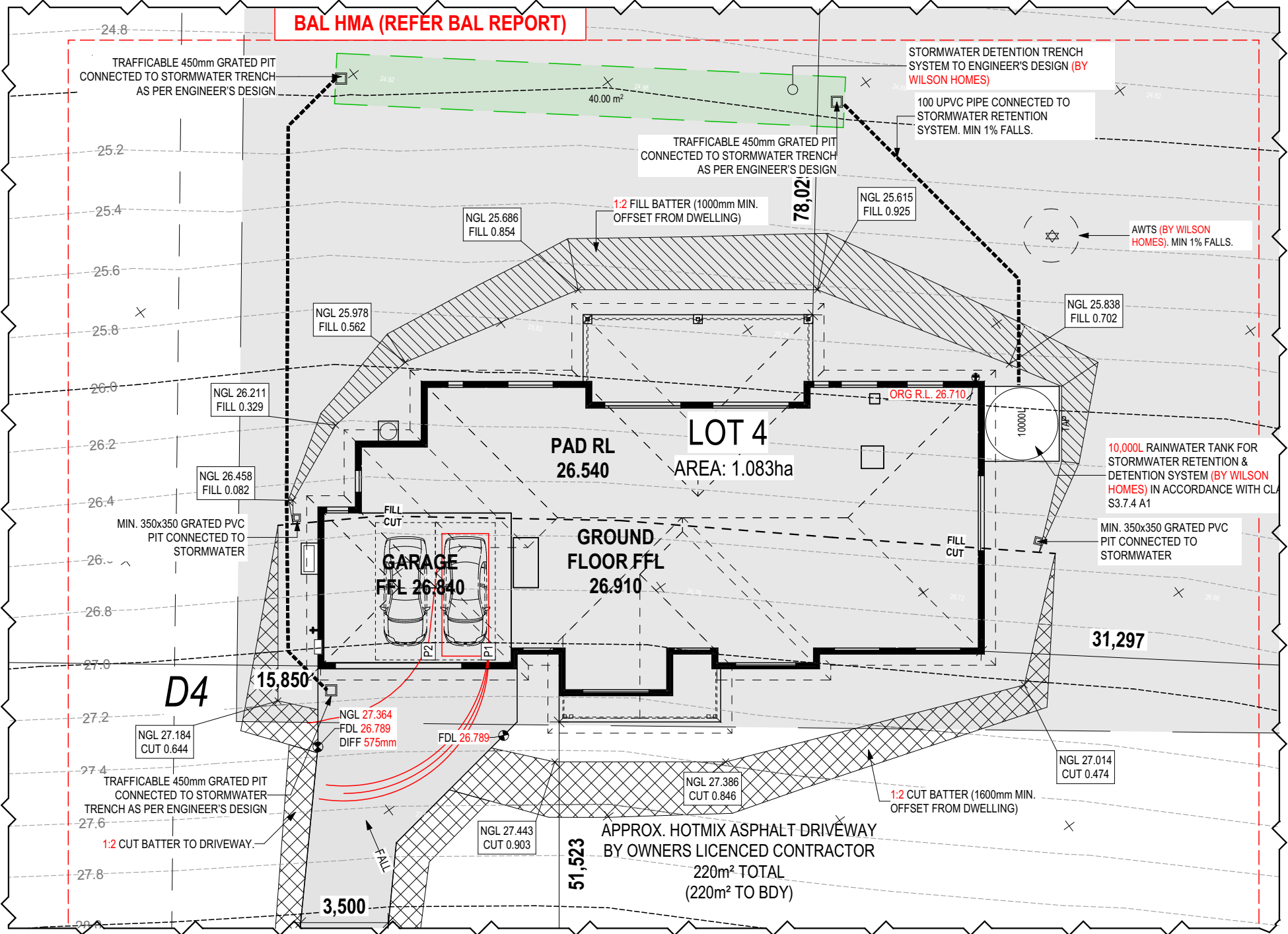
HOUSE (COVERED AREA):

SITE COVERAGE:

10830m²

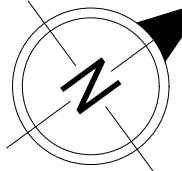
326.81m²

3.02%



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BAL-19 BUSHFIRE REQUIREMENTS
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**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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SPECIFICATION:
NEXTGEN
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REVISION	
1	DRAFT SALE PLAN - CT1
2	DRAFT SALE PLAN - CT2
3	PRELIM PLANS - INITIAL ISSUE
4	PRELIM PLANS - COLOUR UPDATE
5	PRELIM PLANS - PLAN CORRECTIONS

DRAWN	
HMI	04/09/2025
HMI	22/09/2025
KPH	10/10/2025
NVO	12/11/2025
NVO	19/11/2025

CLIENT:
JACK CURTIS & COURTNEY JAYNE ANDREWS
ADDRESS:
14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170
LOT / SECTION / CT:
4 / - / 188363
COUNCIL:
CLARENCE

HOUSE DESIGN:
LAKEWOOD 30
FACADE DESIGN:
NEWHAVEN
SHEET TITLE:
SITE PLAN 1:200

HOUSE CODE:
H-WATLKW10SA
FACADE CODE:
F-WATLKW10NHAVA
SHEET No.:
3 / 28

SCALES:
1:200

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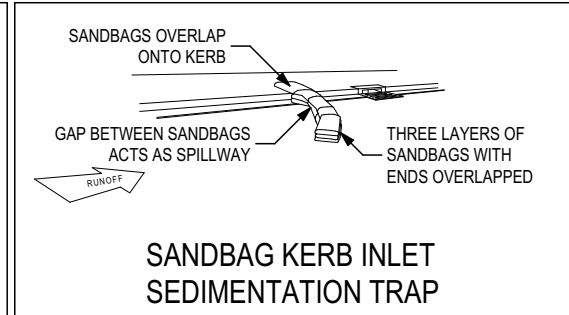
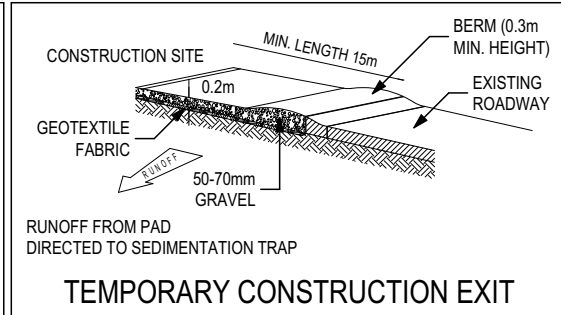
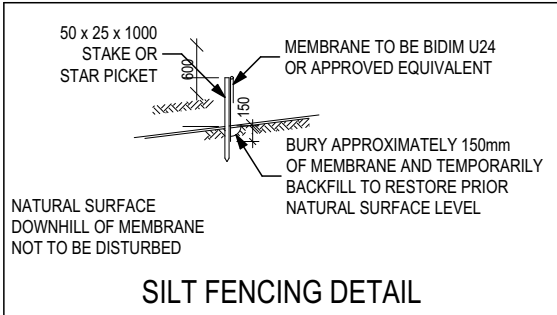
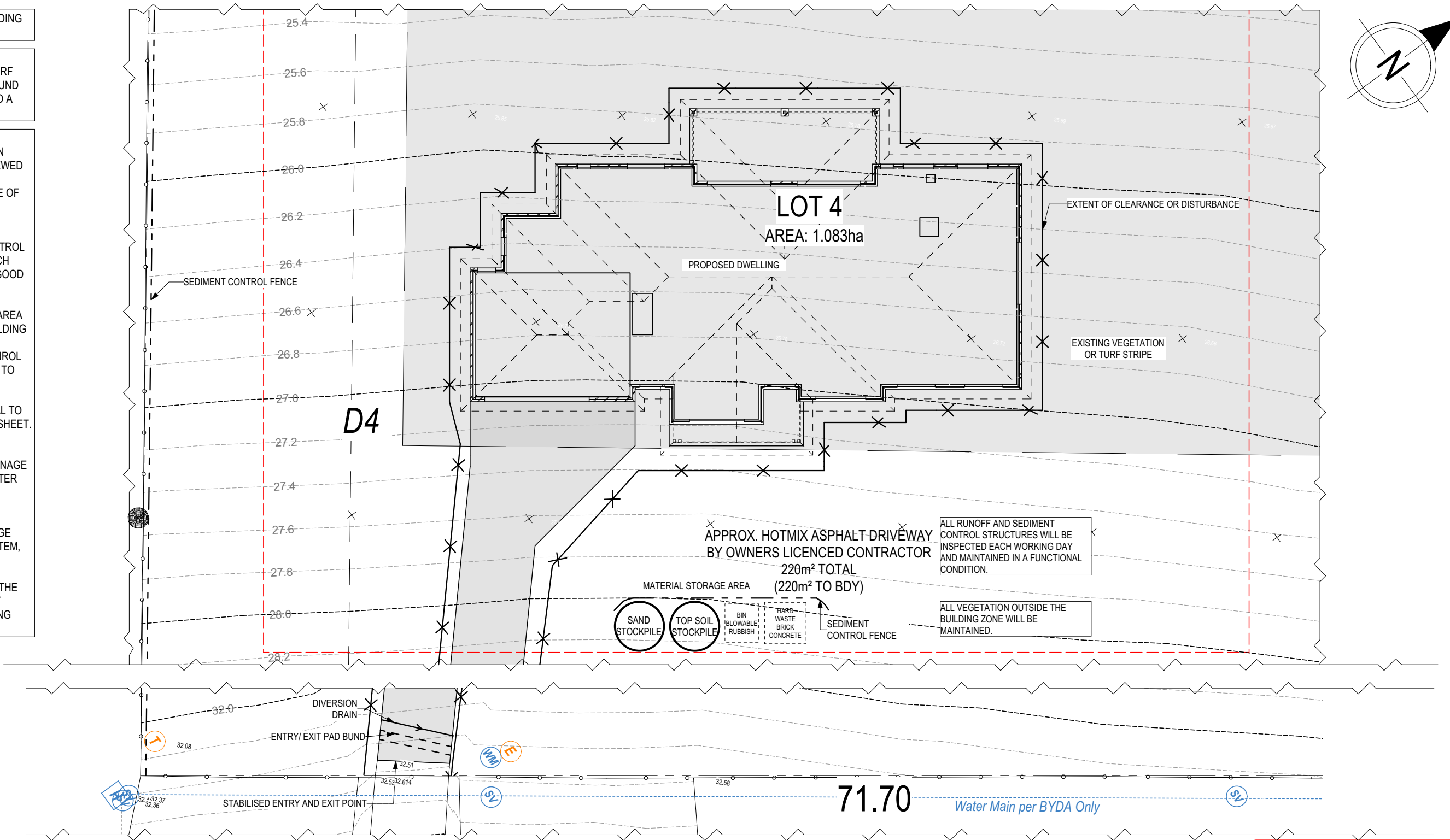
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

NOTES:

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



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CONDENSATION MANAGEMENT**

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COPYRIGHT: © 2025	1 DRAFT SALE PLAN - CT1	HMI 04/09/2025	JACK CURTIS & COURTNEY JAYNE ANDREWS	LAKEWOOD 30	H-WATLKW10SA	
	2 DRAFT SALE PLAN - CT2	HMI 22/09/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	3 PRELIM PLANS - INITIAL ISSUE	KPH 10/10/2025	14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170	NEWHAVEN	F-WATLKW10NHAVA	
	4 PRELIM PLANS - COLOUR UPDATE	NVO 12/11/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	5 PRELIM PLANS - PLAN CORRECTIONS	NVO 19/11/2025	4 / - / 188363	SOIL & WATER MANAGEMENT PLAN	4 / 28	
			COUNCIL:		SCALES:	
			CLARENCE		1:200	
						714402

BAL-19 BUSHFIRE REQUIREMENTS
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- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2455 ABOVE FFL UNLESS NOTED OTHERWISE

ALL GROUND FLOOR INTERNAL DOORS TO BE 2340 HIGH UNLESS NOTED OTHERWISE (EXCLUDES CAVITY SLIDING DOORS)

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

PROVIDE EXPOSURE GRADE BRICKS AND MORTAR TO ALL EXTERIOR WALLS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:

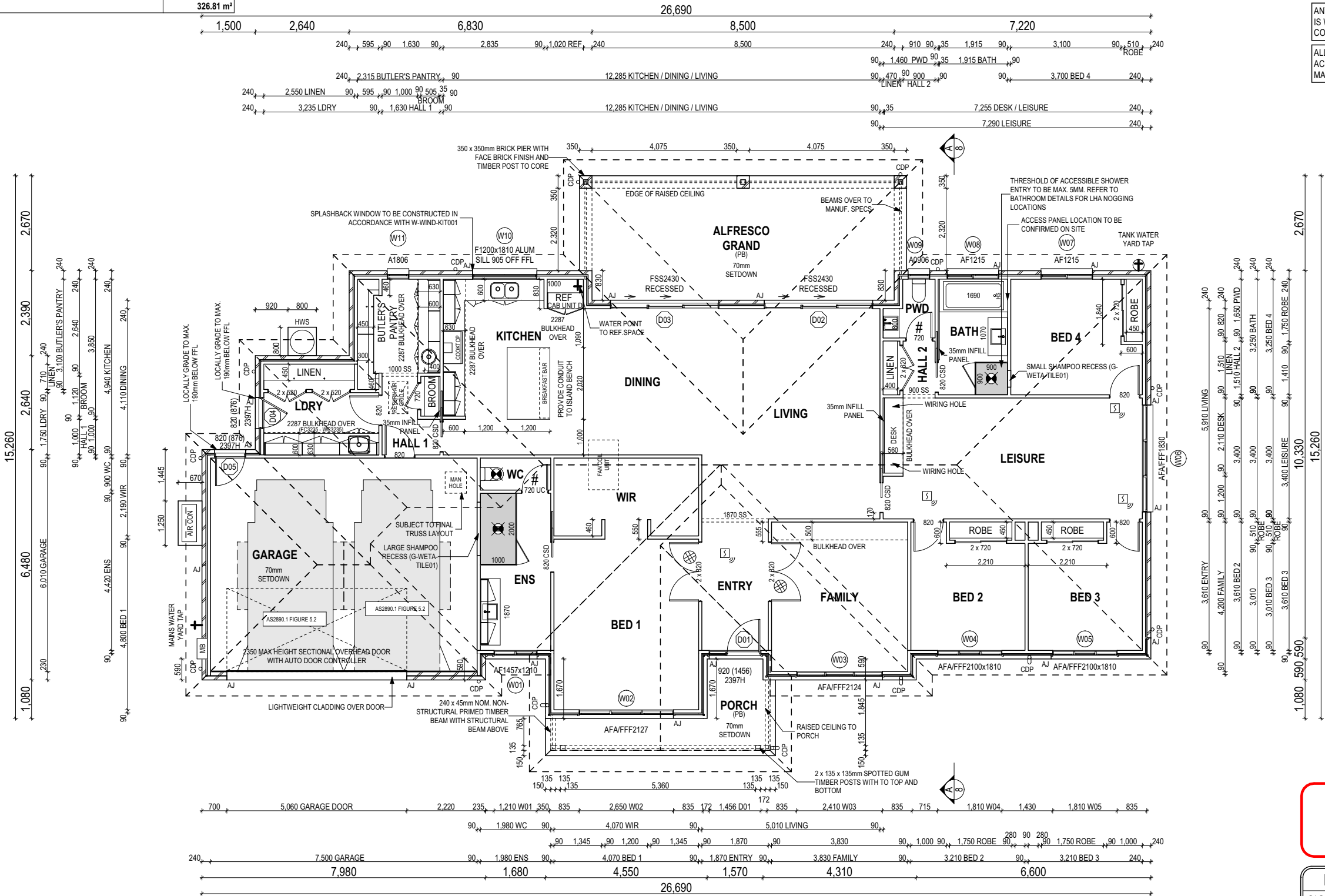


LEGEND

HS / WS	HOBB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNSPIPE
CDP	CHARGED DOWNSPIPE
	DENOTES DRAWER SIDE
	MECHANICAL VENTILATION
L.B.W	LOAD BEARING WALL
PB	PLASTERBOARD
FC	FIBRE CEMENT
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
+	WATER POINT
	FLOOR WASTE
	GAS BAYONET

MAIN DWELLING, GROUND FLOOR

ALFRESCO	31.62
GARAGE	48.80
LIVING	236.60
PORCH	9.79
	326.81 m²



ALL DIMENSIONS ARE FRAME DIMENSIONS

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PROVIDE AND INSTALL 3 PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNSPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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1 DRAFT SALE PLAN - CT1

2 DRAFT SALE PLAN - CT2

3 PRELIM PLANS - INITIAL ISSUE

4 PRELIM PLANS - COLOUR UPDATE

5 PRELIM PLANS - PLAN CORRECTIONS

DRAWN

HMI 04/09/2025

HMI 22/09/2025

KPH 10/10/2025

NVO 12/11/2025

NVO 19/11/2025

CLIENT:

JACK CURTIS & COURTNEY JAYNE ANDREWS

ADDRESS:

14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170

LOT / SECTION / CT:

4 / - / 188363

COUNCIL:

CLARENCE

HOUSE DESIGN:

LAKEWOOD 30

FACADE DESIGN:

NEWHAVEN

SHEET TITLE:

GROUND FLOOR PLAN 1:125

SHEET No.:

5 / 28

HOUSE CODE:

H-WATLKW10SA

FACADE CODE:

F-WATLKW10NHAVA

SCALES:

1:125

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BAL-19 BUSHFIRE REQUIREMENTS
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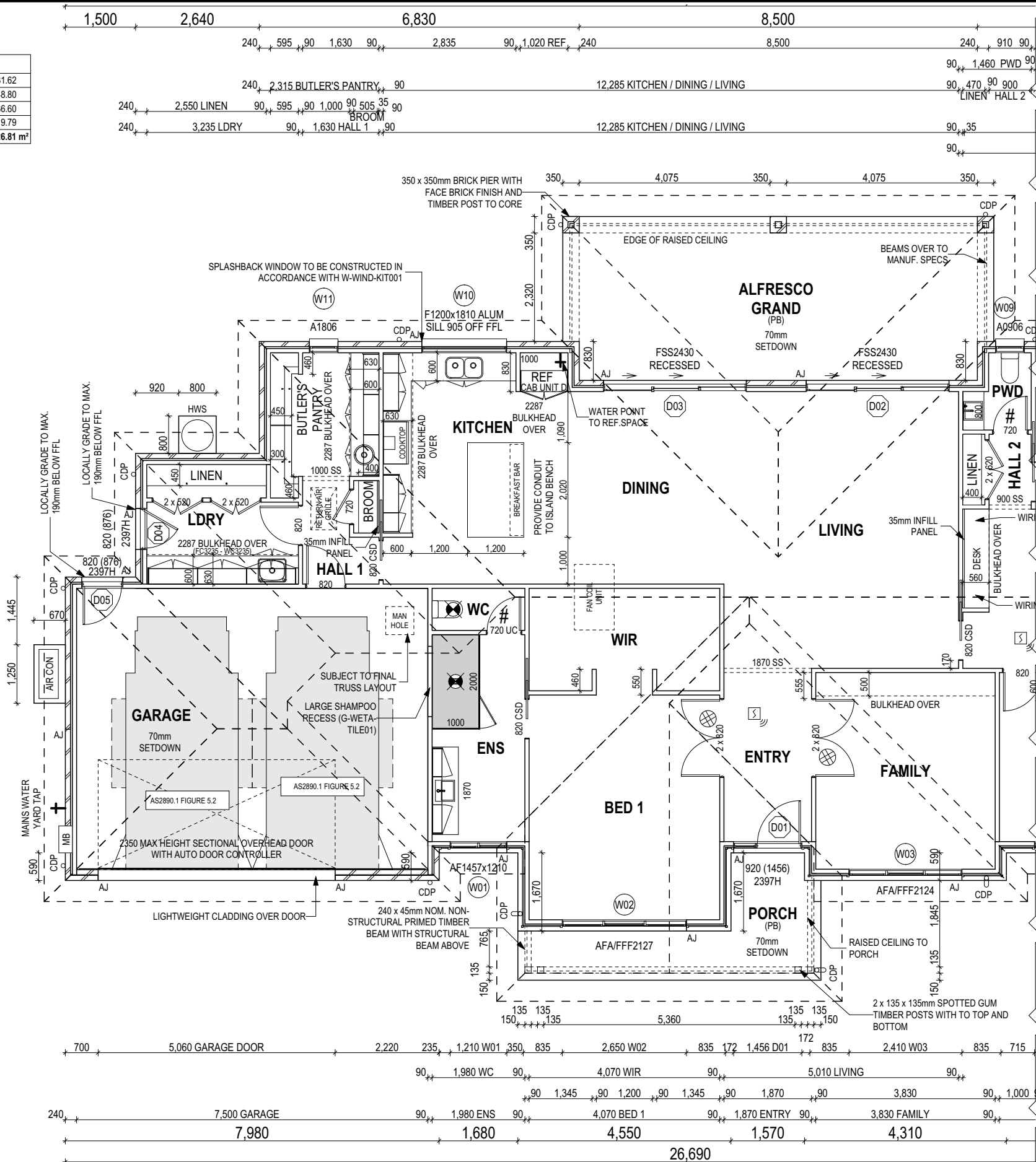
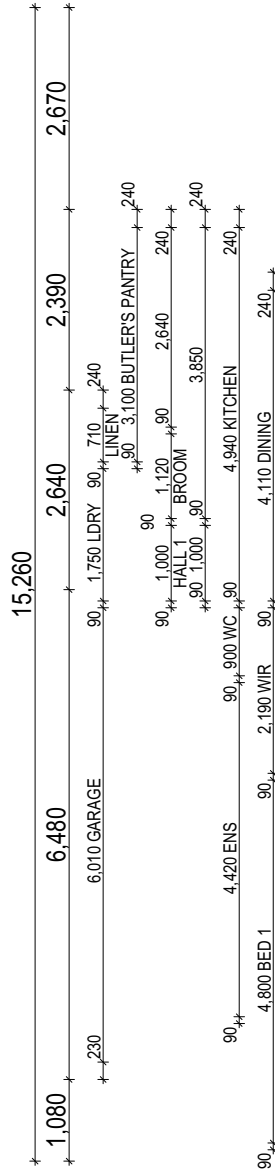


LEGEND

HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNSPIPE
CDP	CHARGED DOWNSPIPE
	DENOTES DRAWER SIDE
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L.B.W	LOAD BEARING WALL
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	THIS DOOR OPENS FIRST
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CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

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SPECIFICATION:
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1	DRAFT SALE PLAN - CT1	HMI	04/09/2025
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DRAWN

HMI	04/09/2025
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NVO	12/11/2025
NVO	19/11/2025

CLIENT:

JACK CURTIS & COURTNEY JAYNE ANDREWS

ADDRESS:

14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170

LOT / SECTION / CT:

4 / - / 188363

COUNCIL:

CLARENCE

HOUSE DESIGN:

LAKEWOOD 30

FACADE DESIGN:

NEWHAVEN

SHEET TITLE:

GROUND FLOOR PLAN LHS (1:100)

SHEET No.:

6 / 28

HOUSE CODE:

H-WATLKW10SA

FACADE CODE:

F-WATLKW10NHAVA

SCALES:

1:100

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ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2455 ABOVE FFL UNLESS NOTED OTHERWISE

ALL GROUND FLOOR INTERNAL DOORS TO BE 2340 HIGH UNLESS NOTED OTHERWISE (EXCLUDES CAVITY SLIDING DOORS)

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

PROVIDE EXPOSURE GRADE BRICKS AND MORTAR TO ALL EXTERIOR WALLS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



LEGEND

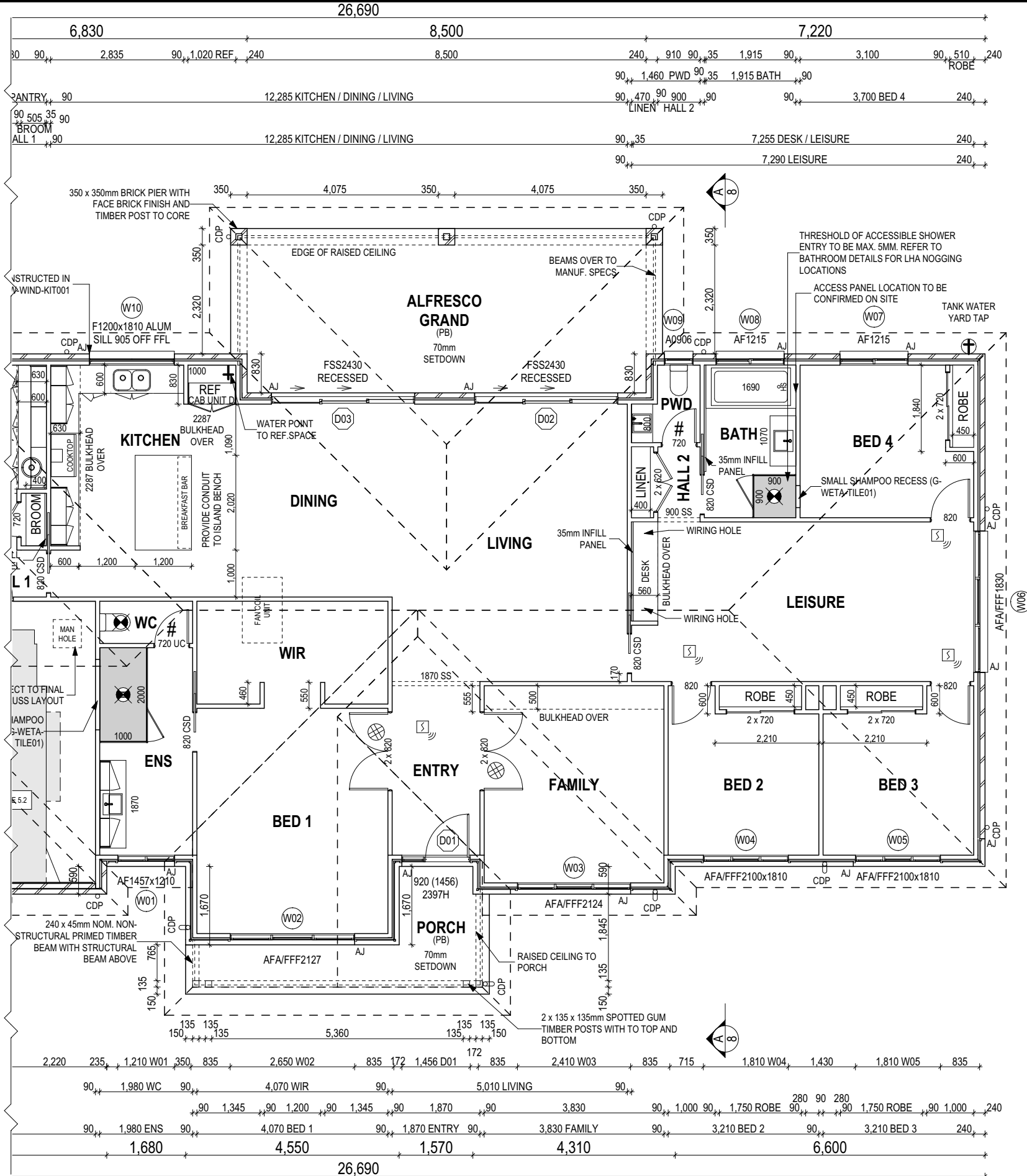
HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNSPIPE
CDP	CHARGED DOWNSPIPE
	DENOTES DRAWER SIDE
	MECHANICAL VENTILATION
L.B.W	LOAD BEARING WALL
PB	PLASTERBOARD
FC	FIBRE CEMENT
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
†	WATER POINT
	FLOOR WASTE
	GAS BAYONET

MAIN DWELLING, GROUND FLOOR

ALFRESCO	31.62
GARAGE	48.80
LIVING	236.60
PORCH	9.79
	326.81 m²

ALL DIMENSIONS ARE FRAME DIMENSIONS

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PROVIDE AND INSTALL 3 PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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5 PRELIM PLANS - PLAN CORRECTIONS

DRAWN

HMI 04/09/2025

HMI 22/09/2025

KPH 10/10/2025

NVO 12/11/2025

NVO 19/11/2025

CLIENT:

JACK CURTIS & COURTNEY JAYNE ANDREWS

ADDRESS:

14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170

LOT / SECTION / CT:

4 / - / 188363

COUNCIL:

CLARENCE

HOUSE DESIGN:

LAKEWOOD 30

FACADE DESIGN:

NEWHAVEN

SHEET TITLE:

GROUND FLOOR PLAN RHS (1:100)

SHEET No.:

7 / 28

HOUSE CODE:

H-WATLKW10SA

FACADE CODE:

F-WATLKW10NHAVA

SCALES:

1:100

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714402

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

LOW REFLECTANCE GLAZING TO BE USED
ON WINDOWS AND GLAZED DOORS AS
REQUIRED BY CLA-S3.7.3

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

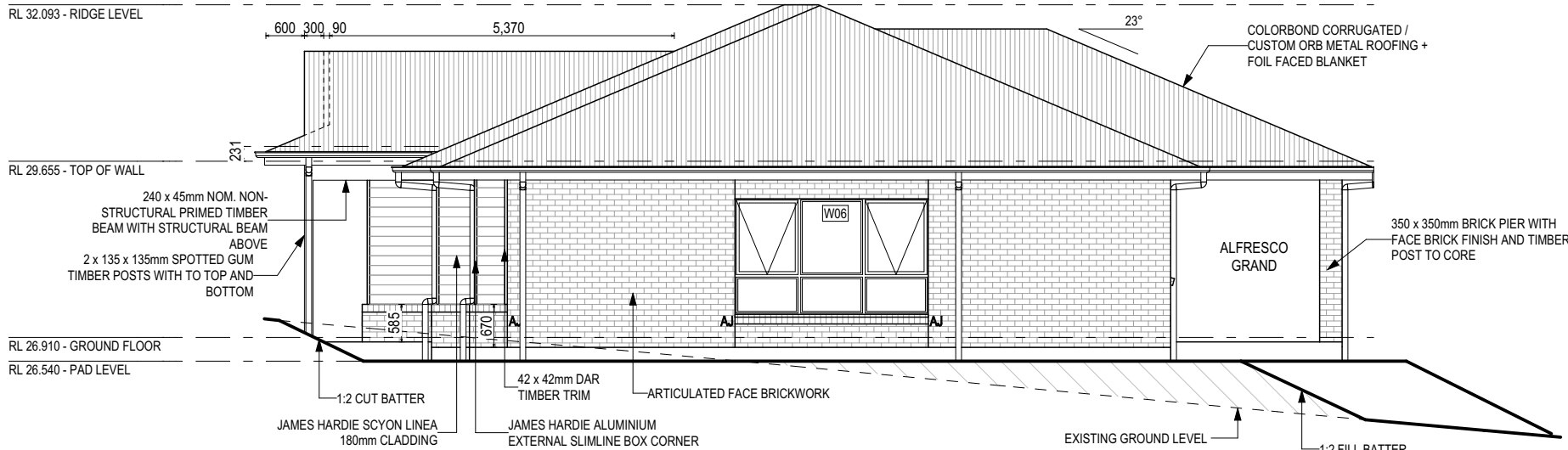
SOME DETAILS ON THIS SHEET ARE
INDICATIVE ONLY FOR EXAMPLE
BRICKWORK AND CLADDING (EXPANSION
JOINTS, ORIENTATION AND LAYOUT) AND
ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

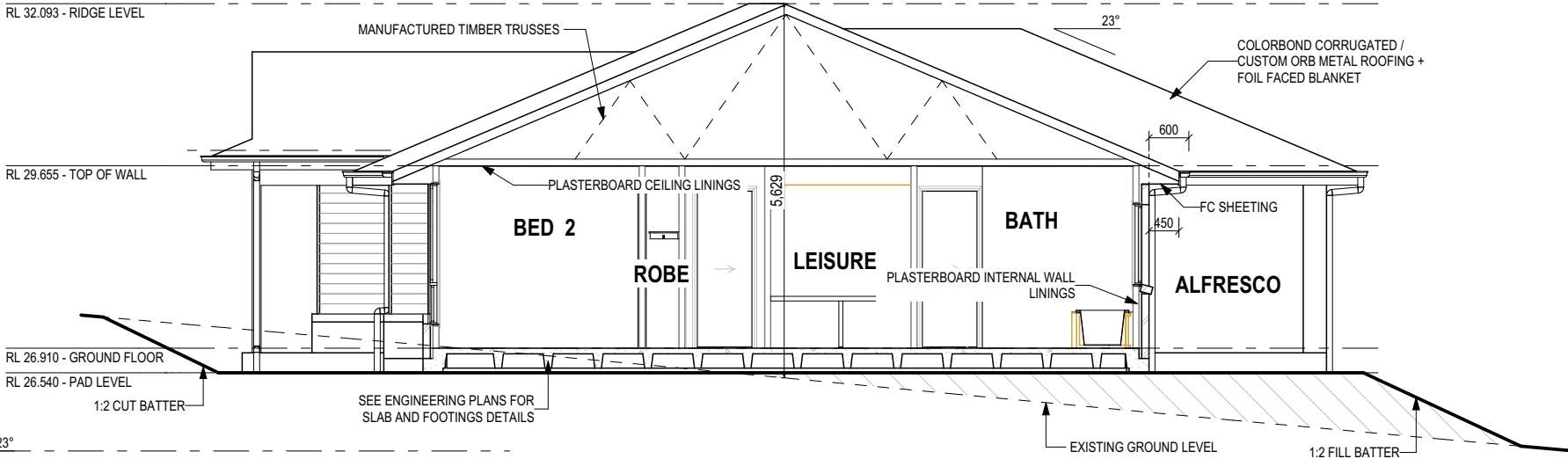
BEDROOM WINDOW OPENINGS
ABOVE 2m OFF THE SURFACE
BENEATH TO BE RESTRICTED AS
REQUIRED BY NCC 11.3.7 (VOLUME
TWO)

ROOMS OTHER THAN BEDROOM
WINDOW OPENINGS ABOVE 4m OFF
THE SURFACE BENEATH TO BE
RESTRICTED AS REQUIRED BY NCC
11.3.7 (VOLUME TWO)

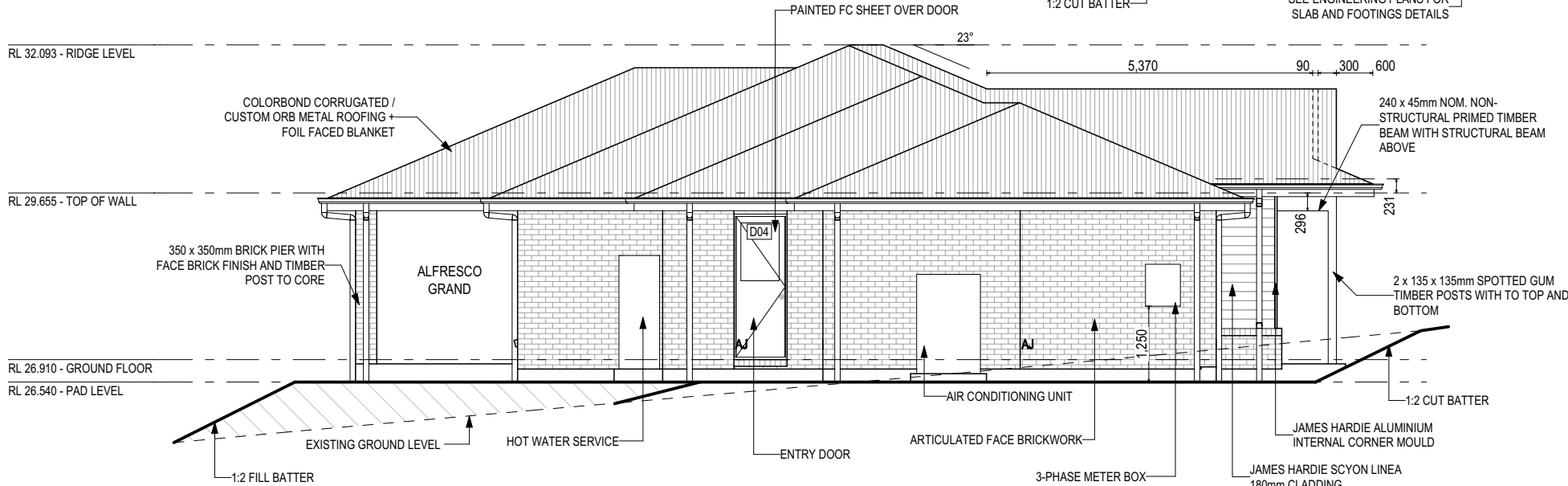
REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BRIC-001



NORTH - EAST ELEVATION
SCALE: 1:100

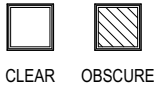


SECTION A-A
SCALE: 1:100

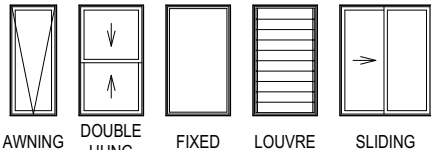


SOUTH - WEST ELEVATION
SCALE: 1:100

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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DRAWN

HMI	04/09/2025
HMI	22/09/2025
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CLIENT:

JACK CURTIS & COURTNEY JAYNE ANDREWS

ADDRESS:

14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170

LOT / SECTION / CT:

4 / - / 188363

COUNCIL:

CLARENCE

HOUSE DESIGN:

LAKEWOOD 30

FACADE DESIGN:

NEWHAVEN

SHEET TITLE:

ELEVATIONS / SECTION

SHEET No.:

8 / 28

HOUSE CODE:

H-WATLKW10SA

FACADE CODE:

F-WATLKW10NHAVA

SCALES:

1:100

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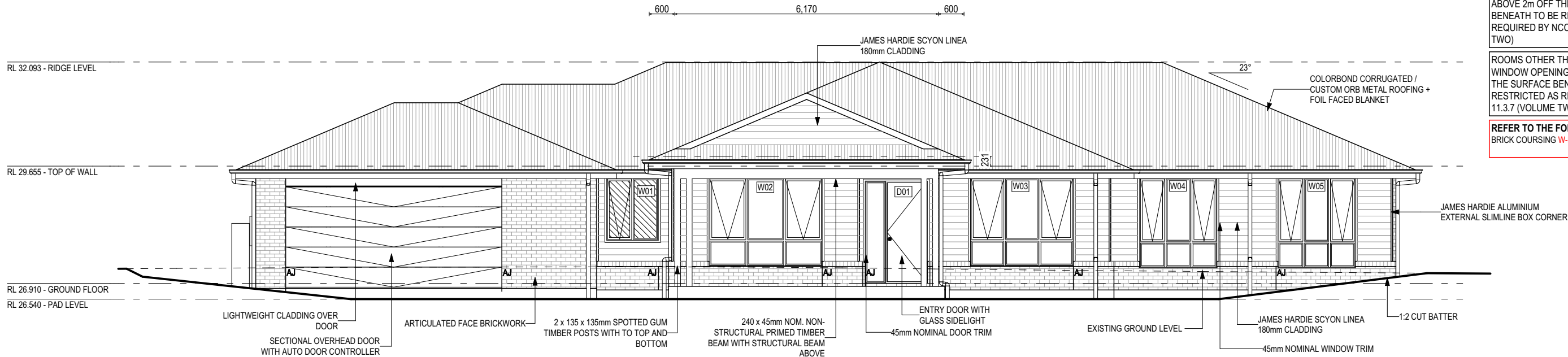
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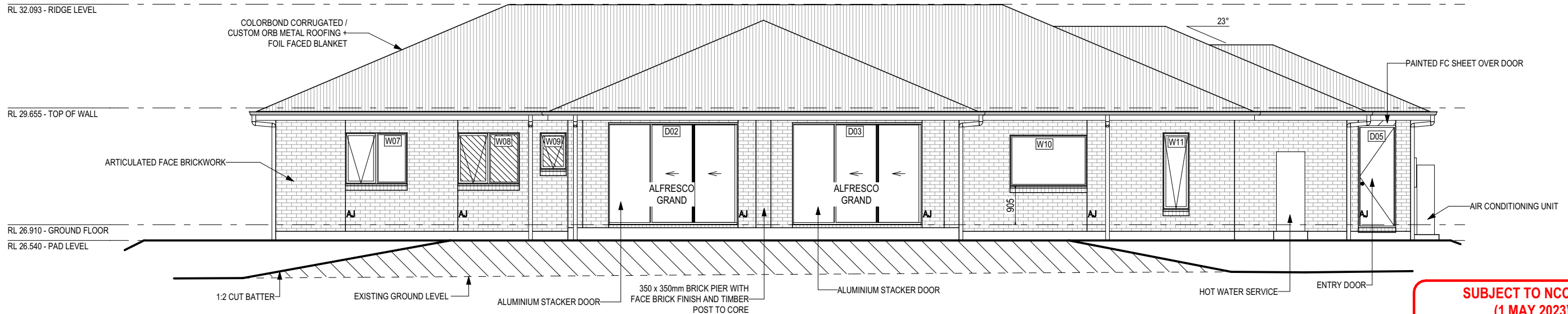
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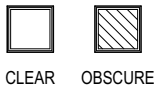


SOUTH - EAST ELEVATION
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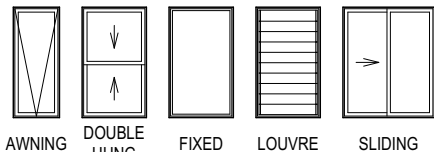


NORTH - WEST ELEVATION
SCALE: 1:100

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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EXTERIOR WINDOW & DOOR SCHEDULE ^{1,2} ASSUME LOOKING FROM OUTSIDE																
STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²	
WINDOW																
	GROUND FLOOR	W01	AF1457x1210	SPECIAL	ENS	1,457	1,210	5,334	1.76	ALUMINIUM	BAL-19	NONE	SE	1.37	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 605
	GROUND FLOOR	W02	AFA/FFF2127	AWNING	BED 1	2,057	2,650	9,414	5.45	ALUMINIUM	BAL-19	NONE	SE	4.42	CLEAR, DOUBLE GLAZED	BP 600, MP 883-883/883-883
	GROUND FLOOR	W03	AFA/FFF2124	AWNING	FAMILY	2,057	2,410	8,934	4.96	ALUMINIUM	BAL-19	NONE	SE	3.97	CLEAR, DOUBLE GLAZED	BP 600, MP 803-803/803-803
	GROUND FLOOR	W04	AFA/FFF2100x1810	SPECIAL	BED 2	2,100	1,810	7,820	3.80	ALUMINIUM	BAL-19	NONE	SE	2.91	CLEAR, DOUBLE GLAZED	BP 600, MP 603-603/603-603
	GROUND FLOOR	W05	AFA/FFF2100x1810	SPECIAL	BED 3	2,100	1,810	7,820	3.80	ALUMINIUM	BAL-19	NONE	SE	2.91	CLEAR, DOUBLE GLAZED	BP 600, MP 603-603/603-603
	GROUND FLOOR	W06	AFA/FFF1830	AWNING	LEISURE	1,800	3,010	9,620	5.42	ALUMINIUM	BAL-19	ANGLED	NE	4.41	CLEAR, DOUBLE GLAZED	BP 600, MP 1003-1003/1003-1003
	GROUND FLOOR	W07	AF1215	AWNING	BED 4	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-19	ANGLED	NW	1.38	CLEAR, DOUBLE GLAZED	MP 725
	GROUND FLOOR	W08	AF1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-19	ANGLED	NW	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725
	GROUND FLOOR	W09	A0906	AWNING	PWD	857	610	2,934	0.52	ALUMINIUM	BAL-19	ANGLED	NW	0.35	OBSCURE, DOUBLE GLAZED, TOUGHENED	
	GROUND FLOOR	W10	F1200x1810	SPECIAL	KITCHEN	1,200	1,810	6,020	2.17	ALUMINIUM	BAL-19	ANGLED	NW	1.96	CLEAR, DOUBLE GLAZED	
	GROUND FLOOR	W11	A1806	AWNING	BUTLER'S PANTRY	1,800	610	4,820	1.10	ALUMINIUM	BAL-19	ANGLED	NW	0.81	CLEAR, DOUBLE GLAZED	
								73,316 mm	32.46					25.87		
DOOR																
	GROUND FLOOR	D01	920	SWINGING	ENTRY	2,397	1,456	7,706	3.49	ALUMINIUM	BAL-19	NONE	SE	2.54	CLEAR	1 x FIXED SIDELIGHT
	GROUND FLOOR	D02	FSS2430	STACKER	LIVING	2,400	3,048	10,896	7.32	ALUMINIUM	BAL-19	SNAP HEADER	NW	6.53	CLEAR, TOUGHENED	
	GROUND FLOOR	D03	FSS2430	STACKER	LIVING	2,400	3,048	10,896	7.32	ALUMINIUM	BAL-19	SNAP HEADER	NW	6.53	CLEAR, TOUGHENED	
	GROUND FLOOR	D04	820	SWINGING	LDRY	2,397	876	6,546	2.10	ALUMINIUM	BAL-19	SNAP HEADER	SW	1.42	CLEAR	
	GROUND FLOOR	D05	820	SWINGING	GARAGE	2,397	876	6,546	2.10	ALUMINIUM	BAL-19	SNAP HEADER	NW	1.42	N/A	
								42,590 mm	22.32					18.44		
								115,906 mm	54.78					44.31		

NOTE:
Provide BAL - 19 rated aluminium windows and external glass sliding doors in lieu of standard.

Provide flyscreens with corrosion resistant mesh to all opening window sashes only.

LOW REFLECTANCE GLAZING TO BE USED
ON WINDOWS AND GLAZED DOORS AS
REQUIRED BY CLA-S3.7.3

Window Manufacturer: Dowell Windows			
No BAL / BAL 12.5 Window Type Sliding Window Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door Bi-Fold Door	WERS Code	U Value	SHGC
	DOW-022-003	2.9	0.64
	DOW-005-001	3.9	0.58
	DOW-038-001	3.03	0.71
	DAR-034-001	3.97	0.63
	DAR-034-001	3.97	0.63
BAL 19 Window Type Sliding Window Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door Bi-Fold Door	DOW-017-001	4.1	0.55
	DOW-020-001	4.1	0.54
	WERS Code	U Value	SHGC
	TND-034-001	3.1	0.61
	STG-001-066	3.91	0.54
	DOW-038-005	3.02	0.66
BAL 29 Window Type Sliding Window Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door	AUW-009-009	4.03	0.58
	AUW-009-009	4.03	0.58
	GRN-009-001	4.25	0.53
	DOW-020-001	4.1	0.54
	WERS Code	U Value	SHGC
	TND-034-001	3.1	0.61
	STG-001-066	3.91	0.54
	DOW-038-005	3.02	0.66
	AMJ-007-005	4.03	0.59
	AMJ-007-005	4.03	0.59
	GRN-009-001	4.29	0.53
NOTE: Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.			

INTERIOR WINDOW & DOOR SCHEDULE							
STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	1000 SS	SQUARE SET OPENING	2,455	1,000	N/A	
GROUND FLOOR	1	1870 SS	SQUARE SET OPENING	2,455	1,870	N/A	
GROUND FLOOR	2	2 x 520	SWINGING	2,340	1,040	N/A	
GROUND FLOOR	1	2 x 620	SWINGING	2,340	1,240	N/A	
GROUND FLOOR	3	2 x 720	ROBEMAKER SLIDING	2,340	1,460	N/A	
GROUND FLOOR	2	2 x 820	SWINGING	2,340	1,640	N/A	
GROUND FLOOR	1	720	SWINGING	2,340	720	N/A	
GROUND FLOOR	1	720	SWINGING	2,340	720	N/A	LIFT-OFF HINGES
GROUND FLOOR	1	720 UC	SWINGING	2,340	720	N/A	20mm UNDERCUT, LIFT-OFF HINGES
GROUND FLOOR	5	820	SWINGING	2,340	820	N/A	
GROUND FLOOR	4	820 CSD	CAVITY SLIDING	2,340	820	N/A	
GROUND FLOOR	1	900 SS	SQUARE SET OPENING	2,455	900	N/A	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

PICTURE, TV RECESS AND SS WINDOW OPENINGS				
QTY	TYPE	HEIGHT	WIDTH	AREA (m²)

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	SPECIFICATION: NEXTGEN		REVISION	DRAWN	CLIENT: JACK CURTIS & COURTNEY JAYNE ANDREWS		HOUSE DESIGN: LAKEWOOD 30		HOUSE CODE: H-WATLKW10SA		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	COPYRIGHT: © 2025	1	DRAFT SALE PLAN - CT1	HMI 04/09/2025	ADDRESS: 14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170		FACADE DESIGN: NEWHAVEN		FACADE CODE: F-WATLKW10NHAVA		
		2	DRAFT SALE PLAN - CT2	HMI 22/09/2025							
		3	PRELIM PLANS - INITIAL ISSUE	KPH 10/10/2025	LOT / SECTION / CT: 4 / - / 188363		COUNCIL: CLARENCE				
		4	PRELIM PLANS - COLOUR UPDATE	NVO 12/11/2025	SHEET TITLE: WINDOW & DOOR SCHEDULES		SHEET No.: 10 / 28	SCALES:	714402		
5	PRELIM PLANS - PLAN CORRECTIONS	NVO 19/11/2025									

NATURAL LIGHT AND VENTILATION

ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ'D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN/ LIVING/ DINING	62.66 m²	D02, D03, W10	6.27 m²	15.02 m²	3.13 m²	9.18 m²
FAMILY	16.09 m²	W03	1.61 m²	3.97 m²	0.80 m²	2.16 m²
BED 1	19.54 m²	W02	1.95 m²	4.42 m²	0.98 m²	2.40 m²
BED 2	12.05 m²	W04	1.21 m²	2.91 m²	0.60 m²	1.64 m²
BED 3	11.15 m²	W05	1.12 m²	2.91 m²	0.56 m²	1.64 m²
BED 4	10.92 m²	W07	1.09 m²	1.38 m²	0.55 m²	0.79 m²
LEISURE	24.74 m²	W06	2.47 m²	4.41 m²	1.24 m²	2.24 m²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

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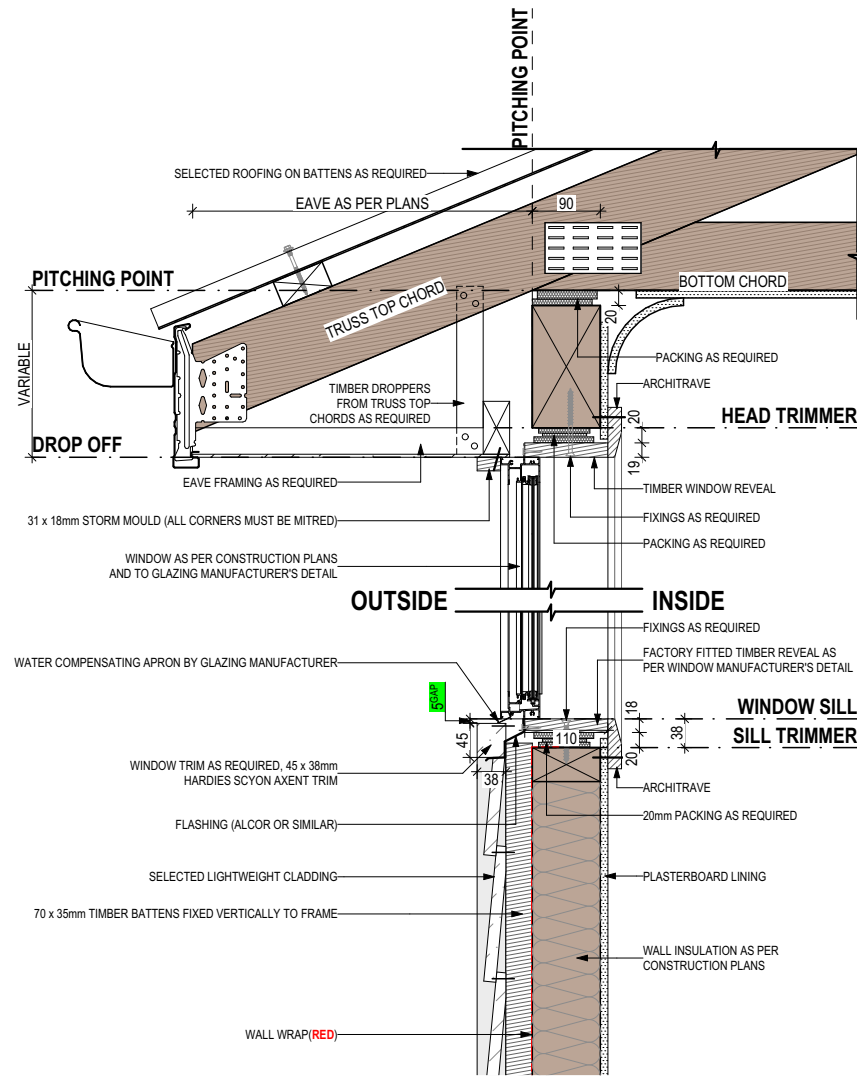
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SEE SHEET 1 (COVER SHEET) FOR DETAILS

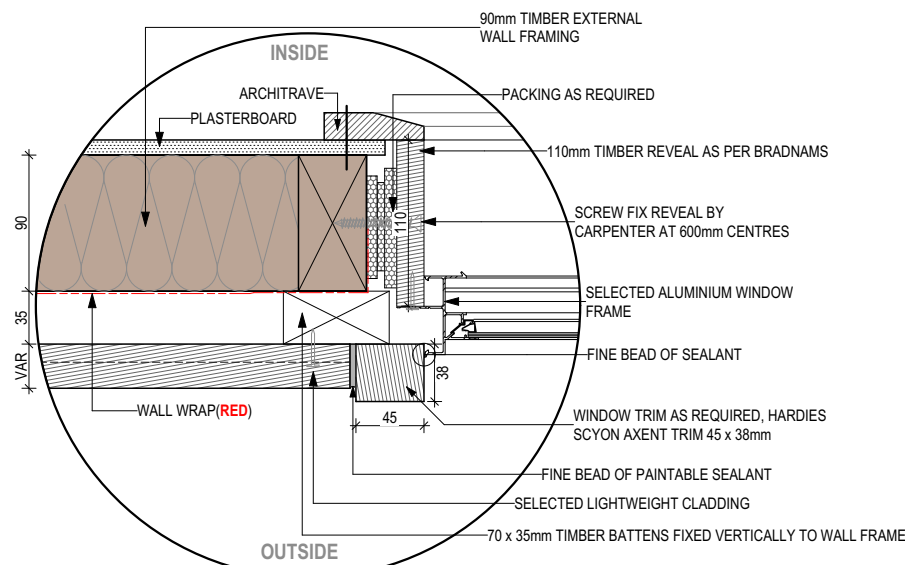
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	COPYRIGHT: © 2025	1	DRAFT SALE PLAN - CT1	HMI 04/09/2025	JACK CURTIS & COURTNEY JAYNE ANDREWS	LAKEWOOD 30		H-WATLKW10SA	
		2	DRAFT SALE PLAN - CT2	HMI 22/09/2025	ADDRESS:	FACADE DESIGN:		FACADE CODE:	
		3	PRELIM PLANS - INITIAL ISSUE	KPH 10/10/2025	14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170	NEWHAVEN		F-WATLKW10NHAVA	
		4	PRELIM PLANS - COLOUR UPDATE	NVO 12/11/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	SCALES:	
		5	PRELIM PLANS - PLAN CORRECTIONS	NVO 19/11/2025	4 / - / 188363	COUNCIL: CLARENCE	CALCULATIONS	11 / 28	

SHEET CLADDING



SECTIONS
SCALE: 1:10



DETAILS
SCALE: 1:5

THIS PLAN ACCEPTED BY:

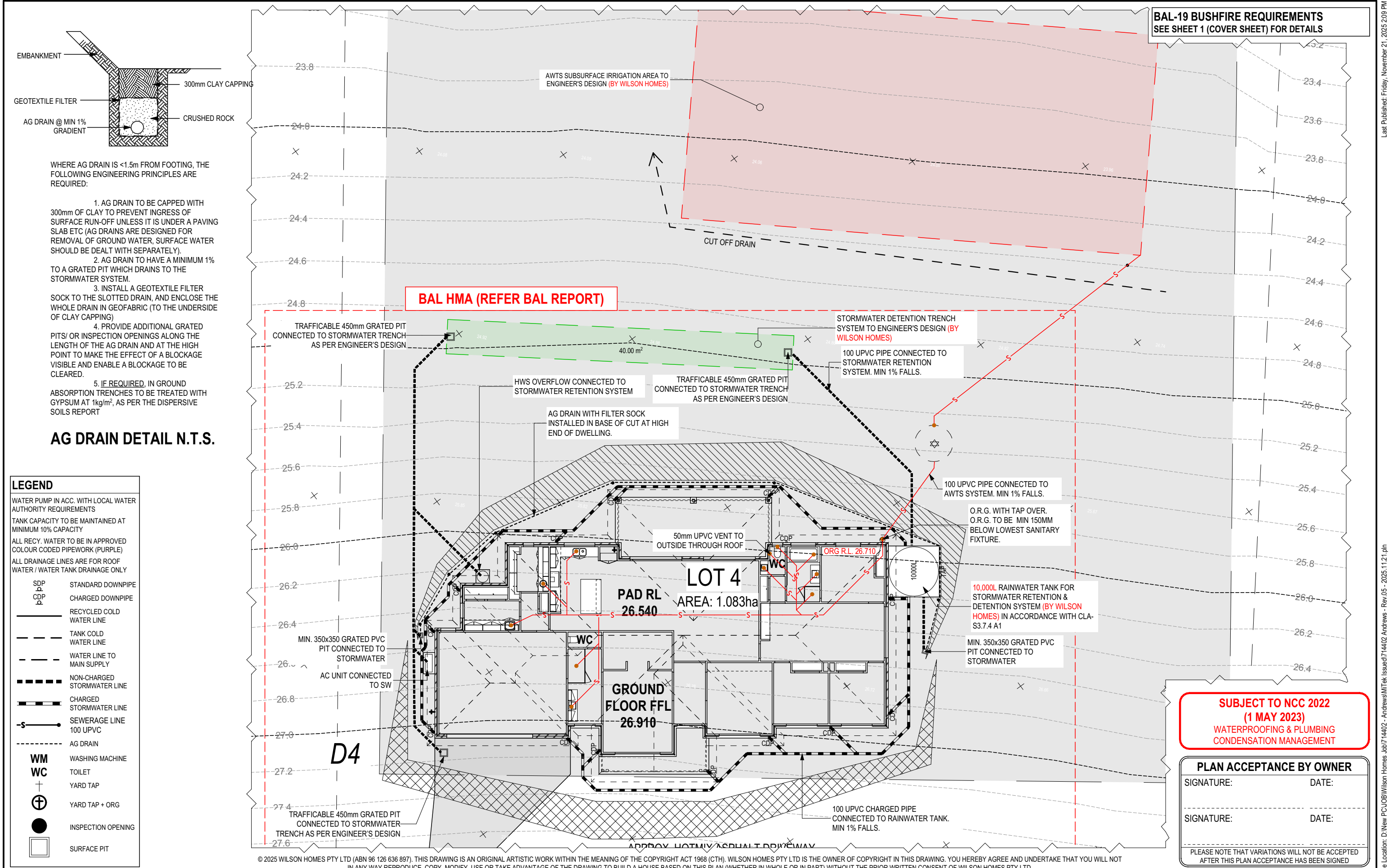
PLEASE NOTE: NO VARIATIONS WILL BE
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

	SPECIFICATION:		REVISION	DRAWN	CLIENT:	HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.		
	NEXTGEN	1	DRAFT SALE PLAN - CT1	HMI 04/09/2025	JACK CURTIS & COURTNEY JAYNE ANDREWS		LAKEWOOD 30	H-WATLKW10SA			
	COPYRIGHT:	2	DRAFT SALE PLAN - CT2	HMI 22/09/2025	ADDRESS:	FACADE DESIGN:		FACADE CODE:			
	© 2025	3	PRELIM PLANS - INITIAL ISSUE	KPH 10/10/2025	14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170		NEWHAVEN	F-WATLKW10NHAVA			
		4	PRELIM PLANS - COLOUR UPDATE	NVO 12/11/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:		SCALES:	
		5	PRELIM PLANS - PLAN CORRECTIONS	NVO 19/11/2025	4 / - / 188363		CLARENCE	DETAILS (CLADDING)		13 / 28	714402

Template Version: 24/04/21



	SPECIFICATION:		REVISION	DRAWN		CLIENT:				HOUSE DESIGN:				HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	NEXTGEN	1	DRAFT SALE PLAN - CT1	HMI	04/09/2025	JACK CURTIS & COURTNEY JAYNE ANDREWS				LAKEWOOD 30				H-WATLKW10SA		
	COPYRIGHT:	2	DRAFT SALE PLAN - CT2	HMI	22/09/2025	ADDRESS:				FACADE DESIGN:				FACADE CODE:		
	© 2025	3	PRELIM PLANS - INITIAL ISSUE	KPH	10/10/2025	14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170				NEWHAVEN				F-WATLKW10NHAVA		
		4	PRELIM PLANS - COLOUR UPDATE	NVO	12/11/2025	LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:		SCALES:		
		5	PRELIM PLANS - PLAN CORRECTIONS	NVO	19/11/2025	4 / - / 188363		CLARENCE		DRAINAGE PLAN		14 / 28		1:200		714402

Template Version: 24/04

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	366.86	Flat Roof Area (excluding gutter and slope factor) (m ²)
	401.42	Roof Surface Area (includes slope factor, excludes gutter) (m ²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	382.94	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	463.36	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²)
Required Downpipes	7.24	Ac / Acdp
Downpipes Provided	14	

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REVISION	
1	DRAFT SALE PLAN - CT1
2	DRAFT SALE PLAN - CT2
3	PRELIM PLANS - INITIAL ISSUE
4	PRELIM PLANS - COLOUR UPDATE
5	PRELIM PLANS - PLAN CORRECTIONS

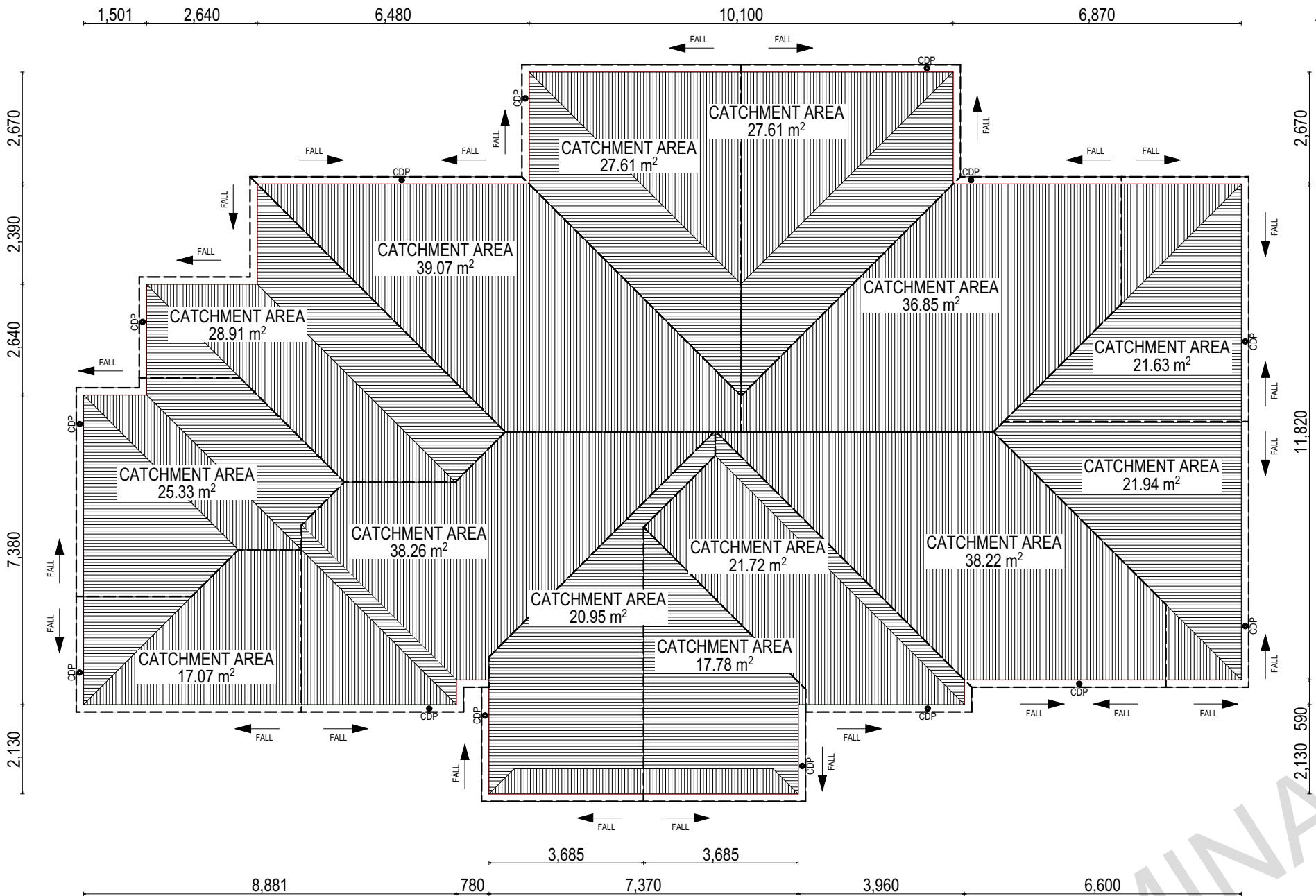
DRAWN	
HMI	04/09/2025
HMI	22/09/2025
KPH	10/10/2025
NVO	12/11/2025
NVO	19/11/2025

CLIENT:	
JACK CURTIS & COURTNEY JAYNE ANDREWS	
ADDRESS:	
14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170	
LOT / SECTION / CT:	COUNCIL:
4 / - / 188363	CLARENCE

HOUSE DESIGN:	
LAKEWOOD 30	
FACADE DESIGN:	
NEWHAVEN	
SHEET TITLE:	SHEET No.:
ROOF DRAINAGE PLAN	15 / 28

HOUSE CODE:	
H-WATLKW10SA	
FACADE CODE:	
F-WATLKW10NHAVA	
SCALES:	
1:125	

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714402



EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	DECKING



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(1 MAY 2023)**
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CONDENSATION MANAGEMENT

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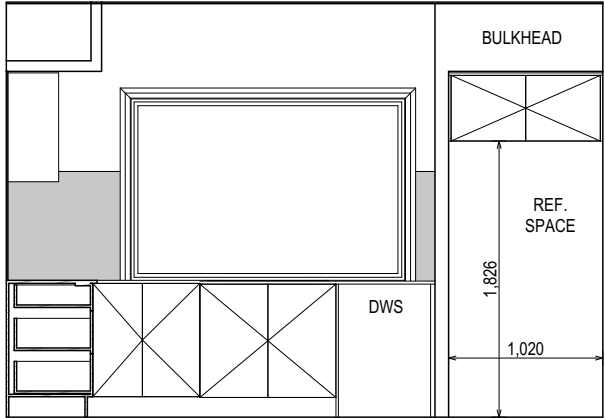
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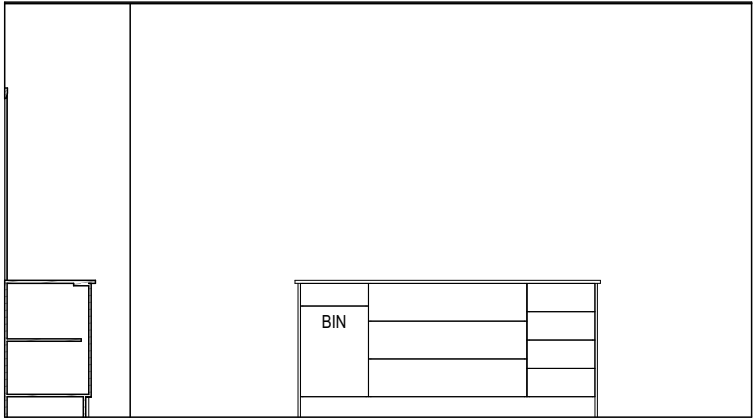


SPECIFICATION: NEXTGEN	REVISION	DRAWN	CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714402
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	2 DRAFT SALE PLAN - CT2	HMI 22/09/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	3 PRELIM PLANS - INITIAL ISSUE	KPH 10/10/2025	14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170	NEWHAVEN	F-WATLKW10NHAVA	
	4 PRELIM PLANS - COLOUR UPDATE	NVO 12/11/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	5 PRELIM PLANS - PLAN CORRECTIONS	NVO 19/11/2025	4 / - / 188363	FLOOR COVERINGS	16 / 28	1:100
			COUNCIL:			
			CLARENCE			

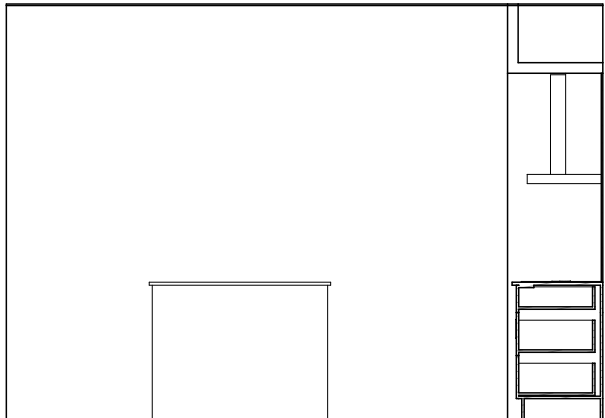
BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



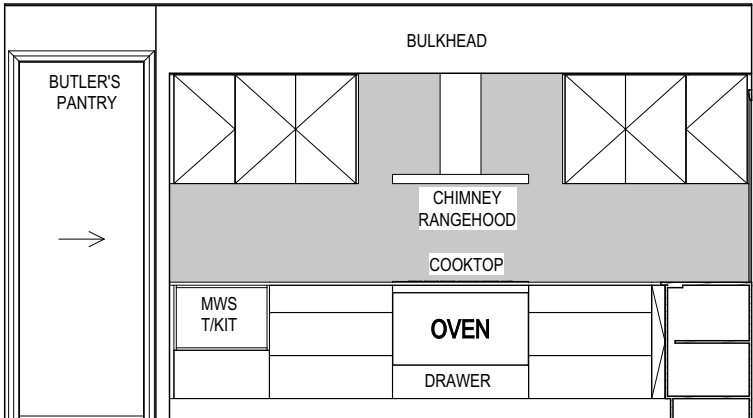
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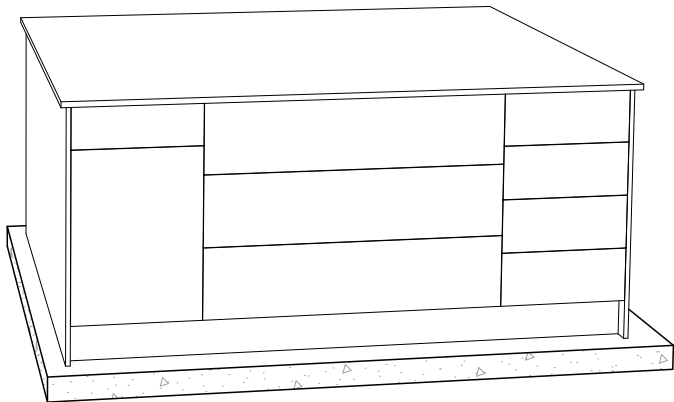
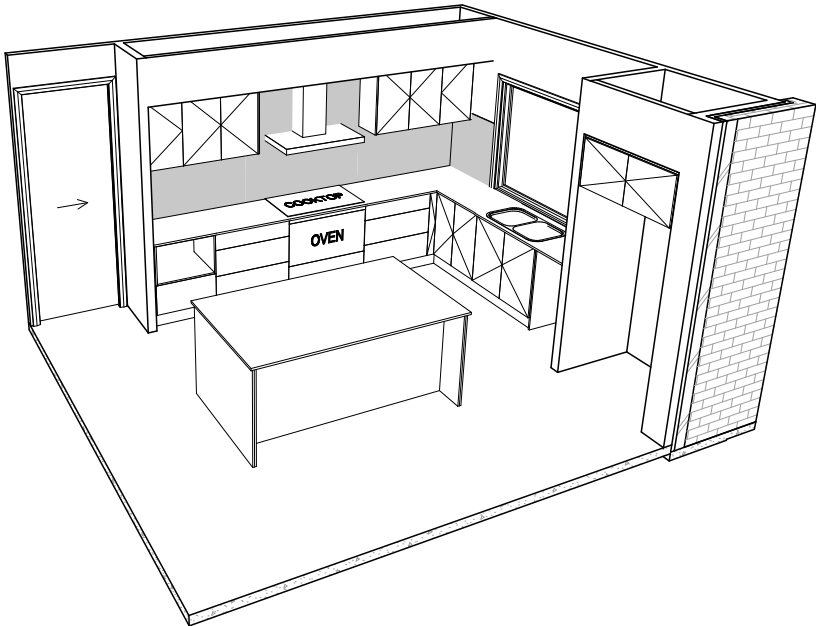
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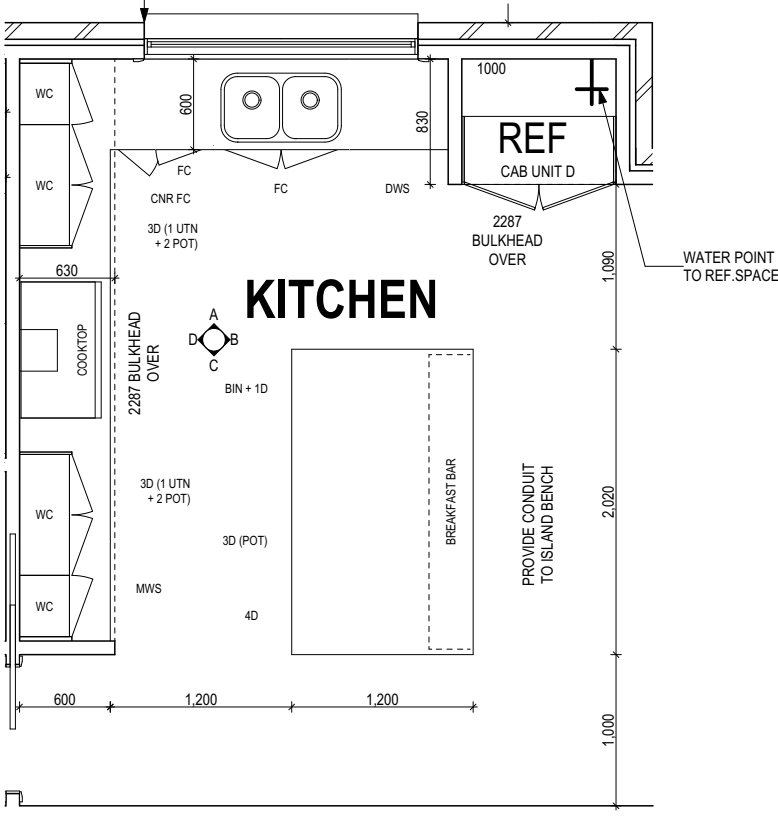
ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



SPLASHBACK WINDOW TO BE CONSTRUCTED IN
ACCORDANCE WITH W-WIND-KIT001



KITCHEN PLAN
SCALE: 1:50

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY. JOINER MAY
ADJUST CABINETS AS REQUIRED.

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(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

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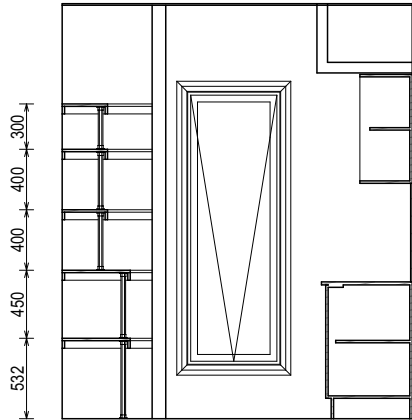
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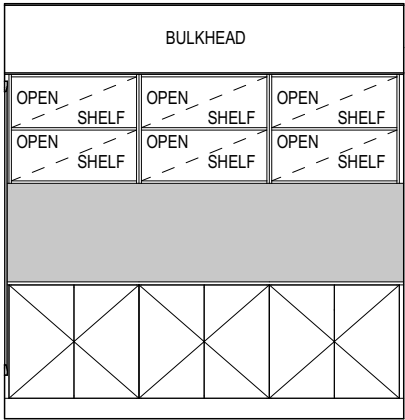
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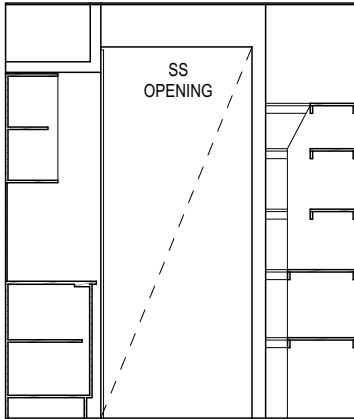
SPECIFICATION: NEXTGEN COPYRIGHT: © 2025	REVISION		DRAWN		CLIENT: JACK CURTIS & COURTNEY JAYNE ANDREWS ADDRESS: 14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170 LOT / SECTION / CT: 4 / - / 188363 COUNCIL: CLARENCE	HOUSE DESIGN: LAKEWOOD 30 FACADE DESIGN: NEWHAVEN SHEET TITLE: KITCHEN DETAILS	SHEET No.: 17 / 28	HOUSE CODE: H-WATLKW10SA FACADE CODE: F-WATLKW10NHAVA SCALES: 1:50	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714402
	1	DRAFT SALE PLAN - CT1	HMI	04/09/2025					
	2	DRAFT SALE PLAN - CT2	HMI	22/09/2025					
	3	PRELIM PLANS - INITIAL ISSUE	KPH	10/10/2025					
	4	PRELIM PLANS - COLOUR UPDATE	NVO	12/11/2025					
	5	PRELIM PLANS - PLAN CORRECTIONS	NVO	19/11/2025					



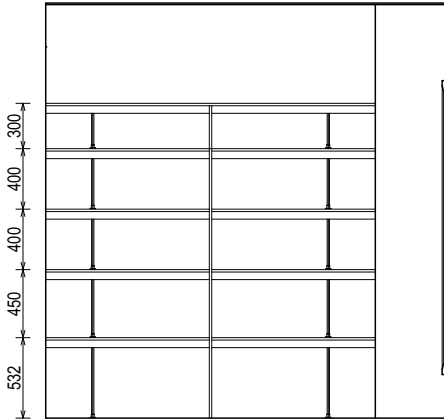
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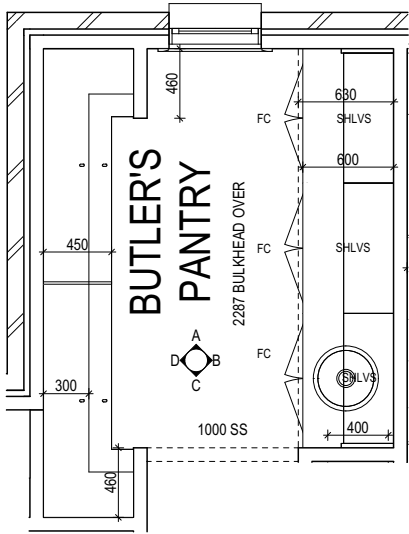
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



BUTLER'S PANTRY PLAN
SCALE: 1:50

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(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

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		5	PRELIM PLANS - PLAN CORRECTIONS	NVO 19/11/2025	4 / - / 188363	COUNCIL: CLARENCE	18 / 28	1:50	

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

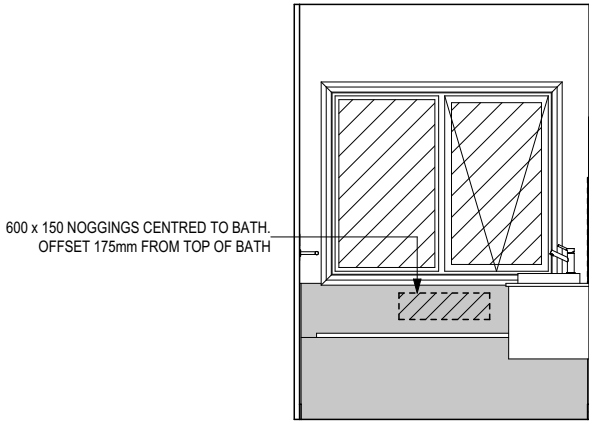
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR
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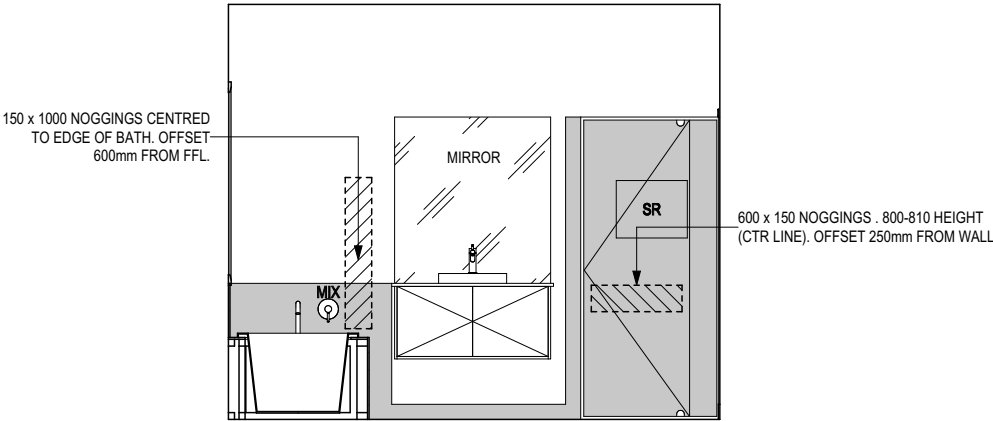
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LEGEND

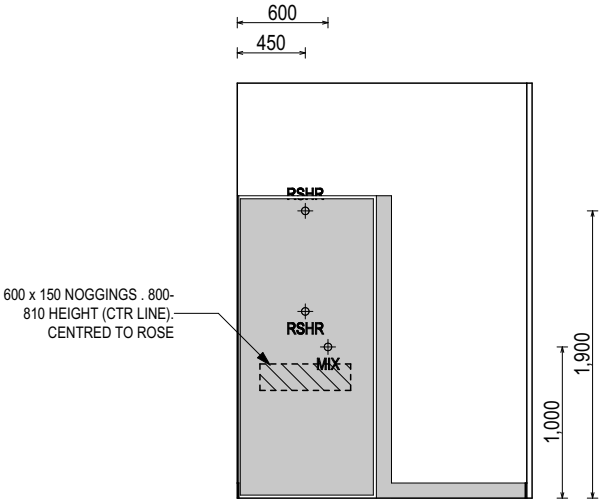
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



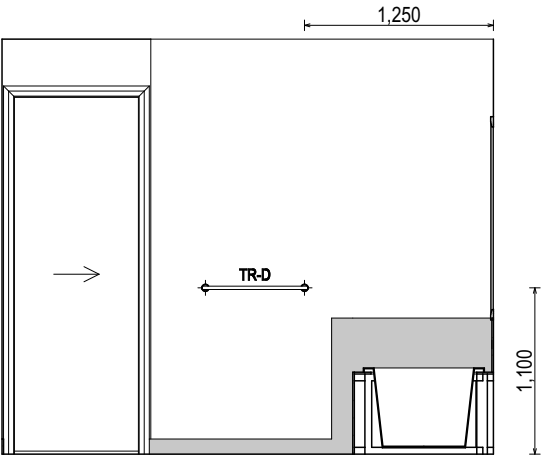
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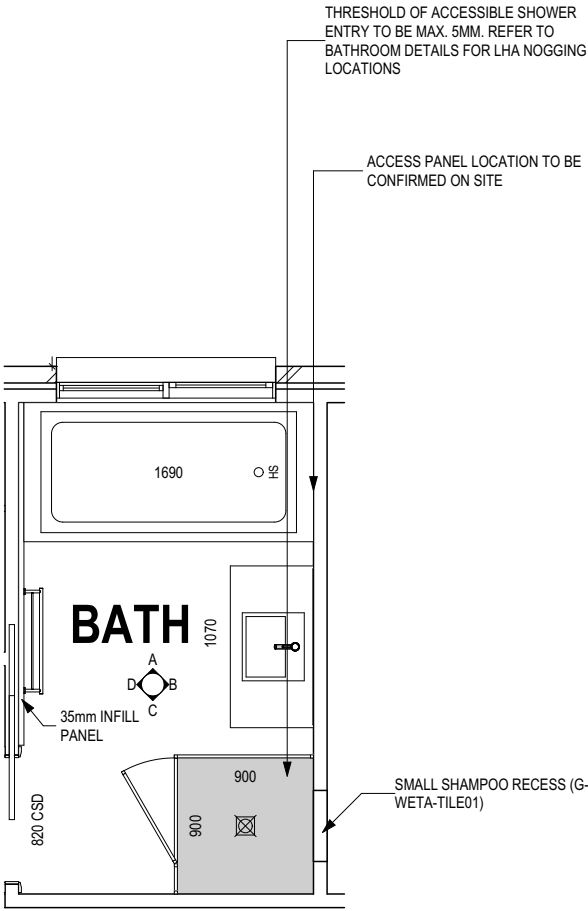
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



BATHROOM PLAN
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

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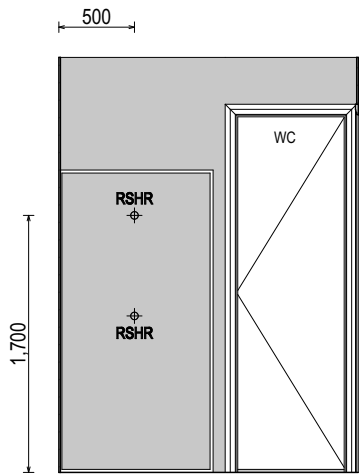
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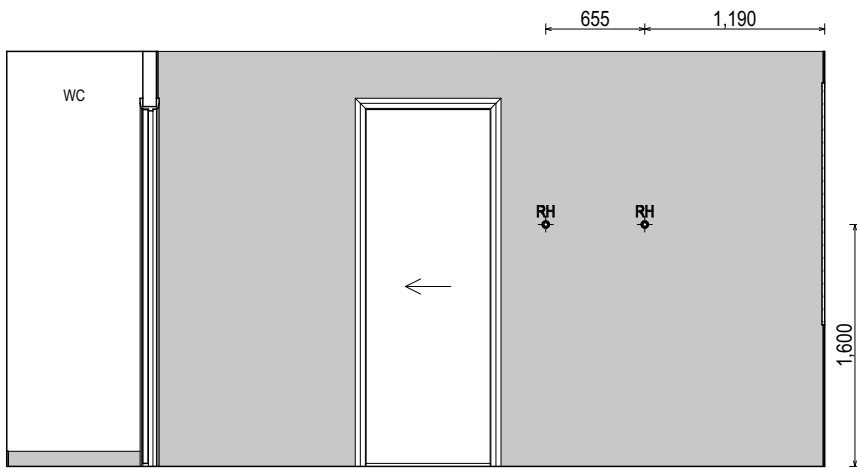


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	5 PRELIM PLANS - PLAN CORRECTIONS	NVO 19/11/2025	4 / - / 188363	COUNCIL: CLARENCE	19 / 28	714402
				BATHROOM DETAILS	1:50	

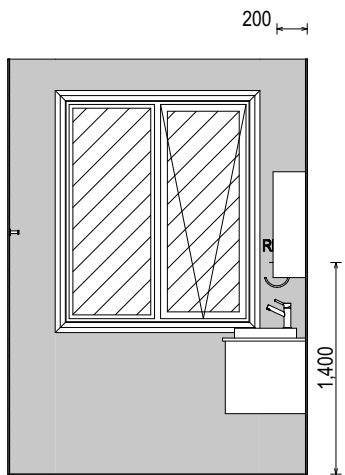
BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



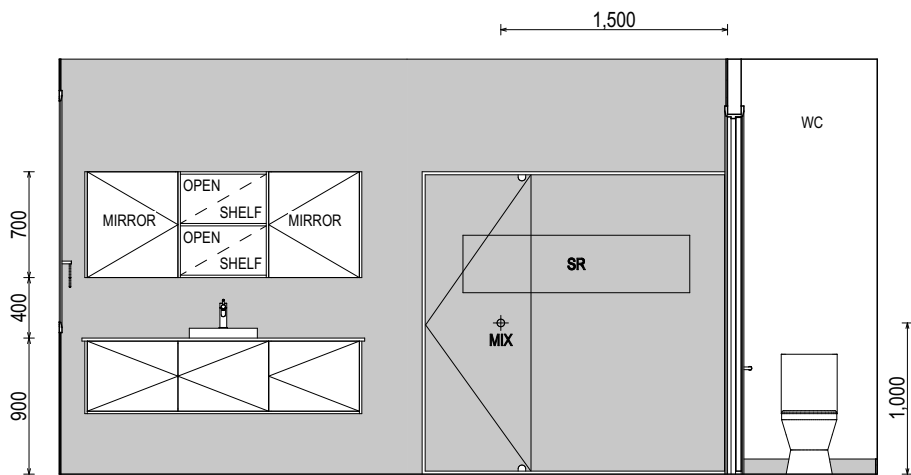
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SCALE: 1:50



ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

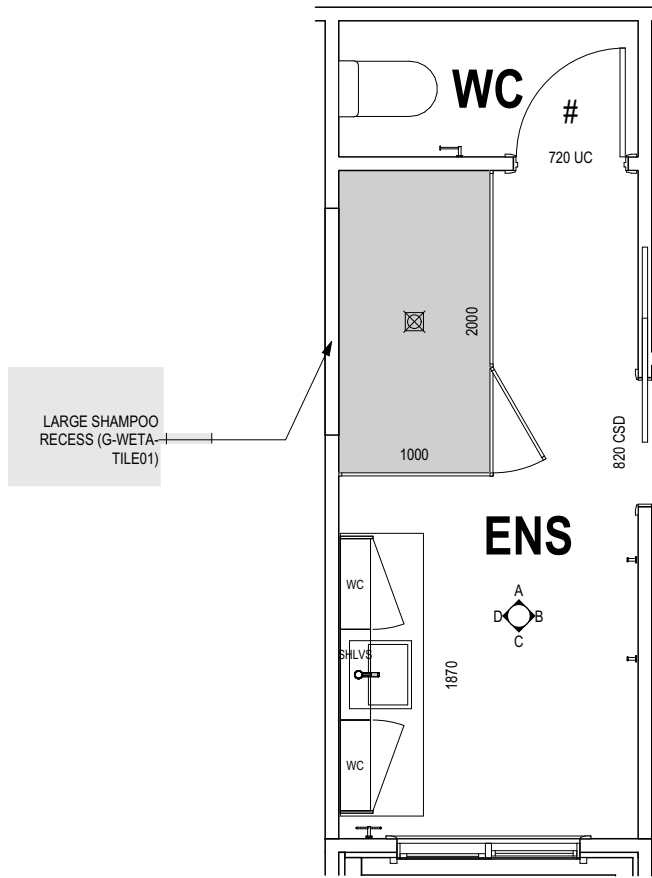
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



ENSUITE PLAN
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

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SPECIFICATION:

NEXTGEN

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REVISION

1 DRAFT SALE PLAN - CT1

2 DRAFT SALE PLAN - CT2

3 PRELIM PLANS - INITIAL ISSUE

4 PRELIM PLANS - COLOUR UPDATE

5 PRELIM PLANS - PLAN CORRECTIONS

DRAWN

HMI 04/09/2025

HMI 22/09/2025

KPH 10/10/2025

NVO 12/11/2025

NVO 19/11/2025

CLIENT:

JACK CURTIS & COURTNEY JAYNE ANDREWS

ADDRESS:

14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170

LOT / SECTION / CT:

4 / - / 188363

COUNCIL:

CLARENCE

HOUSE DESIGN:

LAKEWOOD 30

FACADE DESIGN:

NEWHAVEN

SHEET TITLE:

ENSUITE DETAILS

HOUSE CODE:

H-WATLKW10SA

FACADE CODE:

F-WATLKW10NHAVA

SHEET No.:

20 / 28

SCALES:

1:50

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AND VERIFY DIMENSIONS AND
LEVELS PRIOR TO THE
COMMENCEMENT OF ANY WORK. ALL
DISCREPANCIES TO BE REPORTED
TO THE DRAFTING OFFICE.

714402

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

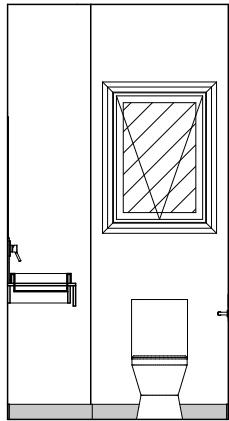
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VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR
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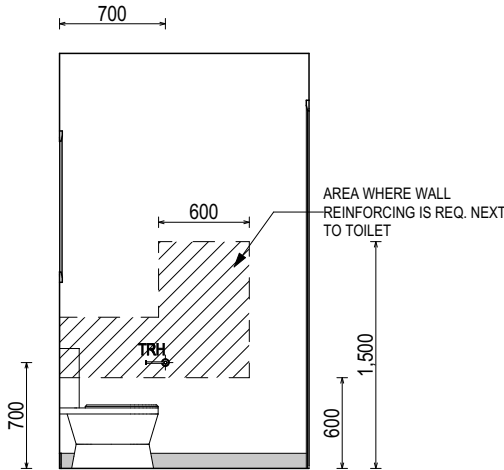
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REPRESENTATION ONLY

LEGEND

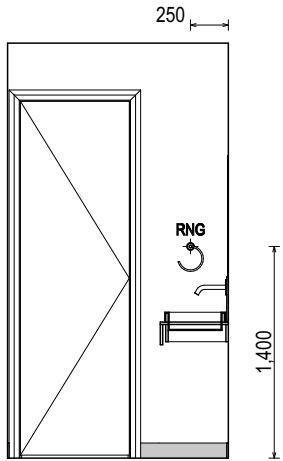
- RSHR RAIL SHOWER
ROSE SHOWER ROSE
ELBW SHOWER ELBOW
CONNECTION
MIX MIXER TAP
HT HOT TAP
CT COLD TAP
HS HOB SPOUT
WS WALL SPOUT
SC STOP COCK
TRH TOILET ROLL HOLDER
TR-S TOWEL RAIL - SINGLE
TR-D TOWEL RAIL - DOUBLE
TL TOWEL LADDER
TH TOWEL HOLDER
TR TOWEL RACK
TMB TUMBLER HOLDER
RNG TOWEL RING
RH ROBE HOOK
SHLF SHELF
SR SHAMPOO RECESS
SOAP SOAP HOLDER



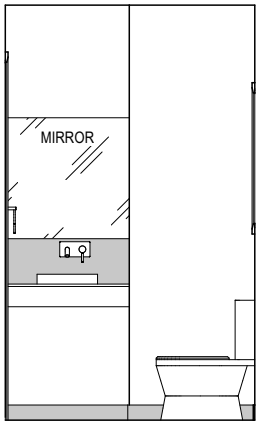
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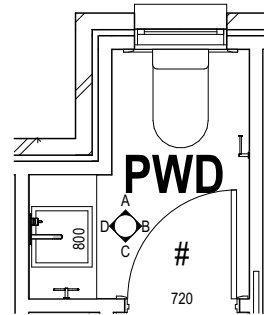
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



POWDER ROOM PLAN
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

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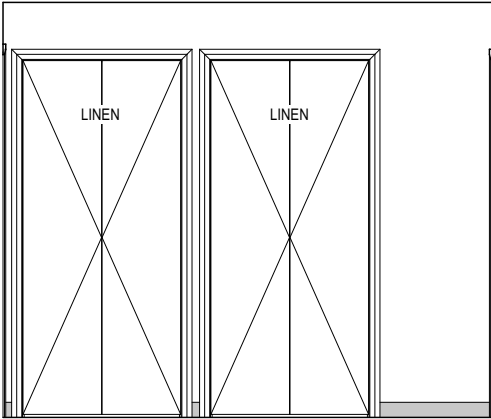


SPECIFICATION: NEXTGEN	REVISION	DRAWN	CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT: © 2025	1 DRAFT SALE PLAN - CT1	HMI 04/09/2025	JACK CURTIS & COURTNEY JAYNE ANDREWS	LAKEWOOD 30	H-WATLKW10SA	
	2 DRAFT SALE PLAN - CT2	HMI 22/09/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	3 PRELIM PLANS - INITIAL ISSUE	KPH 10/10/2025	14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170	NEWHAVEN	F-WATLKW10NHAVA	
	4 PRELIM PLANS - COLOUR UPDATE	NVO 12/11/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	5 PRELIM PLANS - PLAN CORRECTIONS	NVO 19/11/2025	4 / - / 188363	POWDER ROOM DETAILS	21 / 28	
			COUNCIL:		SCALES:	
			CLARENCE		1:50	
						714402

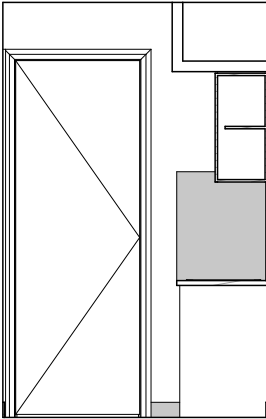
BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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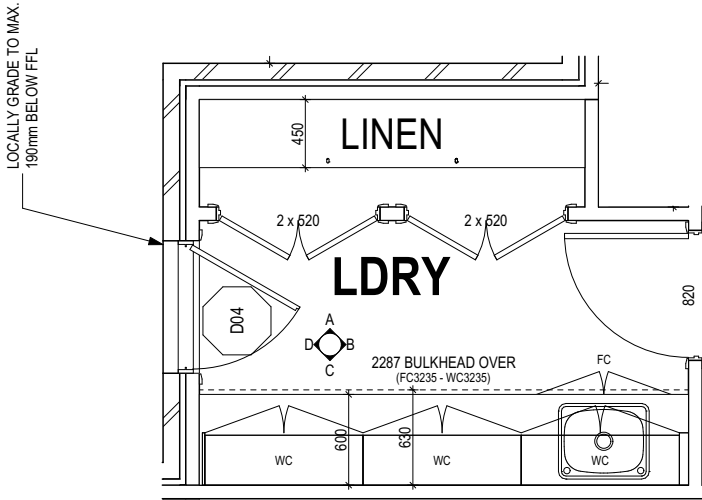
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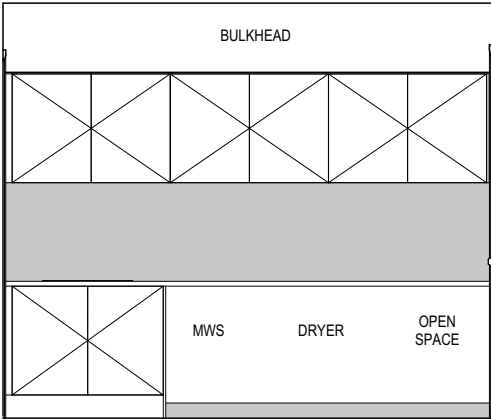
ELEVATION A
SCALE: 1:50



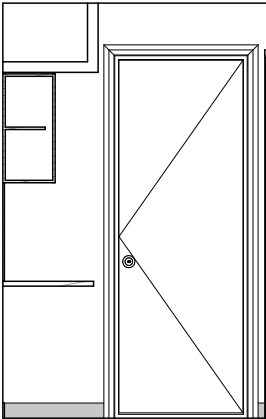
ELEVATION B
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)**
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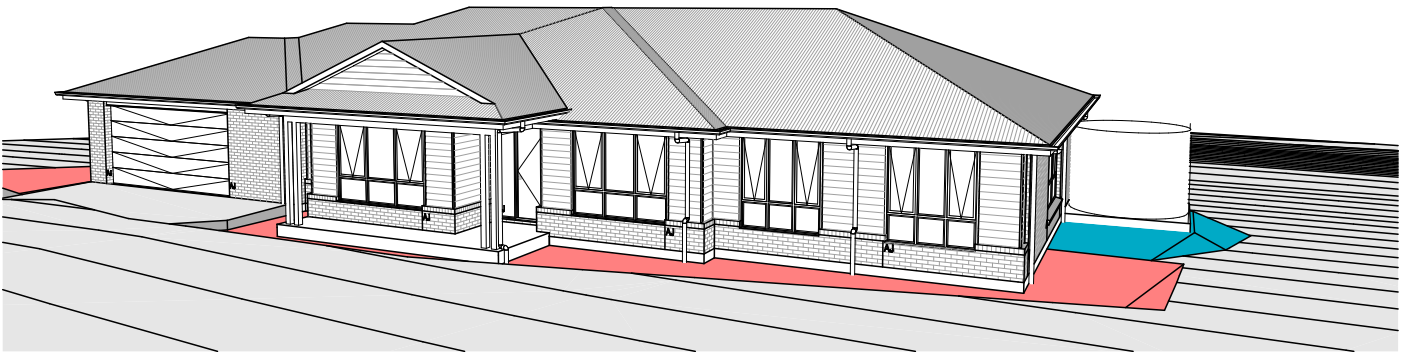
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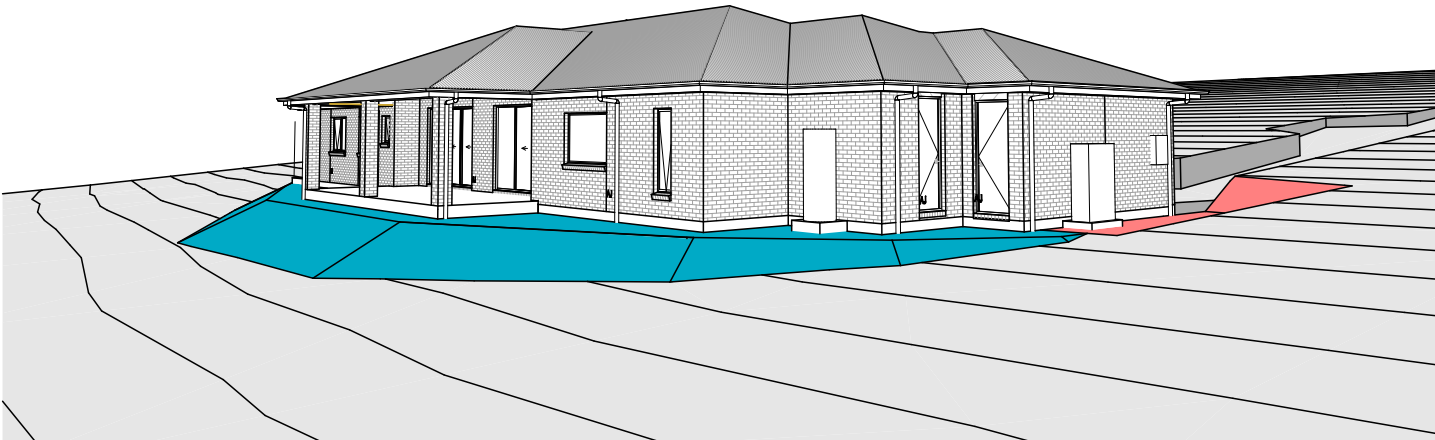
	SPECIFICATION: NEXTGEN		REVISION	DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.		
	COPYRIGHT: © 2025	1	DRAFT SALE PLAN - CT1	HMI	04/09/2025	JACK CURTIS & COURTNEY JAYNE ANDREWS		LAKEWOOD 30		H-WATLKW10SA				
		2	DRAFT SALE PLAN - CT2	HMI	22/09/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:				
		3	PRELIM PLANS - INITIAL ISSUE	KPH	10/10/2025	14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170		NEWHAVEN		F-WATLKW10NHAVA				
			4	PRELIM PLANS - COLOUR UPDATE	NVO	12/11/2025	LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:	SCALES:
		5	PRELIM PLANS - PLAN CORRECTIONS	NVO	19/11/2025	4 / - / 188363		CLARENCE		LAUNDRY DETAILS		22 / 28	1:50	714402



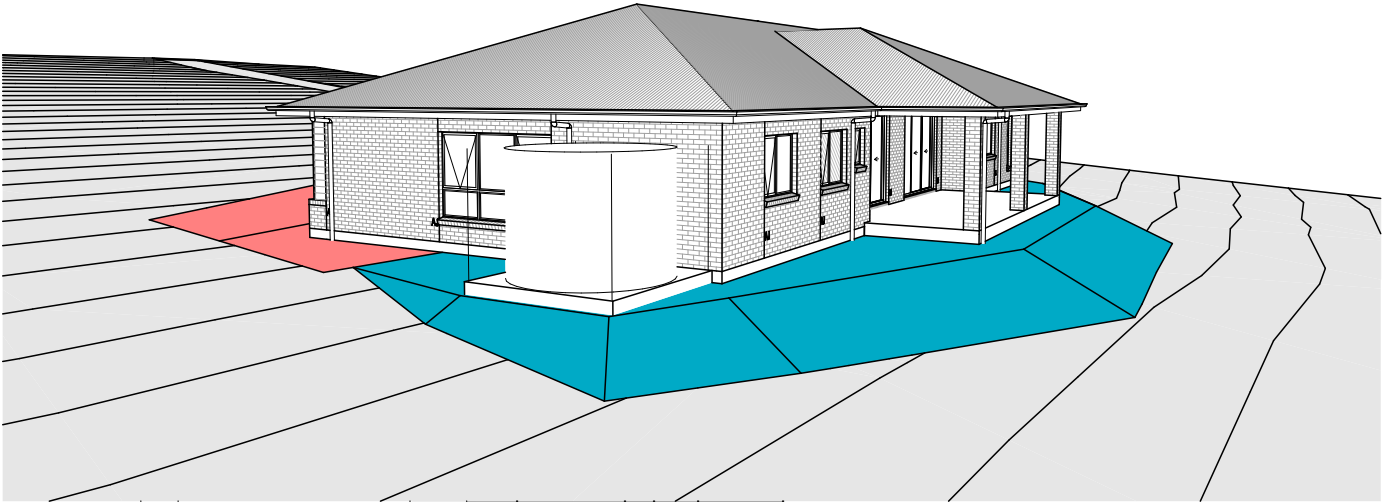
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
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		2	DRAFT SALE PLAN - CT2	HMI 22/09/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
		3	PRELIM PLANS - INITIAL ISSUE	KPH 10/10/2025	14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170	NEWHAVEN	F-WATLKW10NHAVA	
		4	PRELIM PLANS - COLOUR UPDATE	NVO 12/11/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
		5	PRELIM PLANS - PLAN CORRECTIONS	NVO 19/11/2025	4 / - / 188363	3D VIEWS	23 / 28	
					COUNCIL: CLARENCE			

WET AREA NOTES

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPRROF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.



SPECIFICATION: NEXTGEN		REVISION	DRAWN	CLIENT:		HOUSE DESIGN:		HOUSE CODE:		
	1	DRAFT SALE PLAN - CT1	HMI 04/09/2025	JACK CURTIS & COURTNEY JAYNE ANDREWS		LAKEWOOD 30		H-WATLKW10SA		
COPYRIGHT: © 2025	2	DRAFT SALE PLAN - CT2	HMI 22/09/2025	ADDRESS: 14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170		FACADE DESIGN: NEWHAVEN		FACADE CODE: F-WATLKW10NHAVA		
	3	PRELIM PLANS - INITIAL ISSUE	KPH 10/10/2025	LOT / SECTION / CT: 4 / - / 188363		COUNCIL: CLARENCE		SHEET TITLE: WET AREA & ENERGY EFFICIENCY NOTES	SHEET No.: 25 / 28	SCALES:
	4	PRELIM PLANS - COLOUR UPDATE	NVO 12/11/2025							
	5	PRELIM PLANS - PLAN CORRECTIONS	NVO 19/11/2025							

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ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

WAFFLE POD ALLOWANCES:

- R0.6 - 175mm DEEP
- R0.7 - 225mm DEEP
- R0.8 - 300mm DEEP
- R0.9 - 375mm DEEP

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS
TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION
BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION
REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE
(i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENERATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.
(ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION
FOR CONCRETE SLAB ON GROUND WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING
3.12.3.1 - CHIMNEYS AND FLUES
THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS
(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:
(i) A CONDITIONED SPACE; OR
(ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8
(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:
(i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
(ii) A WATERPROOF SEAL; OR
(iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

3.12.0.1 - EXTERNAL WINDOWS AND DOORS
(a) A SEAL TO RESTRIC AIR INFILTRATION MUST BE FITTED TO EACH OF AN EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING:
(i) WHEN SERVING A CONDITIONED SPACE; OR
(ii) IN CLIMATE ZONES 4, 5, 6, 7 OR 8, WHEN SERVING A HABITABLE ROOM.
(b) A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES SPECIFIED IN AS2047 NEED NOT COMPLY WITH (a).
(c) A SEAL REQUIRED BY (a)
(i) FOR THE BOTTOM EDGE OF AN INTERNAL SWING DOOR, MUST BE A DRAFT PROTECTION DEVICE; AND
(ii) FOR THE OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW OR OTHER SUCH OPENING, MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE.

3.12.3.4 - EXHAUST FANS
AN EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF CLOSE DAMPER, FILTER OR THE LIKE WHEN SERVING:
(a) A CONDITIONED SPACE; OR
(b) A HABITABLE ROOM IN THE CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.3.5 - CONSTRUCTION OF ROOF, WALLS AND FLOORS
(a) ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND AN OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE IN ACCORDANCE WITH (b) WHEN FORMING PART OF THE EXTERNAL FABRIC OF:
(i) A CONDITIONED SPACE; OR
(ii) A HABITABLE ROOM IN CLIMATE ZONE 4, 5, 6, 7 OR 8.
(b) CONSTRUCTION REQUIRED BY (a) MUST BE:
(i) ENCLOSED BY AN INTERNAL LINING SYSTEM THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS; OR
(ii) SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.

3.12.3.6 - EVAPORATIVE COOLERS
AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:
(a) A HEATED SPACE; OR
(b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.5.5 - ARTIFICIAL LIGHTING
(a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF:
(i) 5W/m² IN A CLASS 1 BUILDING
(ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);
(iii) 3W/m² IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.
(b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS PER N.C.C TABLE 3.12.5.3.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

Requirements for Building In Bushfire Hazard Areas

Building Act 2016

Directors Determination - Bushfire Hazard Areas

V1.1, dated 08 April 2021

Deemed-to-Satisfy Requirements (Part 2.3)

2.3.1 Design and construction

(1) Building work in a bushfire-prone area must be designed and constructed in accordance with either: -
(a) AS 3959-2018; or
(b) Standard for Steel Framed Construction in Bushfire Areas published by the National Association of Steel Framed Housing Inc. (NASH), as appropriate for a BAL determined for that site using table 2.6 of AS 3959.
(2) Subclause (1)(a) is only applicable to the following:
(a) a Class 1, 2 or 3 building; or
(b) a Class 10a building or deck associated with a Class 1, 2 or 3 building.
(3) Subclause (1)(b) is only applicable to the following:
(a) a Class 1 building; or
(b) a Class 10a building or deck associated with a Class 1 building.
(4) Despite subsection (1) permissible, variations from requirements specified in 1(a) and 1(b) are as specified in Table 1.
(5) Despite subsections (1) and (4), performance requirements for buildings subject to BAL 40 or BAL Flame Zone (BAL-FZ) are not satisfied by compliance with subsections (1) or (4).

2.3.2 Property Access

(1) A new building in a bushfire-prone area must be provided with property access to the building area and the firefighting water point, accessible by a carriageway, designed and constructed as specified in subclause (4).
(2) For an addition or alteration to an existing building in a bushfire-prone area, if there is no property access available property access must be provided to the building area and the firefighting water point accessible by a carriageway as specified in subclause (4).
(3) An addition or alteration to an existing building in a bushfire-prone area must not restrict any existing property access to the building area or to water supply for firefighting.
(4) Vehicular access from a public road to a building must:
(a) comply with the property access requirements specified in Table 2;
(b) include access from a public road to within 90 metres of the furthest part of the building measured as a hose lay; and
(c) include access to the hardstand area for the firefighting water point.

2.3.3 Water Supply for Fire fighting

(1) A new building constructed in a bushfire-prone area, must be provided with a water supply dedicated for fire fighting purposes as specified in Table 3A or Table 3B.
(2) For an addition or alteration to an existing building in a bushfire-prone area, if there is no water supply for firefighting available the building must be provided with a water supply dedicated for firefighting purposes which complies with the requirements specified in Table 3A or Table 3B.

2.3.4 Hazard Management Areas

(1) A new building, and an existing building in the case of an addition or alteration to a building, in a bushfire-prone area must be provided with a hazard management area.
(2) The hazard management area must comply with the requirements specified in Table 4.
(3) The hazard management area for a particular BAL must have the minimum dimensions required for the separation distances specified for that BAL in Table 2.6 of AS 3959.
(4) The hazard management area must be established and maintained such that fuels are reduced sufficiently, and other hazards are removed such that the fuels and other hazards do not significantly contribute to the bushfire attack.
(5) Bushfire emergency plan must be provided for:
(a) a new building;
(b) an existing building in the case of an addition or alteration to a building;
(c) an existing building in the case of a change of building class;
(d) a building associated with the use, handling, generation or storage of a hazardous chemical or explosive; in a bushfire-prone area.
(2) A bushfire emergency plan must comply with the requirements specified in Table 5.

7. Interpretation of Tables

(1) For the purposes of the deemed-to-satisfy provisions in clause 2.3 of this Determination, Tables 1, 2, 3A, 3B, 4, and 5 must be complied with in the following way:
(a) for a particular element specified in column 1, the corresponding requirement specified in column 2 must be complied with.

Table 1 - Construction Requirements & Construction Variations

Column 1		Column 2
ELEMENT		REQUIREMENT
A.	Straw Bale Construction	May be used in exposures up to and including BAL 19.
B.	Shielding provisions under Section 3.5 of AS3959-2018	To reduce construction requirements due to shielding, building plans must include suitable detailed elevations or plans that demonstrate that the requirements of Section 3.5 of the Standard can be met.
		Comment: Application of Section 3.5 of the Standard cannot result in and assessment of BAL-LOW.

Table 2 - Requirements for Property Access

Column 1		Column 2
ELEMENT		REQUIREMENT
A.	Property access length is less than 30 metres; or access is not for a fire appliance to access a water connection point.	There are no specified design and construction requirements.
B.	Property access length is 30 metres or greater; or access for a fire appliance to a water connection point.	The following design and construction requirements apply to property access: (1) All-weather construction; (2) Load capacity of at least 20 tonnes, including for bridges and culverts; (3) Minimum carriageway widths of 4 metres; (4) Minimum vertical clearance of 4 metres; (5) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway; (6) Cross falls of less than 3° (1:20 or 5%); (7) Dips less than 7° (1:8 or 12.5%) entry and exit angle; (8) Curves with a minimum inner radius of 10 metres; (9) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads; and (10) Terminate with a turning area for fire appliances provided by one of the following: (a) A turning circle with a minimum inner radius of 10 metres; (b) A property access encircling the building; or (c) A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.
C.	Property access length is 200 metres or greater.	The following design and construction requirements apply to property access: (1) The Requirements for B above; and (2) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.
D.	Property access length is greater than 30 metres, and access is provided to 3 or more properties.	The following design and construction requirements apply to property access: (1) Complies with Requirements for B above; and (2) Passing bays of 2 metres additional carriageway width and 20 metres length must be provided every 100 metres.

Table 3A - Reticulated Water Supply for Firefighting

Column 1		Column 2
ELEMENT		REQUIREMENT
A.	Distance between building area to be protected and water supply	The following requirements apply: (1) The building area to be protected must be located within 120 metres of a fire hydrant; and (2) The distance must be measured as a hose lay, between the water connection point and the furthest part of the building area.
B.	Design criteria for fire hydrants	The following requirements apply: (1) Fire hydrant system must be designed and constructed in accordance with TasWater Supplement to Water Supply Code of Australia WSA 03 - 2011-3.1 MRWA Edition 2.0; and (2) Fire hydrants are not installed in parking areas.
C.	Hardstand	A hardstand area for fire appliances must be provided: (1) no more than three metres from the hydrant, measured as a hose lay; (2) No closer than six metres from the building area to be protected; (3) With a minimum width of three metres constructed to the same standard as the carriageway; and (4) Connected to the property access by a carriageway equivalent to the standard of the property access

Table 3B - Static Water Supply for Firefighting

Column 1		Column 2
ELEMENT		REQUIREMENT
A.	Distance between building area to be protected and water supply	The following requirements apply: (a) The building area to be protected must be located within 90 metres of the water connection point of a static water supply; and (b) The distance must be measured as a hose lay, between the water connection point and the furthest part of the building area.
B.	Static Water Supplies	A static water supply: (a) May have a remotely located offtake connected to the static water supply; (b) May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times; (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems; (d) Must be metal, concrete or lagged by non-combustible materials if above ground; and (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2018, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by: (i) metal; (ii) non-combustible material; or (iii) fibre-cement a minimum of 6 mm thickness.
C.	Fittings, pipework and accessories (including stands and tank supports)	Fittings and pipework associated with a water connection point for a static water supply must: (a) Have a minimum nominal internal diameter of 50mm; (b) Be fitted with a valve with a minimum nominal internal diameter of 50mm; (c) Be metal or lagged by non-combustible materials if above ground; (d) Where buried, have a minimum depth of 300mm (e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to fire fighting equipment; (f) Ensure the coupling is accessible and available for connection at all times; (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length); (h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table; and (i) Where a remote offtake is installed, ensure the offtake is in a position that is: (i) Visible; (ii) Accessible to allow connection by fire fighting equipment; (iii) At a working height of 450 - 600mm above ground level; and (iv) Protected from possible damage, including damage by vehicles.
D.	Signage for static water connections	(1) The water connection point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must: (a) comply with water tank signage requirements within AS 2304; or (b) comply with the TFS Water Supply Signage Guideline.
E.	Hardstand	A hardstand area for fire appliances must be provided: (a) No more than three metres from the water connection point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (b) No closer than six metres from the building area to be protected; (c) With a minimum width of three metres constructed to the same standard as the carriageway; and (d) Connected to the property access by a carriageway equivalent to the standard of the property access.

Table 4 - Requirements for Hazard Management Area

Column 1		Column 2
ELEMENT		REQUIREMENT
A.	Hazard managements areas for new buildings on lots provided with a BAL at the time of subdivision.	A new building must: (a) Be located on the lot so as to be provided with a HMA no smaller than the required separation distances for the BAL determined at the time of the subdivision; and (b) Have a HMA established in accordance with a certified bushfire hazard management plan.
B.	Hazard management areas for new buildings on lots not provided with a BAL at the time of subdivision.	A new building must: (a) Be located on the lot so as to be provided with a HMA no smaller than the separation distances required for BAL 29; and (b) Have an HMA established in accordance with a certified bushfire hazard management plan.
C.	Hazard management areas for alterations or additions to buildings.	An alteration or addition to a building must: (a) Be located on the lot so as to be provided with a HMA which: (i) Has the separation distances required for the BAL assessed for the construction of the existing building; or (ii) In the case of a building without an existing BAL assessment, is no smaller than the separation distances required for BAL 29; and (b) Have an HMA established in accordance with a certified bushfire hazard management plan.
D.	Hazard management areas for new buildings and additions and alterations to buildings classified as an accommodation building BCA Class 1b, BCA Class 2, or BCA Class 3, other than communal residence for persons with a disability, a respite centre or a residential aged care facility or similar.	A new building or an alteration or addition must: (a) Be located on the lot so as to be provided with HMAs no smaller than the separation distances required for BAL 12.5; and (b) have a HMA established in accordance with a certified bushfire hazard management plan.
E.	Hazard management areas for new buildings and additions and alterations to existing buildings classified as vulnerable use as defined in the relevant planning scheme.	A new building or an addition or alteration including change of use must: (a) Be located on the lot so as to be provided with HMAs no smaller than the separation distances required for BAL 12.5; and (b) have a HMA established in accordance with a certified bushfire hazard management plan.
F.	Hazard management areas for new buildings or additions and alterations to buildings associated with the use, handling, generation or storage of a hazardous chemical or explosive.	A new building or an alteration or addition, including change of use, for a building determined as a hazardous use must: (a) Be located on the lot so as to be provided with a HMA no smaller than the required separation distances for the BAL determined in the certified bushfire hazard management plan; and (b) Have a HMA established in accordance with a certified bushfire hazard management plan.

Table 5 - Requirements for Emergency Planning

Column 1		Column 2
ELEMENT		REQUIREMENT
A.	Bushfire emergency plans	An emergency plan must be developed for the site which is: (a) Consistent with TFS Bushfire Emergency Planning Guidelines; and (b) Approved by TFS or a person accredited by the TFS.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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	5	PRELIM PLANS - PLAN CORRECTIONS		NVO	19/11/2025	4 / - / 188363		BUILDING ACT BUSHFIRE HAZARD AREAS		26 / 28		
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						CLARENCE						

AS3959 (2018)

All specifications are per AS3959 (2018) and Wilson Homes request. Other materials and options may be available, refer to AS3959 for full list of compliant materials.

6.1 GENERAL

A building assessed in Section 2 as being BAL - 19 shall comply with Section 3 and Clauses 6.2 to 6.8.

Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 6.2 to 6.8 (see Clause 3.8).

NOTE: BAL - 19 is primarily concerned with protection from ember attack, and radiant heat greater than 12.5 kW/m² up to and including 19 kW/m².

6.2 SUBFLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with -

(a) a wall that complies with Clause 6.4; OR

(b) a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion resistant steel, bronze or aluminium; OR

(c) a combination of Items (a) and (b).

NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 6.7)

C6.2 Combustible materials stored in the subfloor space may be ignited by embers and cause and impact to the building.

6.3 FLOORS

6.3.1 GENERAL

This Standard does not provide construction requirements for concrete slabs on the ground.

6.3.2 ELEVATED FLOORS

6.3.2.1 ENCLOSED SUBFLOOR SPACE

This standard does not provide consturction requirements for elevated floors, including bearers and joists and flooring, where the subfloor space is enclosed with

(a) a wall that complies with Clause 6.4; OR

(b) a mesh perforated sheet with a maximum aperture of 2mm, made of corrosion resistant steel, bronze or aluminium; OR

(c) a combination of Items (a) and (b) above.

6.3.2.2 UNENCLOSED SUBFLOOR SPACE

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400mm above finished ground level, shall be one of the following -

(a) Materials that comply with the following:

(i) Bearers and joists shall be -

(A) non-combustible; OR

(B) bushfire-resisting timber (see Appendix F); OR

(C) a combination of Items (A) and (B) above.

(ii) Flooring shall be -

(A) non-combustible; OR

(B) bushfire-resisting timber (see Appendix F); OR

(C) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; OR

(D) a combination of any Items (A), (B) or (C) above.

OR

(b) A system complying with AS1530.8.1

This standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400mm or more above finished ground level.

6.4.1 WALLS

The exposed components of an external wall that is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar fittings having an angle of less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D) shall be as follows:

(a) Non-combustible material including, the following provided the thickness is 90mm:

(i) Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.

(ii) Precast or in situ walls of concrete or aerated concrete.

(iii) Earth wall including mud brick. OR

(b) Timber logs of a species with a density of 680kg/m³ or greater at a 12 percent moisture content; of a minimum nominal overall thickness of 90mm and a minimum thickness of 70mm (see Clause 3.11); and gauge planed. OR

(c) Cladding that is fixed externally to a timber-framed or a steel-framed wall that is sarked on the outside of the frame and is -

(i) non-combustible material; OR

(ii) fibre cement a minimum of 6mm in thickness; OR

(iii) bushfire-resisting timber (see Appendix F); OR

(iv) a timber species as specified in Paragraph E1, Appendix E; pr

(v) a combination of any of Items (i), (ii), (iii) or (iv) above. OR

(d) A combination of any items (a), (b) or (c) above.

This standard does not provide construction requirements for exposed components of an external wall that are 400mm or more from the ground or 400mm or more above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110mm in width from the wall (see Figure D3, Appendix D).

6.4.2 JOINTS

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed.

6.4.3 VENTS AND WEEPHOLES

Except for exclusions provided in Clause 3.6, vents and weepholes in external walls shall be screened with a mesh made of corrosion-resistant steel, bronze or aluminium.

6.5.1 BUSHFIRE SHUTTERS

Where fitted, bushfire shutters shall comply with Clause 3.7 and be made from -

(a) non-combustible material; OR

(b) a timber species as specified in Paragraph E1, Appendix E; OR

(c) bushfire-resisting timber (see Appendix F); OR

(d) a combination of Items (a), (b) and (c) above.

6.5.2 SCREENS FOR WINDOWS AND DOORS

Where fitted, screens for windows and doors shall have a mesh or perforated sheet made of corrosion-resistant steel, bronze or aluminium.

The frame supporting the mesh or perforated sheet shall be made from -

(a) metal; OR

(b) bushfire-resisting timber (see Appendix F).

(c) a timber species as specified in Paragraph E2, Appendix E.

6.5.3 WINDOWS AND SIDELIGHTS

Window assemblies shall:

(a) be completely protected by a bushfire shutter that complies with Clause 3.7 and clause 6.5.1; OR

(b) Be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2.

(c) Conform with the following:

(i) Frame material For window assemblies less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings and similar elements or fittings having and angle less than 18 degrees to the horizontal and extending more than 110mm in width from the window frame (see Figure D3, Appendix D), window frames and window joinery shall be made from:

(A) Bushfire-resisting timber (see Appendix F) OR

(B) A timber species as specified in Paragraph E2, Appendix F); OR

(C) Metal. OR

(D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

There are no specific restrictions on frame material for all other windows.

(ii) Hardware There are no specific restrictions on hardware for windows.

(iii) Glazing Where glazing is less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings and similar elements or fittings having and angle less than 18 degrees to the horizontal and extending more than 110mm in width from the window frame (see Figure D3, Appendix D), this glazing shall be Grade A safety glass a minimum of 4mm in thickness or glass blocks with no restriction on glazing methods.

NOTE: Where double-glazed assemblies are used above, the requirements apply to the external pane of the glazed assembly only. For all other glazing, annealed glass may be used in accordance with AS 1288.

(iv) Seals and weather strips There are no specific requirements for seals and weather strips at this BAL level.

(v) Screens The openable portions of windows shall be screened internally or externally with screens that conform with Clause 3.6 and Clause 6.5.2. Where annealed glass is used, both the fixed and openable portions of the window shall be screened externally with screens that conform with clause 6.5.2.

C6.5.3(c), screening of the openable portions of all windows is required in all BAL's to prevent the entry of embers to the building when the window is open. For Item (c)(v), screening of the openable and fixed portions of some windows is required to reduce the effects of radiant heat on some spes of glass. If the screening is required to reduce the effects of radiant heat on glass, and has to be externally fixed.

For Item (c)(v), If the screening is required only to prevent the entry of embers, the screening may be fitted externally or internally.

6.5.4 DOORS SIDE-HUNG EXTERNAL DOORS (including French Doors, Panel Fold and Bi-fold Doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall -

(a) Be completely protected by bushfire shutters that comply with Clause 3.7 and Clause 6.5.1.

OR

(b) Be protected externally by screens that comply with Clause 3.6 and Clause 6.5.2.

OR

(c) conform with the following:

(i) Door panel material Materials shall be -

(A) non combustible; OR

(B) solid timber, laminated timber or reconstituted timber door, having a minimum thickness of 35mm for the first 400mm above the threshold; OR

(C) hollow core, solid timber, laminated timber or reconstituted timber with a non-combustible kickplate on the outside for the first 400mm above the threshold; OR

(D) for fully framed glazed door panels, the framing is made from metal or bushfire resisting timber (see Appendix F), or a timber species as specified in Paragraph E2, Appendix E or uPVC.

(ii) Door frame material Door frames material shall be:

(A) Bushfire-resisting timber (see Appendix F). OR

(B) a timber species as specified in Paragraph E2 of Appendix E;

OR

(C) Metal. OR

(D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

(iii) Hardware There are no specific requirements for hardwarea at this BAL level.

(iv) Glazing Where doors incorporate glazing, the glazing shall be toughened glass a minimum of 5mm in thickness.

(v) Seals and weather strips Weather strips, draft excluders or draft seals shall be installed.

(vi) Screens There are no specific requirements for hardwarea at this BAL level.

(vii) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.

6.5.5 DOORS-SLIDING DOORS

Sliding doors shall:

(a) Be completely protected by bushfire shutters that comply with Clause 3.7 and Clause 6.5.1.

OR

(b) Be completely protected externally by screens that comply with Clause 3.6 and Clause 6.5.2.

OR

(c) conform with the following:

(i) Frame material The material for door frames, including fully framed glazed doors, shall be -

(A) Bushfire-resisting timber (see Appendix F). OR

(B) a timber species as specified in Paragraph E2 of Appendix E; OR

(C) Metal. OR

(D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

(ii) Hardware There are no specific requirements for hardwarea at this BAL level.

(iii) Glazing Where doors incorporare glazing, the glazing shall be toughened glass a minimum of 5mm in thickness,

(iv) Seals and weather strips There are no specific requirements for hardwarea at this BAL level.

(v) Screens There are no specific requirements for hardwarea at this BAL level.

(vi) Sliding panels Sliding panels shall be tight-fitting in the frames.

6.5.6 DOORS-VEHICLE ACCESS DOORS (GARAGE DOORS)

The following apply to vehicle access doors:

(a) The lower portion of a vehicle access door that is within 400mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from -

(i) non combustible material; OR

(ii) bushfire-resisting timber (see Appendix F); OR

(iii) fibre- cement sheet, a minimum of 6mm in thickness; OR

(iv) a timber species as specified in Paragraph E1, Appendix E; OR

(iv) a combination of any Items (i), (ii) or (iv) above.

(b) All vehicle access doors doors shall be fitted with suitable weather strips, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.

NOTES:

1 Refer to AS/NZS 4505 for door types.

2 Gaps of door edges or building elements should be protected as per Section 3.

C6.5.6(b) These guide tracks do not provide a direct passage for embers into the building.

(c) Weather strips, draught excluders, draught seals or brushes to protect edge gaps or thresholds shall be manufactured from materials having a flammability index not exceeding five.

(d) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

6.6.1 ROOFS - GENERAL

The following apply to all types of roofs and roofing systems:

(a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.

(b) The roof/wall junction shall be sealed, or otherwise protected in accordance with Clause 3.6.

(c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.

(d) Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need to be screened externally.

6.6.2 TILED ROOFS

Tiled roofs shall be fully sarked. The sarking shall -

(a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;

(b) cover the entire roof area including ridges and hips; and

(c) extend into gutters and valleys.

6.6.3 SHEET ROOFS

Sheet roofs shall—

(a) be fully sarked in accordance with Clause 6.6.2, except that foil-backed insulation blankets may be installed over the battens; and

(b) have any gaps sealed at the fascia or wall line and at valleys, hips and ridges by -

(i) a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or

(ii) mineral wool; or

(iii) other non-combustible material; or

(iv) a combination of any of Items (i), (ii) or (iii) above.

C6.6.3 - Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

6.6.4 VERANDA, CARPORT AND AWNING ROOFS

The following apply to veranda, carport and awning roofs:

(a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 6.6.1, to 6.6.6.

(b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 6.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.

NOTE: There is no requirement to line the inderside of a veranda, carport or awning roof that is separated from the main roof space

6.6.5 DOORS-SLIDING DOORS

Sliding doors shall:

(a) Be completely protected by bushfire shutters that comply with Clause 3.7 and Clause 6.5.1.

OR

(b) Be completely protected externally by screens that comply with Clause 3.6 and Clause 6.5.2.

OR

(c) conform with the following:

(i) Frame material The material for door frames, including fully framed glazed doors, shall be -

(A) Bushfire-resisting timber (see Appendix F). OR

(B) a timber species as specified in Paragraph E2 of Appendix E; OR

(C) Metal. OR

(D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

(ii) Hardware There are no specific requirements for hardwarea at this BAL level.

(iii) Glazing Where doors incorporare glazing, the glazing shall be toughened glass a minimum of 5mm in thickness,

(iv) Seals and weather strips There are no specific requirements for hardwarea at this BAL level.

(v) Screens There are no specific requirements for hardwarea at this BAL level.

(vi) Sliding panels Sliding panels shall be tight-fitting in the frames.

6.5.6 DOORS-VEHICLE ACCESS DOORS (GARAGE DOORS)

The following apply to vehicle access doors:

(a) The lower portion of a vehicle access door that is within 400mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from -

(i) non combustible material; OR

(ii) bushfire-resisting timber (see Appendix F); OR

(iii) fibre- cement sheet, a minimum of 6mm in thickness; OR

(iv) a timber species as specified in Paragraph E1, Appendix E; OR

(iv) a combination of any Items (i), (ii) or (iv) above.

(b) All vehicle access doors doors shall be fitted with suitable weather strips, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.

NOTES:

1 Refer to AS/NZS 4505 for door types.

2 Gaps of door edges or building elements should be protected as per Section 3.

C6.5.6(b) These guide tracks do not provide a direct passage for embers into the building.

(c) Weather strips, draught excluders, draught seals or brushes to protect edge gaps or thresholds shall be manufactured from materials having a flammability index not exceeding five.

(d) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

6.6.1 ROOFS - GENERAL

The following apply to all types of roofs and roofing systems:

(a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.

(b) The roof/wall junction shall be sealed, or otherwise protected in accordance with Clause 3.6.

(c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.

(d) Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need to be screened externally.

6.6.2 TILED ROOFS

Tiled roofs shall be fully sarked. The sarking shall -

(a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;

(b) cover the entire roof area including ridges and hips; and

(c) extend into gutters and valleys.

6.6.3 SHEET ROOFS

Sheet roofs shall—

(a) be fully sarked in accordance with Clause 6.6.2, except that foil-backed insulation blankets may be installed over the battens; and

(b) have any gaps sealed at the fascia or wall line and at valleys, hips and ridges by -

(i) a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or

(ii) mineral wool; or

(iii) other non-combustible material; or

(iv) a combination of any of Items (i), (ii) or (iii) above.

C6.6.3 - Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

6.6.4 VERANDA, CARPORT AND AWNING ROOFS

The following apply to veranda, carport and awning roofs:

(a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 6.6.1, to 6.6.6.

(b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 6.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.

NOTE: There is no requirement to line the inderside of a veranda, carport or awning roof that is separated from the main roof space

6.6.5 DOORS-SLIDING DOORS

Sliding doors shall:

(a) Be completely protected by bushfire shutters that comply with Clause 3.7 and Clause 6.5.1.

OR

(b) Be completely protected externally by screens that comply with Clause 3.6 and Clause 6.5.2.

OR

(c) conform with the following:

(i) Frame material The material for door frames, including fully framed glazed doors, shall be -

(A) Bushfire-resisting timber (see Appendix F). OR

(B) a timber species as specified in Paragraph E2 of Appendix E; OR

(C) Metal. OR

(D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

(ii) Hardware There are no specific requirements for hardwarea at this BAL level.

(iii) Glazing Where doors incorporare glazing, the glazing shall be toughened glass a minimum of 5mm in thickness,

(iv) Seals and weather strips There are no specific requirements for hardwarea at this BAL level.

(v) Screens There are no specific requirements for hardwarea at this BAL level.

(vi) Sliding panels Sliding panels shall be tight-fitting in the frames.

6.5.6 DOORS-VEHICLE ACCESS DOORS (GARAGE DOORS)

The following apply to vehicle access doors:

(a) The lower portion of a vehicle access door that is within 400mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from -

(i) non combustible material; OR

(ii) bushfire-resisting timber (see Appendix F); OR

(iii) fibre- cement sheet, a minimum of 6mm in thickness; OR

(iv) a timber species as specified in Paragraph E1, Appendix E; OR

(iv) a combination of any Items (i), (ii) or (iv) above.

(b) All vehicle access doors doors shall be fitted with suitable weather strips, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.

NOTES:

1 Refer to AS/NZS 4505 for door types.

2 Gaps of door edges or building elements should be protected as per Section 3.

C6.5.6(b) These guide tracks do not provide a direct passage for embers into the building.

(c) Weather strips, draught excluders, draught seals or brushes to protect edge gaps or thresholds shall be manufactured from materials having a flammability index not exceeding five.

(d) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

6.6.1 ROOFS - GENERAL

The following apply to all types of roofs and roofing systems:

(a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.

(b) The roof/wall junction shall be sealed, or otherwise protected in accordance with Clause 3.6.

(c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.

(d) Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need to be screened externally.

6.6.2 TILED ROOFS

Tiled roofs shall be fully sarked. The sarking shall -

(a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;

(b) cover the entire roof area including ridges and hips; and

(c) extend into gutters and valleys.

6.6.3 SHEET ROOFS

Sheet roofs shall—

(a) be fully sarked in accordance with Clause 6.6.2, except that foil-backed insulation blankets may be installed over the battens; and

(b) have any gaps sealed at the fascia or wall line and at valleys, hips and ridges by -

(i) a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or

(ii) mineral wool; or

(iii) other non-combustible material; or

(iv) a combination of any of Items (i), (ii) or (iii) above.

C6.6.3 - Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

6.6.4 VERANDA, CARPORT AND AWNING ROOFS

The following apply to veranda, carport and awning roofs:

(a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 6.6.1, to 6.6.6.

(b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 6.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.

NOTE: There is no requirement to line the inderside of a veranda, carport or awning roof that is separated from the main roof space

6.6.5 DOORS-SLIDING DOORS

Sliding doors shall:

(a) Be completely protected by bushfire shutters that comply with Clause 3.7 and Clause 6.5.1.

OR

(b) Be completely protected externally by screens that comply with Clause 3.6 and Clause 6.5.2.

OR

(c) conform with the following:

(i) Frame material The material for door frames, including fully framed glazed doors, shall be -

(A) Bushfire-resisting timber (see Appendix F). OR

(B) a timber species as specified in Paragraph E2 of Appendix E; OR

(C) Metal. OR

(D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

(ii) Hardware There are no specific requirements for hardwarea at this BAL level.

(iii) Glazing Where doors incorporare glazing, the glazing shall be toughened glass a minimum of 5mm in thickness,

(iv) Seals and weather strips There are no specific requirements for hardwarea at this BAL level.

(v) Screens There are no specific requirements for hardwarea at this BAL level.

(vi) Sliding panels Sliding panels shall be tight-fitting in the frames.

6.5.6 DOORS-VEHICLE ACCESS DOORS (GARAGE DOORS)

The following apply to vehicle access doors:

(a) The lower portion of a vehicle access door that is within 400mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from -

(i) non combustible material; OR

(ii) bushfire-resisting timber (see Appendix F); OR

(iii) fibre- cement sheet, a minimum of 6mm in thickness; OR

(iv) a timber species as specified in Paragraph E1, Appendix E; OR

(iv) a combination of any Items (i), (ii) or (iv) above.

(b) All vehicle access doors doors shall be fitted with suitable weather strips, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.

NOTES:

1 Refer to AS/NZS 4505 for door types.

2 Gaps of door edges or building elements should be protected as per Section 3.

C6.5.6(b) These guide tracks do not provide a direct passage for embers into the building.

(c) Weather strips, draught excluders, draught seals or brushes to protect edge gaps or thresholds shall be manufactured from materials having a flammability index not exceeding five.

(d) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

6.6.1 ROOFS - GENERAL

The following apply to all types of roofs and roofing systems:

(a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.

(b) The roof/wall junction shall be sealed, or otherwise protected in accordance with Clause 3.6.

(c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.

(d) Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need to be screened externally.

6.6.2 TILED ROOFS

Tiled roofs shall be fully sarked. The sarking shall -

(a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;

(b) cover the entire roof area including ridges and hips; and

(c) extend into gutters and valleys.

6.6.3 SHEET ROOFS

Sheet roofs shall—

(a) be fully sarked in accordance with Clause 6.6.2, except that foil-backed insulation blankets may be installed over the battens; and

(b) have any gaps sealed at the fascia or wall line and at valleys, hips and ridges by -

(i) a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or

(ii) mineral wool; or

(iii) other non-combustible material; or

(iv) a combination of any of Items (i), (ii) or (iii) above.

C6.6.3 - Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

6.6.4 VERANDA, CARPORT AND AWNING ROOFS

The following apply to veranda, carport and awning roofs:

(a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 6.6.1, to 6.6.6.

(b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 6.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.

NOTE: There is no requirement to line the inderside of a veranda, carport or awning roof that is separated from the main roof space

6.6.5 DOORS-SLIDING DOORS

Sliding doors shall:

(a) Be completely protected by bushfire shutters that comply with Clause 3.7 and Clause 6.5.1.

OR

(b) Be completely protected externally by screens that comply with Clause 3.6 and Clause 6.5.2.

OR

(c) conform with the following:

(i) Frame material The material for door frames, including fully framed glazed doors, shall be -

(A) Bushfire-resisting timber (see Appendix F). OR

(B) a timber species as specified in Paragraph E2 of Appendix E; OR

(C) Metal. OR

(D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

(ii) Hardware There are no specific requirements for hardwarea at this BAL level.

(iii) Glazing Where doors incorporare glazing, the glazing shall be toughened glass a minimum of 5mm in thickness,

(iv) Seals and weather strips There are no specific requirements for hardwarea at this BAL level.

(v) Screens There are no specific requirements for hardwarea at this BAL level.

(vi) Sliding panels Sliding panels shall be tight-fitting in the frames.

6.5.6 DOORS-VEHICLE ACCESS DOORS (GARAGE DOORS)

The following apply to vehicle access doors:

(a) The lower portion of a vehicle access door that is within 400mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from -

(i) non combustible material; OR

(ii) bushfire-resisting timber (see Appendix F); OR

(iii) fibre- cement sheet, a minimum of 6mm in thickness; OR

(iv) a timber species as specified in Paragraph E1, Appendix E; OR

(iv) a combination of any Items (i), (ii) or (iv) above.

(b) All vehicle access doors doors shall be fitted with suitable weather strips, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.

NOTES:

1 Refer to AS/NZS 4505 for door types.

2 Gaps of door edges or building elements should be protected as per Section 3.

C6.5.6(b) These guide tracks do not provide a direct passage for embers into the building.

(c) Weather strips, draught excluders, draught seals or brushes to protect edge gaps or thresholds shall be manufactured from materials having a flammability index not exceeding five.

(d) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

6.6.1 ROOFS - GENERAL

The following apply to all types of roofs and roofing systems:

(a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.

(b) The roof/wall junction shall be sealed, or otherwise protected in accordance with Clause 3.6.

(c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.

(d) Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need to be screened externally.

6.6.2 TILED ROOFS

Tiled roofs shall be fully sarked. The sarking shall -

(a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;

(b) cover the entire roof area including ridges and hips; and

(c) extend into gutters and valleys.

6.6.3 SHEET ROOFS

Sheet roofs shall—

(a) be fully sarked in accordance with Clause 6.6.2, except that foil-backed insulation blankets may be installed over the battens; and

(b) have any gaps sealed at the fascia or wall line and at valleys, hips and ridges by -

(i) a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or

(ii) mineral wool; or

(iii) other non-combustible material; or

(iv) a combination of any of Items (i), (ii) or (iii) above.

C6.6.3 - Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

6.6.4 VERANDA, CARPORT AND AWNING ROOFS

The following apply to veranda, carport and awning roofs:

(a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 6.6.1, to 6.6.6.

(b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 6.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.

NOTE: There is no requirement to line the inderside of a veranda, carport or awning roof that is separated from the main roof space

6.6.5 DOORS-SLIDING DOORS

Sliding doors shall:

(a) Be completely protected by bushfire shutters that comply with Clause 3.7 and Clause 6.5.1.

OR

(b) Be completely protected externally by screens that comply with Clause 3.6 and Clause 6.5.2.

OR

(c) conform with the following:

(i) Frame material The material for door frames, including fully framed glazed doors, shall be -

(A) Bushfire-resisting timber (see Appendix F). OR

(B) a timber species as specified in Paragraph E2 of Appendix E; OR

(C) Metal. OR

(D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

(ii) Hardware There are no specific requirements for hardwarea at this BAL level.

(iii) Glazing Where doors incorporare glazing, the glazing shall be toughened glass a minimum of 5mm in thickness,

(iv) Seals and weather strips There are no specific requirements for hardwarea at this BAL level.

(v) Screens There are no specific requirements for hardwarea at this BAL level.

(vi) Sliding panels Sliding panels shall be tight-fitting in the frames.

6.5.6 DOORS-VEHICLE ACCESS DOORS (GARAGE DOORS)

The following apply to vehicle access doors:

(a) The lower portion of a vehicle access door that is within 400mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from -

(i) non combustible material; OR

(ii) bushfire-resisting timber (see Appendix F); OR

(iii) fibre- cement sheet, a minimum of 6mm in thickness; OR

(iv) a timber species as specified in Paragraph E1, Appendix E; OR

(iv) a combination of any Items (i), (ii) or (iv) above.

(b) All vehicle access doors doors shall be fitted with suitable weather strips, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.

NOTES:

1 Refer to AS/NZS 4505 for door types.

2 Gaps of door edges or building elements should be protected as per Section 3.

C6.5.6(b) These guide tracks do not provide a direct passage for embers into the building.

(c) Weather strips, draught excluders, draught seals or brushes to protect edge gaps or thresholds shall be manufactured from materials having a flammability index not exceeding five.

(d) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

6.6.1 ROOFS - GENERAL

The following apply to all types of roofs and roofing systems:

(a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.

(b) The roof/wall junction shall be sealed, or otherwise protected in accordance with Clause 3.6.

(c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.

(d) Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need to be screened externally.

6.6.2 TILED ROOFS

Tiled roofs shall be fully sarked. The sarking shall -

(a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;

(b) cover the entire roof area including ridges and hips; and

(c) extend into gutters and valleys.

6.6.3 SHEET ROOFS

Sheet roofs shall—

(a) be fully sarked in accordance with Clause 6.6.2, except that foil-backed insulation blankets may be installed over the battens; and

(b) have any gaps sealed at the fascia or wall line and at valleys, hips and ridges by -

(i) a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or

(ii) mineral wool; or

(iii) other non-combustible material; or

(iv) a combination of any of Items (i), (ii) or (iii) above.

C6.6.3 - Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

6.6.4 VERANDA, CARPORT AND AWNING ROOFS

The following apply to veranda, carport and awning roofs:

(a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 6.6.1, to 6.6.6.

(b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 6.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.

NOTE: There is no requirement to line the inderside of a veranda, carport or awning roof that is separated from the main roof space

6.6.5 DOORS-SLIDING DOORS

Sliding doors shall:

(a) Be completely protected by bushfire shutters that comply with Clause 3.7 and Clause 6.5.1.

OR

(b) Be completely protected externally by screens that comply with Clause 3.6 and Clause 6.5.2.

OR

(c) conform with the following:

(i) Frame material The material for door frames, including fully framed glazed doors, shall be -

(A) Bushfire-resisting timber (see Appendix F). OR

(B) a timber species as specified in Paragraph E2 of Appendix E; OR

(C) Metal. OR

(D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

(ii) Hardware There are no specific requirements for hardwarea at this BAL level.

(iii) Glazing Where doors incorporare glazing, the glazing shall be toughened glass a minimum of 5mm in thickness,

(iv) Seals and weather strips There are no specific requirements for hardwarea at this BAL level.

(v) Screens There are no specific requirements for hardwarea at this BAL level.

(vi) Sliding panels Sliding panels shall be tight-fitting in the frames.

6.5.6 DOORS-VEHICLE ACCESS DOORS (GARAGE DOORS)

The following apply to vehicle access doors:

(a) The lower portion of a vehicle access door that is within 400mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from -

(i) non combustible material; OR

(ii) bushfire-resisting timber (see Appendix F); OR

(iii) fibre- cement sheet, a minimum of 6mm in thickness; OR

(iv) a timber species as specified in Paragraph E1, Appendix E; OR

(iv) a combination of any Items (i), (ii) or (iv) above.

(b) All vehicle access doors doors shall be fitted with suitable weather strips, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.

NOTES:

1 Refer to AS/NZS 4505 for door types.

2 Gaps of door edges or building elements should be protected as per Section 3.

C6.5.6(b) These guide tracks do not provide a direct passage for embers into the building.

(c) Weather strips, draught excluders, draught seals or brushes to protect edge gaps or thresholds shall be manufactured from materials having a flammability index not exceeding five.

(d) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

6.6.1 ROOFS - GENERAL

The following apply to all types of roofs and roofing systems:

(a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.

(b) The roof/wall junction shall be sealed, or otherwise protected in accordance with Clause 3.6.

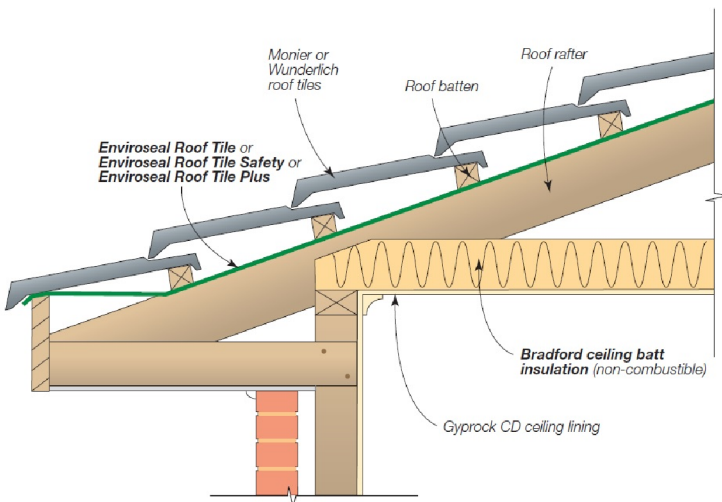
(c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.

(d) Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need to be screened externally

Rafter Spacing	Product
Up to and including 600mm	EnviroSeal™ Roof Tile or EnviroSeal™ Roof Tile Plus
Over 600mm	EnviroSeal™ Roof Tile Safety

Figure 5.1. Tiled Roofs

- Install EnviroSeal roof tile sarking on top of the roof framing and below the roof battens.
- For further fixing details contact CSR technical support.



Application	Product
Sarking	EnviroSeal™ Resiwrap
Foil faced insulation blanket	Bradford Anticon™
Gap seal	Bradford Fireseal BAL 12.5 - 40 Blanket

Figure 5.2.1. Fascia Detail – Metal Roof (BAL12.5-40)

- Install EnviroSeal Resiwrap to the entire roof area over the top of the battens.
- Immediately above the fascia install BAL12.5 – 40 Blanket extending up the roof and over the first batten. Compress with the roof sheeting.
- For further fixing details contact CSR technical support.

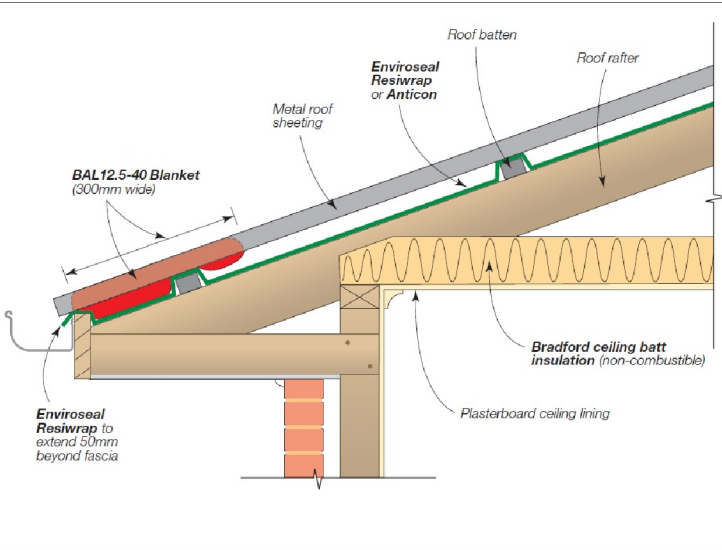


Figure 5.2.2. Valley Detail – Steel Roof (BAL-12.5 – BAL-40)

- Install EnviroSeal Resiwrap to the entire roof area over the top of the battens.
- BAL12.5 – 40 Blanket to be laid over the top of the sarking extending into the valley gutter. Compress with roof sheeting.
- For further fixing details contact CSR technical support.

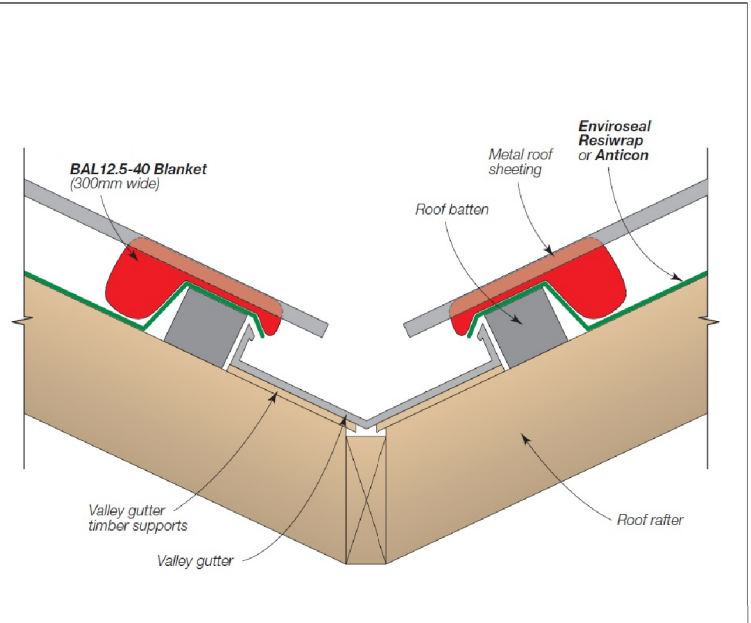


Figure 5.2.3. Barge Detail – Steel Roof (BAL-12.5 – BAL-40)

- Install EnviroSeal Resiwrap to the entire roof area over the top of the battens.
- At barge install BAL12.5 – 40 Blanket and compress with roof sheeting.
- For further fixing details contact CSR technical support.

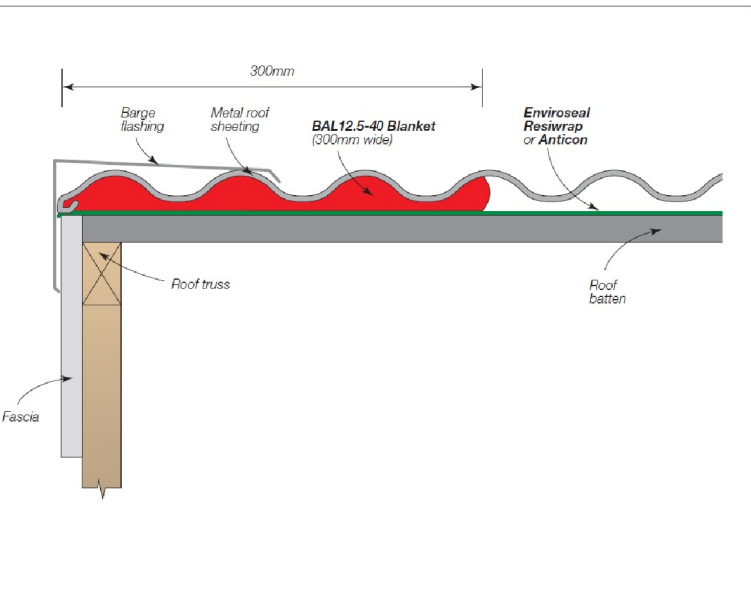
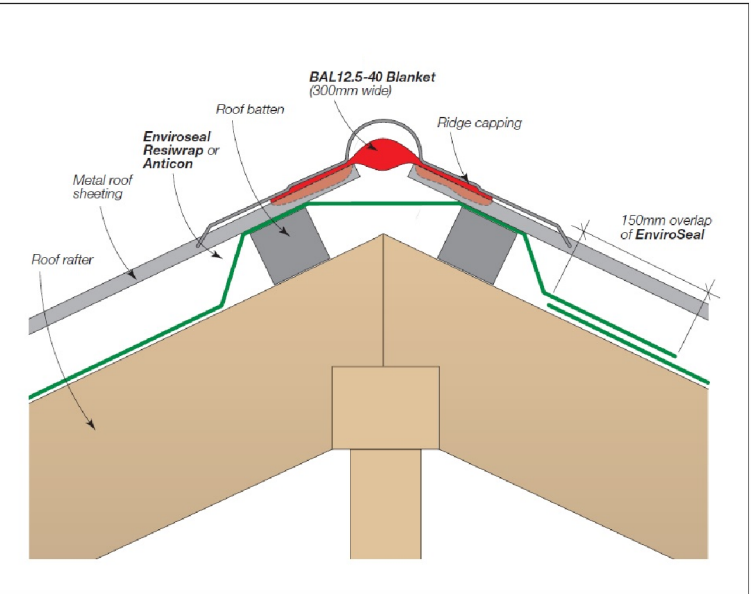


Figure 5.2.4. Hip/Ridge Detail – Steel Roof (BAL-12.5 – BAL-40)

- Install EnviroSeal Resiwrap to the entire roof area over the top of the battens.
- At the ridge/hip lay BAL12.5 – 40 Blanket over the gap between the roof sheets and compress with the ridge capping to the roof profile.
- For further fixing details contact CSR technical support.



Details for the purpose of bushfire proofing only. To be printed in colour.

Images sourced from Bradfords "Bushfire Roofing System", Published 04/11.

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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SPECIFICATION: NEXTGEN COPYRIGHT: © 2025	REVISION		DRAWN		CLIENT: JACK CURTIS & COURTNEY JAYNE ANDREWS ADDRESS: 14 TORONTO DRIVE, SEVEN MILE BEACH TAS 7170 LOT / SECTION / CT: 4 / - / 188363 COUNCIL: CLARENCE	HOUSE DESIGN: LAKEWOOD 30 FACADE DESIGN: NEWHAVEN SHEET TITLE: BAL 12.5 - BAL 40 ROOF DETAILS SHEET No.: 28 / 28	HOUSE CODE: H-WATLKW10SA FACADE CODE: F-WATLKW10NHAVA SCALES:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714402
	1	DRAFT SALE PLAN - CT1	HMI	04/09/2025				
	2	DRAFT SALE PLAN - CT2	HMI	22/09/2025				
	3	PRELIM PLANS - INITIAL ISSUE	KPH	10/10/2025				
	4	PRELIM PLANS - COLOUR UPDATE	NVO	12/11/2025				
	5	PRELIM PLANS - PLAN CORRECTIONS	NVO	19/11/2025				



SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

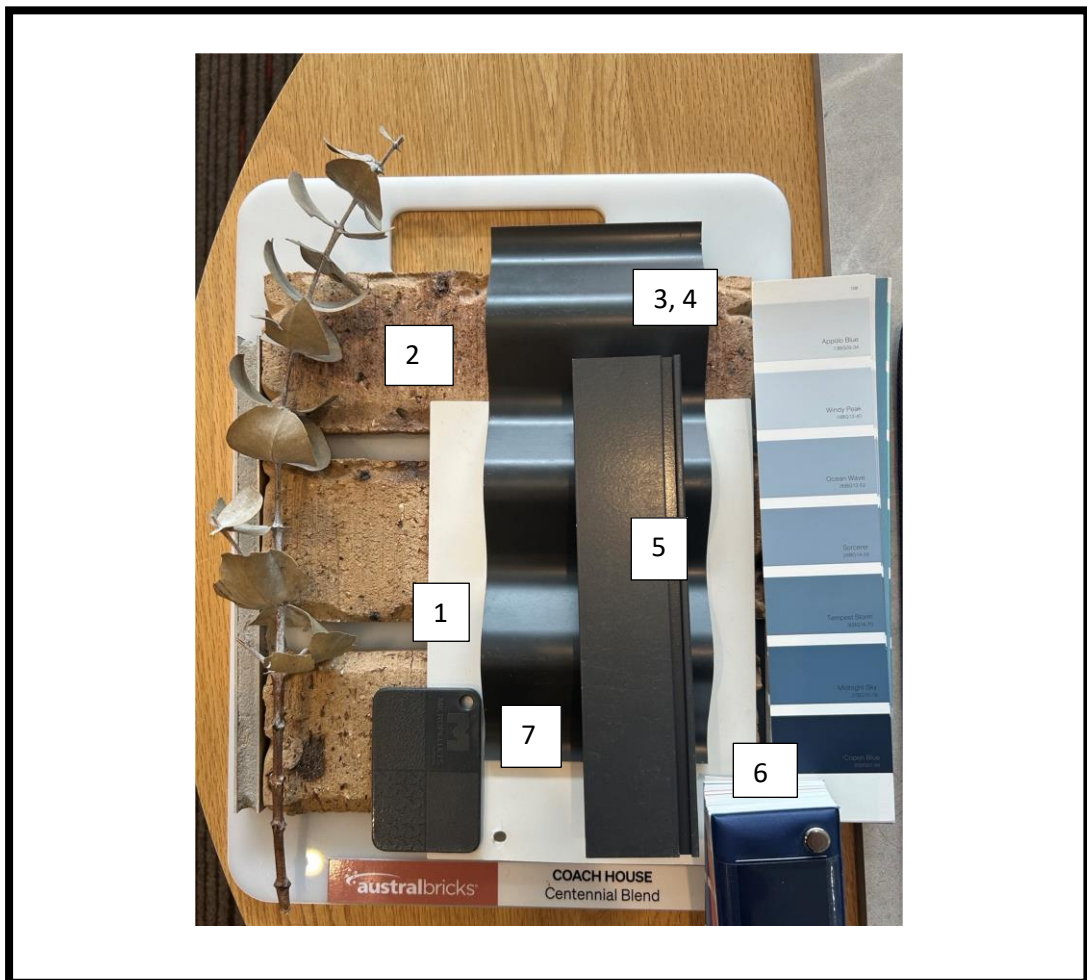
SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



714402 – ANDREWS LOT 4, TORONTO DRIVE, SEVEN MILE BEACH, TAS 7170
EXTERNAL PHOTO

- 1. CLADDING & DAR TRIMS – HAYMES AURA**
- 2. BRICK – AUSTRAL COACH HOUSE CENTENNIAL BLEND – NATURAL MORTAR**
- 3. ROOF, GUTTER & FASCIA – COLORBOND MONUMENT**
- 4. GARAGE – RANCH PROFILE MONUMENT**
- 5. WINDOWS – MONUMENT**
- 6. FRONT DOOR – HAYMES COPEN BLUE**
- 7. POSTS – HAYMES MONUMENT**



714402 – ANDREWS LOT 4, TORONTO DRIVE, SEVEN MILE BEACH, TAS 7170
EXTERNAL ELEVATIONS

1. **CLADDING & DAR TRIMS – HAYMES AURA**
2. **BRICK – AUSTRAL COACH HOUSE CENTENNIAL BLEND – NATURAL MORTAR**
3. **ROOF, GUTTER & FASCIA – COLORBOND MONUMENT**
4. **GARAGE – RANCH PROFILE MONUMENT**
5. **WINDOWS – MONUMENT**
6. **FRONT DOOR – HAYMES COPEN BLUE**
7. **POSTS – HAYMES MONUMENT**



FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

DISPERSIVE SOIL ASSESSMENT

Lot 4 Toronto Drive

Seven Mile Beach

November 2025

Wilson Homes Reference: 714402



GEO-ENVIRONMENTAL

S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

Client:	Wilson Homes
Site Address:	14 Toronto Drive, Seven Mile Beach (was Lot 4)
Date of Inspection:	14/07/2025
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	C. Cooper

Site Details

Certificate of Title (CT):	188363/4
Title Area:	Approx. 1.084 ha
Applicable Planning Overlays:	Bushfire-prone areas, Airport obstacle limitation area
Slope & Aspect:	Approx. 7% NW facing slope in stormwater area
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Jurassic Dolerite
Climate:	Annual rainfall 550mm
Water Connection:	Tank
Sewer Connection:	Unserviced-On-site required

Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Site and published geological information were integrated to complete a detailed soil dispersion assessment with reference to the ‘*Dispersive Soils and Their Management: Technical Reference Manual*’ (DPIWE Tas 2009).

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.20	0.00-0.20	SM	Silty SAND: grey, brown, slightly moist, medium dense
0.20-0.90	0.20-0.80	CH	Silty CLAY: high plasticity, yellow, brown, slightly moist, stiff
0.90-1.00	0.80-1.00	GC	Clayey GRAVEL: yellow, pale brown, slightly moist, very dense, refusal on rock/boulder.

Site Notes

The soil on site has formed from Jurassic dolerite and consists predominantly of clay profiles.

Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

Potential for dispersive soils

Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development area.

Soil sampling and testing

Samples were taken at the site for assessment of dispersion. An Emerson (1967) Dispersion Test was conducted on one representative sample to determine if the soils in the investigation area are dispersive. The soil sample taken from site was found to be **Class 2(1)**.

Date Submitted: 17/07/2025

Result(s):

Sample	Texture	Emerson Class	Description
BH1 – 0.4m	Silty CLAY	Class 2(1)	Some dispersion (slight milkiness, immediately adjacent to aggregate)

Management Recommendations

Several site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
 - Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
 - If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
 - The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1kg/m² of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum
- All stormwater runoff from the dwelling to be directed to mains connection or an on-site system which includes provisions for potential soil dispersion. All drains are to be adequately treated with gypsum.
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required.

Conclusions

There is an **acceptably low** risk associated with dispersive soils and potential erosion on the site provided the recommendations in this report are adopted. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication '*Dispersive Soils and Their Management: Technical Reference Manual*' (DPIWE Tas 2009).

A handwritten signature in blue ink, consisting of a stylized 'J' and 'C' followed by a horizontal line.

Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

Director

Disclaimer

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by a third party.

ON-SITE WASTEWATER ASSESSMENT

Lot 4 Toronto Drive

Seven Mile Beach

November 2025

Wilson Homes Reference: 714402



GEO-ENVIRONMENTAL

S O L U T I O N S

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Inspected by:	C. Cooper

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Certificate of Title (CT):	188363/4
Title Area:	Approx. 1.084 ha
Applicable Planning Overlays:	Bushfire-prone areas, Airport obstacle limitation area
Slope & Aspect:	Approx. 7% NW facing slope in wastewater area
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Jurassic Dolerite
Climate:	Annual rainfall 550mm
Water Connection:	Tank
Sewer Connection:	Unserviced-On-site required
Testing and Classification:	AS1547:2012

Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted to assess the capacity of the materials for onsite wastewater disposal according to AS1547:2012.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.20	0.00-0.20	SM	Silty SAND: grey, brown, slightly moist, medium dense
0.20-0.90	0.20-0.80	CH	Silty CLAY: high plasticity, yellow, brown, slightly moist, stiff
0.90-1.00	0.80-1.00	GC	Clayey GRAVEL: yellow, pale brown, slightly moist, very dense, refusal on rock/boulder.

Site Notes

The soils on site are developing from Jurassic dolerite. The soil consists of predominantly clay profiles which are moderately plastic and are likely to have low permeability for onsite wastewater disposal.

Wastewater Classification & Recommendations

According to AS1547-2012 (on-site waste-water management) the natural soil is classified as **Light Clay (Category 5)**. The site is unsuited to the installation of a primary treatment system or inground absorption due to the slowly draining subsoils and the tendency of soils in the area to be dispersive. It is therefore proposed to install an Aerated Wastewater Treatment System (AWTS) to provide secondary treatment of effluent prior to land application via subsurface irrigation. A Design Irrigation Rate (DIR) of 3mm/day has been assigned for this site.

The proposed dwelling has a calculated maximum wastewater output of 1050L/day. This is based on a mains water supply and a maximum occupancy of 7 people (150L/day/person). With a daily wastewater loading of 1050L/day and a DIR of 3mm/day, an irrigation area of at least 350m² is required. This is best installed as subsurface irrigation within the natural sandy topsoils.

Samples were taken at the site for assessment of dispersion. An Emerson (1967) Dispersion test was conducted to determine if these samples were dispersive. The subsoil samples taken from site showed slight signs of dispersion and were found to be Class 2:1. It is recommended that gypsum is incorporated into the base of the irrigation area at a rate of 1kg/5m² to mitigate potential soil dispersion. For all calculations please refer to the Trench summary reports.

A surface diversion drain will be required upslope of the irrigation area and the area excluded from traffic or any future building works. A 100% reserve area should be set aside for future wastewater requirements. Due to the large area available on site, no formal reserve area has been assigned.

The following setback distances are required to be consistent with the Building Act 2016:

Upslope or level buildings:	3m
Downslope buildings:	3m
Upslope or level boundaries:	1.5m
Downslope boundaries:	5.5m
Downslope surface water:	23m

Demonstration of the system being consistent with Building Act 2016 Guidelines for On-site Wastewater Management Systems is outlined in the attached table.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the soil and/or wastewater conditions as outlined in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

Director

Disclaimer

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The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

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GES

Land suitability and system sizing for on-site wastewater management

Trench 3.0 (Australian Institute of Environmental Health)

Assessment Report

Site assessment for on-site waste water disposal

Assessment for Wilson Homes

Assess. Date

4-Nov-25

Ref. No.

Assessed site(s) 14 Toronto Drive, Seven Mile Beach

Site(s) inspected

14-Jul-25

Local authority Clarence

Assessed by

JP Cumming

This report summarises wastewater volumes, climatic inputs for the site, soil characteristics and system sizing and design issues. Site Capability and Environmental sensitivity issues are reported separately, where 'Alert' columns flag factors with high (A) or very high (AA) limitations which probably require special consideration for system design(s). Blank spaces on this page indicate data have not been entered into TRENCH.

Wastewater Characteristics

Wastewater volume (L/day) used for this assessment = 1,050 (using a method independent of the no. of bedrooms)

Septic tank wastewater volume (L/day) = 350

Sullage volume (L/day) = 700

Total nitrogen (kg/year) generated by wastewater = 3.2

Total phosphorus (kg/year) generated by wastewater = 2.2

Climatic assumptions for site

(Evapotranspiration calculated using the crop factor method)

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Mean rainfall (mm)	41	36	36	45	36	29	46	47	40	48	44	56
Adopted rainfall (R, mm)	41	36	36	45	36	29	46	47	40	48	44	56
Retained rain (Rr, mm)	37	32	32	41	32	26	41	42	36	43	40	50
Max. daily temp. (deg. C)												
Evapotrans (ET, mm)	130	110	91	63	42	29	32	42	63	84	105	126
Evapotr. less rain (mm)	93	78	59	23	10	3	-10	0	27	41	65	76

Annual evapotranspiration less retained rain (mm) = 463

Soil characteristics

Texture = Light CLAY

Category = 5

Thick. (m) = 1

Adopted permeability (m/day) = 0.12

Adopted LTAR (L/sq m/day) = 3

Min depth (m) to water = 3

Proposed disposal and treatment methods

Proportion of wastewater to be retained on site: All wastewater will be disposed of on the site

The preferred method of on-site primary treatment: In a package treatment plant

The preferred method of on-site secondary treatment: In-ground

The preferred type of in-ground secondary treatment: None

The preferred type of above-ground secondary treatment: None

Site modifications or specific designs: Not needed

Suggested dimensions for on-site secondary treatment system

Total length (m) = 35

Width (m) = 10

Depth (m) = 0.2

Total disposal area (sq m) required = 350

comprising a Primary Area (sq m) of: 350

and a Secondary (backup) Area (sq m) of:

Sufficient area is available on site

Comments

Based on a daily wastewater loading of 1050L/day and a DIR of 3mm/day, an irrigation area of 350m² is required. Therefore the system should have the capacity to cope with predicted climatic and loading events.

GES

Land suitability and system sizing for on-site wastewater management Trench 3.0 (Australian Institute of Environmental Health)

Site Capability Report Site assessment for on-site waste water disposal

Assessment for Wilson Homes

Assess. Date

4-Nov-25

Ref. No.

Assessed site(s) 14 Toronto Drive, Seven Mile Beach

Site(s) inspected

14-Jul-25

Local authority Clarence

Assessed by

JP Cumming

This report summarises data relating to the physical capability of the assessed site(s) to accept wastewater. Environmental sensitivity and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) site limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Expected design area	sq m	5,000	V. high	Very low		Other factors lessen impact
	Density of disposal systems	/sq km	10	Mod.	Very low		
	Slope angle	degrees	4	High	Very low		
	Slope form	Straight simple		High	Low		
	Surface drainage	Imperfect		High	Moderate		
	Flood potential	Site floods <1:100 yrs		High	Very low		
	Heavy rain events	Infrequent		High	Moderate		
	Aspect (Southern hemi.)	Faces NE or NW		V. high	Low		
	Frequency of strong winds	Common		High	Low		
	Wastewater volume	L/day	1,050	High	High	Moderate	
	SAR of septic tank effluent		1.7	High	Low		
	SAR of sullage		2.6	High	Moderate		
	Soil thickness	m	1.0	V. high	Low		
A	Depth to bedrock	m	1.0	V. high	High		
	Surface rock outcrop	%	0	V. high	Very low		
	Cobbles in soil	%	0	V. high	Very low		
	Soil pH		5.5	High	Low		
	Soil bulk density	gm/cub. cm	1.4	High	Very low		
AA	Soil dispersion	Emerson No.	2	V. high	Very high		
	Adopted permeability	m/day	0.12	Mod.	Very low	Moderate	
A	Long Term Accept. Rate	L/day/sq m	3	High	High		

Comments

The site has the capability to accept onsite wastewater provided that secondary treatment is applied. Gypsum is required to mitigate soil dispersion.

GES

Land suitability and system sizing for on-site wastewater management Trench 3.0 (Australian Institute of Environmental Health)

Environmental Sensitivity Report Site assessment for on-site waste water disposal

Assessment for Wilson Homes

Assess. Date

4-Nov-25

Assessed site(s) 14 Toronto Drive, Seven Mile Beach

Ref. No.

Site(s) inspected

Local authority Clarence

Assessed by

14-Jul-25
JP Cumming

This report summarises data relating to the environmental sensitivity of the assessed site(s) in relation to applied wastewater. Physical capability and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Cation exchange capacity	mmol/100g	90	High	Low		Factor not assessed
	Phos. adsorp. capacity	kg/cub m	0.7	High	Moderate		
	Annual rainfall excess	mm	-463	High	Very low		
	Min. depth to water table	m	3	High	Very low		
	Annual nutrient load	kg	5.4	High	Low		
	G'water environ. value	Agric non-sensit		V. high	Low		
	Min. separation dist. required	m	2	High	Very low		
	Risk to adjacent bores						
	Surf. water env. value	Agric non-sensit		V. high	Low		
	Dist. to nearest surface water	m	360	V. high	Low	Moderate	
	Dist. to nearest other feature	m	85	V. high	Low	Moderate	
	Risk of slope instability		Very low	V. high	Very low		
	Distance to landslip	m	500	V. high	Very low		

Comments

There is a low environmental risk associated with wastewater disposal on site provided that secondary treatment is applied and setbacks are observed.

Demonstration of wastewater system being consistent with *Building Act 2016 Guidelines for On-site Wastewater*

Acceptable Solutions	Performance Criteria	Compliance
A1 Horizontal separation distance from a building to a land application area must comply with one of the following: a) be no less than 6m; or b) be no less than: (i) 3m from an upslope building or level building; (ii) If primary treated effluent to be no less than 4m plus 1m for every degree of average gradient from a downslope building; (iii) If secondary treated effluent and subsurface application, no less than 2m plus 0.25m for every degree of average gradient from a downslope building.	P1 a) The land application area is located so that (i) the risk of wastewater reducing the bearing capacity of a building's foundations is acceptably low.; and (ii) is setback a sufficient distance from a downslope excavation around or under a building to prevent inadequately treated wastewater seeping out of that excavation	Consistent with A1 (b) (i) Land application area will be located with a minimum separation distance of 3m from an upslope or level building. Consistent with A1 (b) (iii) Land application area will be located with a minimum separation distance of 3m of downslope building.
A2 Horizontal separation distance from downslope surface water to a land application area must comply with (a) or (b) (a) be no less than 100m; or (b) be no less than the following: (i) if primary treated effluent 15m plus 7m for every degree of average gradient to downslope surface water; or (ii) if secondary treated effluent and subsurface application, 15m plus 2m for every degree of average gradient to down slope surface water.	P2 Horizontal separation distance from downslope surface water to a land application area must comply with all of the following: a) Setbacks must be consistent with AS/NZS 1547 Appendix R; b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.	Consistent with A2 (b) (ii) Land application area will be located with a minimum separation distance of 23m of downslope surface water.

A3 Horizontal separation distance from a property boundary to a land application area must comply with either of the following: (a) be no less than 40m from a property boundary; or (b) be no less than: (i) 1.5m from an upslope or level property boundary; and (ii) If primary treated effluent 2m for every degree of average gradient from a downslope property boundary; or (iii) If secondary treated effluent and subsurface application, 1.5m plus 1m for every degree of average gradient from a downslope property boundary.	P3 Horizontal separation distance from a property boundary to a land application area must comply with all of the following: (a) Setback must be consistent with AS/NZS 1547 Appendix R; and (b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.	Consistent with A3 (b) (i) Land application area will be located with a minimum separation distance of 1.5m from an upslope or level property boundary Consistent with A3 (b) (iii) Land application area will be located with a minimum separation distance of 5.5m of downslope property boundary.
A4 Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must be no less than 50m and not be within the zone of influence of the bore whether up or down gradient.	P4 Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must comply with all of the following: (a) Setback must be consistent with AS/NZS 1547 Appendix R; and (b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 demonstrates that the risk is acceptable	No bore or well identified within 50m

A5 Vertical separation distance between groundwater and a land application area must be no less than: (a) 1.5m if primary treated effluent; or (b) 0.6m if secondary treated effluent	P5 Vertical separation distance between groundwater and a land application area must comply with the following: (a) Setback must be consistent with AS/NZS 1547 Appendix R; and (b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 that demonstrates that the risk is acceptable	No groundwater encountered.
A6 Vertical separation distance between a limiting layer and a land application area must be no less than: (a) 1.5m if primary treated effluent; or (b) 0.5m if secondary treated effluent	P6 Vertical setback must be consistent with AS/NZS1547 Appendix R.	Consistent with A6 (b)
A7 nil	P7 A wastewater treatment unit must be located a sufficient distance from buildings or neighbouring properties so that emissions (odour, noise or aerosols) from the unit do not create an environmental nuisance to the residents of those properties	Consistent with P7.

AS1547:2012 – Loading Certificate – AWTS Design

This loading certificate sets out the design criteria and the limitations associated with use of the system.

Site Address: 14 Toronto Drive, Seven Mile Beach

System Capacity: 7 persons @ 150L/person/day

Summary of Design Criteria

DIR: 3mm/day.

Irrigation area: 350m²

Reserve area location /use: Not assigned – more than 100% available

Water saving features fitted: Standard fixtures

Allowable variation from design flows: 1 event @ 200% daily loading per quarter

Typical loading change consequences: Expected to be minimal due to use of AWTS and large land area

Overloading consequences: Continued overloading may cause hydraulic failure of the irrigation area and require upgrading/extension of the area. Risk considered acceptable due to monitoring through quarterly maintenance reports.

Underloading consequences: Lower than expected flows will have minimal consequences on system operation unless the house has long periods of non occupation. Under such circumstances additional maintenance of the system may be required. Long term under loading of the system may also result in vegetation die off in the irrigation areas and additional watering may be required. Risk considered acceptable due to monitoring through quarterly maintenance reports.

Lack of maintenance / monitoring consequences: Issues of underloading/overloading and condition of the irrigation area require monitoring and maintenance, if not completed system failure may result in unacceptable health and environmental risks. Monitoring and regulation by the permit authority required to ensure compliance.

Other considerations: Owners/occupiers must be made aware of the operational requirements and limitations of the system by the installer/maintenance contractor.

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: Owner name
 Address
 Suburb/postcode

Designer details:

Name: Category:
 Business name: Phone No:
 Business address:
 Fax No:
 Licence No: Email address:

Details of the proposed work:

Owner/Applicant Designer's project reference No.
Address: Lot No:

Type of work: Building work ☐ Plumbing work ☒ (X all applicable)

Description of work:

On-site wastewater management system - design

(new building / alteration / addition / repair / removal / re-erection
water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	☐ Building design	Architect or Building Designer
	☐ Structural design	Engineer or Civil Designer
	☐ Fire Safety design	Fire Engineer
	☐ Civil design	Civil Engineer or Civil Designer
	☒ Hydraulic design	Building Services Designer
	☐ Fire service design	Building Services Designer
	☐ Electrical design	Building Services Designer
	☐ Mechanical design	Building Service Designer
	☐ Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	☐ Other (specify)	

Deemed-to-Satisfy: ☒ Performance Solution: ☐ (X the appropriate box)

Other details:

AWTS to subsurface irrigation.

Design documents provided:

The following documents are provided with this Certificate –
 Document description:

Drawing numbers:	Prepared by: Geo-Environmental Solutions	Date: Nov-25
Schedules:	Prepared by:	Date:
Specifications:	Prepared by: Geo-Environmental Solutions	Date: Nov-25
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by: Geo-Environmental Solutions	Date: Nov-25

Standards, codes or guidelines relied on in design process:	
AS1547:2012 On-site domestic wastewater management.	
AS3500 (Parts 0-5)-2013 Plumbing and drainage set.	

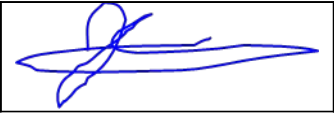
Any other relevant documentation:	
Onsite Wastewater Assessment - 14 Toronto Drive Seven Mile Beach-714402 - Nov-25	
Onsite Wastewater Assessment - 14 Toronto Drive Seven Mile Beach-714402 - Nov-25	

Attribution as designer:	
---------------------------------	--

I John-Paul Cumming, am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	John-Paul Cumming		04/11/2025
Licence No:	CC774A		

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.

I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

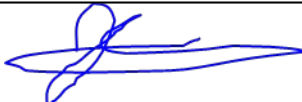
- ☒ The works will not increase the demand for water supplied by TasWater
- ☒ The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- ☒ The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- ☒ The works will not damage or interfere with TasWater's works
- ☒ The works will not adversely affect TasWater's operations
- ☒ The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- ☒ I have checked the LISTMap to confirm the location of TasWater infrastructure
- ☒ If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

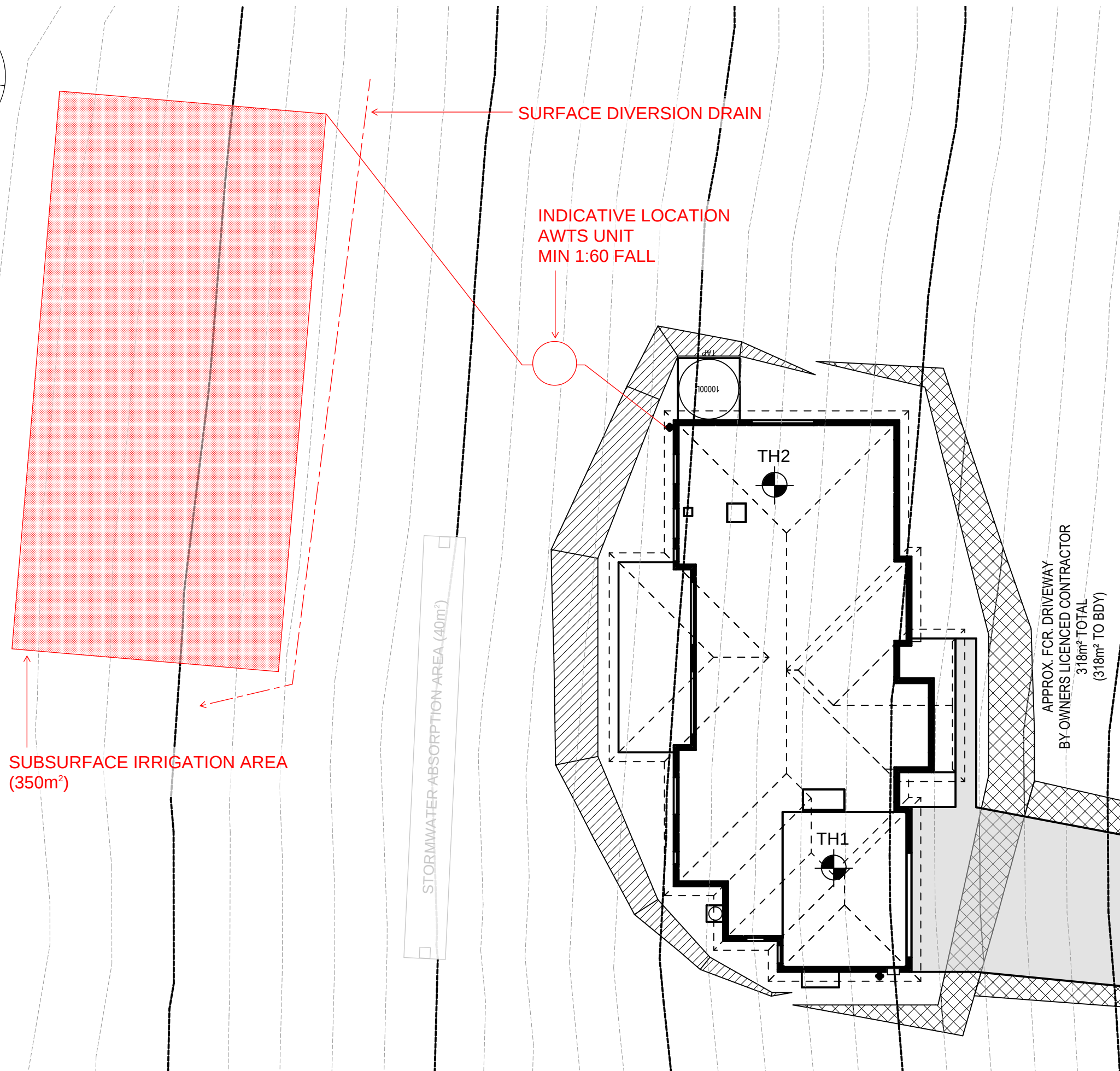
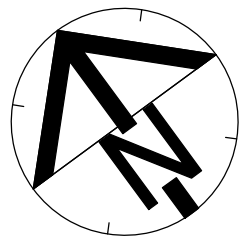
I John-Paul Cumming..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at:

www.taswater.com.au

	Name: (print)	Signed	Date
Designer:	John-Paul Cumming		04/11/2025





GEO-ENVIRONMENTAL

SOLUTIONS

29 Kirksway Place, Battery Point
T| 62231839 E| office@geosolutions.net.au

Wastewater system:

AWTS Unit with venting according to NCC
Vol 3 Tas C2D6

Surface diversion drain

Subsurface irrigation area (350m²)
e.g., 35m x 10m x 0.2m

Gypsum @ 1kg/m²

Min 3m from upslope or level buildings
Min 3m from downslope buildings
Min 1.5m from upslope or level boundaries
Min 5.5m from downslope boundary
Min 23m from downslope surface water

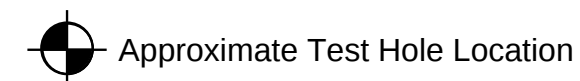
Refer to GES report

Dr. John Paul Cumming
Building Services Designer-
Hydraulic
CCC774A



29 Kirksway Place Battery Point
T| 62231839 E| office@geosolutions.net.au

04/11/2025



Do not scale from these drawings.
Dimensions to take precedence
over scale.

Wilson Homes
14 Toronto Drive
SEVEN MILE BEACH 7170

C.T.: 188363/4
PID: 9056621

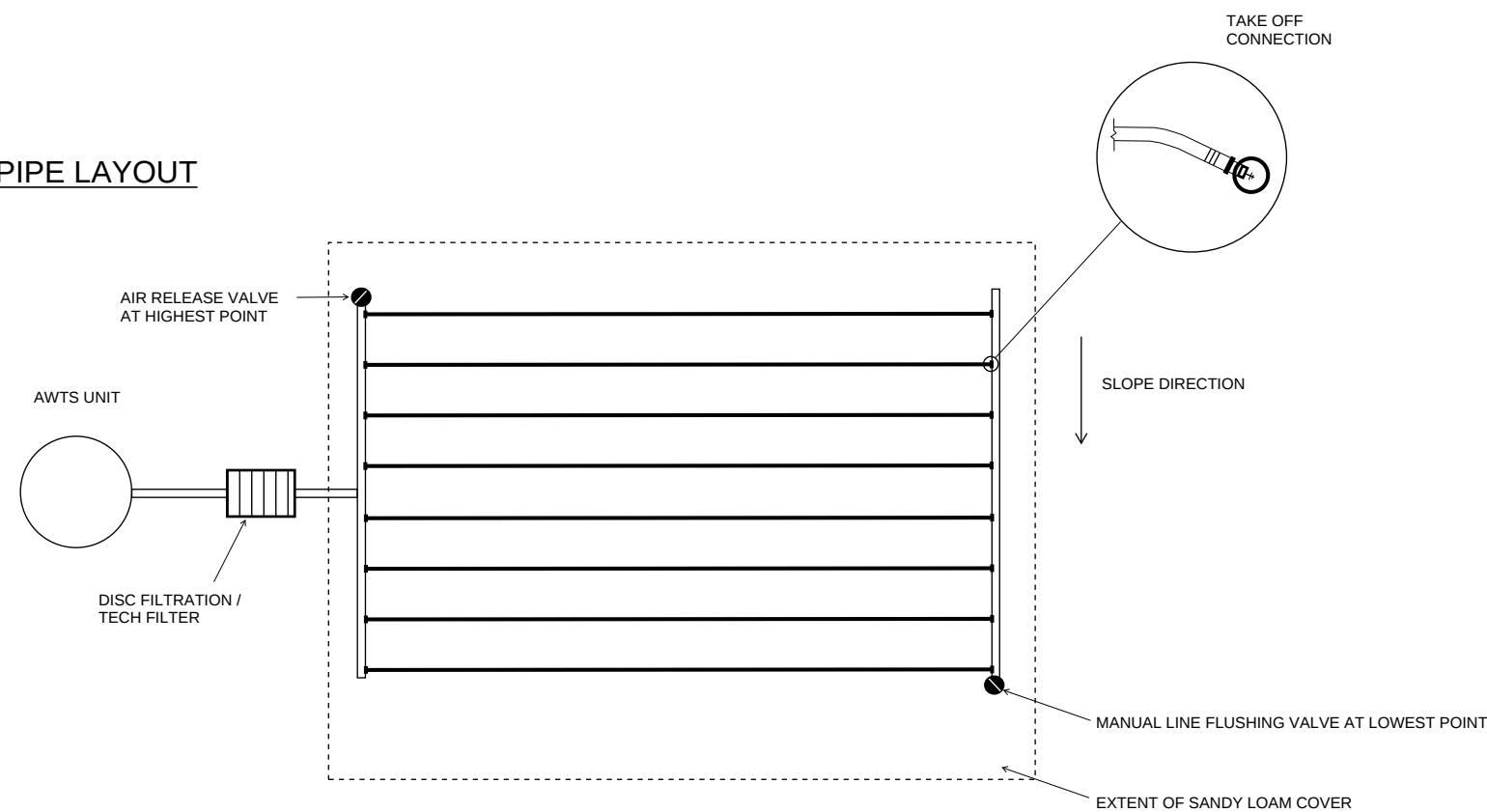
Date: 04/11/2025

On-Site Wastewater Management Plan

1:200 @ A3

Sheet 1 of 1

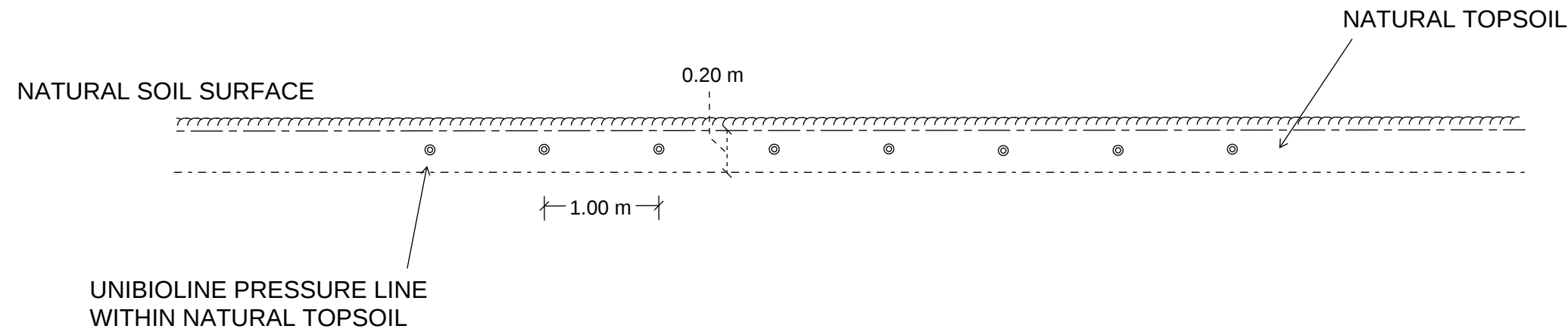
BED PLAN PIPE LAYOUT



APPLICATION AREA NOTES

1. APPLICABLE FOR SLOPE ANGLES UP TO 10%
2. BASE OF APPLICATION AREA TO BE SCARIFIED TO BREAK SURFACE LAYER. ALTERNATIVELY LINES CAN BE RIPPED INTO TOPSOIL WITH SUITABLE TRACTOR AND PIPE LAYER. SMEARING AND COMPACTION TO BE AVOIDED
3. IRRIGATION LINES TO BE INSTALLED INTO NATURAL SANDY TOPSOIL MIN 100mm DEPTH
4. DEPENDANT ON TREATMENT SYSTEM A 200µm FILTER MAY BE INSTALLED AT THE PUMPING CHAMBER OUTLET, BUT A 100-120µm INLINE DISC FILTER SHOULD BE INSTALLED PRIOR TO DISCHARGE INTO THE IRRIGATION AREA.
5. A VACUUM BREAKER VALVE MUST BE INSTALLED AT THE HIGHEST POINT OF THE IRRIGATION AREA IN A MARKED AND PROTECTED VALVE CONTROL BOX.
6. A FLUSH LINE MUST BE INSTALLED AT THE LOWEST POINT OF THE IRRIGATION AREA
7. THE MINIMUM IRRIGATION PUMPING CAPACITY SHOULD BE EQUIVALENT TO 120 kpa (i.e. 12m OF HEAD) AT THE HIGHEST POINT OF THE IRRIGATION AREA.
8. CUT-OFF DIVERSION DRAIN UPSLOPE AS REQUIRED
9. ALL WORKS TO COMPLY WITH AS3500 AND TASMANIAN PLUMBING CODE

APPLICATION AREA CROSS-SECTION



Do not scale from these drawings.
Dimensions to take precedence
over scale.

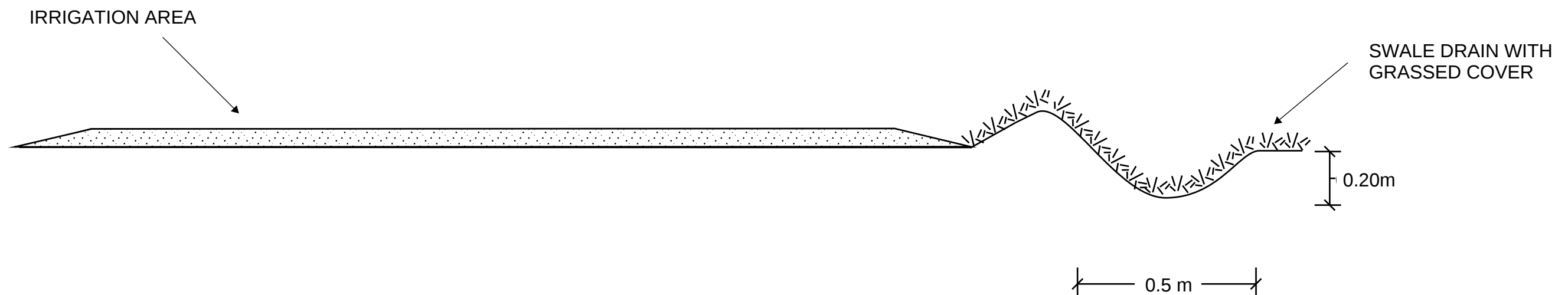
CROSS-SECTION
SUBSURFACE APPLICATION SLOPES <10%

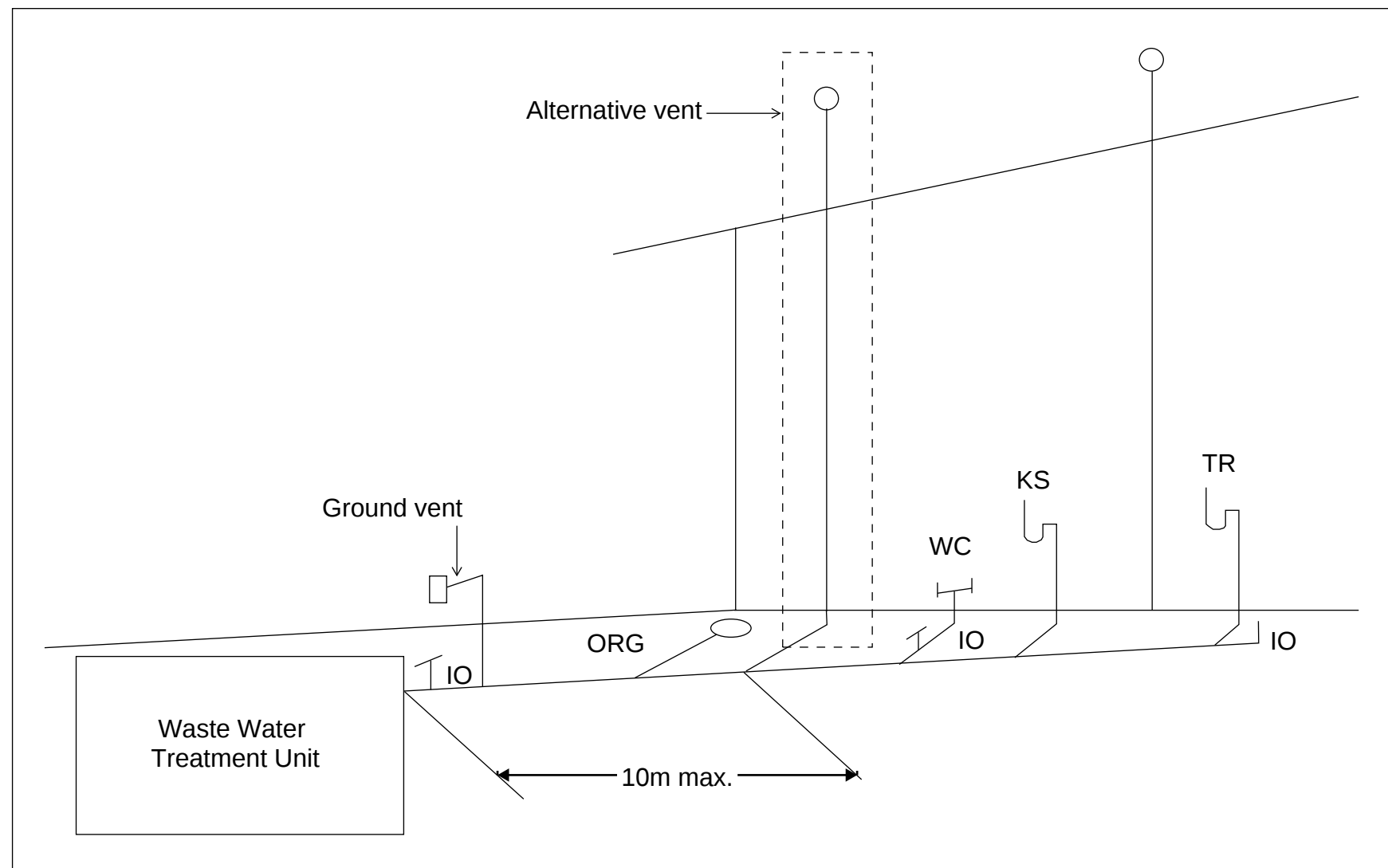
Sheet 1 of 1
Drawn by: SR

TYPICAL GRASSED SWALE DRAIN CROSS-SECTION

SWALE DRAIN TO BE MIN 0.5M WIDE BY MIN 0.20M DEEP

GRASS COVER TO BE MAINTAINED TO SLOW WATER FLOW AND MINIMSE EROSION





Tas Figure C2D6 Alternative Venting Arrangements

Vents must terminate in accordance with AS/NZS 3500.2

Alternative venting to be used by extending a vent to terminate as if an upstream vent, with the vent connection between the last sanitary fixture or sanitary appliance and the on-site wastewater management system. Use of a ground vent is not recommended

Inspection openings must be located at the inlet to an on-site wastewater management system treatment unit and the point of connection to the land application system and must terminate as close as practicable to the underside of an approved inspection opening cover installed at the finished surface level

Access openings providing access for desludging or maintenance of on-site wastewater management system treatment units must terminate at or above finished surface level

ON-SITE STORMWATER ASSESSMENT

Lot 4 Toronto Drive

Seven Mile Beach

November 2025

Wilson Homes Reference: 714402



GEO-ENVIRONMENTAL

S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

Client:	Wilson Homes
Site Address:	14 Toronto Drive, Seven Mile Beach (was Lot 4)
Date of Inspection:	14/07/2025
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	C. Cooper

Site Details

Certificate of Title (CT):	188363/4
Title Area:	Approx. 1.084 ha
Applicable Planning Overlays:	Bushfire-prone areas, Airport obstacle limitation area
Slope & Aspect:	Approx. 7% NW facing slope in stormwater area
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Jurassic Dolerite
Climate:	Annual rainfall 550mm
Water Connection:	Tank
Sewer Connection:	Unserviced-On-site required
Testing and Classification:	Onsite stormwater

Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.20	0.00-0.20	SM	Silty SAND: grey, brown, slightly moist, medium dense
0.20-0.90	0.20-0.80	CH	Silty CLAY: high plasticity, yellow, brown, slightly moist, stiff
0.90-1.00	0.80-1.00	GC	Clayey GRAVEL: yellow, pale brown, slightly moist, very dense, refusal on rock/boulder.

Soil Conditions

The soils on site are developing from Jurassic dolerite and consist of predominantly clay profiles which have a low estimated permeability in the order of 0.06-0.18m/day.

GES have identified the following at the site:

- The site has a grade of approx. 7% and presents a low risk to slope stability and landslip.
- There are proposals for cuts and change of grade which may impact any proposed onsite stormwater absorption.
- The soils on site have been identified as comprised of predominantly clay profiles underlain by clayey gravels.
- No evidence of a water table was observed at the time of the investigation.
- There is a low risk of the natural soils being impacted by contamination.
- Auger refusal occurred at a depth of 1.00m on assumed rock or boulder.

Soil Dispersion

The soils on site were found to be slightly dispersive (Emerson class 2.1)

Existing Conditions and Assumptions

The site covers an area of approximately 1ha with a total proposed impervious area of approx. 688m² comprised of approx. 370m² of roof area and 318m² of gravel driveway.

There is no public stormwater system that the property can connect to, therefore it is recommended that overflow from the proposed water tank and excess driveway flows be managed on site. It is proposed to utilise a conventional underground drainage system comprised of grated sumps and PVC pipes, coupled with tank detention and soakage trench elements.

The stormwater management report is prepared in accordance with the design criteria listed below:

- The stormwater drainage system is designed using Bureau of Meteorology (BOM) published rainfall Intensity Frequency Duration (IFD) data as a minor / major system to accommodate the 5% AEP / 20 min storm events.
- The flow rate of stormwater leaving the site shall be designed so that it does not exceed the pre-developed flow rate for both the minor and major rain events.
- The total site discharges are modelled as described in *Storm Drainage Design in Small Urban Catchments*, a handbook for Australian practice by *Australian Rainfall and Runoff (ARR2019)*, Book 9 – Runoff in Urban Areas.

Detention Calculations

Detention calculations are provided in Appendix A.

Summary and Conclusions

- Detention design to be adopted as per design and documentation.
- The designed solution complies with the performance solution design check carried out.
- The 40m² base (20m x 2m x 0.6m) trench is designed over a 20-minute storm duration for the proposed development.
- A minimum detention volume of 3000L should be incorporated into the proposed rainwater tank.
- Gypsum should be applied to the base of absorption trench at a rate of 1kg/m² to mitigate potential soil dispersion.
- DN100 slotted PVC pipe with geotextile covering on top of aggregate to be installed within the soakage trench

It is also recommended that regular inspection and maintenance is conducted to ensure the stormwater system is operating without obstruction. A schematic of recommended checks is attached.

GES Stormwater Maintenance Plan Checklist

Indicative frequency	Inspection and criteria	Maintenance activities (where required)
Annual	Check whether any tree branches overhang the roof or are likely to grow to overhang the roof	If safe and where permitted, consider pruning back any overhanging branches
	Check that access covers to storage tanks are closed	Secure any open access covers to prevent risk of entry
	Check that screens on inlets, overflows and other openings do not have holes and are securely fastened	Repair any defective screens to keep out mosquitoes
	Inspect tank water for presence of rats, birds, frogs, lizards or other vermin or insects	Remove any infestations, identify point of entry and close vermin and insect-proof mesh
	Inspect tank water for presence of mosquito larvae (inspect more frequently in sub-tropical and tropical northern Australia, based on local requirements)	Identify point of entry and close with insect-proof mesh with holes no greater than 1.6 mm in diameter
	Inspect gutters for leaf accumulation and ponding	Clean leaves from gutters-remove more regularly if required. If water is ponding, repair gutter to ensure water flows to downpipe
	Check signage at external roof water taps and that any removable handle taps are being properly used	Replace or repair the missing or damaged signage and fittings
	Check plumbing and pump connections are watertight/without leakage	Repair any leaks as necessary
	Check suction strainers, in-line strainers and pump location for debris	Clean suction strainers, in-line strainers or debris from pump location
	Check pump installation is adequate for reliable ongoing operation	Modify and repair as required
	Check first flush diverter, if present	Clean first flush diverter, repair and replace if necessary
	Check health of absorption trench area and surrounding grass or plants	Investigate any adverse impacts observed that might be due to irrigation
	Check condition of roof and coatings	Investigate and resolve any apparent changes to roof condition, such as loss of material coatings

Triennial	Drain, clean out and check the condition of the tank walls and roof to ensure no holes have arisen due to tank deterioration	Repair any tank defects
	Check sediment levels in the tank	Organise a suitable contractor to remove accumulated sediment if levels are approaching those that may block tank outlets
	Undertake a systematic review of operational control of risks to the system	Identify the reason for any problems during inspections and take actions to prevent failures occurring in future
After 20 years and then every 5 years	Monitor the effectiveness of the stormwater absorption area to assess for any clogging due to algal growth, or blocking due to tree roots/grass growth/trench failure.	Clean or replace clogged equipment
Ongoing	Inspect and follow up on any complaints or concerns raised that could indicate problems with the system	Repair or replace any problems that are notified

APPENDIX A: STORMWATER DETENTION CALCULATIONS

STORAGE TRENCH							
Hydrology							
Total Catchment Area		688	m ²				
Runoff Coefficient		0.769					
Annular Recurrence Interval (ARI)		20	yr				
Ground Conditions							
Hydraulic conductivity (K)		0.180	m/day				
		0.130	mm/min				
Adjusted Rate (15% clogging factor)		0.111	mm/min				
Trench Design							
Length		20	m				
Width		2	m				
Depth		0.6	m				
Infiltration Area		40	m ²				
Porosity		0.35	%				
Trench Storage		8.4	m ³				
		8400	L				
Detention tank data				Final Check			
Tank Storage		3	m ³	Criteria	Requirement	Design	Check
Tank Underflow		2.533	L/s	Total Detention needed	6910	11400	OK
Tank Underflow		151.98	L/min	Trench Capacity underflow for 5% AEP 20-minute storm	7742	8400	OK
Total Available storage		11.4	m ³				
		11400	L				

STORM CHECK					
Storm Duration	Intensity	Inflow Volume	Outflow Volume	Required Storage	Emptying time
	(mm/hr)	(m ³)	(L)	(L)	(hr)
1 min	138	1217	4	1212	4.57
2 min	108	1905	9	1896	7.15
3 min	97.6	2582	13	2569	9.69
4 min	90.4	3189	18	3171	11.96
5 min	84.4	3721	22	3699	13.95
10 min	64.1	5652	44	5608	21.15
15 min	52.2	6904	66	6838	25.78
20 min	44.4	7830	88	7742	29.19
25 min	38.9	8575	111	8465	31.92
30 min	34.8	9206	133	9073	34.21
45 min	27	10714	199	10515	39.65
1 hour	22.5	11904	265	11639	43.89
1.5 hour	17.6	13968	398	13570	51.17
2 hour	14.8	15661	530	15130	57.05
3 hour	11.8	18729	796	17934	67.62
4.5 hour	9.47	22546	1193	21353	80.52
6 hour	8.16	25903	1591	24312	91.67
9 hour	6.65	31665	2387	29278	110.40
12 hour	5.74	36442	3182	33260	125.42
18 hour	4.61	43902	4774	39129	147.54
24 hour	3.9	49521	6365	43156	162.73
30 hour	3.4	53965	7956	46009	173.49
36 hour	3.01	57330	9547	47783	180.18
48 hour	2.45	62219	12730	49489	186.61
72 hour	1.76	67044	19094	47950	180.81
			Full volume	8400	186.61
Notes:					
Inflow volume calculated using Equation 10.1 (WSUD Guidelines: Chapter 10)					
Outflow volume calculated using Equation 10.2 (WSUD Guidelines: Chapter 10)					
Required storage and emptying time is left blank when outflow volume exceeds inflow volume					

Location

Label: 14 Toronto Drive, Seven Mile Beach
Easting: 540151
Northing: 5253916
Zone: 55
Latitude: Nearest grid cell: 42.8625 (S)
Longitude: Nearest grid cell: 147.4875 (E)



IFD Design Rainfall Intensity (mm/h)

Issued: 04 November 2025

Rainfall intensity for Durations, Exceedance per Year (EY), and Annual Exceedance Probabilities (AEP).
[FAQ for New ARR probability terminology](#)

Table

Chart

Unit: **mm/h** ▼

Duration	Annual Exceedance Probability (AEP)						
	63.2%	50%#	20%*	10%	5%	2%	1%
1 min	62.0	70.0	97.1	117	138	168	193
2 min	52.8	59.2	79.7	94.2	108	125	139
3 min	46.8	52.5	71.3	84.6	97.6	114	128
4 min	42.3	47.6	65.1	77.7	90.4	107	121
5 min	38.7	43.7	60.1	72.1	84.4	101	115
10 min	28.2	31.9	44.6	54.0	64.1	78.8	91.1
15 min	22.9	25.9	36.2	43.9	52.2	64.4	74.6
20 min	19.6	22.2	30.9	37.4	44.4	54.6	63.1
25 min	17.3	19.6	27.2	32.9	38.9	47.6	54.9
30 min	15.6	17.7	24.5	29.5	34.8	42.4	48.6
45 min	12.5	14.0	19.3	23.1	27.0	32.5	36.9
1 hour	10.6	11.9	16.3	19.4	22.5	26.8	30.2
1.5 hour	8.47	9.52	12.9	15.2	17.6	20.6	23.0
2 hour	7.24	8.14	11.0	12.9	14.8	17.2	19.1
3 hour	5.82	6.55	8.81	10.3	11.8	13.6	15.0
4.5 hour	4.68	5.28	7.12	8.32	9.47	11.0	12.1
6 hour	4.00	4.53	6.13	7.17	8.16	9.47	10.4
9 hour	3.19	3.63	4.96	5.82	6.65	7.77	8.61
12 hour	2.70	3.08	4.25	5.00	5.74	6.75	7.52
18 hour	2.10	2.41	3.36	4.00	4.61	5.49	6.16
24 hour	1.74	2.00	2.82	3.37	3.90	4.68	5.27
30 hour	1.49	1.71	2.43	2.92	3.40	4.08	4.62
36 hour	1.30	1.50	2.14	2.58	3.01	3.63	4.12
48 hour	1.05	1.21	1.73	2.09	2.45	2.95	3.36
72 hour	0.752	0.867	1.24	1.50	1.76	2.13	2.43
96 hour	0.588	0.677	0.963	1.16	1.37	1.64	1.87
120 hour	0.484	0.556	0.785	0.944	1.11	1.33	1.51
144 hour	0.413	0.473	0.663	0.791	0.929	1.11	1.26
168 hour	0.361	0.413	0.574	0.680	0.798	0.954	1.08

Note:

The 50% AEP IFD **does not** correspond to the 2 year Average Recurrence Interval (ARI) IFD. Rather it corresponds to the 1.44 ARI.

* The 20% AEP IFD **does not** correspond to the 5 year Average Recurrence Interval (ARI) IFD. Rather it corresponds to the 4.48 ARI.

Location: Seven Mile Beach
Site: 688m² with tc = 20 and tcs = 15 mins.
PSD: AEP of 5%, Underground rectangular tank PSD = 2.53L/s
Storage: AEP of 5%, Underground rectangular tank volume = 6.91m³

Design Criteria (Custom AEP IFD data used)

Location = Seven Mile Beach
 Method = E (A)RI 2001,A(E)P 2019

PSD annual exceedance probability (APE) = 5 %
 Storage annual exceedance probability (APE) = 5 %

Storage method = U (A)bove,(P)ipe,(U)nderground,(C)ustom

Site Geometry

Site area (As) = 688 m² = 0.0688 Ha
 Pre-development coefficient (Cp) = 0.30
 Post development coefficient (Cw) = 0.77
 Total catchment (tc) = 20 minutes
 Upstream catchment to site (tcs) = 15 minutes

Coefficient Calculations

Pre-development				Post development			
Zone	Area (m ²)	C	Area * C	Zone	Area (m ²)	C	Area * C
Concrete	0	0.90	0	Concrete	0	0.90	0
Roof	0	1.00	0	Roof	370	1.00	370
Gravel	0	0.50	0	Gravel	318	0.50	159
Garden	688	0.30	206	Garden	0	0.30	0
Total	688	m²	206	Total	688	m²	529

$$C_p = \Sigma \text{Area} * C / \text{Total} = 0.300$$

$$C_w = \Sigma \text{Area} * C / \text{Total} = 0.769$$

Permissible Site Discharge (PSD) (AEP of 5%)

PSD Intensity (I) = 44.4 mm/hr For catchment tc = 20 mins.
 Pre-development ($Q_p = C_p * I * A_s / 0.36$) = 2.54 L/s
 Peak post development ($Q_a = 2 * C_w * I * A_s / 0.36$) = 13.04 L/s $= (0.294 \times I)$ Eq. 2.24
 Storage method = U (A)bove,(P)ipe,(U)nderground,(C)ustom
 Permissible site discharge ($Q_u = \text{PSD}$) = 2.533 L/s

Above ground - Eq 3.8

$$0 = \text{PSD}^2 - 2 * Q_a / t_c * (0.667 * t_c * Q_p / Q_a + 0.75 * t_c + 0.25 * t_{cs}) * \text{PSD} + 2 * Q_a * Q_p$$

Taking x as = PSD and solving

$$a = 1.0 \quad b = -27.8 \quad c = 66.3$$

$$\text{PSD} = \frac{-b \pm \sqrt{b^2 - 4ac}}{(2a)}$$

$$\text{PSD} = 2.631 \text{ L/s}$$

Below ground pipe - Eq 3.3

$$Q_p = \text{PSD} * [1.6 * t_{cs} / \{t_c * (1 - 2 * \text{PSD} / (3 * Q_a))\} - 0.6 * t_{cs}^{2.67} / \{t_c * (1 - 2 * \text{PSD} / (3 * Q_a))\}^{2.67}]$$

$$= 2.54$$

$$\text{PSD} = 2.604 \text{ L/s}$$

Below ground rectangular tank - Eq 3.4

$$t = t_{cs} / (t_c * (1 - 2 * \text{PSD} / (3 * Q_a))) = 0.862$$

$$Q_p = \text{PSD} * [0.005 - 0.455 * t + 5.228 * t^2 - 1.045 * t^3 - 7.199 * t^4 + 4.519 * t^5]$$

$$= 2.54$$

$$\text{PSD} = 2.533 \text{ L/s}$$

Design Storage Capacity (AEP of 5%)

Above ground (Vs) = $[0.5*Q_a*td - [(0.875*PSD*td)(1-0.917*PSD/Q_a) + (0.427*td*PSD^2/Q_a)]] * 60/10^3 \text{ m}^3$ Eq 4.23

Below ground pipe (Vs) = $[(0.5*Q_a - 0.637*PSD + 0.089*PSD^2/Q_a)*td] * 60/10^3 \text{ m}^3$ Eq 4.8

Below ground rect. tank (Vs) = $[(0.5*Q_a - 0.572*PSD + 0.048*PSD^2/Q_a)*td] * 60/10^3 \text{ m}^3$ Eq 4.13

td (mins)	I (mm/hr)	Qa (L/s)	Above Vs (m³)	Pipe Vs (m³)	B/G Vs (m³)
5	84.3	24.8			3.28
16	50.3	14.8			5.73
22	42.0	12.3			6.26
28	36.3	10.7			6.57
34	32.2	9.5			6.75
39	29.5	8.7			6.84
45	27.0	7.9			6.90
51	24.9	7.3			6.90
56	23.5	6.9			6.89
62	22.0	6.5			6.84

Table 1 - Storage as function of time for AEP of 5%

Type	td (mins)	I (mm/hr)	Qa (L/s)	Vs (m³)
Above Pipe				
B/ground	49.5	25.4	7.5	6.91

Table 2 - Storage requirements for AEP of 5%

Frequency of operation of Above Ground storage

Qop2 = 0.75 CI 2.4.5.1

Qp2 = Qop2 * Qp1 (where Qp1 = PSD) = 1.97 L/s at which time above ground storage occurs

I = $360 * Qp2 / (2 * Cw * As * 10^3)$ = 6.7 mm/h Eq 4.24

Period of Storage

Time to Fill:

Above ground (tf) = $td * (1 - 0.92 * PSD / Q_a)$ Eq 4.27

Below ground pipe (tf) = $td * (1 - 2 * PSD / (3 * Q_a))$ Eq 3.2

Below ground rect. tank (tf) = $td * (1 - 2 * PSD / (3 * Q_a))$ Eq 3.2

Time to empty:

Above ground (te) = $(Vs + 0.33 * PSD^2 * td / Q_a * 60 / 10^3) * (1.14 / PSD) * (10^3 / 60)$ Eq 4.28

Below ground pipe (te) = $1.464 / PSD * (Vs + 0.333 * PSD^2 * td / Q_a * 60 / 10^3) * (10^3 / 60)$ Eq 4.32

Below ground rect. tank (te) = $2.653 / PSD * (Vs + 0.333 * PSD^2 * td / Q_a * 60 / 10^3) * (10^3 / 60)$ Eq 4.36

Storage period (Ps = tf + te) Eq 4.26

Type	td (mins)	Qa (L/s)	Vs (L/s)	tf (mins)	te (mins)	Ps (mins)
Above Pipe						
B/ground	49.5	7.5	6.9	38.3	135.4	173.7

Table 3 - Period of Storage requirements for AEP of 5%

Orifice

Permissible site discharge (Qu = PSD) = 2.53 L/s (Underground storage)

Orifice coefficient (CD) = 0.61 For sharp circular orifice

Gravitational acceration (g) = 9.81 m/s²

Maximum storage depth above orifice (H) = 1700 mm

Orifice flow (Q) = $CD * A_o * \sqrt{2 * g * H}$

Therefore:

Orifice area (Ao) = 719 mm²

Orifice diameter (D = $\sqrt{4 * A_o / \pi}$) = 30.3 mm

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

To: Owner name
 Address
 Suburb/postcode

Form **35**

Designer details:

Name: Category:
Business name: Phone No:
Business address:
 Fax No:
Licence No: Email address:

Details of the proposed work:

Owner/Applicant Designer's project reference No.
Address: Lot No:

Type of work: Building work ☐ Plumbing work ☒ (X all applicable)

Description of work:

On-Site stormwater system - design

(new building / alteration /
addition / repair / removal /
re-erection
water / sewerage /
stormwater /
on-site wastewater
management system /
backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	☐ Building design	Architect or Building Designer
	☐ Structural design	Engineer or Civil Designer
	☐ Fire Safety design	Fire Engineer
	☒ Civil design	Civil Engineer or Civil Designer
	☐ Hydraulic design	Building Services Designer
	☐ Fire service design	Building Services Designer
	☐ Electrical design	Building Services Designer
	☐ Mechanical design	Building Service Designer
	☐ Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	☐ Other (specify)	

Deemed-to-Satisfy: ☐ Performance Solution: ☒ (X the appropriate box)

Other details:

Onsite stormwater detention.

Design documents provided:

The following documents are provided with this Certificate –

Document description:

Drawing numbers:	Prepared by: Geo-Environmental Solutions	Date: Nov-25
Schedules:	Prepared by:	Date:
Specifications:	Prepared by: Geo-Environmental Solutions	Date: Nov-25
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by: Geo-Environmental Solutions	Date: Nov-25
Test reports:	Prepared by: Geo-Environmental Solutions	Date: Nov-25

Standards, codes or guidelines relied on in design process:

AS3500 (Parts 0-5)-2013 Plumbing and drainage set.

Any other relevant documentation:

Stormwater Assessment - 14 Toronto Drive Seven Mile Beach-714402 - Nov-25

Attribution as designer:

I Vinamra Gupta, am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Vinamra Gupta		04/11/2025
Licence No:	685982720		

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.

I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

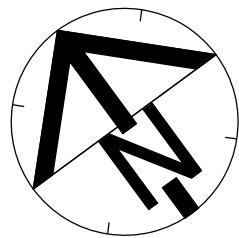
- ☒ The works will not increase the demand for water supplied by TasWater
- ☒ The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- ☒ The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- ☒ The works will not damage or interfere with TasWater's works
- ☒ The works will not adversely affect TasWater's operations
- ☒ The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- ☒ I have checked the LISTMap to confirm the location of TasWater infrastructure
- ☒ If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I Vinamra Gupta..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Vinamra Gupta		04/11/2025



GEO-ENVIRONMENTAL

SOLUTIONS

29 Kirksway Place, Battery Point
T| 62231839 E| office@geosolutions.net.au

New Services

- STORMWATER PIPE WITH FLOW DIRECTION
- GRATED STORMWATER PIT 450x450 CLASS A ACO GALVANISED HEELGUARD OR SIMILAR ENGINEER APPROVED

Performance Solution Compliance Notes:

- AS 3500.3 - CL 7.10
- 7.10.1 - OVERFLOW IS SAFE AND DOES NOT COMPROMISE FREEBOARD TO HABITABLE SPACES.

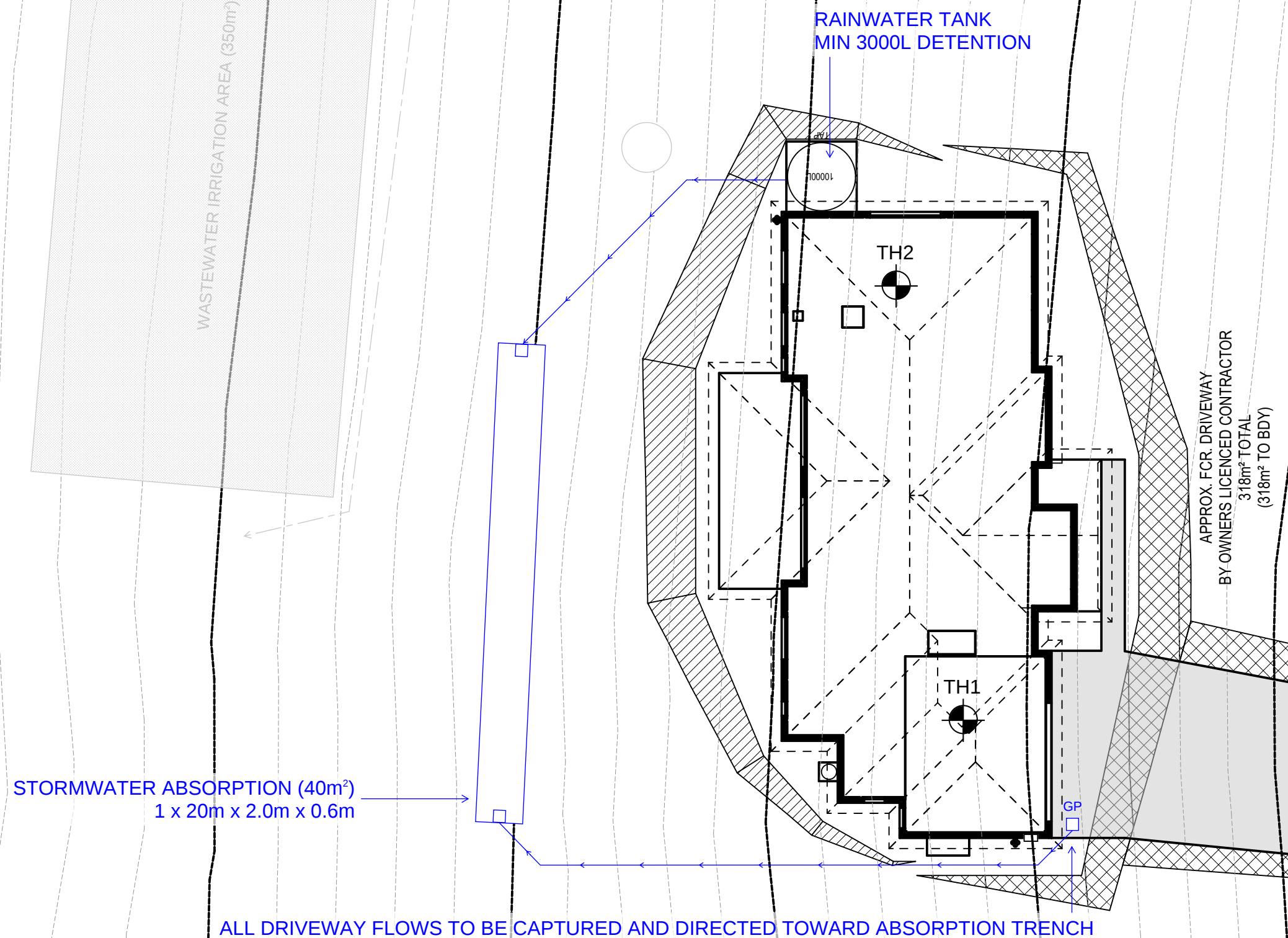
GENERAL

- AS/NZS 3500.3: PART 3 STORMWATER DRAINAGE AUSTRALIAN RAINFALL AND RUN-OFF VOLUME 8: URBAN STORMWATER MANAGEMENT
- AUSTRALIAN RUNOFF QUALITY - A GUIDE TO WATER SENSITIVE URBAN DESIGN
- STORM DRAINAGE DESIGN IN SMALL URBAN CATCHMENTS: A HANDBOOK FOR AUSTRALIAN PRACTICE
- WATER SENSITIVE URBAN DESIGN (WSUD) ENGINEERING PROCEDURE: STORMWATER
- WATER SERVICES ASSOCIATION OF AUSTRALIA CODE (WSAA)

Stormwater Services Notes:

- ALL SITE SAFETY & MANAGEMENT PROCEDURES SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF STATE GROWTH SPECIFICATIONS: SECTION 168 OCCUPATIONAL HEALTH AND SAFETY & SECTION 176 ENVIRONMENTAL MANAGEMENT.
- ALL PIPES UNDER TRAFFICABLE AREAS ARE TO BE BACKFILLED FULL DEPTH WITH 20 F.C.R. AND FULLY COMPACTED.
- ALL STORMWATER PIPES TO BE PVC-U-SWJ CLASS "SN8" TO AS1254 UNO.
- ALL DRAIN AND TRENCH CONSTRUCTION SHALL COMPLY WITH THE LGAT STANDARD DRG TSD G01.
- ANY EXCAVATED TRENCHES IN EXCESS OF 1.5M IN DEPTH ARE TO BE ADEQUATELY SHORED TO PREVENT COLLAPSE DURING WORKS.

Approximate Test Hole Location



Do not scale from these drawings.
Dimensions to take precedence
over scale.

Wilson Homes
14 Toronto Drive
SEVEN MILE BEACH 7170

C.T.: 188363/4
PID: 9056621

Date: 04/11/2025

On-Site Stormwater Management Plan

1:200 @ A3

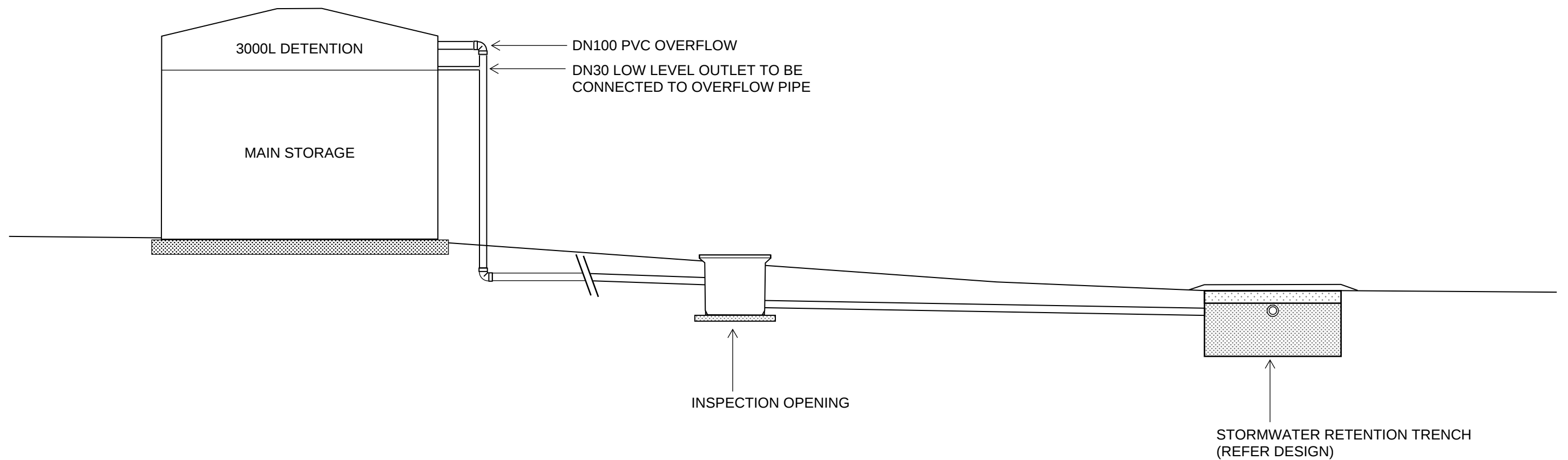
Sheet 1 of 1



GEO-ENVIRONMENTAL

S O L U T I O N S

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Do not scale from these drawings.
Dimensions to take precedence
over scale.

STORMWATER DETENTION
SCHEMATIC CROSS-SECTION

RAINWATER TANK
WITH 3000L DETENTION

Sheet 1 of 1
Drawn by: SR

Design notes:

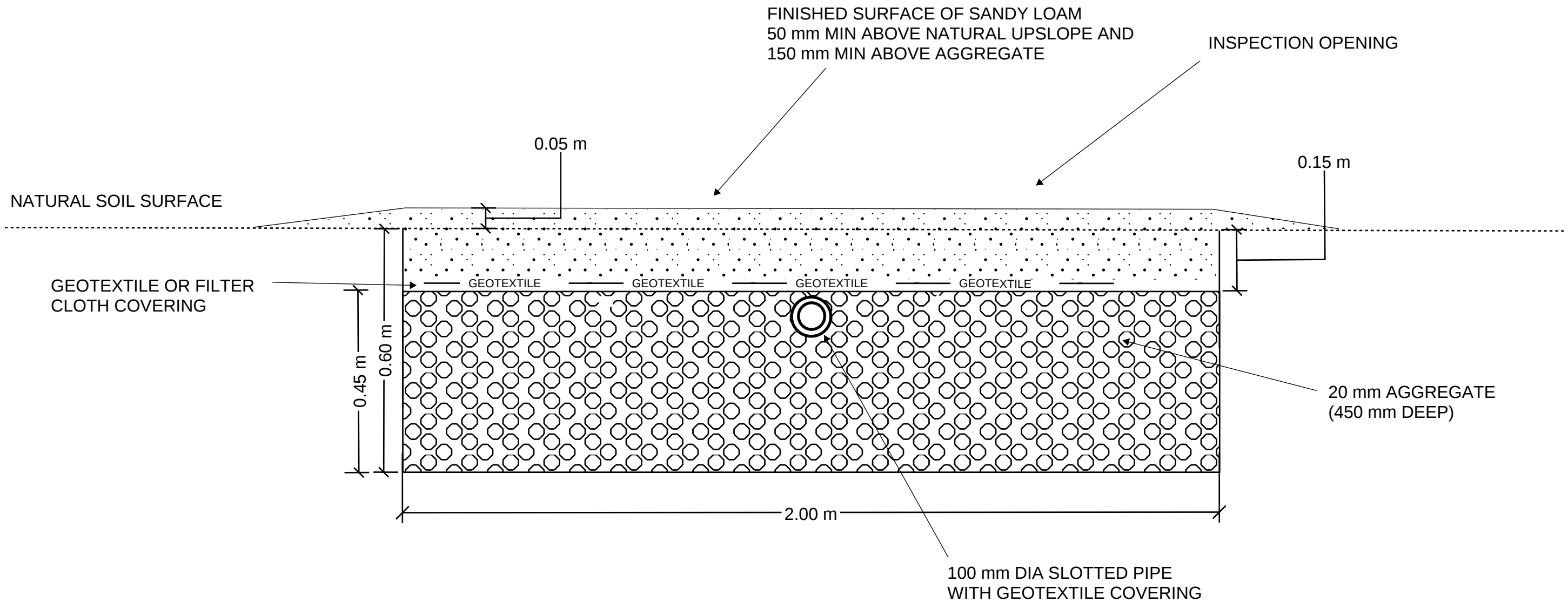
- 1.Absorption bed dimensions of up to 21m long by 0.60m deep by 2m wide
– total storage volume calculated at average 35% porosity.
- 2.Base of bed to be excavated level and smearing and compaction avoided.
- 3.90-100mm slotted pipe should be placed in the top 100mm of the 20mm aggregate
- 4.Geotextile or filter cloth to be placed over the pipe to prevent clogging of the pipes and aggregate
- 5.Construction on slopes up to 20% to allow trench depth range 600mm upslope edge to 400mm on down slope edge.
- 6.All works on site to comply with AS3500 and Tasmanian Plumbing code.



GEO-ENVIRONMENTAL

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Do not scale from these drawings.
Dimensions to take precedence
over scale.

Geo-Environmental Solutions
Stormwater trench

Stormwater Absorption Detail