



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/057158

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 57 Seven Mile Beach Road, Seven Mile Beach

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 15 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 15 December 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 15 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal:

Shed

Location:

57 Seven Mile Beach Rd, Seven Mile

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Ryan.

Current use of site:

Residence.

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME	FOLIO
166335	1
EDITION	DATE OF ISSUE
3	17-Sep-2021

SEARCH DATE : 14-Nov-2025

SEARCH TIME : 10.13 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Sealed Plan [166335](#)

Derivation : Part of 1200 Acres Located to A. Williams.

Prior CT [19003/7](#)

SCHEDULE 1

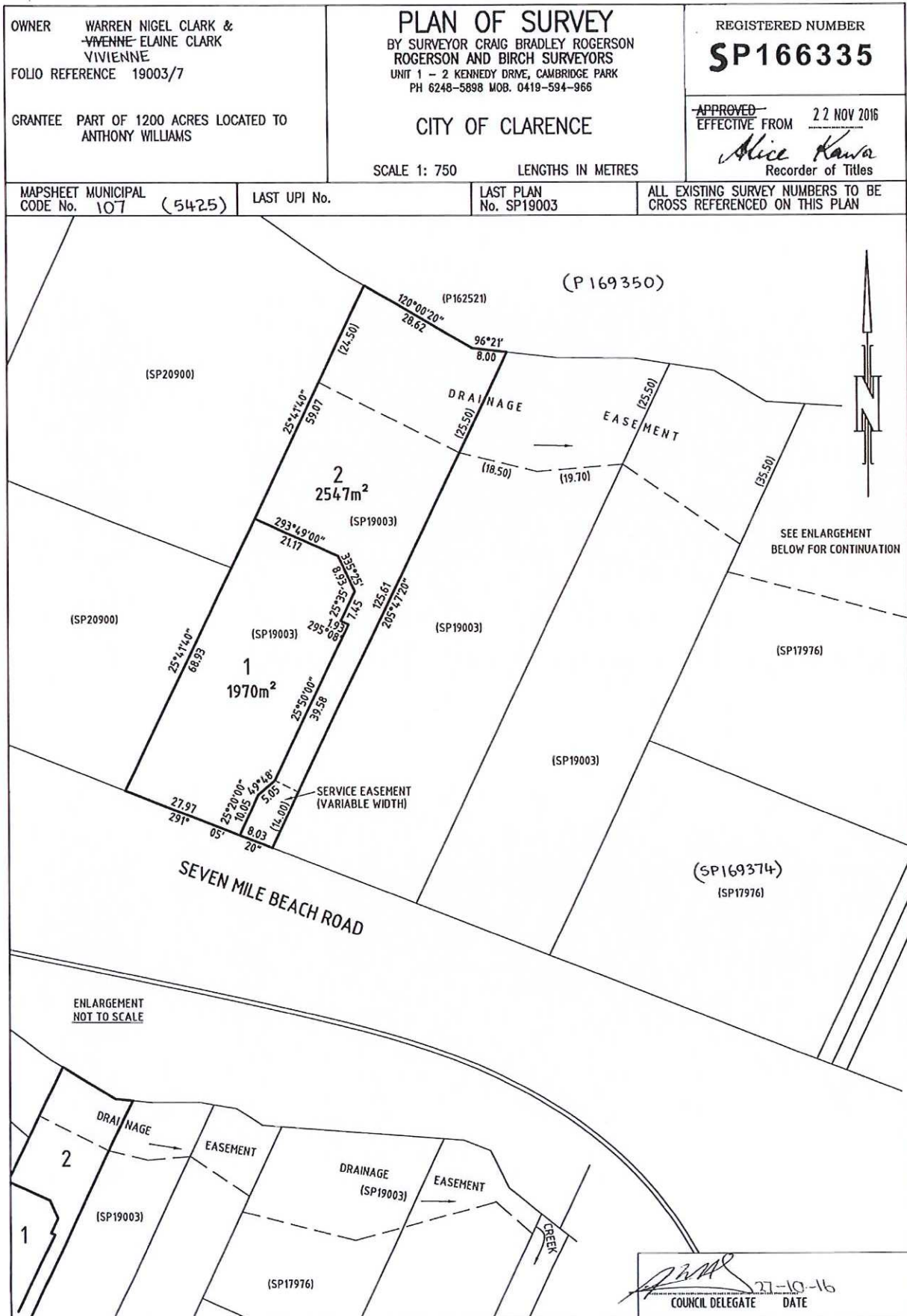
[M915309](#) TRANSFER to MATTHEW CRAIG RICKARDS and SHARNI ELLA
EDITH RICKARDS as tenants in common in equal shares
Registered 17-Sep-2021 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP166335](#) EASEMENTS in Schedule of Easements
[SP166335](#) COVENANTS in Schedule of Easements
[SP166335](#) FENCING PROVISION in Schedule of Easements
[SP 19003](#) COVENANTS in Schedule of Easements
[SP 19003](#) FENCING PROVISION in Schedule of Easements
[SP 19003](#) COUNCIL NOTIFICATION under Section 468(12) of the
 Local Government Act 1962
[E276290](#) MORTGAGE to National Australia Bank Limited
 Registered 17-Sep-2021 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 166335
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PAGE 1 OF 3 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
 (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
 (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS:

service easement over the

Lot 1 is **TOGETHER WITH** a^A Service Easement (Variable Width) shown on the said Plan ~~appurtenant to Lot 2.~~

Lot 2 is **TOGETHER WITH** a right of drainage over the Drainage Easement as set out in SP19003 & as shown on the Plan.

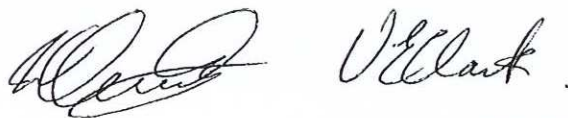
(appurtenant to the balance as defined in SP19003)

Lot 2 is **SUBJECT TO** a right of drainage^A over the Drainage Easement as set out in SP19003. shown on the Plan, service easement over the

Lot 2 is **SUBJECT TO** a^A Service Easement (Variable Width) shown on the said Plan appurtenant to Lot 1 on the said Plan.

COVENANTS:

The Owner of each Lot on the Plan covenants with the Vendor and the Owners for the time being of every Lot shown on the Plan to the intent that the burden of these covenants may run with and bind the Covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the Plan to observe the following stipulations:



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Warren Nigel Clark and Vivienne Elaine Clark FOLIO REF: CT 19003/7 SOLICITOR & REFERENCE: Gunson Williams TJW:102026	PLAN SEALED BY: Clarence City Council DATE: 27-10-15 SD-2009/34 REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 3 PAGE/S	Registered Number SP166335
SUBDIVIDER: Warren Nigel Clark and Vivienne Elaine Clark FOLIO REFERENCE: CT 19003/7	

1. Not to erect place or maintain upon such Lot or any part thereof any building or structure unless to the satisfaction of the Clarence Council the type and colour of all the external building materials will blend rather than contrast with the rural environment and without limiting the generality of the foregoing no to utilise unpainted galvanised iron in any such construction.
2. Not to connect or permit to be connected electrical power or any other service to such Lot or to any building or buildings on such Lots other than by underground means.

FENCING PROVISIONS:

In respect of each Lot on the Plan the Vendor shall not be required to fence.

DEFINITIONS:

'The Vendor' means Warren Nigel Clark and Vivienne Elaine Clark.

'Service Easement' means The full right and liberty for the Owner of Lot 1 his heir and assigns and his servants agent and contractors at all times hereafter to enter Lot 2 ('the servient land') through the Service Easement of variable width on the Plan attached with which said right shall be capable of enjoyment by the Owner of the dominant tenement alone or in common with the Owner of the servient tenement Telstra Corporation Limited, Aurora Energy Pty Ltd, Clarence Council and Her Majesty the Queen or any other provider of power, gas, electricity, communication, water, sewerage or any other typed service to lay se and maintain forever water mains, pipes, drains, mains, channels, gutters, sewers, wires, cables and other conducting media of such size and number as shall from time to time be required in the strips of land shown on the Plan hereon and marked 'Service Easement' and the right of their surveyors and workmen from time to time and at all times to enter into and upon the said strip of land or any part thereof bring upon the Service Easement such material machinery and other things as it shall think fit and proper to inspect the condition thereof and to repair amend and cleanse PROVIDED HOWEVER that any damage occasioned thereby shall be made good.



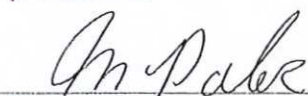
NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGE/S	Registered Number SP 166335
SUBDIVIDER: Warren Nigel Clark and Vivienne Elaine Clark FOLIO REFERENCE: CT 19003/7	

SIGNED by Warren Nigel Clark as)
 registered proprietor of Certificate of)
 Title Volume 19003 Folio 7 in the)
 presence of:)



Warren Nigel Clark



Witness Signature

Print Full Name

Michelle Palmer

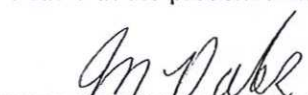
Full Address

59 Hookey St, Rokeby.

SIGNED by Vivienne Elaine Clark)
 as registered proprietor of)
 Certificate of Title Volume 19003)
 Folio 7 in the presence of:)



Vivienne Elaine Clark



Witness Signature

Print Full Name

Michelle Palmer

Full Address

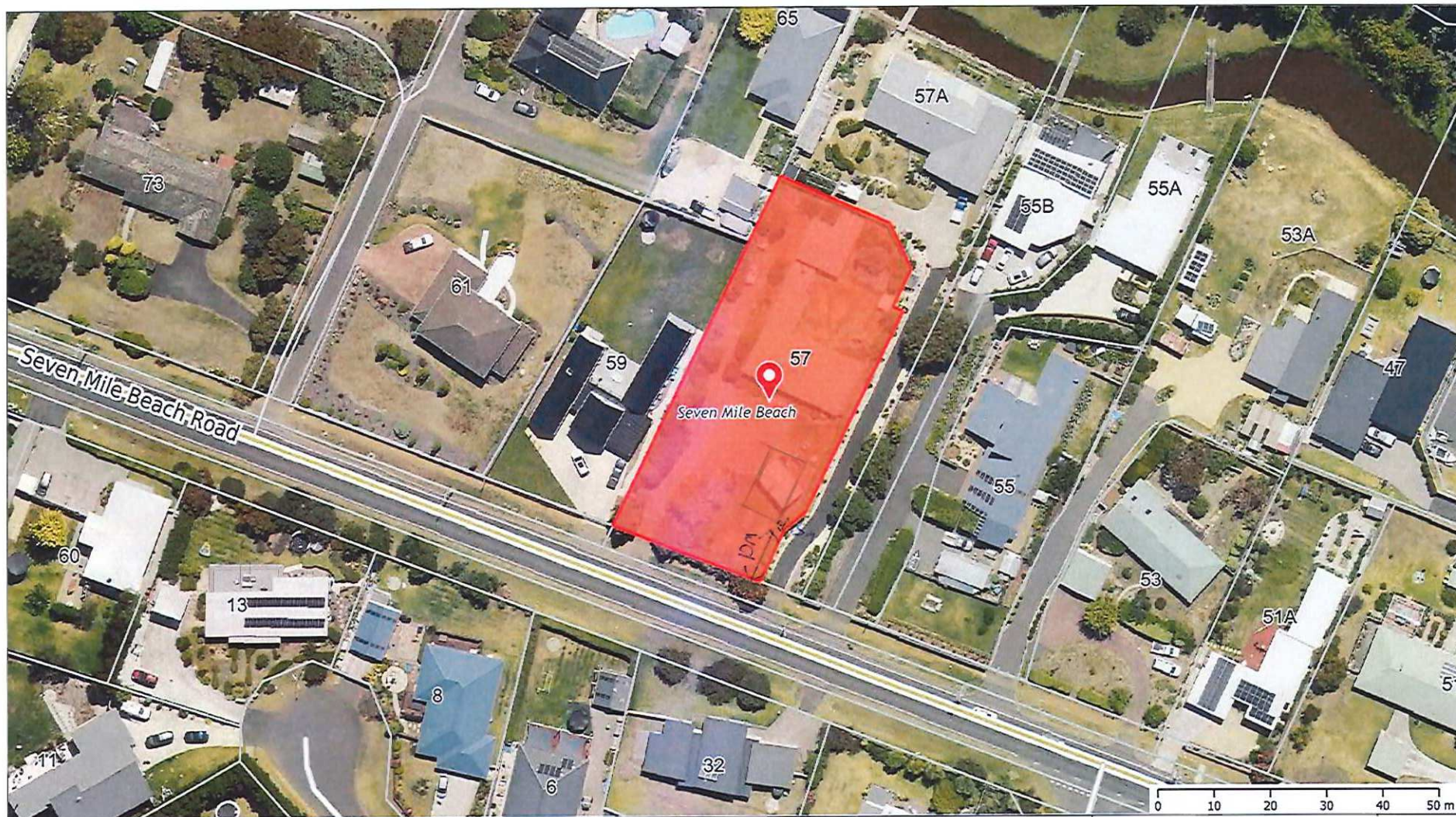
*59 Hookey St,
Rokeby.*

EXECUTED BY
 AUSTRALIA AND NEW ZEALAND
 BANKING GROUP LIMITED by *being*
 Signed by an employee of ANZ *Michelle Palmer*
 (who hereby certifies that
 he has received no notice
 of revocation of POWER
 OF ATTORNEY NO. PA9653
 under which this instrument
 is signed) in the presence of:

Steve Miller
 Bank Officer, 40 Elizabeth Street Hobart



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



14/11/2025

1:1000



1.5m to side boundary
10m to frontage



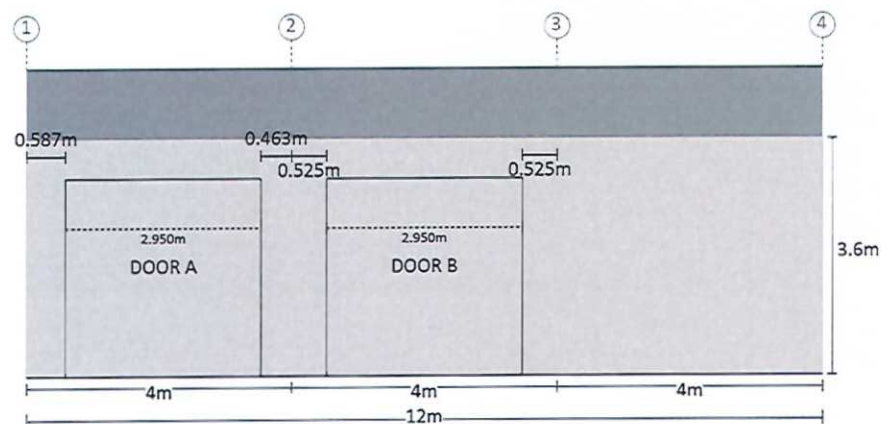
Site Location:

Geographic coordinates of
-42.86163,147.49805

The address provided for reference purpose only is:
57 Seven Mile Beach Rd Seven Mile Beach TAS 7170

This setout is provided as a guide only. It is the responsibility of the concreter/erector to confirm that all dimensions are correct.

Right Side



Measurements are from the outside of end girts (end bays) and/or centre of columns (mid bays) to inside of component opening

Purchaser Name: Cams Electrical Tas Pty Ltd.

Site Location: 57 Seven Mile Beach Rd Seven Mile Beach TAS 7170 Australia

Drawing # WSS251361 - 10

Print Date: 30/09/2025

Component Position NOT FOR CONSTRUCTION

Not to Scale
Page 1 of 1
© Copyright Slooex IP Pty Ltd

Seller: Wide Span Sheds Pty Ltd
Wide Span Sheds Pty Ltd
Phone: 07 5657 8888
Fax: 07 5657 8899
Email: admin@sheds.com.au

Apex Engineering Group PTY LTD
ACN 632 588 562
ME Aust. (Registered NER Structural) 5276680
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES;
Practising Professional Structural & Civil Engineers

Signature:

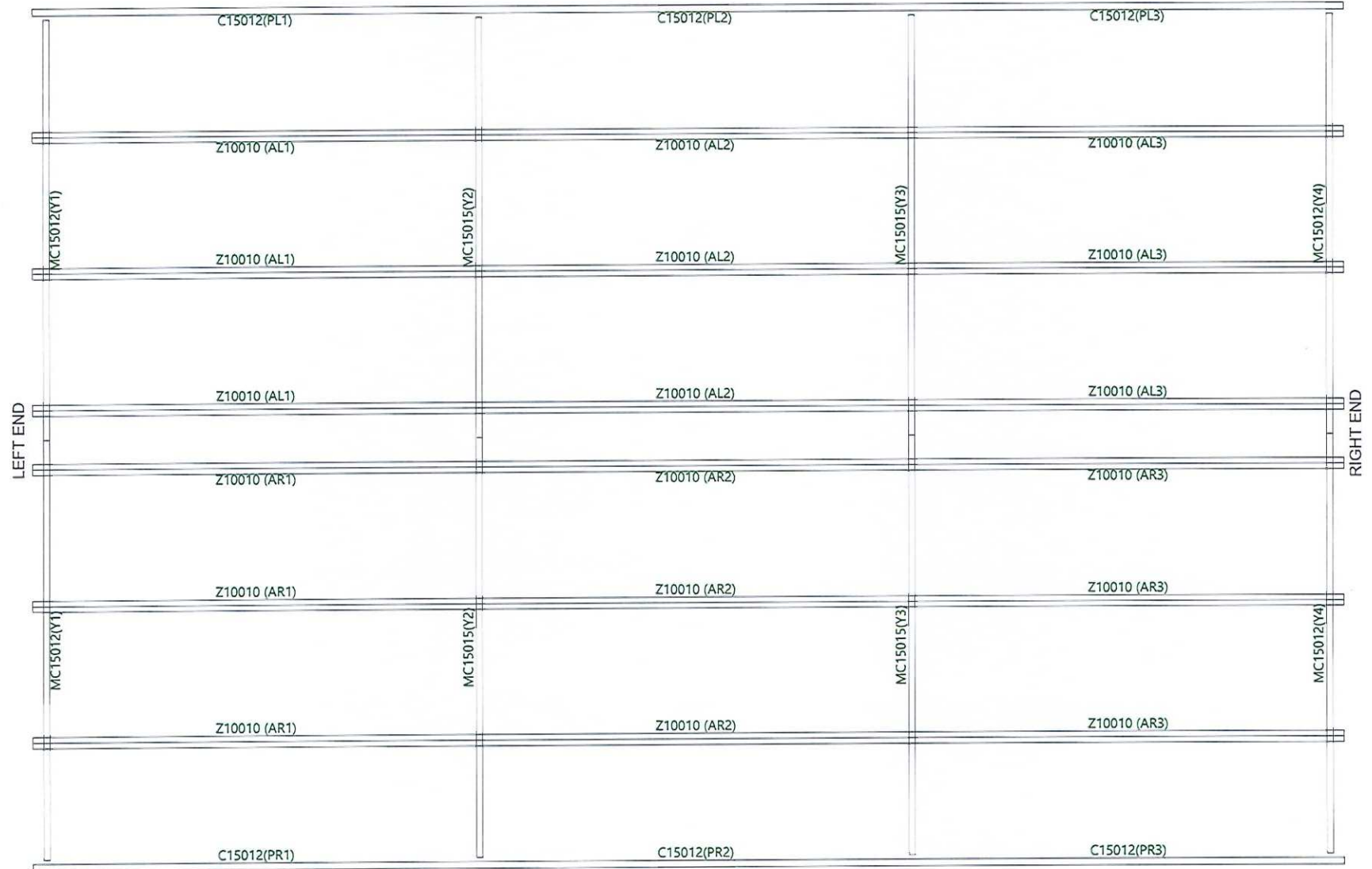
Date: John Ronaldson

Date: 30/09/2025

ROOF (TOP VIEW)

LEFT SIDE

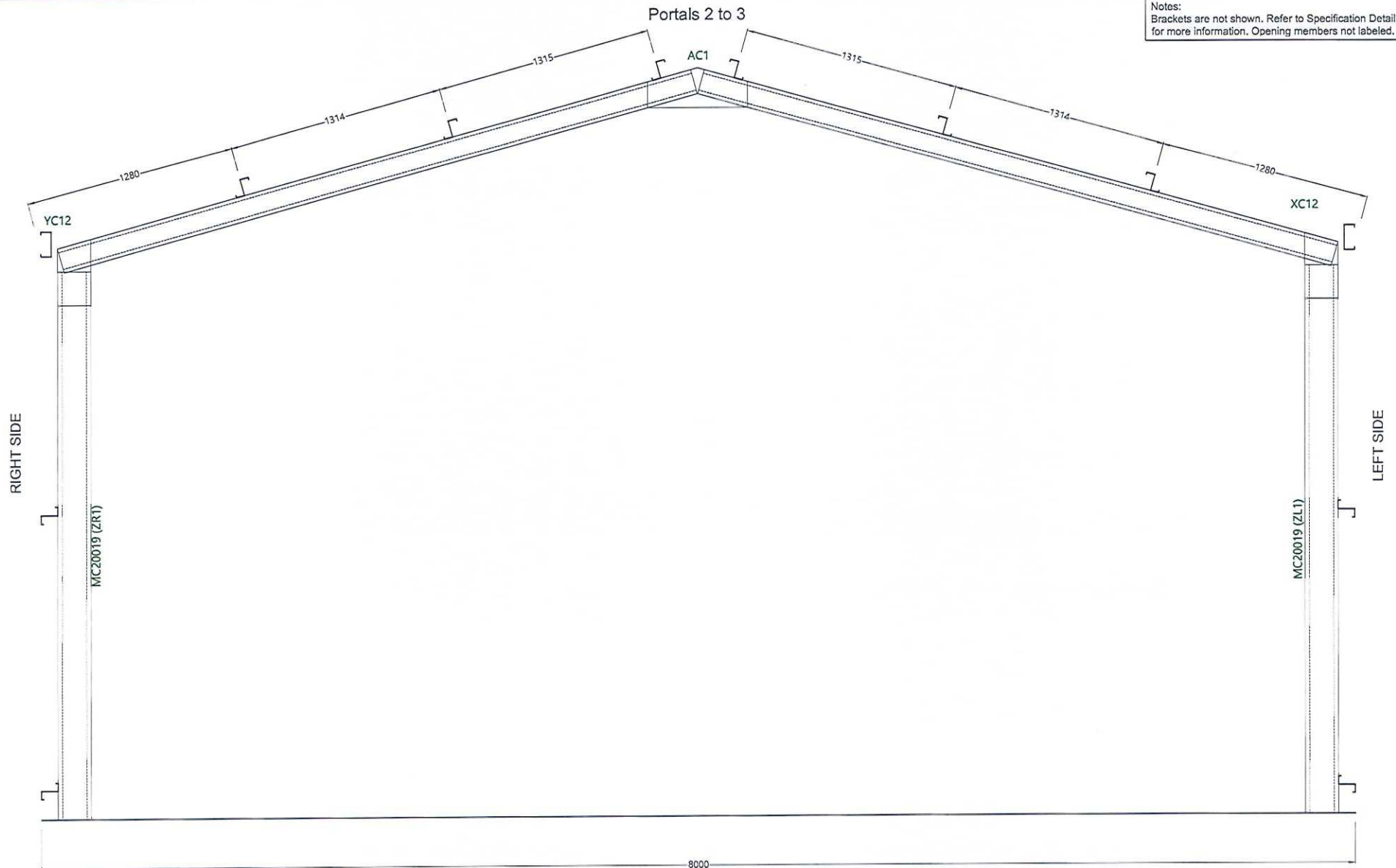
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for more information. Opening members not labeled.

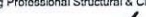


RIGHT SIDE

Revision	Date	Initial	Purchaser Name: Cams Electrical Tas Pty Ltd.		Purlin and Girt Plan NOT FOR CONSTRUCTION NOT TO SCALE Page 1 of 4 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds Pty Ltd Name: Wide Span Sheds Pty Ltd Phone: 07 5657 8888 Fax: 07 5657 8899 Email: admin@sheds.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 30/09/2025
			Site Location: 57 Seven Mile Beach Rd Seven Mile Beach TAS 7170 Australia				
			Drawing # WSS251361 - 11	Print Date: 30/09/2025			

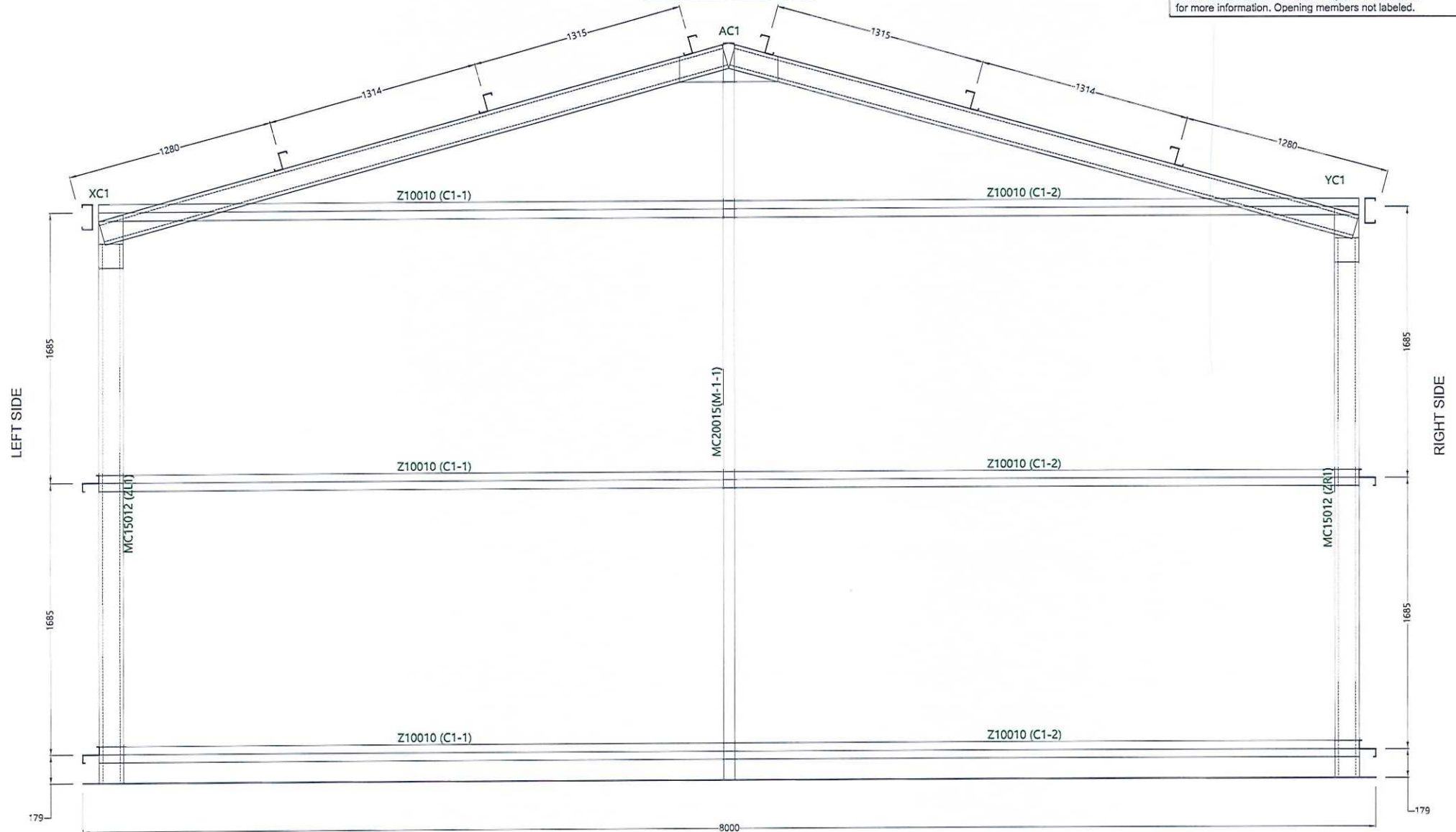
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for more information. Opening members not labeled.

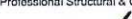


Revision	Date	Initial	Purchaser Name: Cams Electrical Tas Pty Ltd.		Purlin and Girt Plan NOT FOR CONSTRUCTION NOT TO SCALE Page 2 of 4 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds Pty Ltd Name: Wide Span Sheds Pty Ltd Phone: 07 5657 8888 Fax: 07 5657 8899 Email: admin@sheds.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T. : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 30/09/2025
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LEFT END ELEVATION

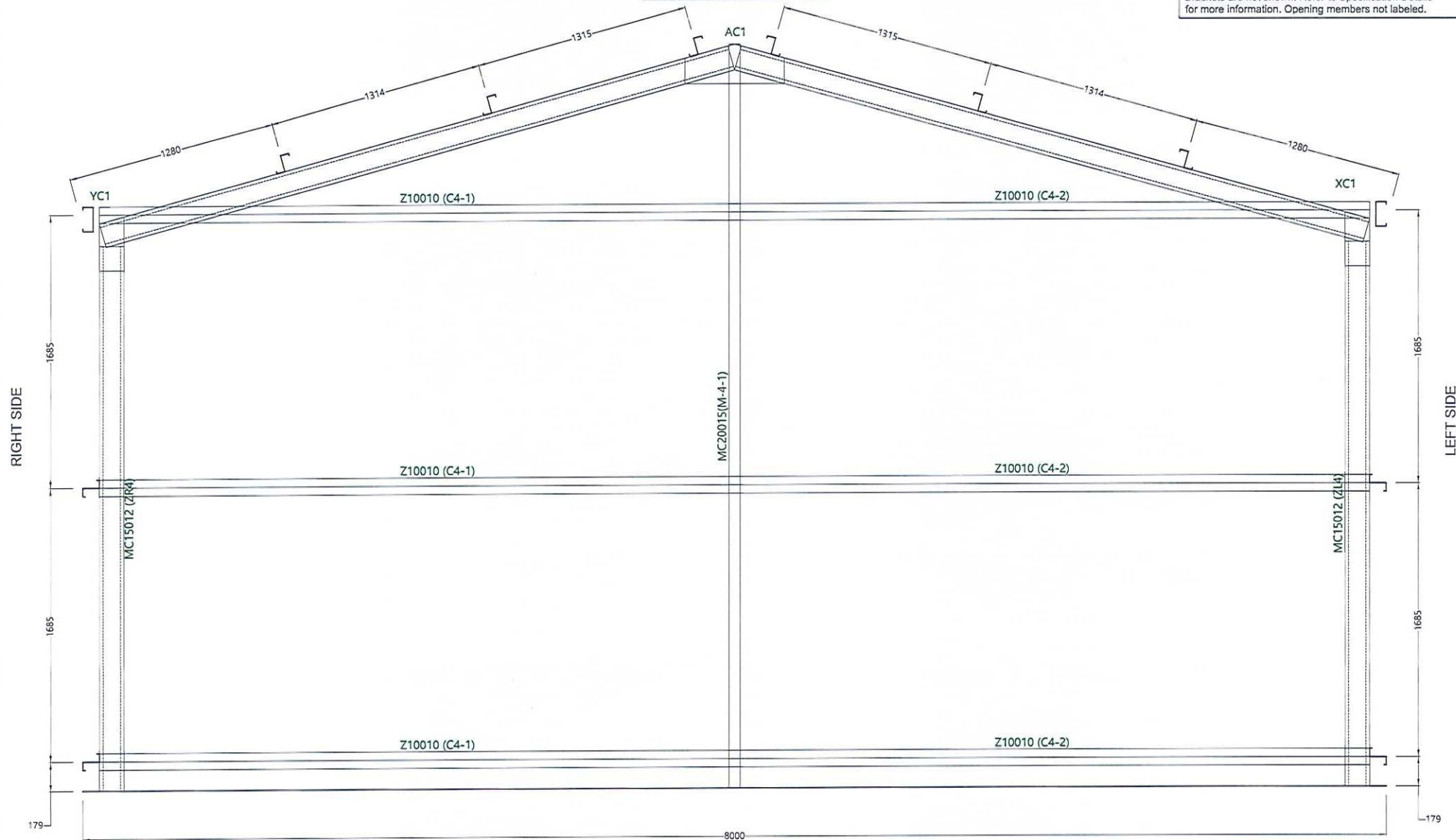
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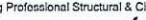


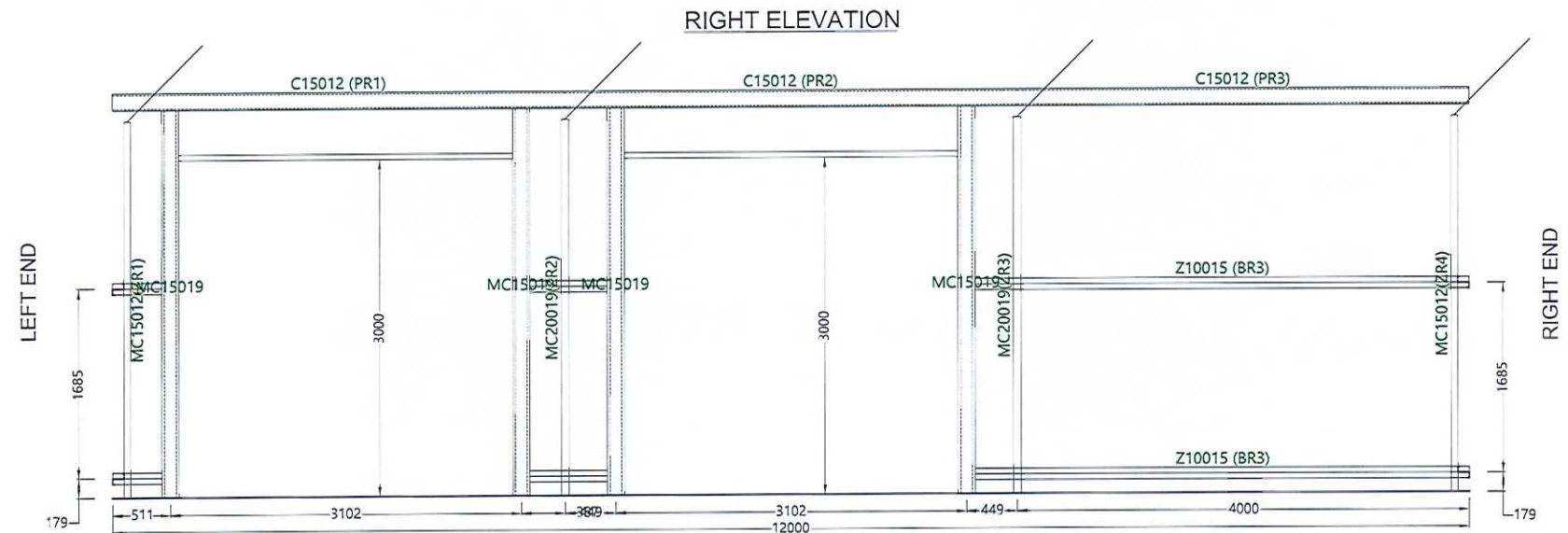
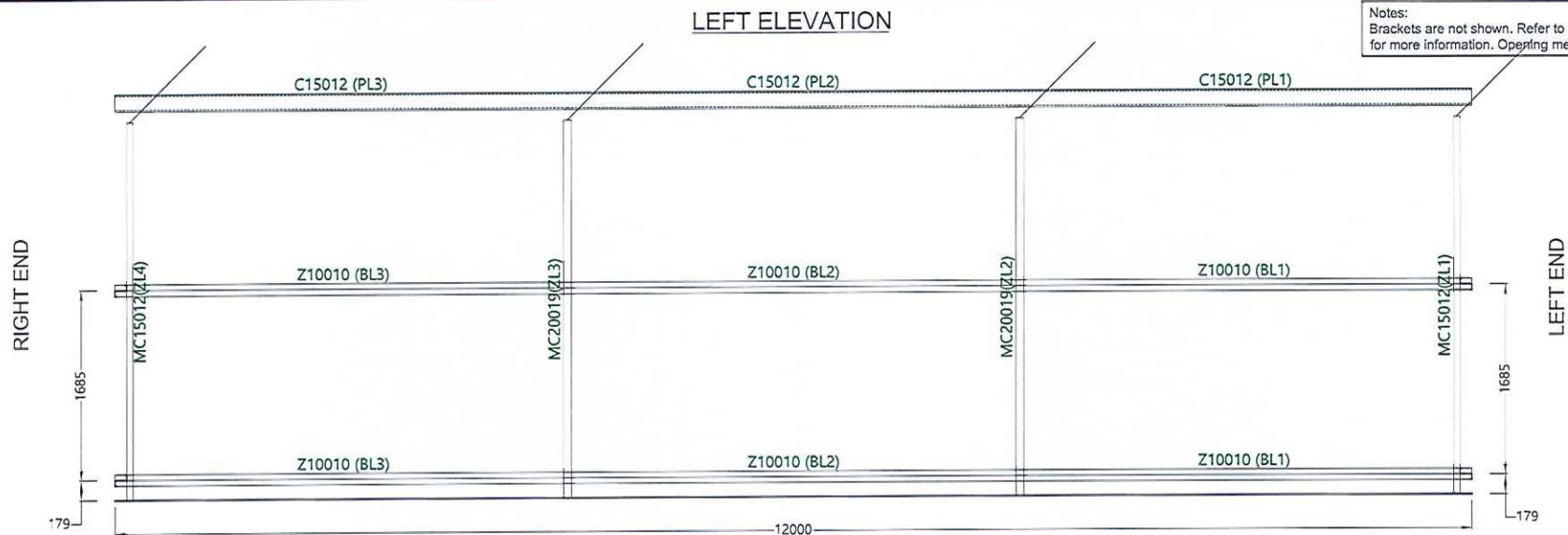
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RIGHT END ELEVATION

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GENERAL NOTES

These documents show the general arrangement of the building and include some items not supplied (refer to the quotation for nomination of all items to be provided). All items not nominated therein shall be supplied and installed by others.

The plans provided here are the latest at the time of print. Earlier plans provided may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building. The building is not designed to stand up by itself when it is partially complete. Consequently, construction bracing is critical during erection.

The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm that the length and size (including thickness), nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per Terms and Conditions of Sale.

DESIGN CRITERIA

These building plans have been prepared to comply with the standards nominated in the engineer's letter. All plans are not to Scale.

ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER

The Purchaser/Owner is responsible for:

- *Provision of Soils Report for the site and in the building area on which the building is to be erected
- *Site Plan and Drainage Plans
- *Any other plans not covered by these engineering plans requested by the local Council or the authority

RAINWATER AND DRAINAGE

All Rainwater and drainage designs are the responsibility of the purchaser/owner. Residential gutters and downpipes where supplied are based on average rainfall for the state and may not be sufficient for your building size or usage. Please speak to your building designer or contractor to ensure gutters are fit for purpose.

BUILDING CONSTRUCTION REQUIREMENTS

The Builder and Purchaser are to ensure that all construction is carried out in accordance with the Plans, the Construction Manual and the Bill of Materials (BOM).

It is the responsibility of the builder to ensure that they are familiar with the operational risks and their obligations in carrying out construction work.

The builder must ensure that they have an appropriate Health & Safety Plan (The Plan) compliant with and as required by their local, state and federal regulations. The Plan will need to take into account the site conditions, the size of the building and the experience of the construction personnel. The Plan will, most likely, differ for each project.

The builder must ensure that The Plan is adhered to. Particular attention should be paid to the requirements to ensure that any person working at heights are properly trained and following the requirements as set out by The Plan.

It is recommended that you check with the appropriate authority in your area as to your responsibilities.

TEMPORARY SUPPORT, LIFTING AND SHORING

The design of temporary propping shoring, lifting and support during construction has not been undertaken and is not included in our engagement. This work is the responsibility of the Contractor undertaking the construction of the building.

SLAB DETAILS - GENERAL

Piers

- * The minimum size of Piers under the columns and End Wall Mullions are nominated on the Material Specifications Plan. When the slab and piers are poured as one pour, the depth of the pier is to the top of the slab.

Concrete Slab

- * Footings and slabs, including internal and edge beams, must be founded on natural soil with a minimum allowable bearing pressure of 100kPa. Design covers soil classifications of A, S, M, H1 or H2 for a class 10a building.
- * The footing designs have been calculated with cohesion values of 0kPa, 50kPa and 100kPa for dense sandy soils and clay soils only.
- * A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.
- * Site conditions different to those specified require a modified design.
- * Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.
- * Designs are in accordance with AS 3600:2018
- * All concrete to be in accordance with AS 3600:2018. Minimum 25 Mpa, with 80mm slump.
- * Concrete should be cured for 7 days before commencing construction of the building.
- * Refer to connection details.
- * Saw construction joints to be 25mm deep x 5mm wide. Saw cuttings shall take place no later than 24 hours after pouring. Saw construction joints to be placed at a maximum spacing of 6.3m (in both the length and the span). Care should be taken to avoid construction cuts intersecting where any fixing to the slab is to be made.
- * Where columns or end wall mullions have been removed, piers are not required.
- * End wall mullion spacing may move due to location of openings or doors. Check layout and component position plan, and relocate piers as required.
- * The Slab Plan indicates those parts of the slab which are 50mm below main slab/piers.

For Class A, S or M Sites

- * Slab thickness to be a minimum of 100mm with SL 72 mesh and 40mm top cover.

* Concrete piers under Roller Doors Jambes to be a minimum size as below: MC15019 - 300mm dia x 375mm deep, centered to the C Section
Where heavy traffic is to go through the roller doors, it is recommended that the slab edge should be thickened to 200mm deep by 300mm wide for the length between the mullions. Place an additional section of SL 72 mesh, 50mm from the base in all thickenings.

For Class H1 or H2 Sites

- * Slab thickness to be a minimum of 100mm with SL 82 mesh and 40mm top cover.
- * Perimeter beams 550mm deep x 300mm wide with Y12 3 bar Trench Mesh to the perimeter of the building.
- * Internal beams 550mm deep by 300mm wide with Y12 3 bar Trench Mesh at a max spacing of 4m.
- * Concrete piers under Roller Doors Jambes to be a minimum size as below: MC15019 - 300mm dia x 500mm deep, centered to the C Section

SHEETED PORTALS AND MULLIONS

All end wall mullions provide critical support to portal frames and cannot be repositioned or removed under any circumstances without engineering approval.

BRACING NOTES

- * Refer to Connection Details.
- * All Cross Bracing is achieved with 1.2 mm Strap G450.
- * Knee bracing clearance from FFL is X = Main Building: 2.952m.
- * Cross bracing is to be fixed taut and secured with 14.20 x 22 frame screws at each end, quantity as per connection details.
- * Fly bracing to be fixed to the purlins/girts on all mid portal rafters, columns and end wall mullions. Fly bracing is to be fitted to every second purlin/girt, or, on every one, where the spacing between fly braces would exceed the maximum specified below for the relevant column/rafter size:
 - C150 - maximum 1800mm spacing
 - C200, C250 - maximum 2200mm spacing
 - C300 - maximum 2800mm spacing
 - C350 - maximum 2800mm spacing
 - C400 - maximum 2800mm spacing

Initial measurement is from the haunch of the column/rafter, and from the rafter for any end wall mullions.

* The first fly brace is to be placed at the purlin/girt closest to the haunch or top of the mullion.* All bracing strap ends to be located as close as practical to structural member's (columns, rafters, mullions) centerline.

BOLTS

- * Unless otherwise nominated, all bolts are grade 4.6
- * All tensioned bolts shall be tensioned using the part turn method (refer to AS4100). For the erector, full details are in the construction manual.

Revision	Date	Initial			General Notes NOT FOR CONSTRUCTION Page 1 of 2 ©Copyright Steele IP Pty Ltd	Seller: Wide Span Sheds Pty Ltd Name: Wide Span Sheds Pty Ltd Phone: 07 5657 8888 Fax: 07 5657 8899 Email: admin@sheds.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 30/09/2025
			Purchaser Name: Cams Electrical Tas Pty Ltd.				
			Site Location: 57 Seven Mile Beach Rd Seven Mile Beach TAS 7170 Australia				
			Drawing # WSS251361 - 2	Print Date: 30/09/2025			

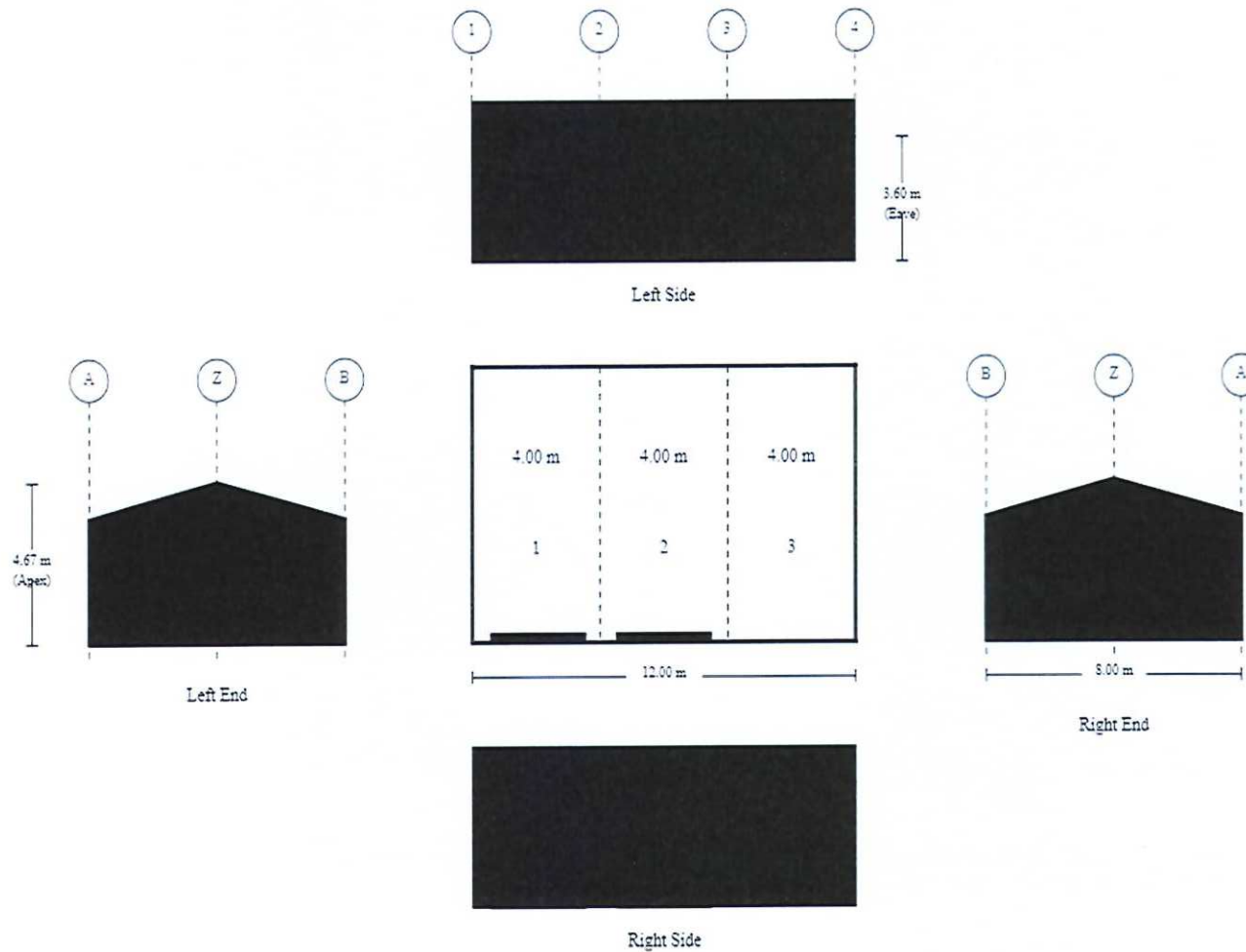
ROLLER DOORS

All Roller doors are NOT wind rated. All comments regarding roller doors are referenced from inside the building looking out.

OTHER MATERIALS NOTES

- * All Sheeting, Flashing and framing screws are Climaseal 3.
- * All purlin material has Z350 zinc coating with minimum strength of 450MPa.

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 Practising Professional Structural & Civil Engineers

Signature:

J. Ronaldson

Date: John Ronaldson

Date: 30/09/2025

MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

Building Dimensions

Categories	Span	Length	Pitch	Height	Grid(s)	Portal(s)
Main Building	8	12	15 °	3.6	A - B	1 - 4

Portal Frame Elements

Grid / Portal Number	1	2	3	4
Columns	A	MC15012	MC20019	MC20019
	B	MC15012	MC20019	MC20019
Rafters	A - Apex	MC15012	MC15015	MC15015
	Apex - B	MC15012	MC15015	MC15015
End Wall Mullions	Z	MC20015	-	MC20015
Apex Braces	Apex	-	MC15012 @ 2.4	MC15012 @ 2.4
Knee Braces	A - Apex	MC15012 @ 1.32	MC15012 @ 1.32	MC15012 @ 1.32
	Apex - B	MC15012 @ 1.32	MC15012 @ 1.32	MC15012 @ 1.32

Bay Section Elements

Bay Number	1	2	3
Bay Widths	4	4	4
Roof Purlins (refer to Purlin And Girt Plan)	Z100	Z100	Z100
Roof Purlin Spacing (End)	A - Apex	1.315	1.315
	Apex - B	1.315	1.315
Roof Purlin Spacing (Internal Spans)	A - Apex	1.315	1.315
	Apex - B	1.315	1.315
Eave Purlin	A	C15012	C15012
	B	C15012	C15012
Side Girts (refer to Purlin And Girt Plan)	Z100	Z100	Z100
Side Girt Bridging (Rows)	B	-	YES (1)
Side Girts Spacing (End)	A	1.685	1.685
	B	1.685	1.685
Side Girts Spacing (Internal)	A	1.685	1.685
	B	1.685	1.685
Roller Door Header	B	C10010	C10010
Roller Door Jambs	B	MC15019	MC15019

End Bay Section Elements

Grid / Portal Number	1	4
End Girts (refer to Purlin And Girt Plan)	Z100	Z100
End Girt Bridging (Rows)	A - Z	YES (1)
	Z - B	YES (1)
End Girts Spacing (End)	A - Z	1.685
	Z - B	1.685
End Girts Spacing (Internal)	A - Z	1.685
	Z - B	1.685

Roller Door

Location - Side & Bay Number	RightSide 1	RightSide 2
Roller Door Size	3x2.95	3x2.95
Roller Door Header	C10010	C10010
Roller Door Jambs	MC15019	MC15019
Roller Door Clip Config	0 clip	0 clip
Roller Door Manufacturer	CENTURION	CENTURION

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MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

Cladding Elements		
Category	Colour	Product
Roof Sheeting	NightSky	TRIMCLAD® 0.42 BMT
Roof Flashings	COLORBOND® steel	BlueScope 0.55 BMT
Wall Sheeting	NightSky	TRIMCLAD® 0.42 BMT
Wall Flashing	COLORBOND® steel	BlueScope 0.55 BMT

Pier Sizes							
Cohesion	Soil Description	Diameter	Depth - with Slab			Reinforcement (1)	Min Depth for Reo (2)
			BP1	BP2	BP3		
0kPa	Sandy Soil	0.3	0.45	-	-	N/A	1.2
		0.45	0.45	0.45	0.7	N/A	1.2
		0.6	0.45	0.45	0.7	N/A	1.2
50.00 kPa	Soft to Firm Clay	0.3	0.7	-	-	4-N12	1
		0.45	0.7	0.45	0.8	4-N12	1.2
		0.6	0.7	0.45	0.8	4-N16	1.2
100.00 kPa	Stiff to Very Stiff Clay	0.3	0.7	-	-	N/A	0.9
		0.45	0.7	0.45	0.7	4-N12	1.2
		0.6	0.7	0.45	0.7	4-N16	1.2
		Embedment Depth	0	0	0	N/A	N/A

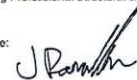
Note 1
For pier reinforcement: Deformed bar to be within 100mm of base and minimum 75mm top cover.
Minimum side cover 75mm, maximum 100mm.
Rod to be caged horizontally at least twice with minimum 6mm cage tie at a maximum spacing of 300mm.

Note 2
No reinforcement is required for piers less than this depth. For all other pier depths refer to the table and Note 1.

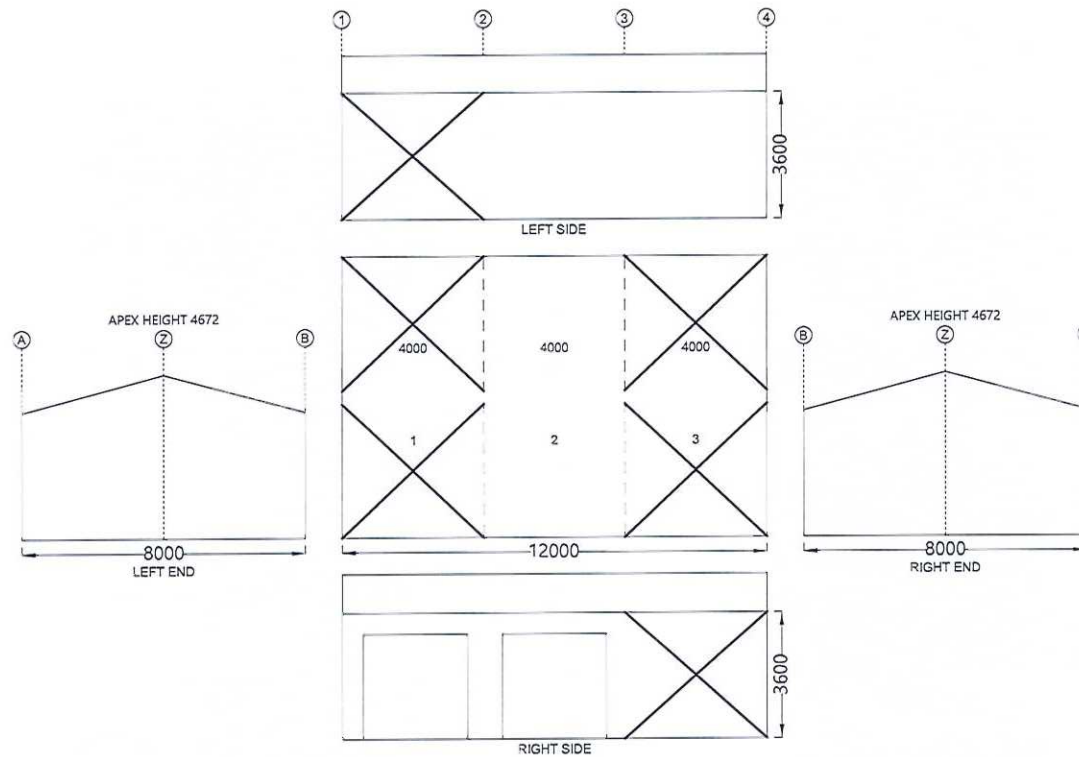
Pier Sizes							
			Depth - when NO Slab				
Cohesion	Soil Description	Diameter	BP1	BP2	BP3	Reinforcement (1)	Min Depth for Reo (2)
0kPa	Sandy Soil	0.3	0.7	-	-	N/A	1.2
		0.45	0.6	0.9	1	N/A	1.2
		0.6	0.6	0.8	0.9	N/A	1.2
50.00 kPa	Soft to Firm Clay	0.3	1.2	-	-	4-N12	0.7
		0.45	1.2	1.4	1.6	4-N12	1
		0.6	1.2	1.4	1.6	4-N16	1.2
100.00 kPa	Stiff to Very Stiff Clay	0.3	1.1	-	-	N/A	0.6
		0.45	1.1	1.3	1.4	4-N12	0.9
		0.6	1.1	1.3	1.4	4-N16	1
		Embedment Depth	0	0	0	N/A	N/A

Note 1
For pier reinforcement: Deformed bar to be within 100mm of base and minimum 75mm top cover.
Minimum side cover 75mm, maximum 100mm.
Rod to be caged horizontally at least twice with minimum 6mm cage tie at a maximum spacing of 300mm.

Note 2
No reinforcement is required for piers less than this depth. For all other pier depths refer to the table and Note 1.

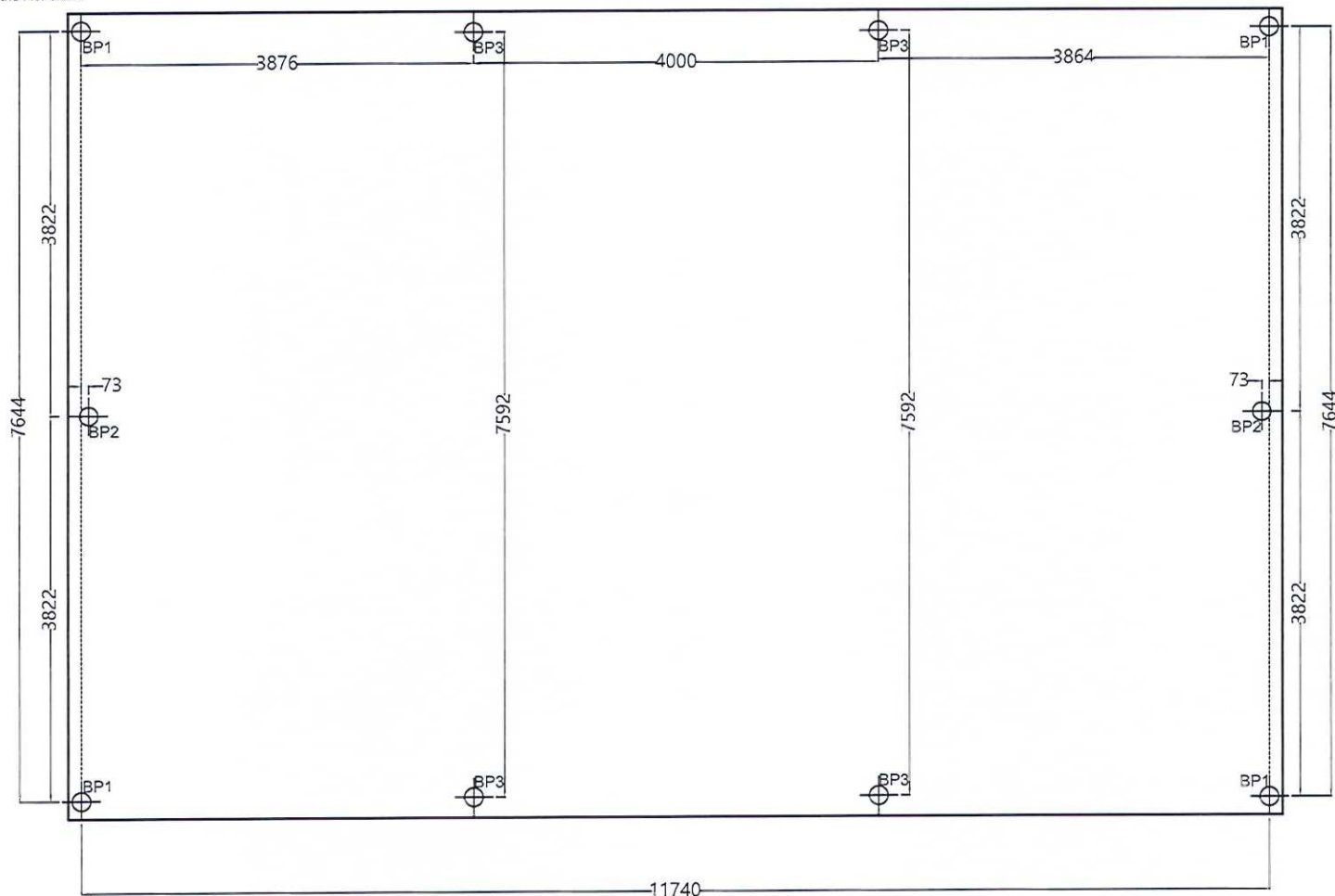
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			Drawing # WSS251361 - 4	Print Date: 30/09/2025			
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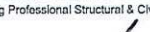
Cross Bracing is achieved with 1.2 mm Strap. Refer to Connection Details.



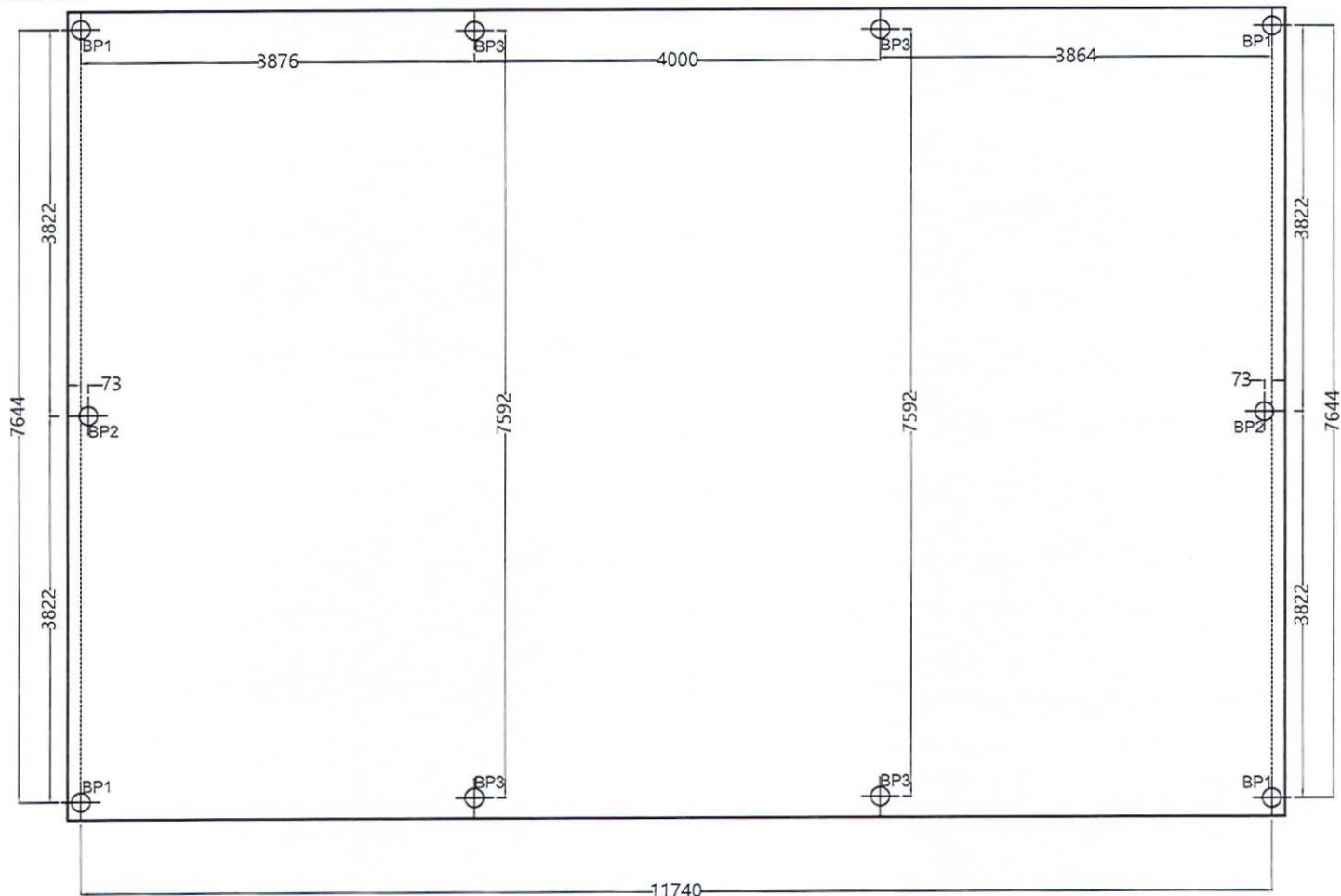
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Concrete Piers (Slab)
These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.
Refer to Material Specification Sheet(s) for the Pier Sizes.



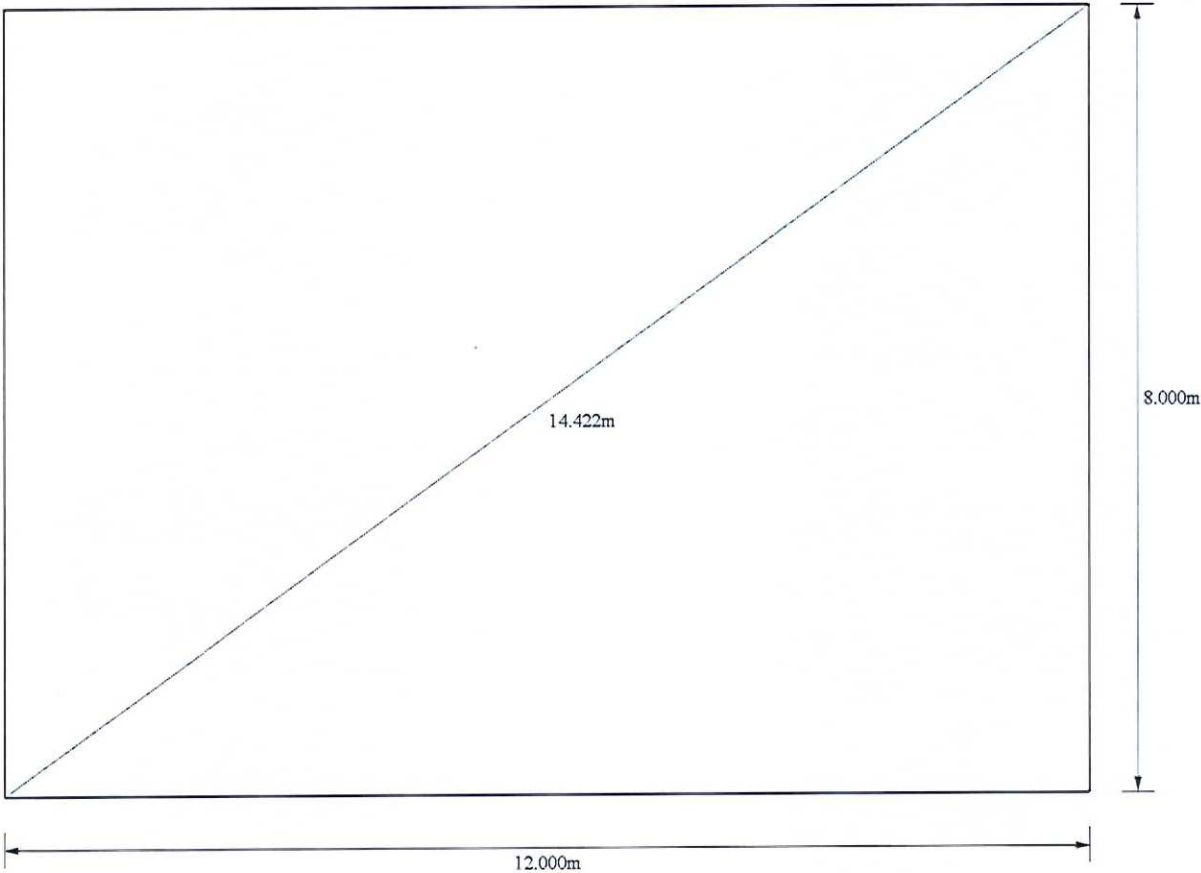
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			Site Location: 57 Seven Mile Beach Rd Seven Mile Beach TAS 7170 Australia				
			Drawing # WSS251361 - 6	Print Date: 30/09/2025			

Concrete Piers (NO Slab)
 These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.
 Refer to Material Specification Sheet(s) for the Pier Sizes.



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These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.



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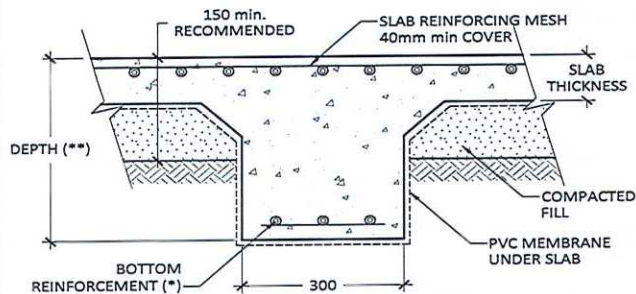
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Slab Dimensions
Also refer to Concrete Piers Plan. NOT FOR CONSTRUCTION
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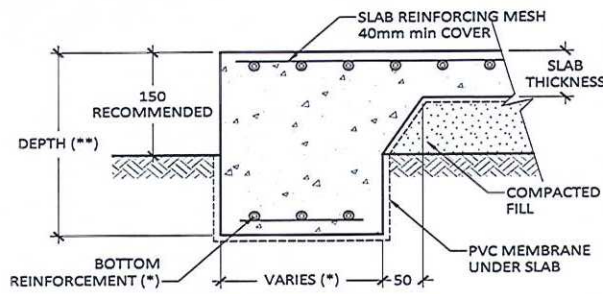
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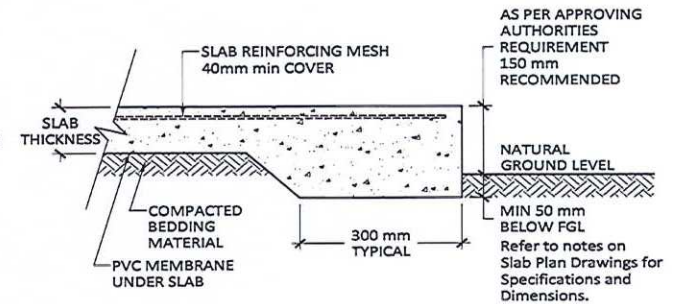
(**) REFER TO GENERAL NOTES FOR DEPTHS
(*) REFER TO GENERAL NOTES FOR SPECIFICATION

INTERNAL BEAM
(H1 & H2 SOIL TYPE, OPTIONAL A, S & M)

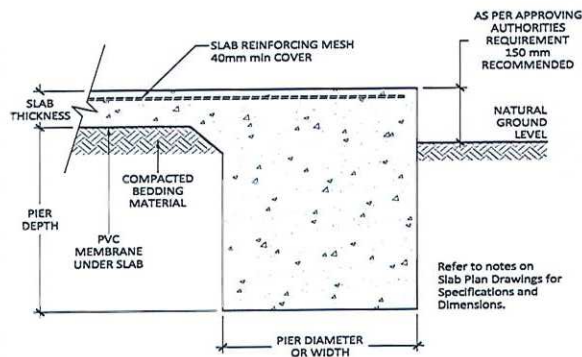


(**) REFER TO GENERAL NOTES FOR DEPTHS
(*) REFER TO GENERAL NOTES FOR SPECIFICATION

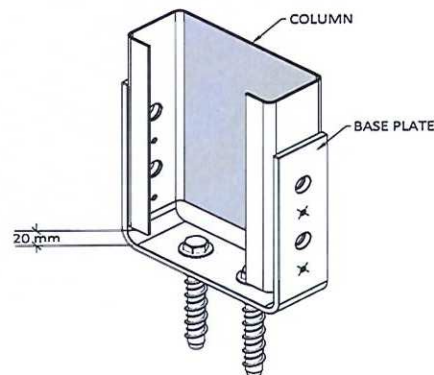
PERIMETER BEAM
(H1 & H2 SOIL TYPE, OPTIONAL A, S & M)



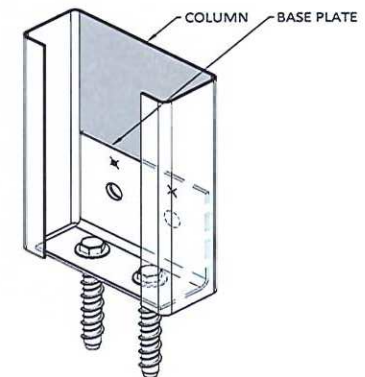
SLAB PERIMETER THICKENING BETWEEN PIER
A, S & M SOIL TYPES



SLAB AND PIER DETAIL



FIXING BOLTS - 2 of M12 x 100 SCREWBOLT
○ FIXING BOLTS - 4 of M12 x 30 Galv.
× FIXING SCREWS - 4 of 12.24 x 38 Series 500
C150 COLUMN FIXING (BF)



FIXING BOLTS - 2 of M12 x 100 SCREWBOLTS
○ FIXING BOLTS - 2 of M12 x 30 Galv.
× FIXING SCREWS - 2 of 14.20 x 22
C200 MULLION BASE PLATE (B)

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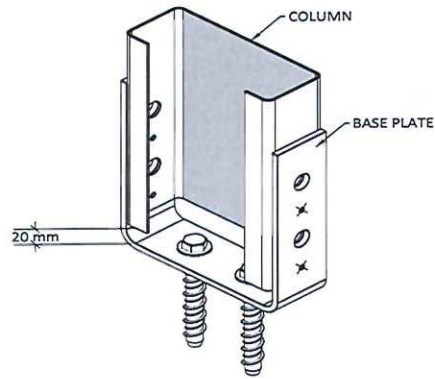
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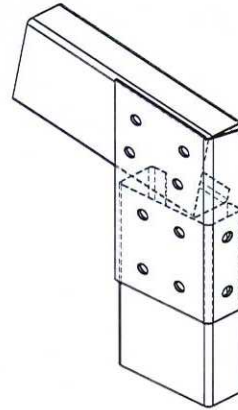
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J. Ronaldson

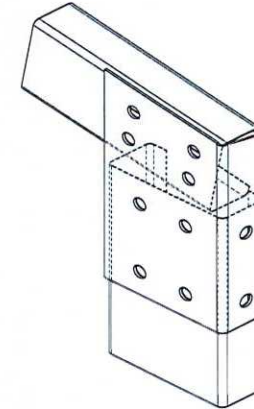
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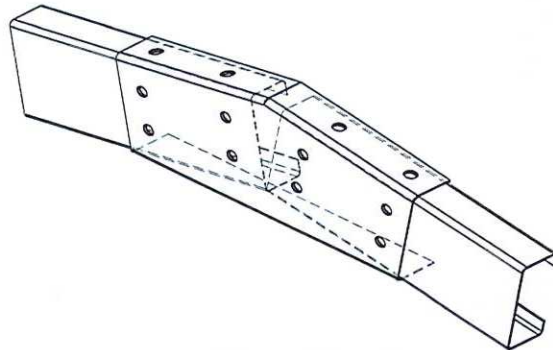
○ FIXING BOLTS - 2 of M12 x 100 SCREWBOLT
 ○ FIXING BOLTS - 4 of M12 x 30 Galv.
 × FIXING SCREWS - 4 of 12.24 x 38 Series 500
C200 COLUMN FIXING (BF)



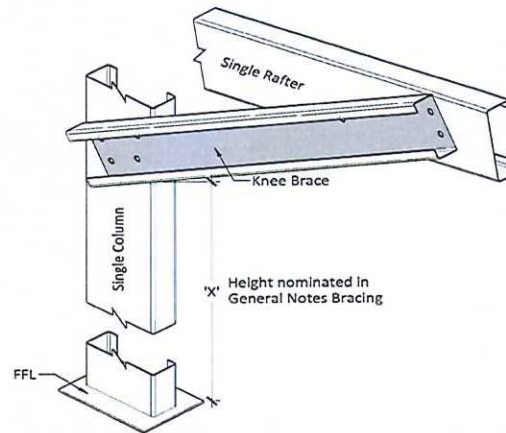
○ FIXING BOLTS - 10 of M12 x 30 (8.8)
FLAT PLATE HAUNCH BRACKET (X&Y) - C150, 15°



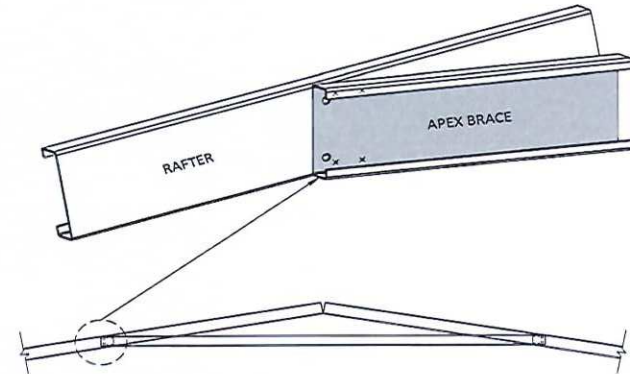
○ FIXING BOLTS - 10 of M12 x 30 (8.8)
FLAT PLATE HAUNCH BRACKET (X&Y) - C200-C150, 15°



○ FIXING BOLTS - 12 of M12 x 30 (8.8)
APEX PLATE (A) - C150, 15°



○ FIXING BOLTS - 7 of M12 x 30 (8.8)
**KNEE BRACE FOR
 SINGLE COLUMN + SINGLE RAFTER**



○ FIXING BOLTS - 2 of M12 x 30 (8.8)
 × FIXING SCREWS - 4 of 14.20 x 22
APEX BRACE FOR SINGLE RAFTER - C150-C150

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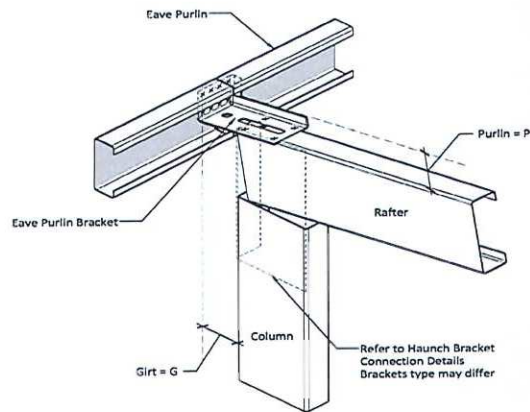
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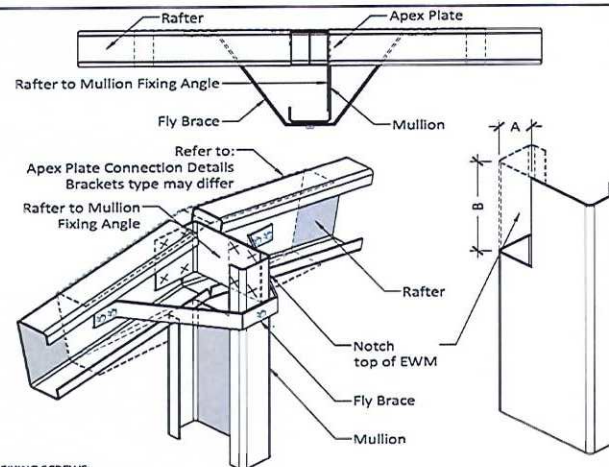
Signature:

J. Randall

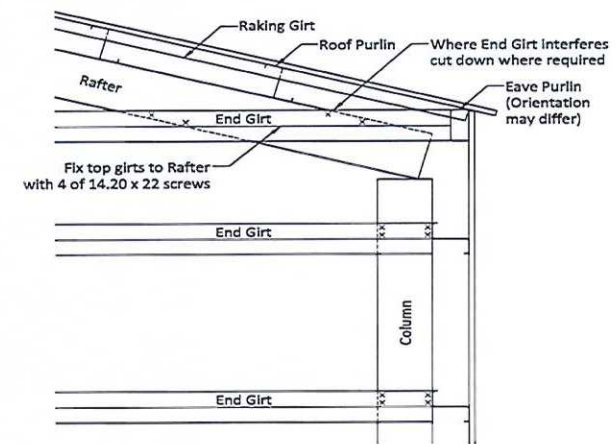
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* P/G - Z100 - TH120 - Z150
 O FIXING BOLTS - 1 of M12 x 30
 X FIXING SCREWS - 12 of 14.20 x 22
EAVE PURLIN BRACKET TO RAFTER



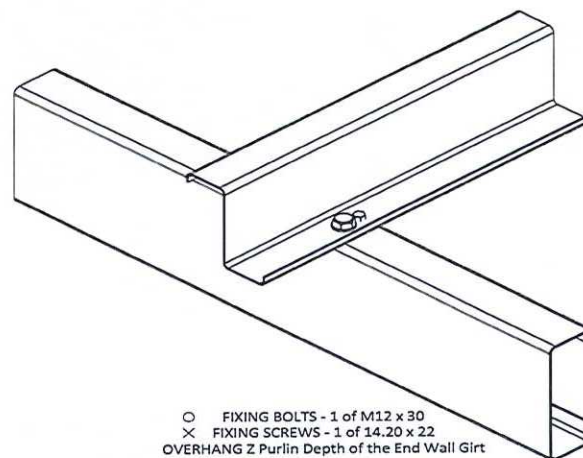
FIXING SCREWS:
 RAFTER TO MULLION FIXING ANGLE - 8 of 14.20 x 22
 FLY BRACE - 5 of 14.20 x 22
END WALL MULLION TO APEX



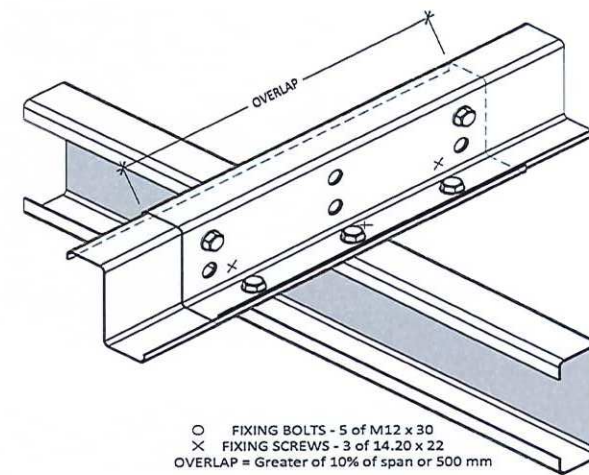
GABLE END TOP END GIRT FIXING - Z



X FIXING SCREWS - 4 of 14.20 x 22
GIRT FIXING TO RAFTER - Z



O FIXING BOLTS - 1 of M12 x 30
 X FIXING SCREWS - 1 of 14.20 x 22
 OVERHANG Z Purlin Depth of the End Wall Girt
PURLIN & SIDE GIRT END WALL FIXING
Z PURLIN - SINGLE COLUMN OR RAFTER



O FIXING BOLTS - 5 of M12 x 30
 X FIXING SCREWS - 3 of 14.20 x 22
 OVERLAP = Greater of 10% of span or 500 mm
PURLIN/GIRT FIXING
SINGLE C SECTION COLUMNS OR RAFTERS

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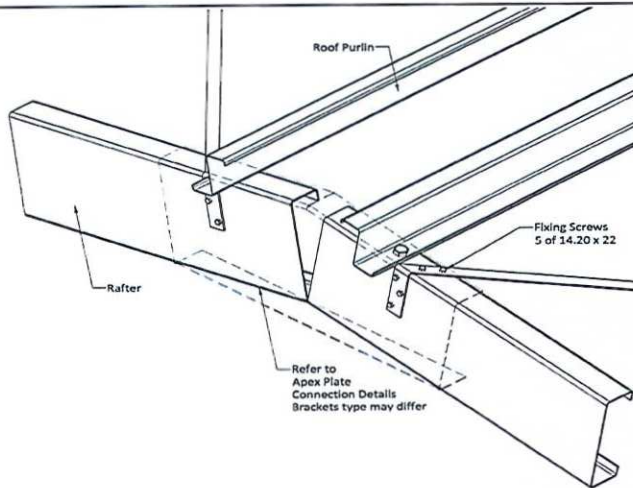
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 ME Aust. (Registered NER Structural) 5276680
 QLD: RPEQ No. 24223; TAS: 185770492; VIC: PE0003848; N.T.: 303557ES;
 Practising Professional Structural & Civil Engineers

Signature:

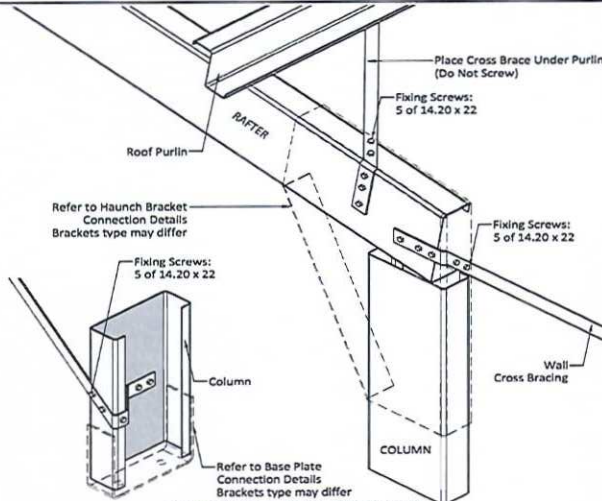
J. Ronaldson

Date: John Ronaldson

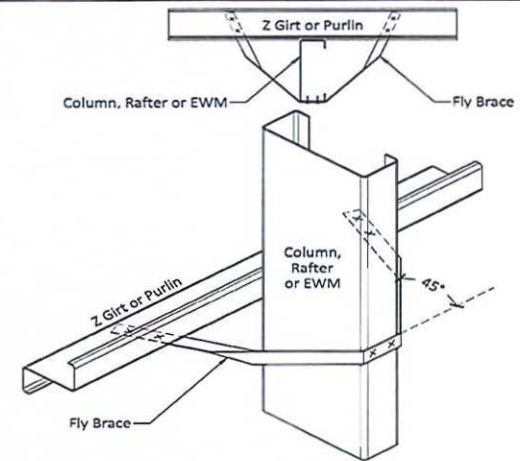
Date: 30/09/2025



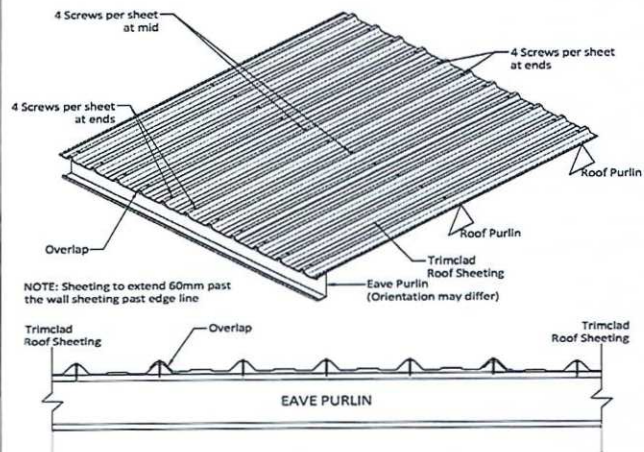
BRACING CONNECTION AT APEX



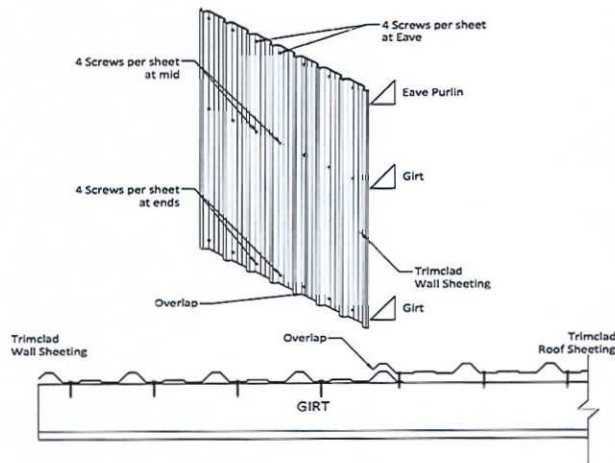
BRACING CONNECTION



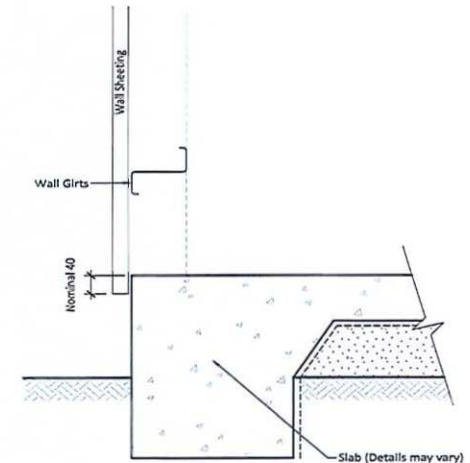
To be fixed on all Columns, Rafters and EWM, at spacings nominated in the General Notes
FIXING SCREWS - 6 of 14.20 x 22
FLY BRACING



Roofing Screws - 12.14 x 53 Hex Seal High Grip
TRIMCLAD ROOF SHEET FIXING



Wall Screws - 10.16 x 16 Hex
WALL SHEETTING CONNECTION DETAILS



WALL SHEET OVERHANG DETAIL

Purchaser Name: Cams Electrical Tas Pty Ltd.

Site Location: 57 Seven Mile Beach Rd Seven Mile Beach TAS 7170 Australia

Drawing # WSS251361 - 8

Print Date: 30/09/2025

Connection Details
NOT FOR CONSTRUCTION
Not to Scale
Page 4 of 6
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Seller: Wide Span Sheds Pty Ltd
Wide Span Sheds Pty Ltd
Phone: 07 5657 8888
Fax: 07 5657 8889
Email: admin@sheds.com.au

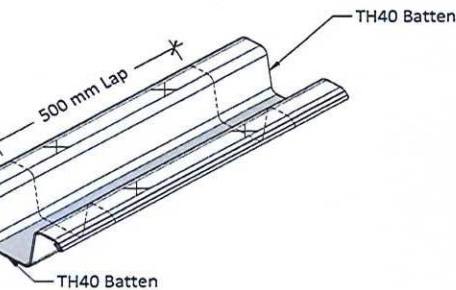
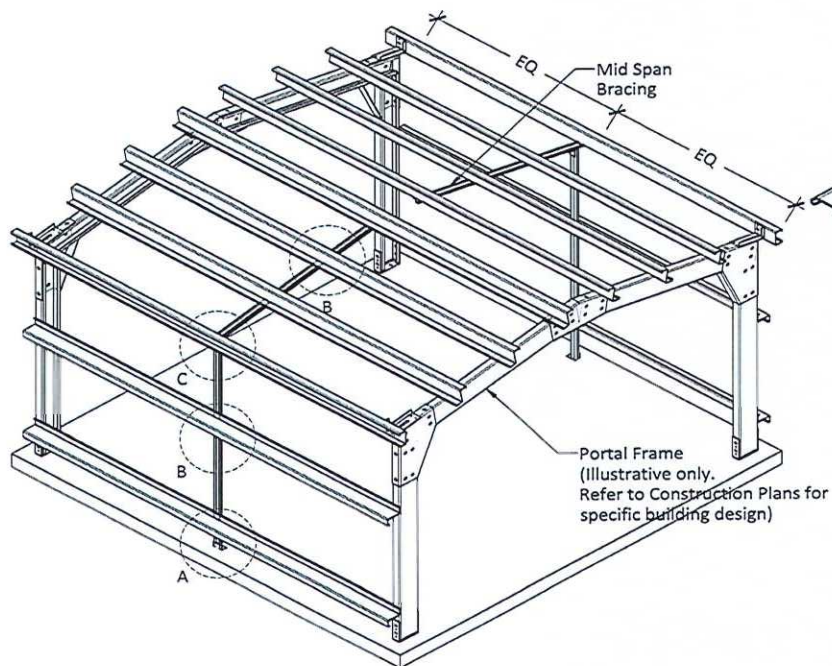
Apex Engineering Group PTY LTD
ACN 632 588 562
ME Aust. (Registered NER Structural) 5276680
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES;
Practising Professional Structural & Civil Engineers

Signature:

J. Ronaldson

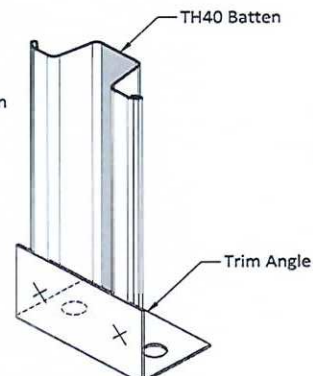
Date: John Ronaldson

Date: 30/09/2025



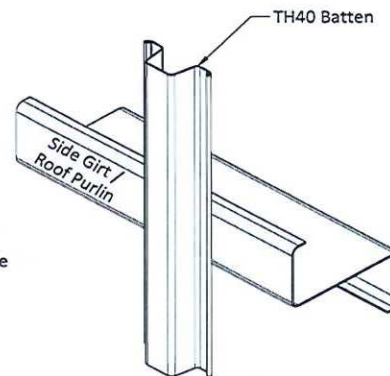
BATTEN OVERLAP

To extend battens,
Lap battens 500 mm with 4 screws



DETAIL AT A: BATTEN TO SLAB OR PIERS

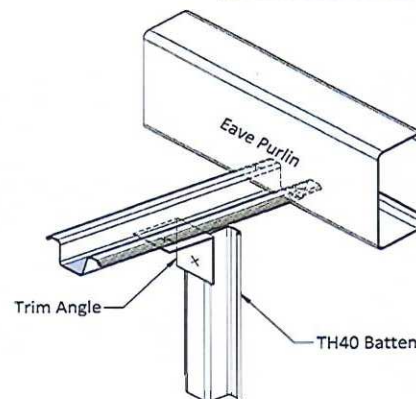
FIXING SCREWS: 2 of 14.20 x 22 to Bracket
FIXING BOLTS: 2 of M8 x 40 Dynabolts to Concrete
PIERS ONLY FINISH AT BOTTOM GIRT



DETAIL AT B: BATTEN TO GIRTS/PURLINS

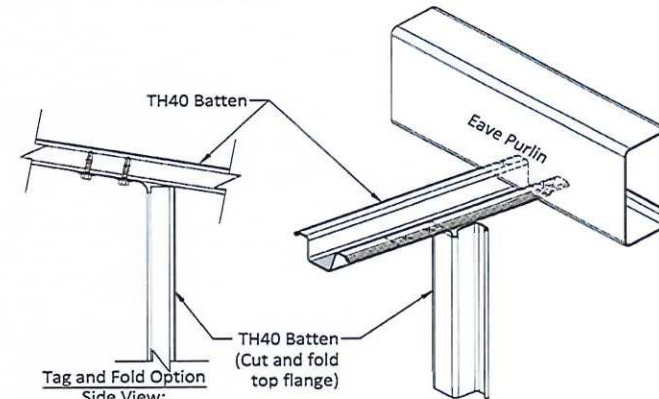
FIXING SCREWS: 2 of 14.20 x 22
to each Wall Girt or Roof Purlin

Illustrative Only:
Refer to specsheet for Bridging requirements and locations.
Bridging may not be required on both roof and walls as shown.
If Bridging is not in the specifications table it is not required



Trim Angle Option:

FIXING SCREWS: 2 of 14.20 x 22 to Bracket
FIXING SCREWS: 2 of 14.20 x 22 to Eave Purlin



Tag and Fold Option: Side View:

**DETAIL AT C:
BATTEN TO EAVE PURLIN**

FIXING SCREWS: 2 of 14.20 x 22 to Batten
FIXING SCREWS: 2 of 14.20 x 22 to Eave Purlin

Where possible, use Trim Angle or attach the Roof Bridging to the Eave Purlin

WALL AND ROOF BRIDGING

Purchaser Name: Cams Electrical Tas Pty Ltd.

Site Location: 57 Seven Mile Beach Rd Seven Mile Beach TAS 7170 Australia

Drawing # VSS251361 - 8

Print Date: 30/09/2025

Connection Details NOT FOR CONSTRUCTION

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Page 5 of 6
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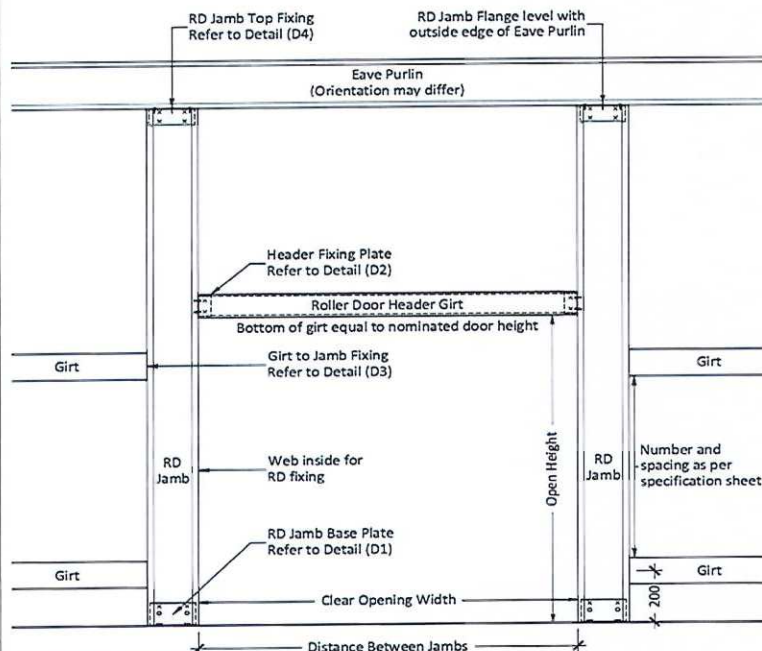
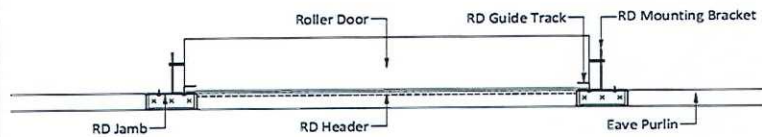
Seller: Wide Span Sheds Pty Ltd
Wide Span Sheds Pty Ltd
Phone: 07 5657 8888
Fax: 07 5657 8899
Email: admin@sheds.com.au

Apex Engineering Group PTY LTD
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QLD: RPEQ No. 24223; TAS: 185770492; VIC: PE0003848; N.T: 303557ES;
Practising Professional Structural & Civil Engineers

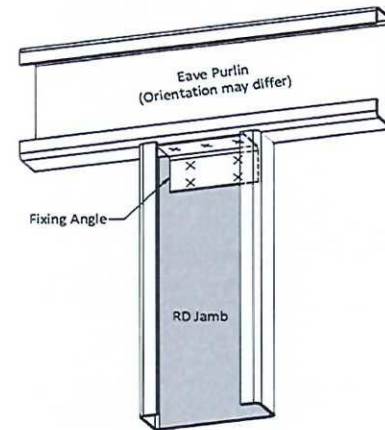
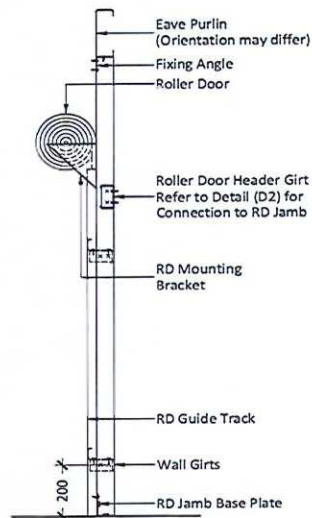
Signature:

Date: John Ronaldson

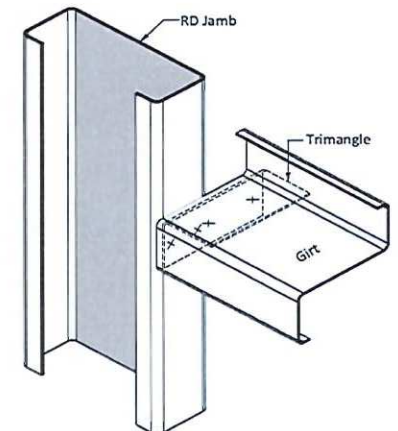
Date: 30/09/2025



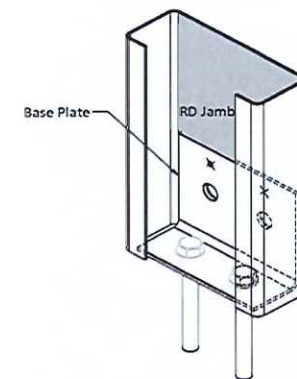
Door Width	Max Opening
≤3.1m	Door Width -50mm
>3.1m or ≤5.1m	Door Width -100mm



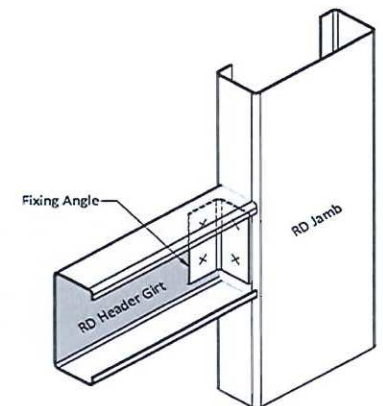
× FIXING SCREWS - 7 of 14.20 x 22
DETAIL (D4) - RD JAMB TOP FIXING



× FIXING SCREWS - 4 of 14.20 x 22
DETAIL (D3) - GIRT FIXING TO RD JAMB



2 of M12 x 75 DYNABOLTS - FOR C150 & C200 JAMBS
2 of M16 x 110 DYNABOLTS - FOR C250 & C300 JAMBS
○ FIXING BOLTS - 2 of M12 x 30 - FOR C150 & C200 JAMBS
○ FIXING BOLTS - 2 of M16 x 30 - FOR C250 & C300 JAMBS
× FIXING SCREWS - 2 of 14.20 x 22
DETAIL (D1) - RD JAMB BASE PLATE



× FIXING SCREWS - 4 of 14.20 x 22
DETAIL (D2) - RD HEADER GIRT FIXING

Purchaser Name: Cams Electrical Tas Pty Ltd.

Site Location: 57 Seven Mile Beach Rd Seven Mile Beach TAS 7170 Australia

Drawing # VSS251361 - 8

Print Date: 30/09/2025

Connection Details
NOT FOR CONSTRUCTION
Not to Scale
Page 6 of 6
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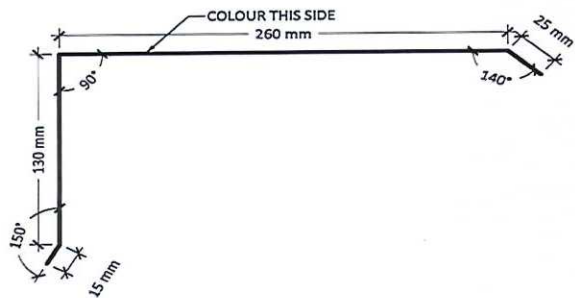
Seller: Wide Span Sheds Pty Ltd
Wide Span Sheds Pty Ltd
Phone: 07 5657 8888
Fax: 07 5657 8899
Email: admin@sheds.com.au

Apex Engineering Group PTY LTD
ACN 632 588 562
ME Aust. (Registered NER Structural) 5276680
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES;
Practising Professional Structural & Civil Engineers

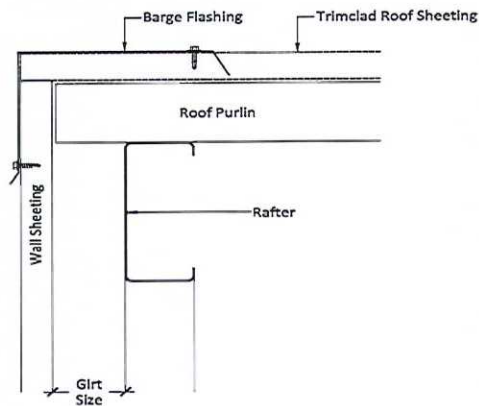
Signature:

J. Ronaldson

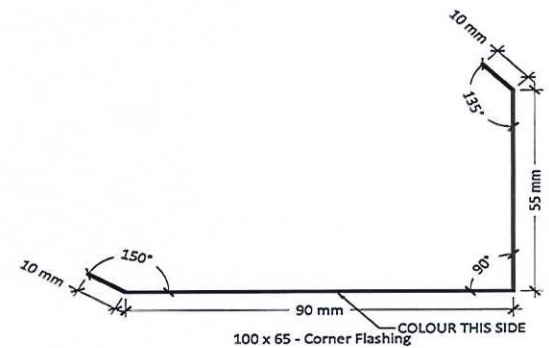
Date: John Ronaldson
Date: 30/09/2025



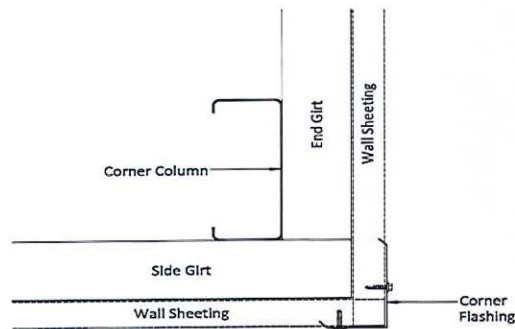
Barge Capping - Trimclad TH64/Z100
A-BARGE-2



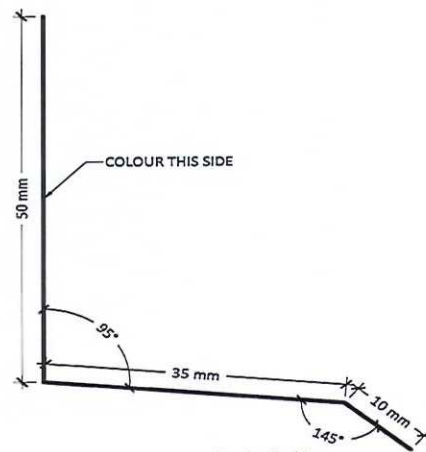
Barge Flashing - A-BARGE-2 - Sheeting Gable



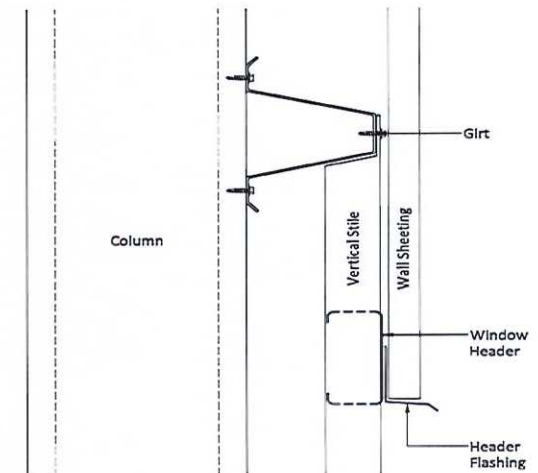
100 x 65 - Corner Flashing
A-CNR-EXT-A-2



Corner Flashing - A-CNR-EXT-A-2



Header Flashing
A-HEADER-2



Window Header Flashing - A-HEADER-2

Purchaser Name: Camis Electrical Tas Pty Ltd.

Site Location: 57 Seven Mile Beach Rd Seven Mile Beach TAS 7170 Australia

Drawing # WSS251361 - 9

Print Date: 30/09/2025

Flashing Fixing Details
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Not to Scale
Page 1 of 3
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Seller: Wide Span Sheds Pty Ltd
Wide Span Sheds Pty Ltd
Phone: 07 5657 8888
Fax: 07 5657 8899
Email: admin@sheds.com.au

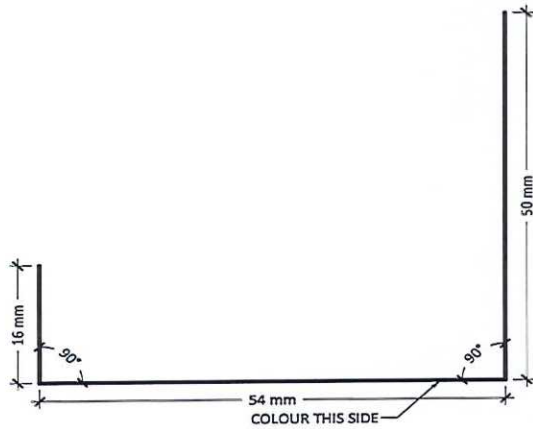
Apex Engineering Group PTY LTD
ACN 632 588 562
ME Aust. (Registered NER Structural) 5276680
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T.: 303557ES;
Practising Professional Structural & Civil Engineers

Signature:

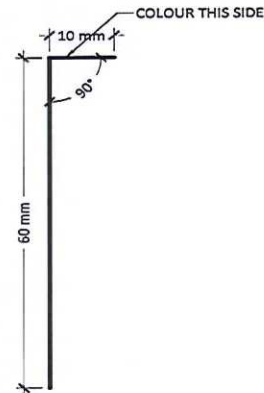
J. Ronaldson

Date: John Ronaldson

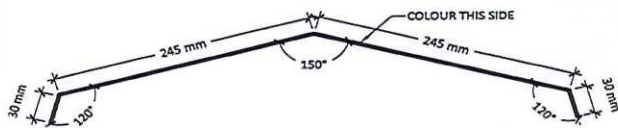
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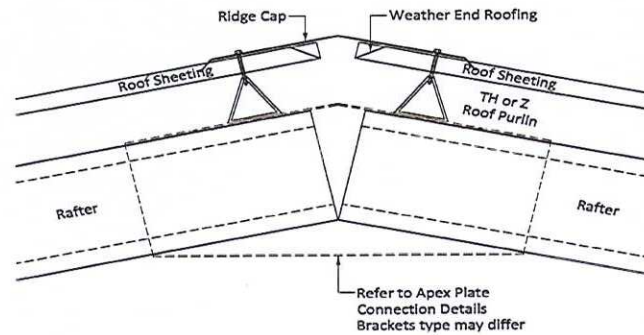
C100 RD Head Cover Flashing
A-RDH-C-F-0



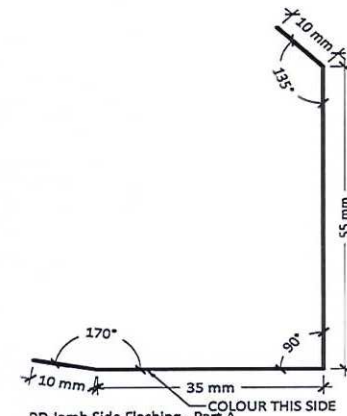
RD Side - Part B
A-RDJAMB-B



15° Ridge Capping - Z - Trimclad
A-RIDGE-C-1-2



Ridge Cap - A-RIDGE-C-1-2



RD Jamb Side Flashing - Part A
B-RDJAMB-F-A-X-1

Purchaser Name: Camis Electrical Tas Pty Ltd.

Site Location: 57 Seven Mile Beach Rd Seven Mile Beach TAS 7170 Australia

Drawing # WSS251361 - 9

Print Date: 30/09/2025

Flashing Fixing Details

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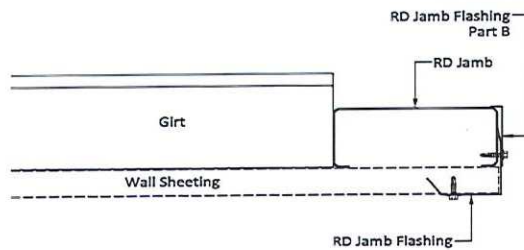
Apex Engineering Group PTY LTD
ACN 632 588 562
ME Aust (Registered NER Structural) 5276680
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PED003848; N.T.: 303557ES;
Practising Professional Structural & Civil Engineers

Signature:

J. Ronaldson

Date: John Ronaldson

Date: 30/09/2025



Roller Door Jamb Flashing - B-RDJAMB-F-A-X-1

Purchaser Name: Camis Electrical Tas Pty Ltd.

Site Location: 57 Seven Mile Beach Rd Seven Mile Beach TAS 7170 Australia

Drawing # WSS251361 - 9

Print Date: 30/09/2025

Flashing Fixing Details

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Apex Engineering Group PTY LTD
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QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES;
Practising Professional Structural & Civil Engineers

Signature:

J. Ronaldson

Date: John Ronaldson

Date: 30/09/2025



SITE SPECIFIC DESIGN CRITERIA ANALYSIS

Issued:
29/09/2025

Prepared for:
Matthew Rickards
57 Seven Mile Beach Rd
Seven Mile Beach TAS 7170

Supplier:
Wide Span Sheds

Assessment Ref:
STX25090468GV

Building Details:

Span: 8
Length: 12
Avg. Height: 4.136

Assesment basis:

NCC 2022
AS/NZS 1170.2:2021
AS/NZS 1170.3:2003
AS1170.4:2007
AS/NZS 3500.3:2021

Certified by:



J. Ronaldson
for and on behalf of
Apex Engineering Group PTY LTD
(ACN 632 588 562)

Member Institution of Engineers (Aust.), CPEng (NER Structural) Regn. No. 5276680
Registered Professional Engineer (Structural) - Queensland: Regn. No. 24223
Registered Professional Engineer (Structural) - Victoria: Regn. No. PE0003848
Registered Building Designer & Professional Engineer (Structural) - Tasmania: Regn. No. 185770492

Executive Summary - Site Specific Analysis

The design analysis of the building has not been considered for each of the 4 orthogonal directions. Hence the maximum wind speed in any of the 8 cardinal directions has been used as the design wind speed. This is a conservative approach.

Each cardinal direction has been considered and the results are summarised below

Factor	N	NE	E	SE	S	SW	W	NW
Wind Region	A4							
Importance level (IL)	2							
Distance from Smoothed Coastline	N/A							
Regional Wind Speed (Vr)	45.0							
Climate Change Factor (Mc)	1							
Terrain Category (TC)	2.48	2.61	2.94	2.76	2.5	2.48	2.5	2.56
Terrain Category Multiplier (Mz)	0.87	0.86	0.83	0.85	0.87	0.87	0.87	0.87
Shielding Multiplier (Ms)	1	1	1	1	1	1	1	1
Topographic Multiplier (Mt)	1	1	1	1	1	1	1	1
Wind Direction Multiplier 1 (Md1)	0.85	0.75	0.75	0.8	0.8	0.9	1	1
Site specific design wind speed (Vsite1)	33.3	30	30	30.6	31.3	35.3	39.2	38.9

Wind Direction Multiplier 2 (Md2)	0.85	0.75	0.75	0.8	0.8	0.9	1	1
Site specific design wind speed (Vsite2)	33.3	30	30	30.6	31.3	35.3	39.2	38.9

Design Wind Speed (Vsite1)	39.2 m/s	for the resultant forces and overturning moments on the complete building and wind actions on major structural elements.
Design Wind Speed (Vsite2)	39.2 m/s	for cladding and immediate supporting structures (Purlins and Girts)
Snow Load	Nil	
Earthquake	0.08	Hazard Design Factor (Z)
Durability Alert	Yes	It is likely that the building is subject to a Marine Influence and Industrial Influence. You should satisfy yourself that any BlueScope or other warranties specific for your site are satisfactory for your purpose. Amongst other sources, you should contact BlueScope on 1800 800 789.
Rainfall Intensity	87mm/hr	5% AEP
Rainfall Intensity	119mm/hr	1% AEP

Tuesday, 30 September 2025

Sheeting Design Documentation

To whom it may concern,

The sheeting used for this structure has been designed as a category R2 sheeting with an imposed load of 0.25kPa and concentrated load of 1.4kN applied in accordance with NCC: 2022 Volume 2 Amendment 2 and AS1562.1.

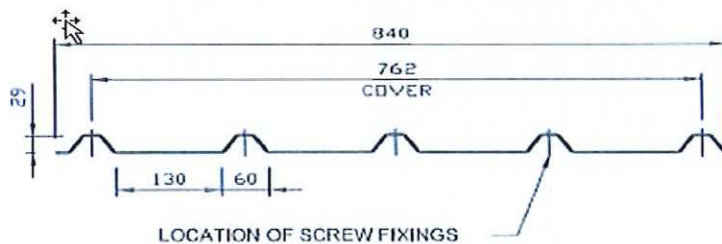
No allowance has been made for the fixing of rooftop-mounted equipment such as solar panels or air-conditioning equipment directly to the cladding.

Metroll purlins have been designed to withstand foot traffic during installation and service. The use of appropriate cradles or cherry pickers is recommended. **As a minimum, never walk on purlins without safety mesh in place.**

When walking on Trimclad roof sheeting always wear flat rubber soled shoes and only walk over areas where purlins or batten supports are installed. Walk in either pan next to the lapped edge ribs.

Profile and Dimensions of Cladding

Metroll Trimclad Steel Sheetting is Manufactured from G550 colour coated steel or zinc-aluminium alloy coated (AZ 150) steel. In some locations galvanised (Z450) may also be available.



Specification of Materials

Location	BMT (mm)	Steel Base (MPa)	Mass CB (kg/m ²)	Mass Zinc (kg/m ²)	Effective Cover	Min. Pitch	Max Spans (mm)		
							End	Internal	Overhang
Roof	0.42	G550	4.35	4.28	762	2 (1 in 30)	1300	1700	150
Roof	0.48	G550	4.93	4.81	762	2 (1 in 30)	1700	2300	150
Wall	0.35	G550	3.68	3.70	762		2900	3000	150
Wall	0.42	G550	4.35	4.28	762		3000	3000	150

Design pressures to AS/NZS 1170.2

Location	Zone	Design Pressure (kPa)
Roof	Corner	-1.31
	Edge	-1.31
	General	-0.65
Wall	Corner	-1.80
	Edge	-1.20
	General	-0.60

Max Roof Run (m) for Slopes & Rainfall Intensity

Rainfall Intensity (mm/hr)	Trimclad Roof Slope				
	1 in 30 (2°)	1 in 20 (3°)	1 in 12 (5°)	1 in 7.5 (7.5°)	1 in 6 (10°)
100	220	257	320	382	439
150	146	172	214	255	293
200	110	129	160	191	220

Max Roof Run (m) for Slopes & Rainfall Intensity					
Rainfall Intensity (mm/hr)	Trimclad Roof Slope				
	1 in 30 (2°)	1 in 20 (3°)	1 in 12 (5°)	1 in 7.5 (7.5°)	1 in 6 (10°)
250	88	103	128	153	176
300	73	86	107	127	146
400	55	64	80	96	110

Fastener Specifications	
Timber	14 - 10 x 65 T17
0.75 to 1.0mm Steel	M6.5 - 12 x 55 roof zips
1.2 to 4mm Steel	14 - 10 x 53 Hex Head

Testing Criteria

This information is based on the **Low-High-Low testing competed by the Cyclone Testing Station (CTS)**, School of Engineering, James Cook University. The results of this testing are outlined in the test report TS716 produced by the CTS. Ultimate cyclic wind load strength tests were NATA accredited tests.

Load testing carried out by James Cook University, cyclone testing station, report No.TS716. Product tested to AS4040.1, AS4040.3 and low-high-low as per BCA B1.2. Tests carried out: cyclonic airbox wind test for strength. Static testing for serviceability. Buildex report No. ELTR 1532.

Signed



John Ronaldson
for and on behalf of
Apex Engineering Group PTY LTD
ACN 632 588 562

30 September, 2025

To whom it may concern

This certification has been completed based on an Importance Level of 2.

Any approving authority should confirm that the Importance Level nominated is appropriate for the building's usage nominated in the application form used to apply for a Building Permit / Construction Certificate.

I certify that I am an independent technical expert and have reviewed Steelx's "Shed Management System" software that has produced the design and drawings detailed below; I have reviewed the documents based on the site specific analysis that has been carried out using the "Shed Safe SiteCheck" software (Refer to the Site Specific Design Criteria Analysis included with these documents).

Job Number:	WSS251361	Building Class:	10a
Customer:	Cams Electrical Tas Pty Ltd.	Max Design Wind Speed	of 39.2m/s
Site Location:	57 Seven Mile Beach Rd Seven Mile Beach TAS 7170 Australia (-42.86162 and 147.49803)		

Drawing Number	Date	Number of Pages	Description
WSS251361 - 2	30/09/2025	2	General Notes
WSS251361 - 3	30/09/2025	1	Layout
WSS251361 - 4	30/09/2025	2	Material Specification Sheet
WSS251361 - 5	30/09/2025	1	Bracing
WSS251361 - 6	30/09/2025	2	Concrete Piers
WSS251361 - 7	30/09/2025	1	Slab Dimensions
WSS251361 - 8	30/09/2025	6	Connection Details
WSS251361 - 9	30/09/2025	3	Flashing Fixing Details
WSS251361 - 10	30/09/2025	1	Component Position
WSS251361 - 11	30/09/2025	5	Purlin And Girt

(Some drawings have multiple pages, eg: "1 of 3".)

As an independent technical expert, I verify this design complies with the following codes and standards:

NCC: 2022 Volume 2 Amendment 2	AS/NZS 1170.1:2002
AS/NZS 1170.2:2021	AS/NZS 1170.3:2003
AS/NZS 1170.4:2007	AS 2870:2011
AS 3600:2018	AS 4100:2020
AS/NZS 4600:2018	

Unless nominated, the building has not been designed for any additional loads including, but not limited to, earthquake, snow, solar panels or lining with any materials.

Signed



John Ronaldson
for and on behalf of
Apex Engineering Group PTY LTD
ACN 632 588 562

Member Institution of Engineers (Aust.), CPEng (NER Structural) Regn. No. 5276680
Registered Professional Engineer (Structural) - Queensland: Regn. No. 24223
Registered Building Designer & Professional Engineer (Structural) - Tasmania: Regn. No. 185770492
Registered Professional Engineer (Structural) - Victoria: Regn. No. PE0003848
Registered Professional Engineer (Structural) - ACT: Regn. No. 00300001602

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

To: Cams Electrical Tas Pty Ltd. *Owner name*
57 Seven Mile Beach Rd *Address*
Seven Mile Beach 7170 *Suburb/postcode*

Form **35**

Designer details:

Name: John Ronaldson *Category:* Building Designer /Engineer
Business name: Apex Engineering Group PTY LTD *Phone No:* +61 7 5657 4456
Business address: Suite 100, 237 Scottsdale Drive
Robina 4226 *Fax No:* +61 7 5657 8899
Licence No: 185770492 *Email address:* engineer@steelx.com.au

Details of the proposed work:

Owner/Applicant: Cams Electrical Tas Pty Ltd. *Designer's project reference No:* WSS251361
Address: 57 Seven Mile Beach Rd *Lot No:*
Seven Mile Beach 7170

Type of work: Building work: ☒ Plumbing work: ☐ (X all applicable.)

Description of work:

New Building

(new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions):

(X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	☒ Building design	Architect or Building Design
	☒ Structural design	Engineer or Civil Design
	☐ Fire Safety design	Fire Engineer
	☐ Civil design	Civil Engineer or Civil Designer
	☐ Hydraulic design	Building Service Design
	☐ Fire Service design	Building Service Design
	☐ Electrical design	Building Service Design
	☐ Mechanical design	Building Service Design
	☐ Plumbing design	Plumber-Certifier: Architect, Building Designer or Engineer
	☐ Other (specify)	

Deemed-to-Satisfy: ☒ Performance Solution: ☐ (X the appropriate box)

Other details:

Design documents provided:	
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The following documents are provided with this Certificate -

Document description:

Drawing numbers: WSS251361-2 to WSS251361-11	Prepared by: Wide Span Sheds	Date: 30/09/2025
Schedules:	Prepared by: TBA	Date: TBA
Specifications:	Prepared by: Wide Span Sheds	Date: 30/09/2025
Computations:	Prepared by: Wide Span Sheds	Date: 30/09/2025
Performance solution proposals:		
Test reports:		

Standards, codes or guidelines relied on in design process:	
NCC: 2022, and the following Australian standards: AS/NZS4600:2018, AS/NZS 1170.0 2002, AS/NZS 1170.1:2002, AS/NZS 1170.2:2021, AS/NZS 1170.3:2003, AS/NZS 1170.4:2007, AS4100:2020, AS2870:2011 and AS3600:2018.	

Any other relevant documentation:	

Attribution as designer:	
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I John Ronaldson being a licensed building services provider am responsible for the design of that part of the building work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed:</i>	<i>Date:</i>
Designer:	John Ronaldson		30/09/2025
Licence No:	185770492		

Director of Building Control - date approved: 2 August 2017

Building Act 2016 - Approved Form No 35

Assessment of Certifiable Works: (TasWork)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

if you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK:

TasWater must then be contacted to determine if the proposed works are Certifiable Works.

I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- ☐ The works will not increase the demand for the water supplied by TasWater
- ☐ The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- ☐ The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- ☐ The works will not damage or interfere with TasWater's works
- ☐ The works will not adversely affect TasWater's operations
- ☐ The works are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- ☐ I have checked the LISTMap to confirm the location of TasWater infrastructure
- ☐ If the property is connected to TasWater's water system, a water meter is in place or had been applied for to TasWater.

Certification:

I being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the Water and Sewerage Industry Act 2008, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments. Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed:</i>	<i>Date:</i>
Designer:			