



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/055444

PROPOSAL: Additions & Alterations to Existing Dwelling

LOCATION: 214 Tranmere Road, Tranmere

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 12 January 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 12 January 2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 12 January 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Extension to exiting residence

Location: **214 TRANMERE RD, TRANMERE**

Personal Information Removed



Is the property on the Tasmanian Heritage Register? Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Existing Private Residence**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☒ Details of the location of the proposed use or development.
- ☒ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☒ Full description of the proposed use or development.
- ☒ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☒ Declaration the owner has been notified if the applicant is not the owner.
- ☒ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☒ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☒ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ✓ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ✓ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 12491	FOLIO 107
EDITION 4	DATE OF ISSUE 01-Dec-2022

SEARCH DATE : 09-Sep-2025

SEARCH TIME : 02.35 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 107 on Plan [12491](#)Derivation : Part of 730-0-0 Granted to F. Butler and J. McC.
Browne

Derived from W2670

SCHEDULE 1[M747975](#) TRANSFER to JUSTIN ROXLEY WOOLLEY and HOLLY KATE
STEWART Registered 09-Apr-2019 at noonSCHEDULE 2

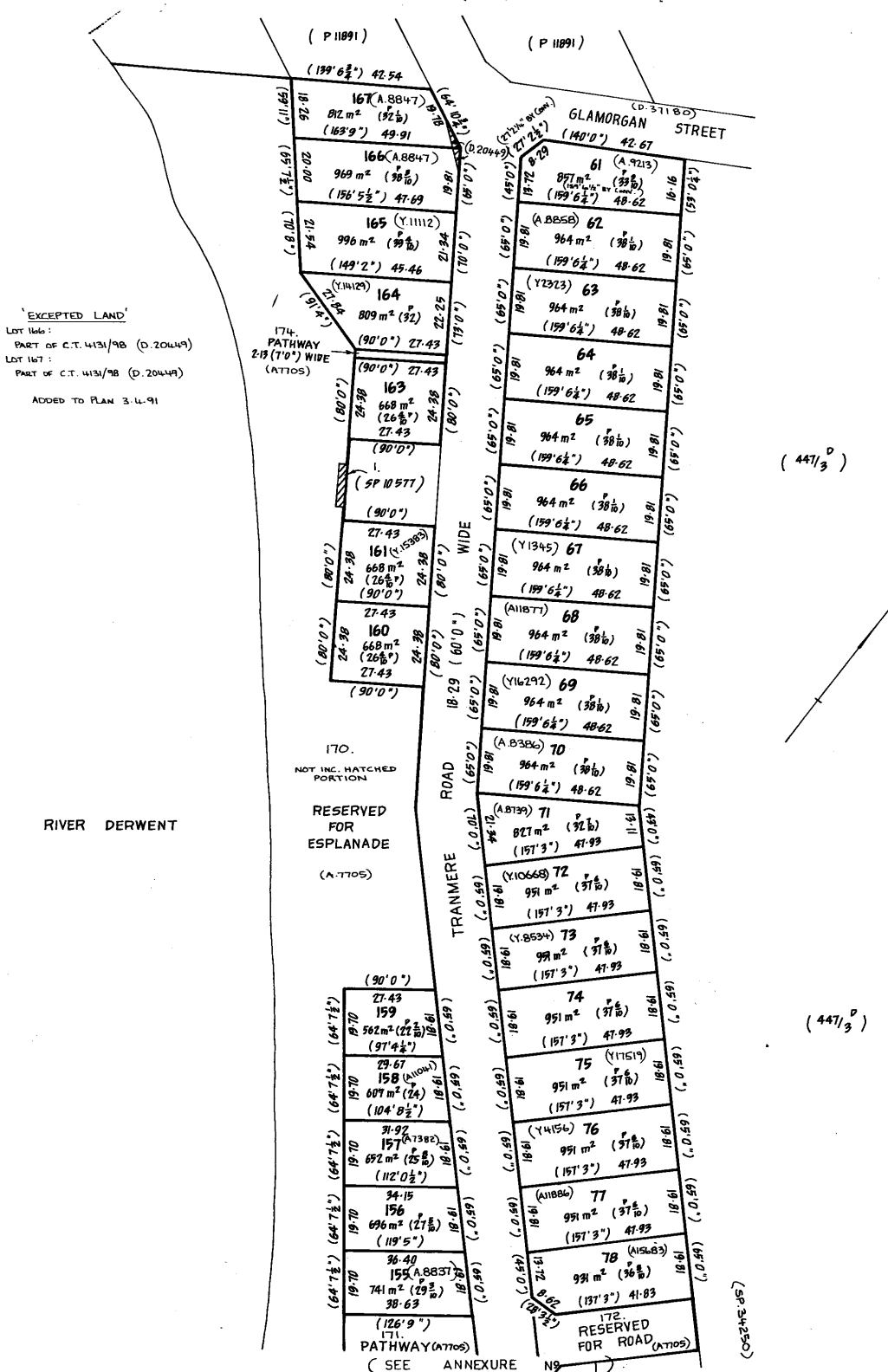
Reservations and conditions in the Crown Grant if any

[E325559](#) MORTGAGE to Commonwealth Bank of Australia
Registered 01-Dec-2022 at 12.01 PMUNREGISTERED DEALINGS AND NOTATIONS

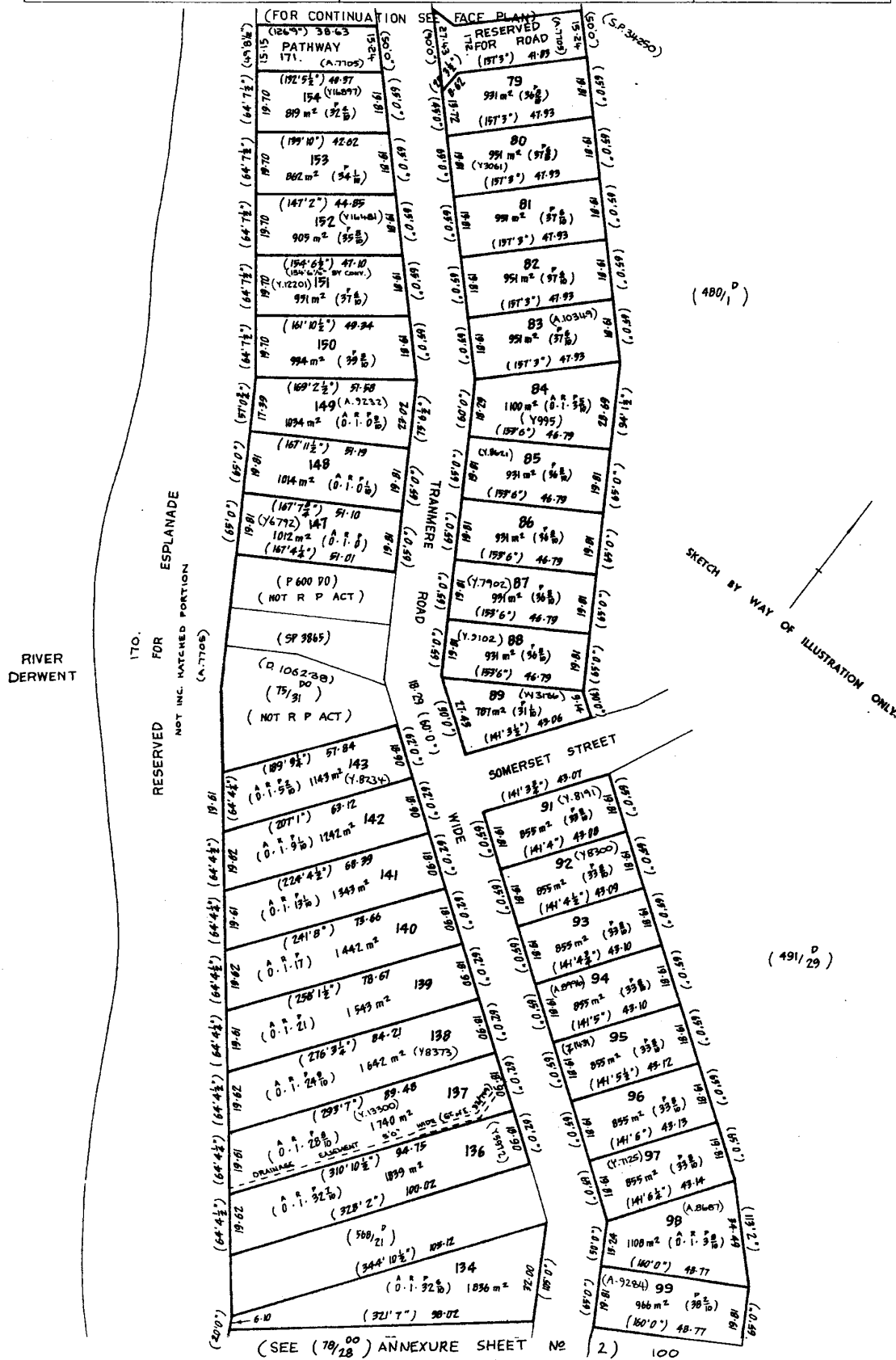
No unregistered dealings or other notations

<p>Owner: DECEASED PERSONS ESTATE</p>	<p>PLAN OF SURVEY</p> <p>by Surveyor _____ of land situated in the _____</p>	<p>Registered Number: P 12491</p> <p>(SHEET 1 OF 3 SHEETS)</p>
<p>Title Reference: Z 169</p>	<p>TOWN OF HOWRAH</p> <p>CITY OF CLARENCE</p>	<p>Effective from 24 MAY 1979</p>
<p>Grantee: part of 750-0-0 Francis Butler & Justin McCarthy Browne</p>	<p>SKETCH BY WAY OF ILLUSTRATION ONLY.</p> <p>SCALE 1: NOT TO SCALE</p>	<p><i>[Signature]</i></p> <p>REC Recorder of Titles</p>

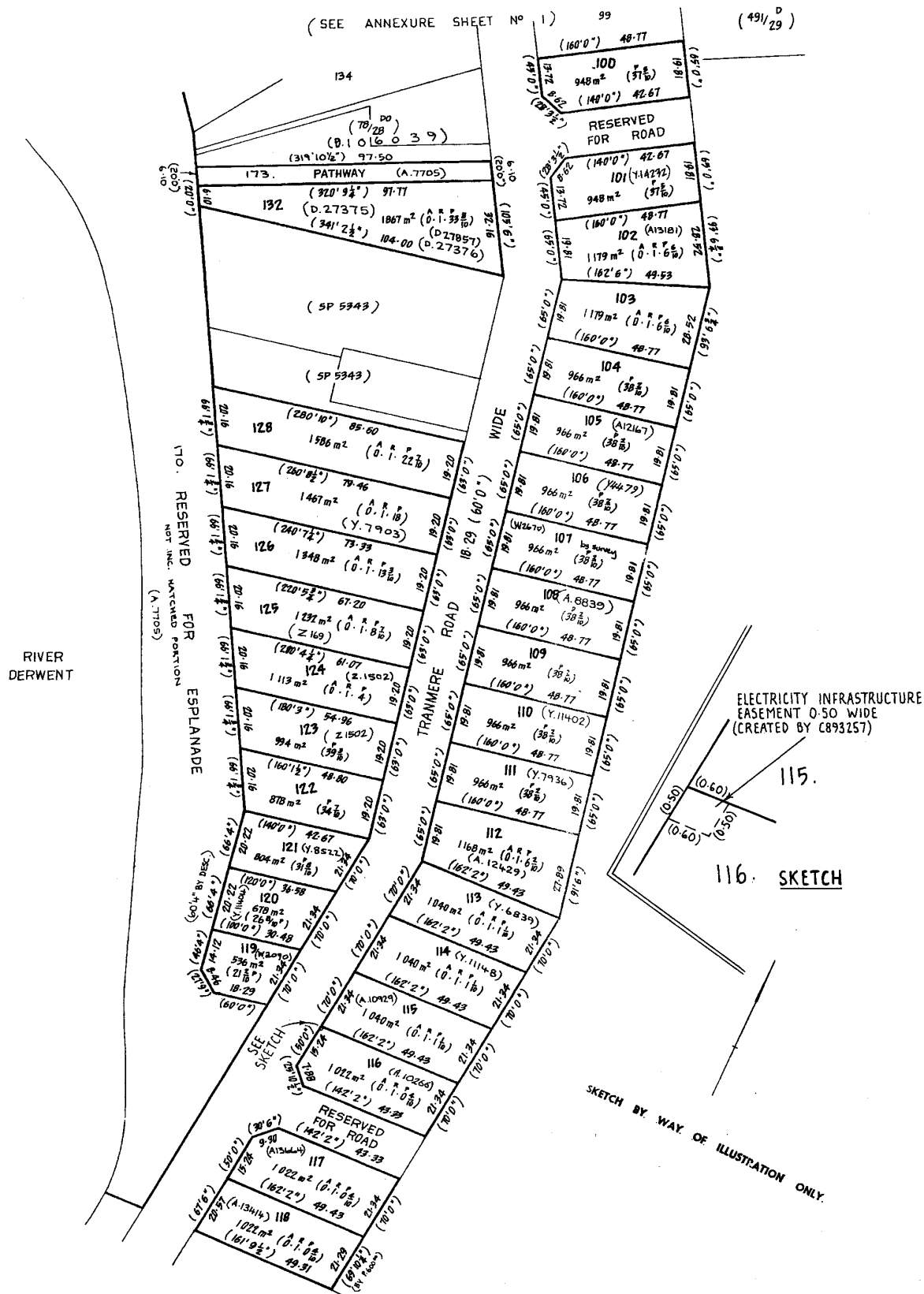
LENGTHS ARE IN METRES - LENGTHS IN BRACKETS ARE FEET & INCHES
(0.20449)

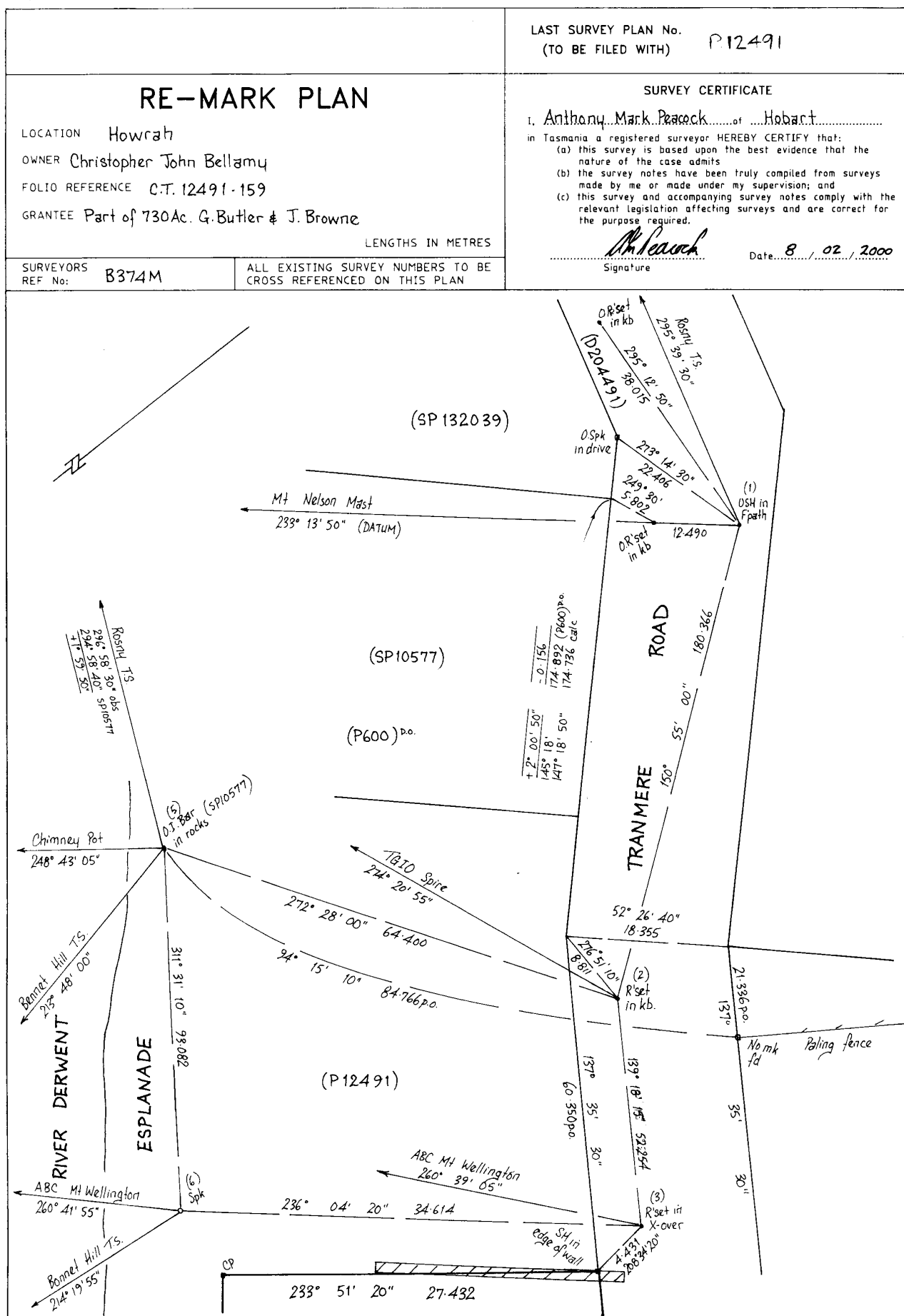


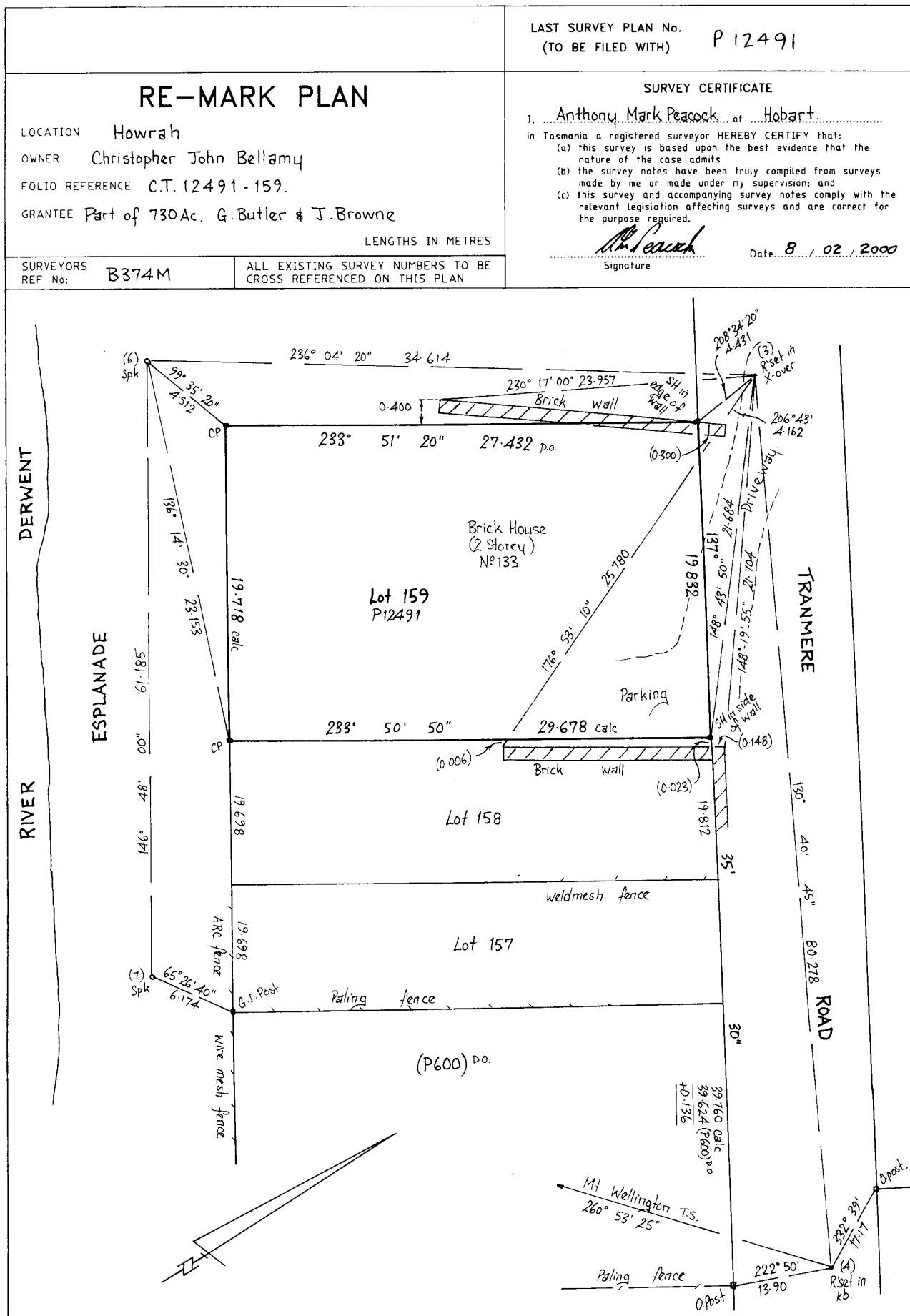
<p>ANNEXURE SHEET No. 1 (of 2 annexures) to plan by Surveyor</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated _____ and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: P 12491</p>
<p>Signed for the purposes of identification Council Clerk _____</p>	<p>Surveyor _____ Owner: DECEASED PERSONS ESTATE Title Reference: Z 169</p>	<p>SCALE 1: NOT TO SCALE</p>



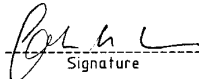
<p>ANNEXURE SHEET No. 2 (of 2 annexures) to plan by Surveyor</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated _____ and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: P12491</p>
<p>Signed for the purposes of identification Council Clerk _____</p>	<p>Surveyor _____ Owner: DECEASED PERSONS Title Reference: ESTATE Z 169</p>	<p>SCALE 1: NOT TO SCALE</p>

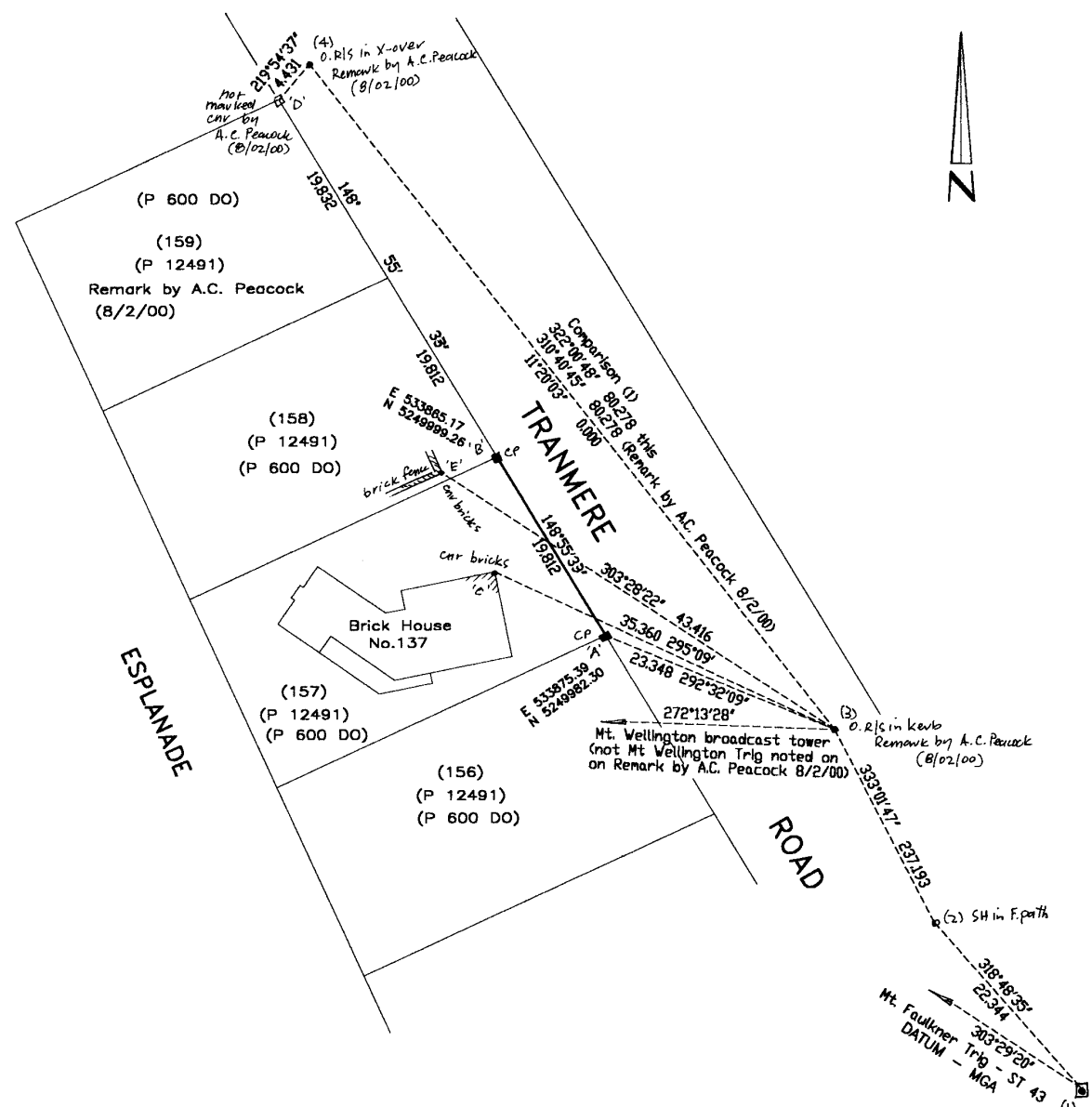






A-146

<p>REMARK No. R.12491/1</p>	<p>LAST SURVEY PLAN No. (TO BE FILED WITH) P 12491</p>
<p>145574 RE-MARK PLAN</p> <p>LOCATION CITY OF CLARENCE</p> <p>OWNER T.L. & C.A. McCulloch</p> <p>FOLIO REFERENCE 12491/157</p> <p>GRANTEE Part of (730A-OR-OP) Gtd to Francis Butler & Justin McCarthy Browne LENGTHS IN METRES</p>	<p>SURVEY CERTIFICATE</p> <p>I, <u>John Martin Dale Bamford</u> of <u>Hobart</u> in Tasmania a Registered Land Surveyor HEREBY CERTIFY that:</p> <p>(a) this survey is based upon the best evidence that the nature of the case admits</p> <p>(b) the survey notes have been truly compiled from surveys made by me or made under my supervision; and</p> <p>(c) this survey and accompanying survey notes comply with relevant legislation affecting surveys and are correct for the purpose required.</p> <p style="text-align: right;">  Signature </p> <p style="text-align: right;">Date <u>12.01.06</u></p>
<p>SURVEYORS REF No: 2877</p>	<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>



Surveyors Report:
 Datum - MGA
 Comparison (1) has been used to reestablish adopted frontage in Remark by A.C. Peacock.
 Coordinates are calculated adopting sea level correction (1.000) & scale correction (0.9996)
 Estimated coordinate positional error 0.08 metres
 Survey commenced & completed (18/10/05)

(14)

SURVEY INFORMATION ONLY SURVEY NOTES DEPOSITED FOR PUBLIC RECORD (SEE LTO CIRCULAR 1 OF 2007)		MAIN LTO PLAN P.12491 (TO BE FILED WITH)
PURPOSE: PARTIAL REMARK SURVEY		SIO REFERENCE 154247
LOCATION CITY OF CLARENCE (165 TRANMERE ROAD, TRANMERE) OWNER ANDREW LYDEN BUILDERS PTY LTD & GEOJIM PTY LTD FOLIO REFERENCE C.T.12491/143 GRANTEE PART OF 730 ACRES GTD TO FRANCIS BUTLER AND JUSTIN MCCARTY BROWNE LENGTHS IN METRES		SURVEY CERTIFICATE I, <u>CAROL BRADY ROBERTSON</u> of <u>SONZ MARK</u> in Tasmania a Registered Land Surveyor HEREBY CERTIFY that: (a) this survey is based upon the best evidence that the nature of the case admits (b) the survey notes have been truly compiled from surveys made by me or made under my supervision; and (c) this survey and accompanying survey notes comply with relevant legislation affecting surveys and are correct for the purpose required. <div style="display: flex; justify-content: space-between;"> <div> Signature _____ Date: 13-5-2008 </div> </div>
SURVEYORS REF No: LYDEA66	PAGE 1 OF 1 PAGES	

SURVEY COMMENCED & COMPLETED 04/04/2008
 BY GRADUATE SURVEYOR GENE KAY
 COMBINED SCALE FACTOR = 0.99961 x 1.00000
 = 0.99961
 ESTIMATED COORDINATE ACCURACY ± 0.05m
 (SP.3865)

TRANMERE ROAD
 ESPLANADE
 NEW FENCE UNDER CONSTRUCTION
 NEW PALING FENCE ± 2 YEARS
 O.S/H IN CONC. DRIVEWAY (D)
 O.S/H IN BIT (2) (SP.147427-3)
 O.S/H IN BIT (1) E 534019.187 N 5249745.238
 MT FAULKNER TRIG 303°29'21" 33.409 287°37'13" 22.631 269°15'44" 18.78
 BONNET HILL TRIG 227°40'35" 17.582 215°32'42" 13.746 10.906
 CP (A) PLACED ON TRANMERE RD FRONTAGE PER SP.147427 ADOPTING GENERAL LINE OF OCCUPATION
 CP (A) E 533996.567 N 5249744.947
 CP (B) ADOPTED PER SP.147427 E 533952.746 N 5249707.241
 SPK (3)
 O.C.P(C)
 O.S.TAR (4) (SP.147427-7)
 (75/31 DO) (D.106238)
 (P.12491)
 (SP.147427) (P.12491)

Drawing List (13 sheets)

Architectural

- Sheet A01 - Existing site plan
- Sheet A02 - Proposed site plan
- Sheet A03 - Existing floor plan
- Sheet A04 - Proposed floor plan
- Sheet A05 - Elevations - Main Dwelling
- Sheet A06 - Section plan - Architectural
- Sheet A07 - Sun Shading diagrams

- Sheet H01 - Roof plan

- Sheet M01-M05 - SWMP's

Planning Application for
Internal alterations, extension
and new deck for
J. Woolley H. Stewart at
214 Tranmere Road, Tranmere

REVD

PROJECT No
130725

ARCHIBIM

ARCHITECTURAL BUILDING INVENTORY MODELLING

ABN: 34 625 657 785
Unit 23, 15 Stanton Place, Cambridge TAS 7170
Email: damon@archibim.com.au

Accredited Building Practitioner
Licence No: CC340Y



NOTES TO PLANS

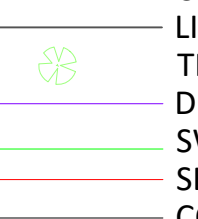

















To be read in conjunction with plans and specifications

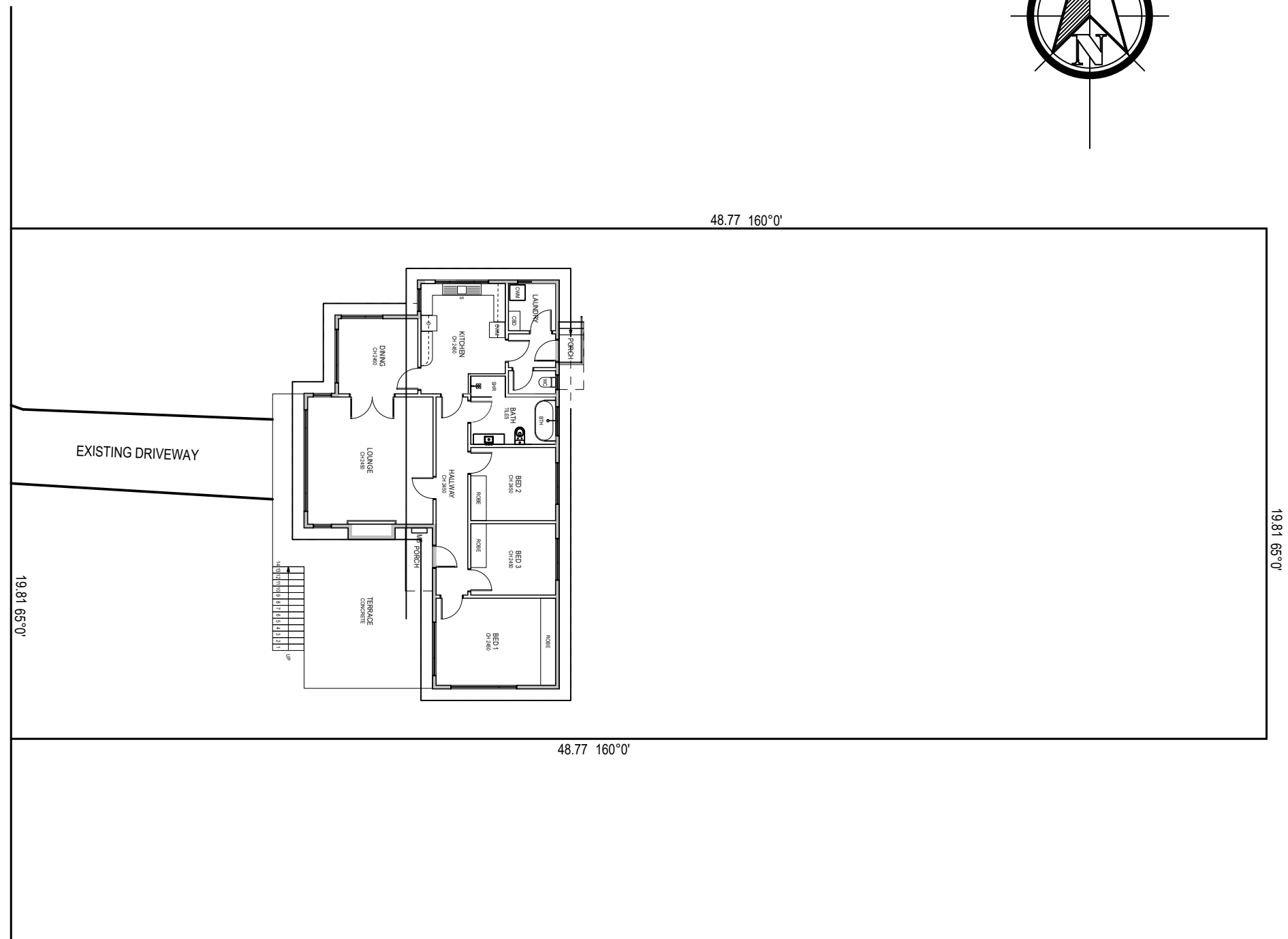
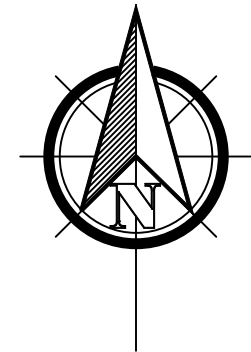
- 1- Figured dimensions to be used. Do not scale drawings
- 2- It is considered mandatory that a registered surveyor be engaged to confirm all dimensions. It is incumbent upon the builder to instigate this process. Discrepancies are to be notified to this office immediately.
- 3- All materials and work, including installation methods to be in accordance with the relevant AS code, BCA and Manufacturers recommendations.
(Refer (4) below)
- 4- It is incumbent and expected that the builder and/or tradesman will be familiar with, and apply exactly, all of the relevant Manufacturers directions and instructions (including those contained within the BCA) for the various materials and systems used in this project.
This office can provide this information on request.
- 5- Although every care is taken, R & M Jackson accepts no responsibility for interpretation, error or omission. It is expected that all building work will be carried out in a professional manner in accordance with the relevant AS codes however where ambiguity or doubt exists on the plans the builder MUST notify this office immediately. It is also expected that the builder will be familiar with and understand all aspects of the construction before commencement.
- 6- These drawings to be read in conjunction with engineers reports and other associated reports and details.
- 7- All plumbing and drainage to AS 3500 and Local Authority requirements
- 8- All electrical work to be in accordance with the relevant AS codes.
- 9- Aerial imagery courtesy of 'Google Maps Aust.' where supplied.
- 10- Any changes to the drawings (as constructed) after submission to the building surveyor are at the cost of the owner and/or the builder and to be paid for prior to lodgement.



Contractor to verify the location of all current underground services shown on the plans including but not limited to electricity, telecom, gas, sewer, stormwater, NBN etc. prior to excavation.
(DBYD www.1100.com.au)

LEGEND:

- 
- | | |
|---|--------------------|
|  | FENCE |
|  | CENTER OF ROAD |
|  | LIST BOUNDARY |
|  | TREE TRUNK |
|  | DRIVEWAY |
|  | SW PIPELINE |
|  | SEWER LINE |
|  | COMMUNICATION LINE |
|  | POWER LINE |
|  | GAS LINE |
|  | BUILDING WALL |
|  | BUILDING EAVE |
|  | BACK OF KERB |
|  | INVERT OF KERB |
|  | EDGE OF PAVEMENT |
|  | MAJOR CONTOUR |
|  | MINOR CONTOUR |



Date	Rev.	Description	Drawn By	SITE DESCRIPTION	<h1>ARCHIBIM</h1> <p>ARCHITECTURAL BUILDING INVENTORY MODELLING</p> <p>ABN: 34 625 657 785 Unit 1, 10 Stanton Place, Cambridge TAS 7170 Email: archibim@outlook.com.au</p> 	<p>Client: J. WOOLLEY & H. STEWART</p> <p>Project: 214 TRANMERE ROAD, TRANMERE</p> <p>Title: Survey Plan</p> <p>Scale: 1:200</p>		
19/06/2025	A	Issued for Council Approval	D. Jackson	WIND CLASS - AS4055 SOIL CLASS - AS2870 CLIMATE ZONE - 7 ENERGY RATING - refer report TITLE 12491 - Lot 107 966m²		Drawn : D. Jackson Designed : D. Jackson	Date : 13/05/2025 Date: 01/05/2025	Checked by: R.JACKSON CC340Y
28/10/2025	B	Issued for RFI	D. Jackson			JOB NUMBER: 130725	Drawing : A01	REVISION: D
26/11/2025	C	Issued for RFI	D. Jackson					
04/12/2025	D	Issued for RFI	D. Jackson					

Contractor to verify the location of all current underground services shown on the plans including but not limited to electricity, telecom, gas, sewer, stormwater, NBN etc. prior to excavation. (DBYD www.1100.com.au)

ALL DIMENSIONS & LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO COMMENCEMENT. DISCREPANCIES TO BE REFERRED TO THIS OFFICE IMMEDIATELY

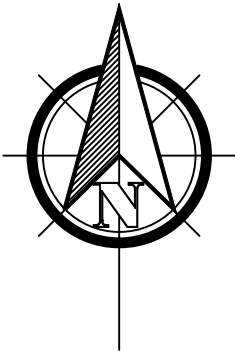
Clarence City
Tasmanian Planning Scheme
Zone : General Residential

Floor Areas:

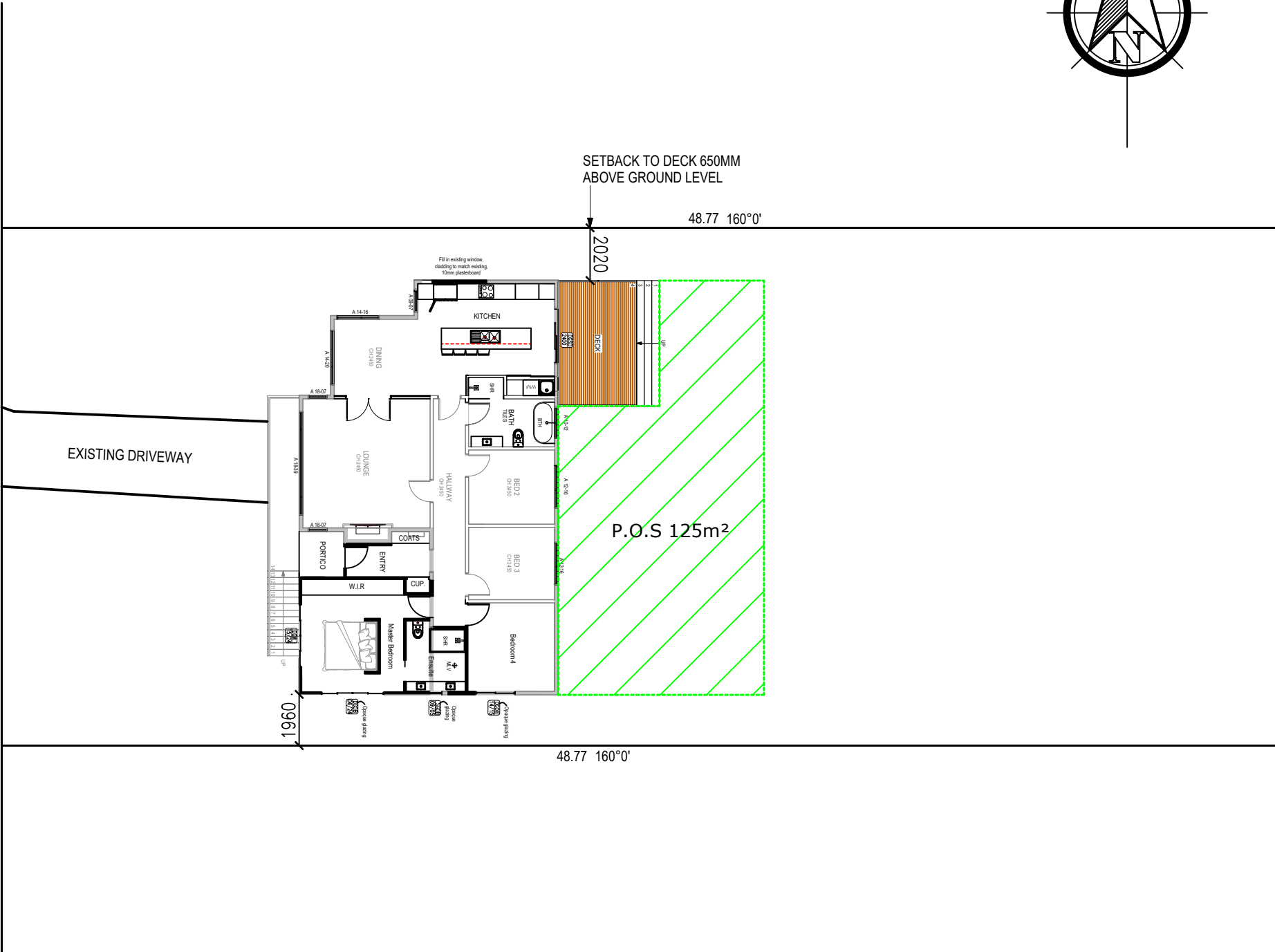
Main Dwelling - 144.70m²
Portico/Patio - 15.20m²
New Deck - 14.15m²
TOTAL - 174.05m²
SITE COVERAGE - 18.01%

BAL LOW

OH&S HAZARD
Type: public safety
Solution: provision of safety fencing around construction area



TRANMERE ROAD



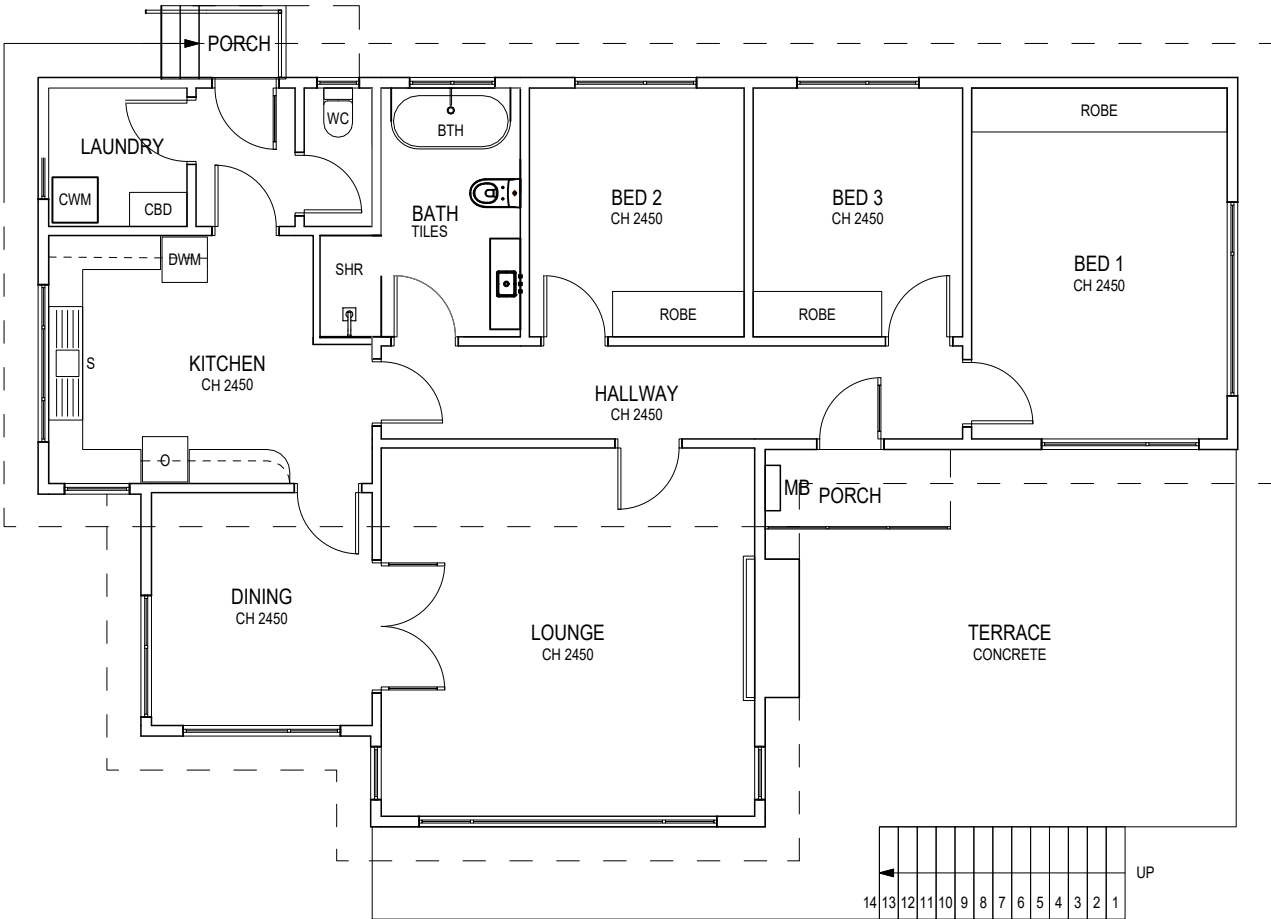
Date	Rev.	Description	Drawn By	SITE DESCRIPTION		<div>ARCHIBIM</div> <div>ARCHITECTURAL BUILDING INVENTORY MODELLING</div> <div>ABN: 34 625 657 785 Unit 1, 10 Stanton Place, Cambridge TAS 7170 Email: archibim@outlook.com.au</div>	<div>ARCHIBIM</div>	Client: J. WOOLLEY & H. STEWART		
19/06/2025	A	Issued for Council Approval	D. Jackson	WIND CLASS	- AS4055			Project:	214 TRANMERE ROAD, TRANMERE	
28/10/2025	B	Issued for RFI	D. Jackson	SOIL CLASS	- AS2870			Title:	Proposed Site Plan	
26/11/2025	C	Issued for RFI	D. Jackson	CLIMATE ZONE	- 7			Scale:	1:200	
04/12/2025	D	Issued for RFI	D. Jackson	ENERGY RATING	- refer report			Drawn : D. Jackson	Date : 13/05/2025	Checked by: R.JACKSON CC340Y
				TITLE 12491	- Lot 107 966m ²			Designed : D. Jackson	Date: 01/05/2025	
								JOB NUMBER: 130725	Drawing : A02	REVISION: D

ALL DIMENSIONS & LEVELS TO BE
CONFIRMED BY BUILDER ON SITE
PRIOR TO COMMENCEMENT.
DISCREPANCIES TO BE REFERRED
TO THIS OFFICE IMMEDIATELY

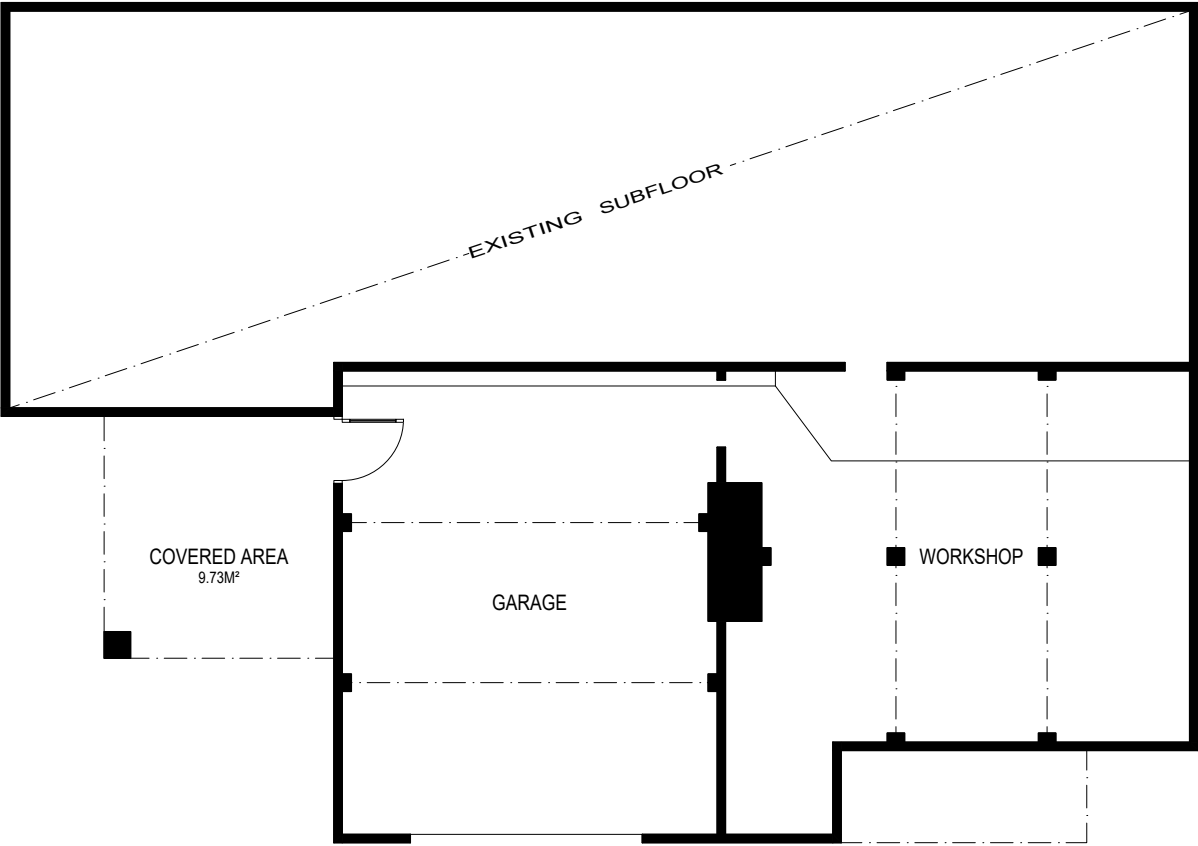
Contractor to verify the location of all
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the plans including but not limited to
electricity, telecom, gas, sewer,
stormwater, NBN etc. prior to excavation.
(DBYD www.1100.com.au)

Floor Areas:

Main Dwelling	- 116.00m ²
Terrace	- 39.25m ²
Porch	- 1.10m ²
Garage/Workshop	- 64.62m ²
Covered Patio	- 9.73m ²
TOTAL	- 230.70m ²



Existing Main Floor Plan
1:100



Existing LOWER Floor Plan
1:100

Date	Rev.	Description	Drawn By	SITE DESCRIPTION		<div>ARCHIBIM</div> <div>ARCHITECTURAL BUILDING INVENTORY MODELLING</div> <div>ABN: 34 625 657 785 Unit 1, 10 Stanton Place, Cambridge TAS 7170 Email: archibim@outlook.com.au</div>	<div>ARCHIBIM</div>	Client: J. WOOLLEY & H. STEWART		
19/06/2025	A	Issued for Council Approval	D. Jackson	WIND CLASS SOIL CLASS CLIMATE ZONE ENERGY RATING TITLE 12491	- AS4055 - AS2870 - 7 - refer report - Lot 107 966m²			Project: 214 TRANMERE ROAD, TRANMERE		
28/10/2025	B	Issued for RFI	D. Jackson					Title: Existing Floor Plans		
26/11/2025	C	Issued for RFI	D. Jackson					Scale: 1:100		
04/12/2025	D	Issued for RFI	D. Jackson					Drawn : D. Jackson Designed : D. Jackson		
								JOB NUMBER: 130725	Drawing : A03	Checked by: R.JACKSON CC340Y
										REVISION: D

ALL DIMENSIONS & LEVELS TO BE
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PRIOR TO COMMENCEMENT.
DISCREPANCIES TO BE REFERRED
TO THIS OFFICE IMMEDIATELY

Contractor to verify the location of all
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(DBYD www.1100.com.au)

NOTES:-

1. Kitchen to be provided with rangehood vented externally.
2. All MLV's to be vented externally (can interconnect in roof space) and to be provided with time delay switches.
3. All cupboards adjacent to external walls to be provided with air vents
4. ARTIFICIAL LIGHTING -
max. 5 watts/m² for living areas
max. 4 watts/m² for balconies, verandahs
max. 3 watts/m² for Class 10a buildings (assoc. with Class 1a)
5. All windows are to be positioned centrally within walls UNO
6. Provide 12mm ply blocking between studs at positions of handrails etc in WC's and bathrooms etc.
7. All doors UNO to be 2040x820
8. WC door to either inward swing with removable hinges, outward swing, slide, or inward swing with 1200mm min. between doorway and pan

Door & window Tag Legend

(sizes examples only - refer to floor plan for actual)

<div>SGW</div> <div>10/09</div>	Single Glazed Safety Glass Window (1000h x 900w)
<div>SGW</div> <div>10/09</div>	Single Glazed Window (1000h x 1800w)
<div>DGW</div> <div>10/18</div>	Double Glazed Window (1000h x 1800w)
<div>SGSD</div> <div>21/18</div>	Single Glazed Sliding Doors (2100h x 1800w)
<div>DGSD</div> <div>21/18</div>	Double Glazed Sliding Doors (2100h x 1800w)
<div>SGF</div> <div>10/09</div>	Single Glazed Fixed Glass (1000h x 900w)
<div>DGSa</div> <div>10/09</div>	Double Glazed Safety Glass Window (1000h x 900w)

d/h denotes double hung / slid. denotes sliding / aw. denotes awning

NOTE: * bathroom and wc glazing to be obscure unless directed otherwise by owners

* Where windows are > 2m (bedrooms) and > 4m (all others) above external surface refer table above

<div>⊕</div> <div>MLV</div>	Denotes mech. light & ventilation to AS1668.2
<div>⊕</div> <div>SD</div>	Denotes wired-in smoke detector to AS 3786
NOTE: All to be interconnected to operate simultaneously	

NOTE: ALL WINDOWS TO BE ALUM. FRAMED

REFER ENERGY ASSESSMENT RE: U and SHGC values

WINDOW/DOORS TO BE MANUFACTURED TO - BAL LOW - N3

Floor Areas:

Main Dwelling	- 144.70m²
Portico/Patio	- 15.20m²
New Deck	- 14.15m²
TOTAL	- 174.05m²

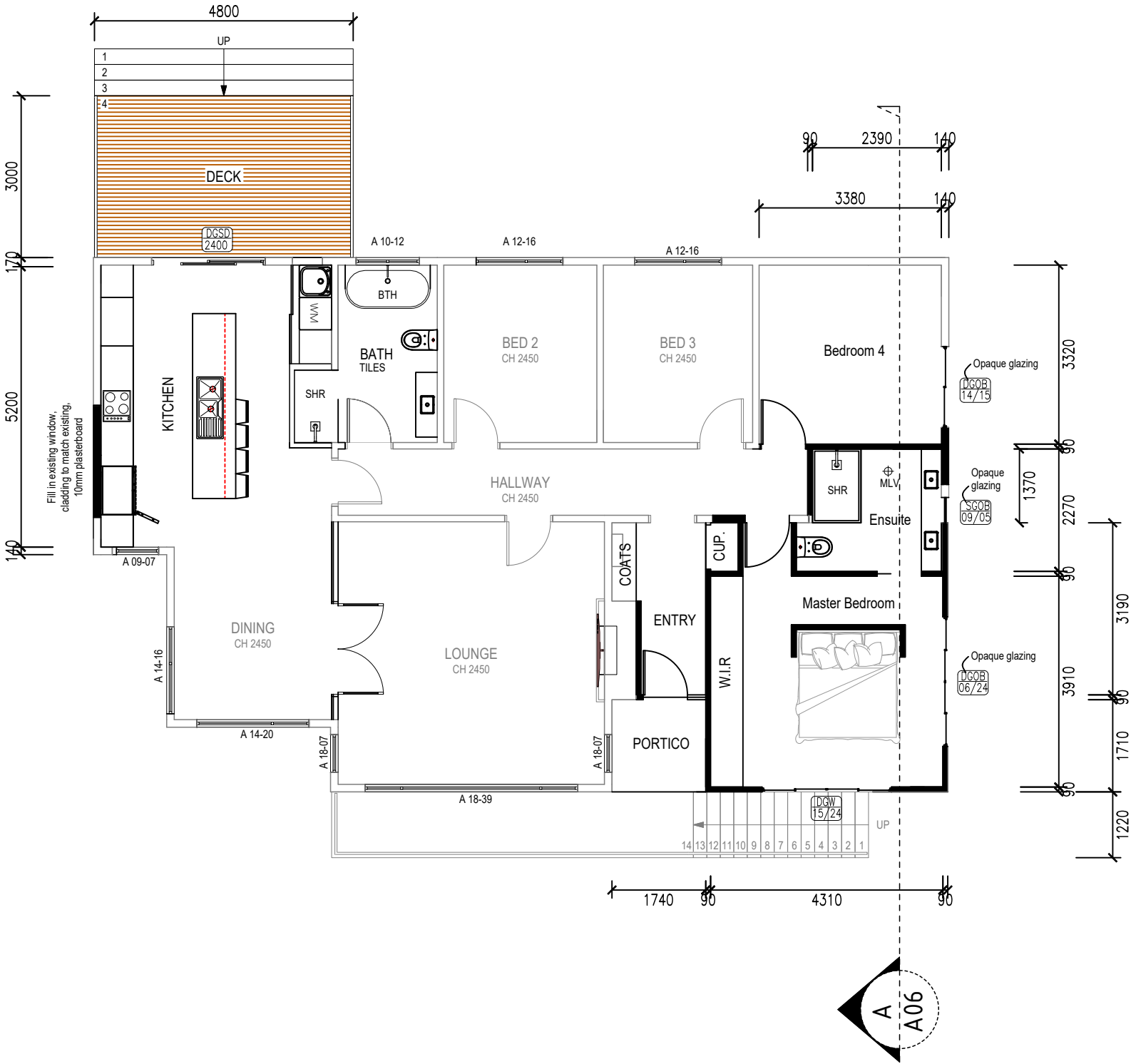
WINDOW SPECIFICATIONS TO NCC :-

BEDROOMS where external fall height >2m

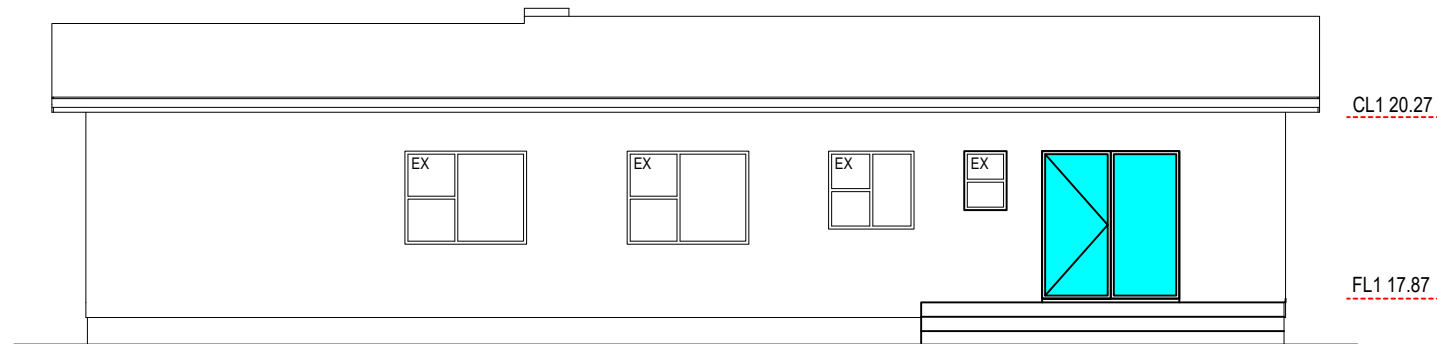
- * where opening is more than 1700mm (sill) above floor NO opening restrictions.
- * where opening is within 1700mm above floor and has climbable element between 150mm and 750mm, opening to be restricted to 125mm or fitted with a non-removable robust screen.
- * where opening is between 865mm and 1700mm above floor and has no climbable element between 150mm and 760mm above floor, opening to be restricted to 125mm or fitted with a removable robust screen.
- * where opening is within 865mm above floor and has climbable element between 150mm and 760mm above the floor, opening to be restricted to 125mm or fitted with non-removable robust screen.

ALL OTHERS where external fall height >4m

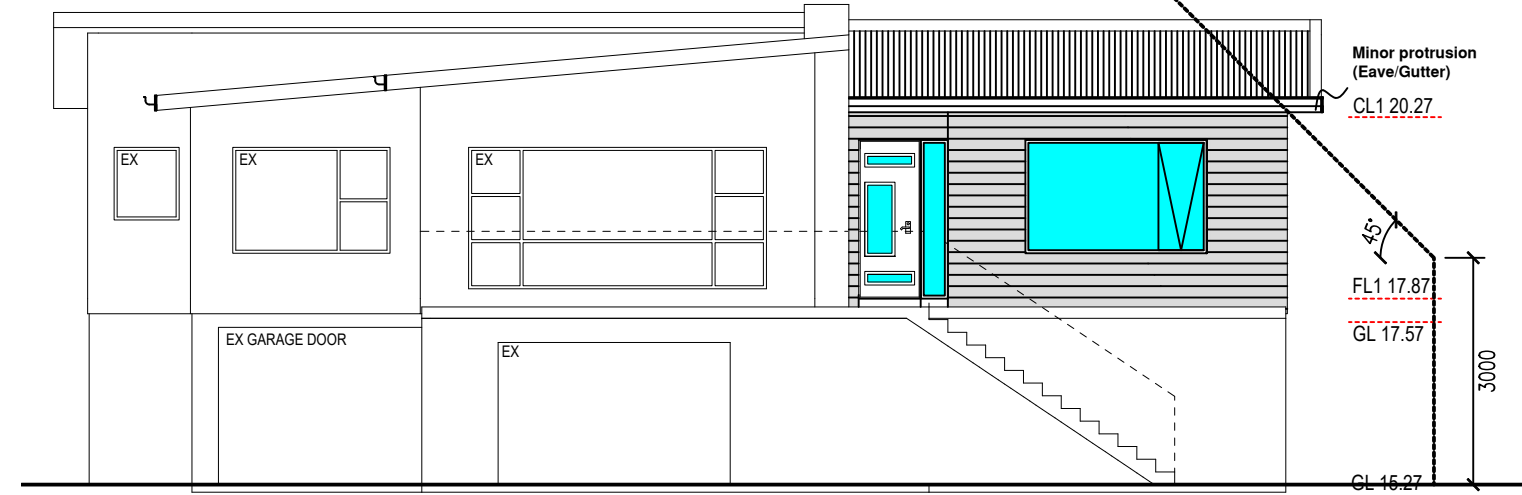
- * where window transom is above 865mm above floor and a sill height less than 150mm and no opening within 865mm above floor, NO opening restriction required.
 - * as above - where sill is greater than 150mm, opening to be restricted.
 - * where window transom is below 856mm above the floor and sill is less than 150mm, opening is to be restricted.
- This note is for information only - manufacturer to confirm and liaise with builder and owner.



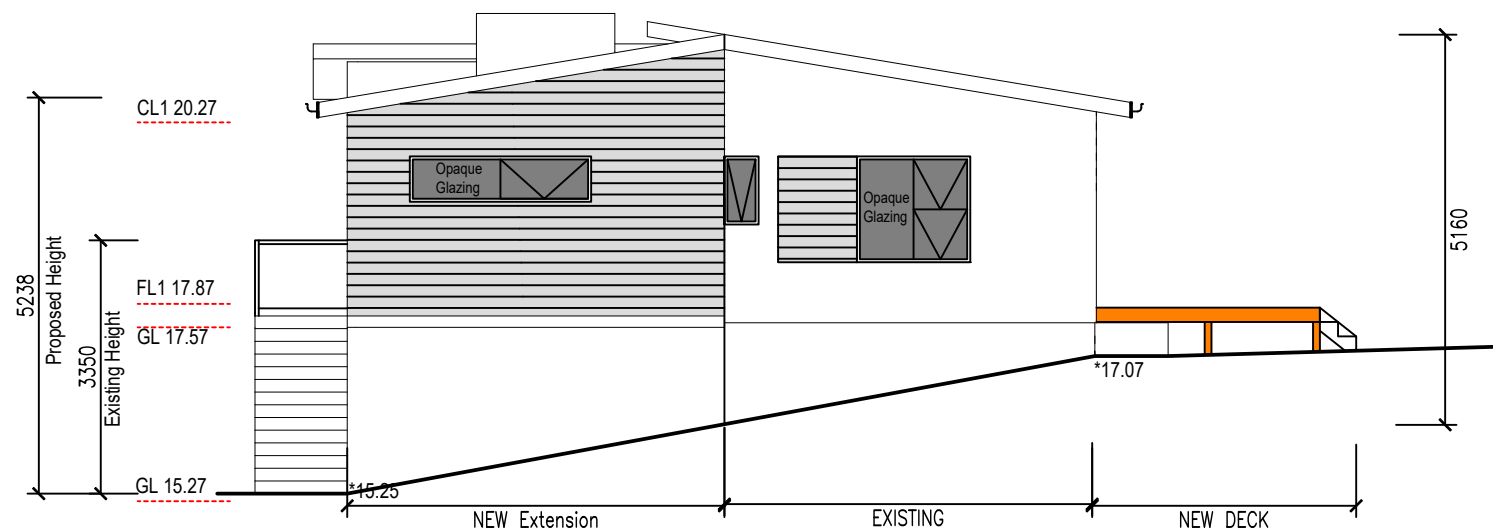
Date	Rev.	Description	Drawn By	SITE DESCRIPTION		<div>ARCHIBIM</div> <div>ARCHITECTURAL BUILDING INVENTORY MODELLING</div> <div>ABN: 34 625 657 785 Unit 1, 10 Stanton Place, Cambridge TAS 7170 Email: archibim@outlook.com.au</div>	<div>ARCHIBIM</div>	Client: J. WOOLLEY & H. STEWART				
19/06/2025	A	Issued for Council Approval	D. Jackson	WIND CLASS - AS4055 SOIL CLASS - AS2870 CLIMATE ZONE - 7 ENERGY RATING - refer report TITLE 12491 - Lot 107 966m²					Project: 214 TRANMERE ROAD, TRANMERE	Title: Proposed Floor Plan		
28/10/2025	B	Issued for RFI	D. Jackson									
26/11/2025	C	Issued for RFI	D. Jackson									
04/12/2025	D	Issued for RFI	D. Jackson									
								Drawn : D. Jackson	Date : 13/05/2025	Checked by: R.JACKSON CC340Y		
								Designed : D. Jackson	Date: 01/05/2025			
								JOB NUMBER: 130725	Drawing : A04	REVISION: D		



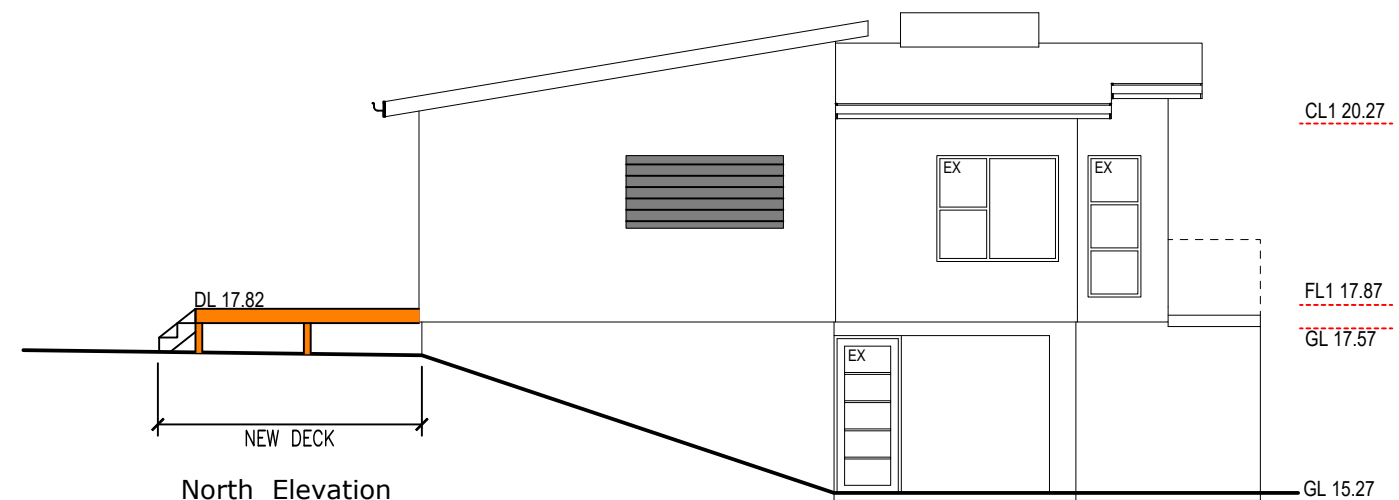
East Elevation
1:100



West Elevation
1:100



South Elevation
1:100



North Elevation
1:100

NOTES :

- * Subfloor vents in accordance with Tas. attachment
- * Articulation joints (AJ) indicative only and to be in accordance with details as per Sh BC1
- * All external cladding to be provided with timber battening (eg- 42x19 treated pine) fixed to studs over wall sarking.

Schedule

	Windows / doors Surfmist
	James Hardie Scyon Cladding Surfmist
	Custom Orb colourbond roofing Surfmist Solar absorption BCA classification

ABBREVIATIONS	
NSL	- natural surface level
ESL	- existing surface level
FSL	- final surface level
EFL	- existing floor level
FFL	- finished floor level
FCL	- finished ceiling level
U/S	- underside
JH	- joinery height

Date	Rev.	Description	Drawn By	SITE DESCRIPTION		<div>ARCHIBIM</div> <div>ARCHITECTURAL BUILDING INVENTORY MODELLING</div> <div>ABN: 34 625 657 785</div> <div>Unit 1, 10 Stanton Place, Cambridge TAS 7170</div> <div>Email: archibim@outlook.com.au</div>	<div>ARCHIBIM</div>	Client: J. WOOLLEY & H. STEWART		
19/06/2025	A	Issued for Council Approval	D. Jackson	<div>WIND CLASS - AS4055</div> <div>SOIL CLASS - AS2870</div> <div>CLIMATE ZONE - 7</div> <div>ENERGY RATING - refer report</div> <div>TITLE 12491 - Lot 107 966m²</div>	Project: 214 TRANMERE ROAD, TRANMERE					
28/10/2025	B	Issued for RFI	D. Jackson		Title: Elevations - Main Dwelling					
26/11/2025	C	Issued for RFI	D. Jackson		Scale: 1:100					
04/12/2025	D	Issued for RFI	D. Jackson		Drawn : D. Jackson			Date : 13/05/2025	Checked by: R.JACKSON CC340Y	
					Designed : D. Jackson			Date: 01/05/2025		
				JOB NUMBER: 130725		Drawing : A05	REVISION: D			

SITE DRAINAGE

As shown on drawings. Min camber of 1 in 20 for first 1 metre around perimeter of building.

STAIRS & BALUSTRADES

STAIRS - (NOTE: 2R+G = 550min-700max)
min clear width of 820mm
min going (G) 240mm
max going (G) 355mm
min rise (R) 115mm
max rise (R)(refer below) 190mm

NOTE: min. 2000mm from toe of tread to FCL above.

Provide solid/partly solid risers to 125mm from u/s of above tread or limit rise to 170mm.

STRINGERS (max stair width 1000mm)

240x45 F5 (internal -max 15 risers)
290x35 F5 TRP (external- max 15 risers)

TREADS

45 thick F5 (internal/external - max span 1000mm) All treads to be provided with a slip-resistant finish or non-skid strip in accordance with 3.9.1.4 - eg. 'Crocgrip' non-slip tape.

NOTE: All treads to be housed into stringers and 8mm S/S rods bolted through opposing stringers every 4th +- tread

HANDRAILS

To be provided along (1) side of the stair where height above floor exceeds 1m. Height to be not less than 865mm above nosing of treads.

BALUSTRADES (Required where floor height exceeds 1m from surface level) (Refer Sh BC2)

1000mm high(Refer drawings) Stair balustrades 865mm height from edge of nosing.
125mm max aperture.

Wire balustrades to comply with Clause 3.9.2.3 (f) and Tables 3.9.2.1. - 3.9.2.2 and 3.9.2.3

GLAZING

All glazing to AS 1288,AS 2047 and Part 3.6 of BCA. Opening windows to comply with notation Sh A4 (Window Schedule). Certification of compliance with the above and to the relevant BAL (if required) to be provided to Building Surveyor.

ELECTRICAL - Pendant light fittings only. NO downlights to be installed unless provided with unventilated shields.

ARTIFICIAL LIGHTING -

*max. 5watts/m² for living areas

*max. 4 watts/m² for balconies / verandahs

*max. 3 watts/m² for Class 10a buildings (assoc. with Class 1a)

STRUCTURAL STEEL (internal - moderate environment) -

no protection required

WOODHEATERS

To be installed in accordance with 3.7.3 of BCA and AS 2918 and damper to be provided in flue.

ENERGY EFFICIENCY - 2 (where applicable)

Provide R2.5 insulation batts between floor joists eg - CSR 'Optimo' installed in accordance with Manuf. instructions

ROOF VENTILATION -refer Sh SDC1 /H1

EXHAUST FANS - to have dampers fitted

WALL & CEILING LININGS

10mm plasterboard on furring channel at 450ctrs to all ceilings except where noted otherwise. 10mm plasterboard to all wall areas except where noted otherwise.

ROOF TRUSSES

Roof truss design to be obtained prior to commencement to verify that point loadings from girder trusses (if applicable)can be integrated into the footing design. Engineer to be contacted where doubt exists.

STRUCTURAL STEEL (external - moderate environment) -

*All members (if non-Duragal) - to be painted with (2) coats of alkyd primer or (2) coats of alkyd gloss

*If Duragal - (1) coat of of solvent based vinyl primer or (1) coat of vinyl gloss or alkyd

*OR - hot dipped galv. (300g/m²)

WET AREA FINISHES TO AS 3740

Villaboard or similar to all walls and ceilings Ceramic tiles or similar to 1800mm above shower base. Ceramic tiles or similar to 150mm min above vanity/laundry basins. Ceramic tiles or similar to 150mm min above kitchen benches.

Ceramic tiles or similar to all floors with approved cement sheet underlay fixed as per Manufacturers instructions.

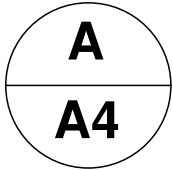
Waterproofing as required in strict accordance with As 3740 and Part 3.8.1 of BCA - Refer Sh BC3

ENERGY EFFICIENCY - 1

(refer also to 2 if applicable)

Provide Enviroseal Proctorwrap HT-R or equivalent over roof battens. Provide "Cavibat" roof battens over membrane. Roof blanket not to be used. Provide R6.0 insulation batts to all ceiling areas. Provide wrap to all external walls fixed to external face (eg-Tyvek Homewrap or other equivalent Class 4 sarking) Provide air infiltration seal to all edges of external doors and windows.

Provide R2.5 insulation batts between studs to all external walls and other walls where noted.



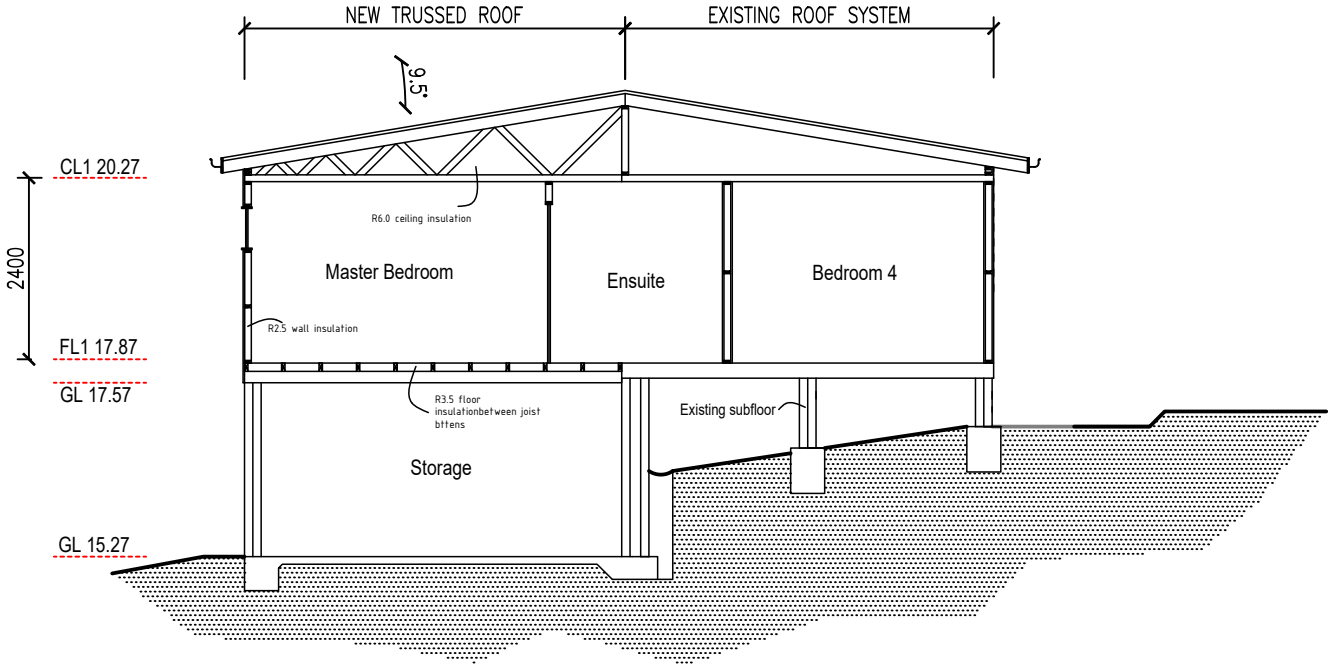
ROOF TRUSSES (T1)

Approved roof trusses at 900 crs designed, certified and supplied by accredited manufacturer and fixed as per details (refer note over) or to directions supplied by Manufacturer.

ROOF BATTENS 75x38 F8 at 900 crs fixed as per table.

Provide Enviroseal Proctorwrap HT-R sarking on roof battens with 'Cavibat' battens over.

Provide R6.0 insulation to ceiling areas.



TIE DOWNS (WALL & ROOF) - refer Sh S5

WALL FRAMING MGP10 - refer Sh S5

BRICKWORK SPEC'S - refer Sh SDB1

CONDENSATION CONTROL - refer Sh SDC1

SOFFITS

4.5mm Hardiflex fixed with 30x2.8 fibre cement nails at 200 crs to trimmers

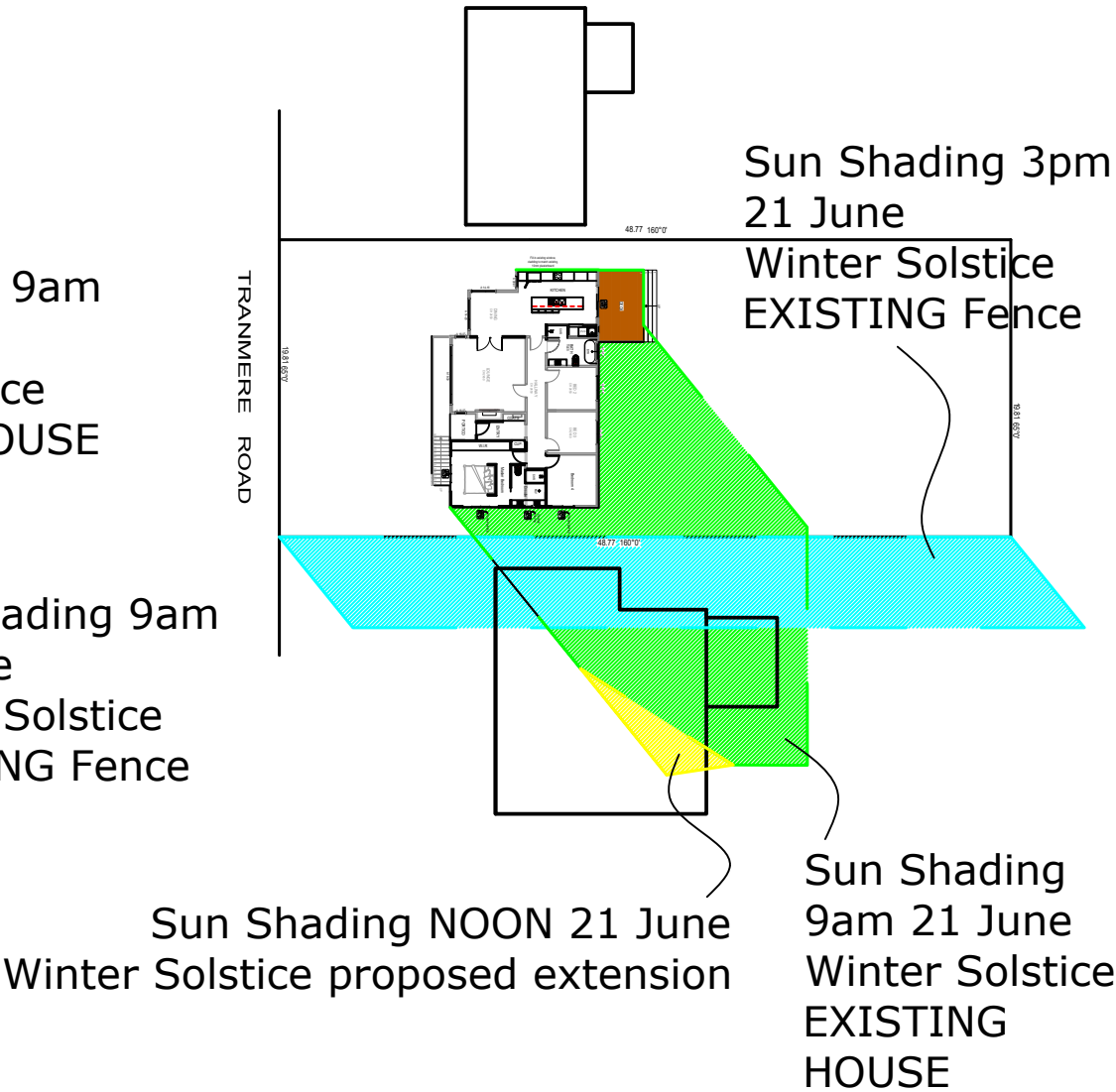
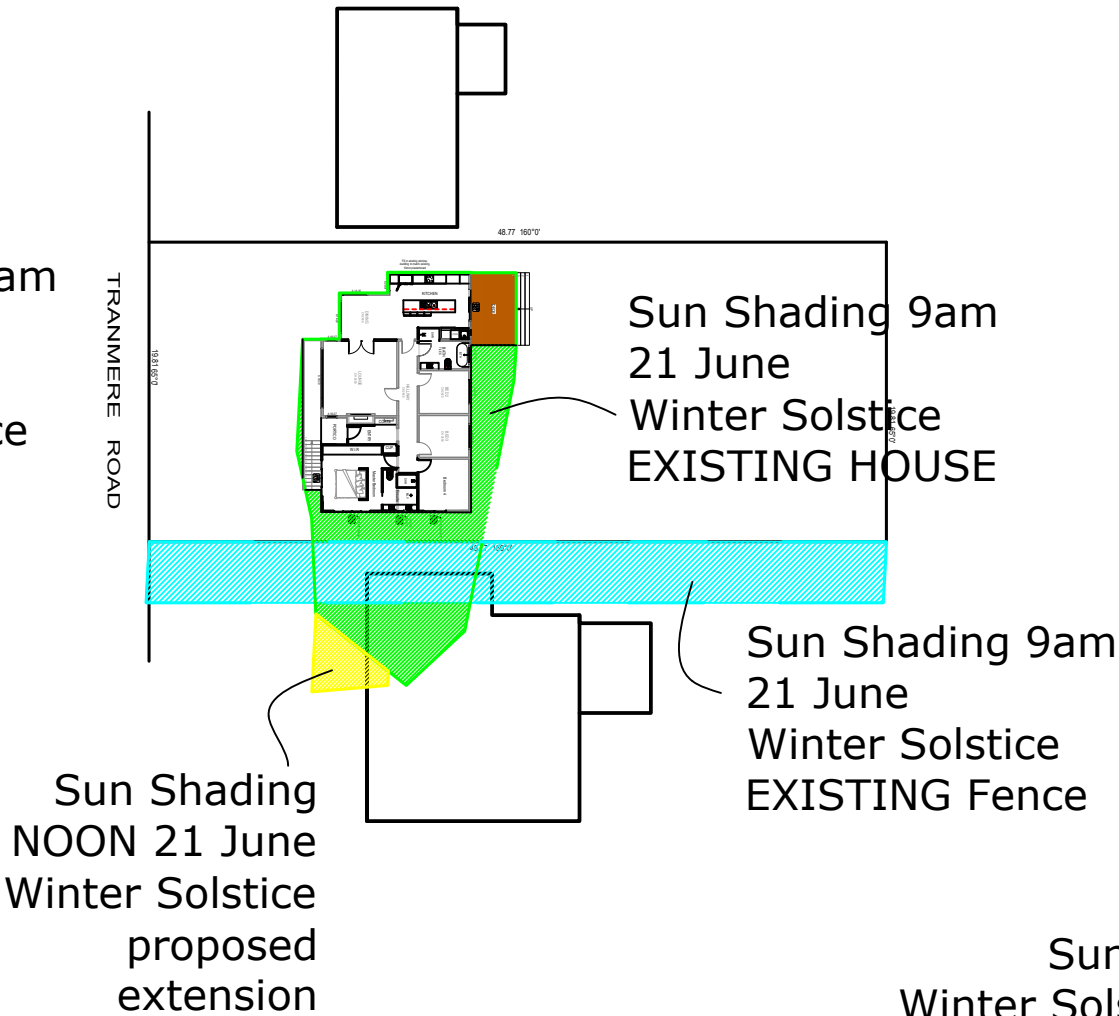
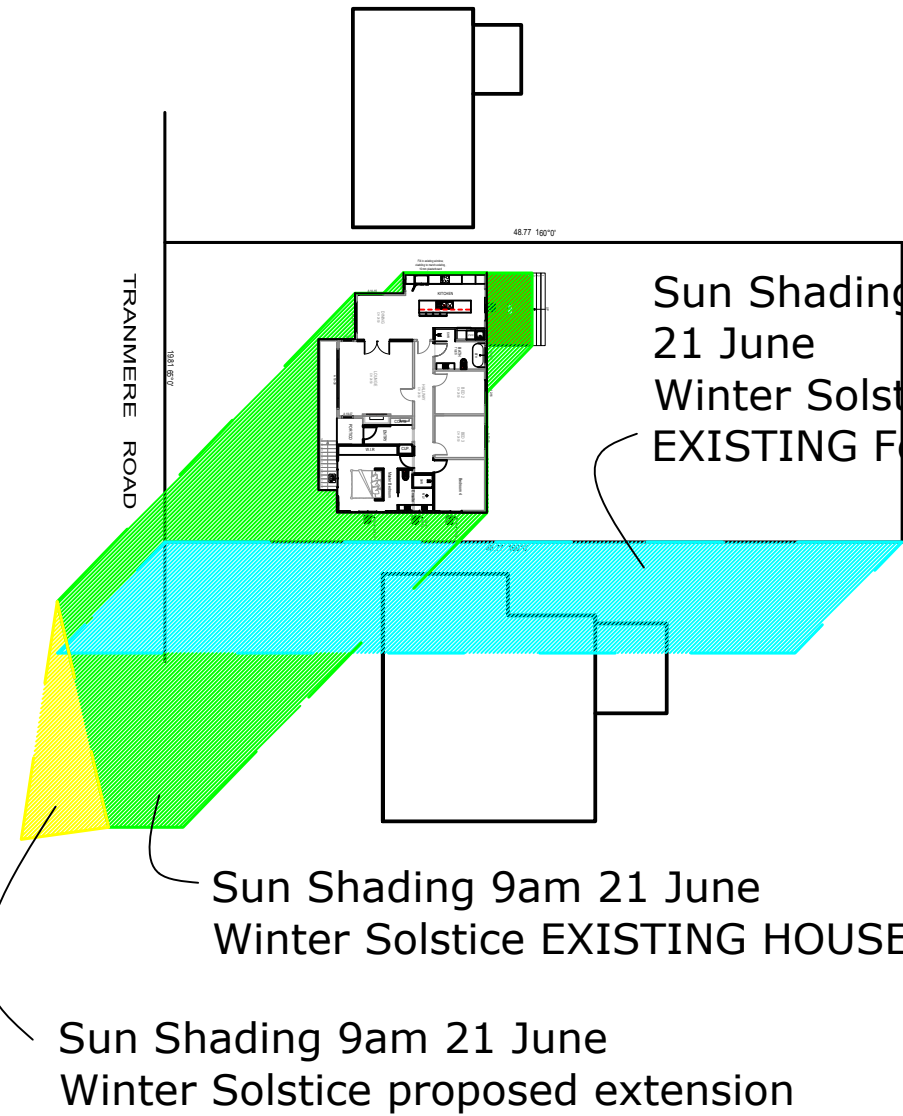
k/d TRP denotes kiln dried treated pine

CLADDING

All cladding to be provided with battening strips over wall sarking

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19/06/2025	A	Issued for Council Approval	D. Jackson	<div>WIND CLASS - AS4055</div> <div>SOIL CLASS - AS2870</div> <div>CLIMATE ZONE - 7</div> <div>ENERGY RATING - refer report</div> <div>TITLE 12491 - Lot 107 966m²</div>			Project: 214 TRANMERE ROAD, TRANMERE		
28/10/2025	B	Issued for RFI	D. Jackson				Title: Section Plan - Main Dwelling		
26/11/2025	C	Issued for RFI	D. Jackson				Scale: 1:100		
04/12/2025	D	Issued for RFI	D. Jackson				Drawn : D. Jackson Date : 13/05/2025		
							Designed : D. Jackson Date: 01/05/2025		
					Checked by: R.JACKSON CC340Y				
					JOB NUMBER: 130725				
					Drawing : A06				
					REVISION: D				

June 21 Astronomy date Hobart, Tas
Sun Rise - 7:42am
Sun Set - 4:43pm
Length of day - 9h 00m 46sec
date supplied by timeanddate.com/worldclock



Date	Rev.	Description	Drawn By	SITE DESCRIPTION		<div>ARCHIBIM</div> <div>ARCHITECTURAL BUILDING INVENTORY MODELLING</div> <div>ABN: 34 625 657 785</div> <div>Unit 1, 10 Stanton Place, Cambridge TAS 7170</div> <div>Email: archibim@outlook.com.au</div>	<div><div>^</div><div>ARCHIBIM</div><div>◇</div></div>	Client: J. WOOLLEY & H. STEWART		
19/06/2025	A	Issued for Council Approval	D. Jackson	<div>WIND CLASS - AS4055</div> <div>SOIL CLASS - AS2870</div> <div>CLIMATE ZONE - 7</div> <div>ENERGY RATING - refer report</div> <div>TITLE 12491 - Lot 107 966m²</div>	Project: 214 TRANMERE ROAD, TRANMERE					
28/10/2025	B	Issued for RFI	D. Jackson		Title: Roof / Stormwater Plan					
26/11/2025	C	Issued for RFI	D. Jackson		Scale: 1:100					
04/12/2025	D	Issued for RFI	D. Jackson		Drawn : D. Jackson					
					Designed : D. Jackson					
					Date : 13/05/2025	Checked by: R.JACKSON CC340Y				
					Date: 01/05/2025					
						Drawing : A07		REVISION: D		
						JOB NUMBER: 130725				

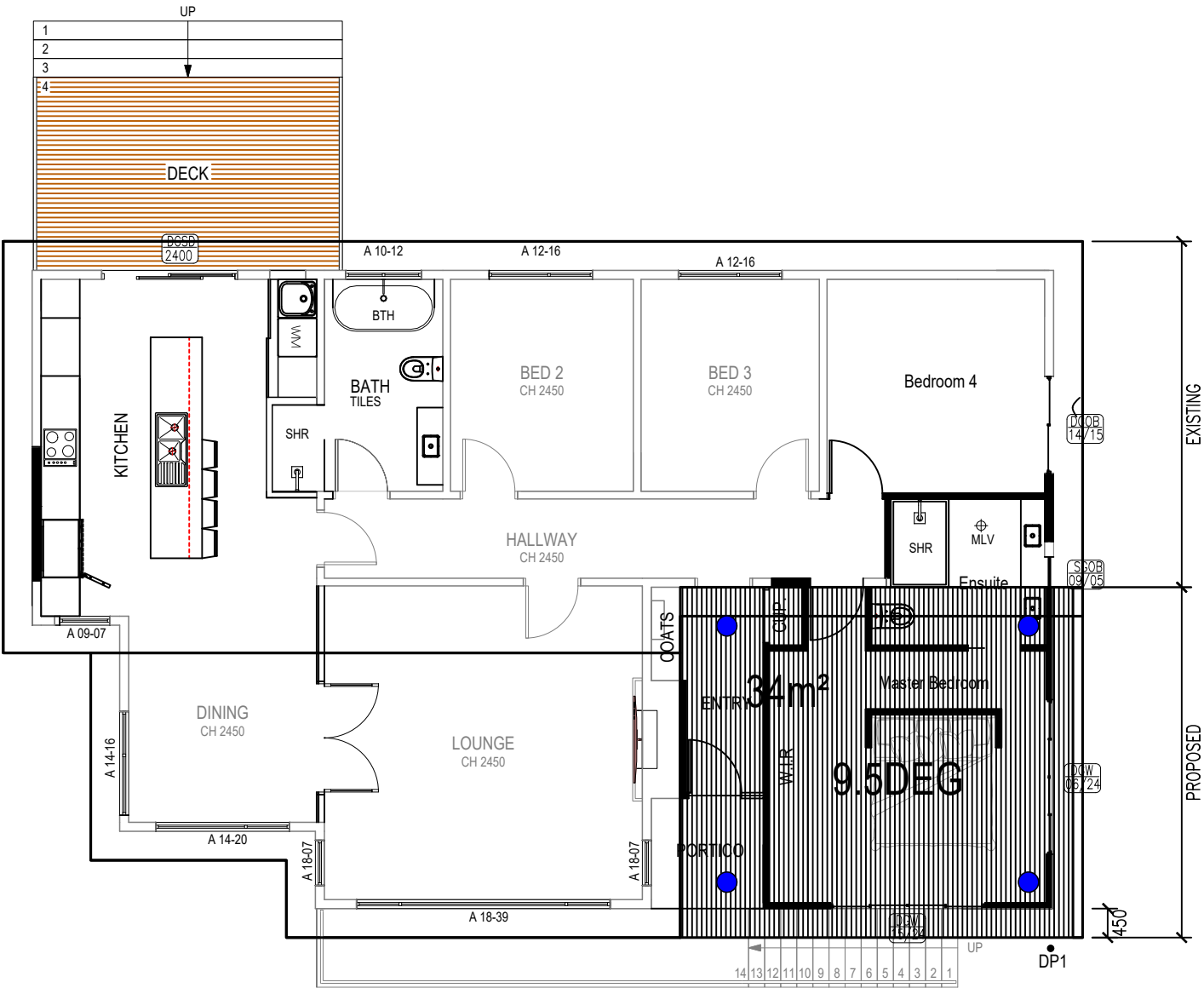
All roof areas shown
are indicative only and not to be
used for any other purpose

ROOFWATER DRAINAGE

Rainfall intensity - eaves gutters - 99ml/hour (1 in 20years)
- valley/box gutters - 155ml/hour (1 in 100 years)
Number of downpipes required - 1
Size of downpipes (max.12m spacings)- 90Ø
Size of gutter (min 1:500 fall) - 125D min.

CALCULATIONS

Downpipe DP1 - 34m² catchment



NOTES:

1. Connect downpipes to council stormwater system immediately on completion of roof installation
2. Roof sheeting to be crest fixed at side laps with (3) fixings at internal spans and (5) at end spans. Fixings to be RoofZips M6x65mm or equivalent

● denotes Edmonds Roof Valves or equivalent installed in accordance with Manuf. directions (max 900mm from ridge)

■ denotes 'Smoothline' Roof Ventilators or equivalent installed in accordance with Manuf. directions - in conjunction with eave ventilators (refer Sh A7a)

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19/06/2025	A	Issued for Council Approval	D. Jackson	<div>WIND CLASS - AS4055</div> <div>SOIL CLASS - AS2870</div> <div>CLIMATE ZONE - 7</div> <div>ENERGY RATING - refer report</div> <div>TITLE 12491 - Lot 107 966m²</div>	Project: 214 TRANMERE ROAD, TRANMERE					
28/10/2025	B	Issued for RFI	D. Jackson		Title: Roof / Stormwater Plan					
26/11/2025	C	Issued for RFI	D. Jackson		Scale: 1:100					
04/12/2025	D	Issued for RFI	D. Jackson		Drawn : D. Jackson			Date : 13/05/2025	Checked by: R.JACKSON CC340Y	
					Designed : D. Jackson			Date: 01/05/2025		
				JOB NUMBER: 130725		Drawing : H01	REVISION: D			

SOLID WASTE MATERIAL TO BE STORED AND REMOVED FROM SITE REGULARLY.

REMOVABLE WC TO BE INSTALLED ON SITE DURING CONSTURCTION UPTO THE POINT WHERE MAIN SEWER LINE IS CONNECTED.

STOCK PILES TO BE STABILISED AS SHOWN ON DETAIL SD9.

VEHICLES/MACHINERY ACCESSING THE SITE TO USE HARDENED ACCESS POINT AND TO BE THOROUGHLY WASHED (HIGH PRESSURE) TO REMOVE SOIL AND PLANT MATERIAL BEFORE LEAVING SITE.

REMOVE ANY SOIL, CONCRETE, PAINT OR OTHER POTENTIAL POLLUTANTS FROM ANY AREA NOT WITHIN THE SITE BOUNDARY, TO MINIMISE POLLUTION THROUGH RUN OFF IN THE RETICULATED STORMWATER SYSTEM.

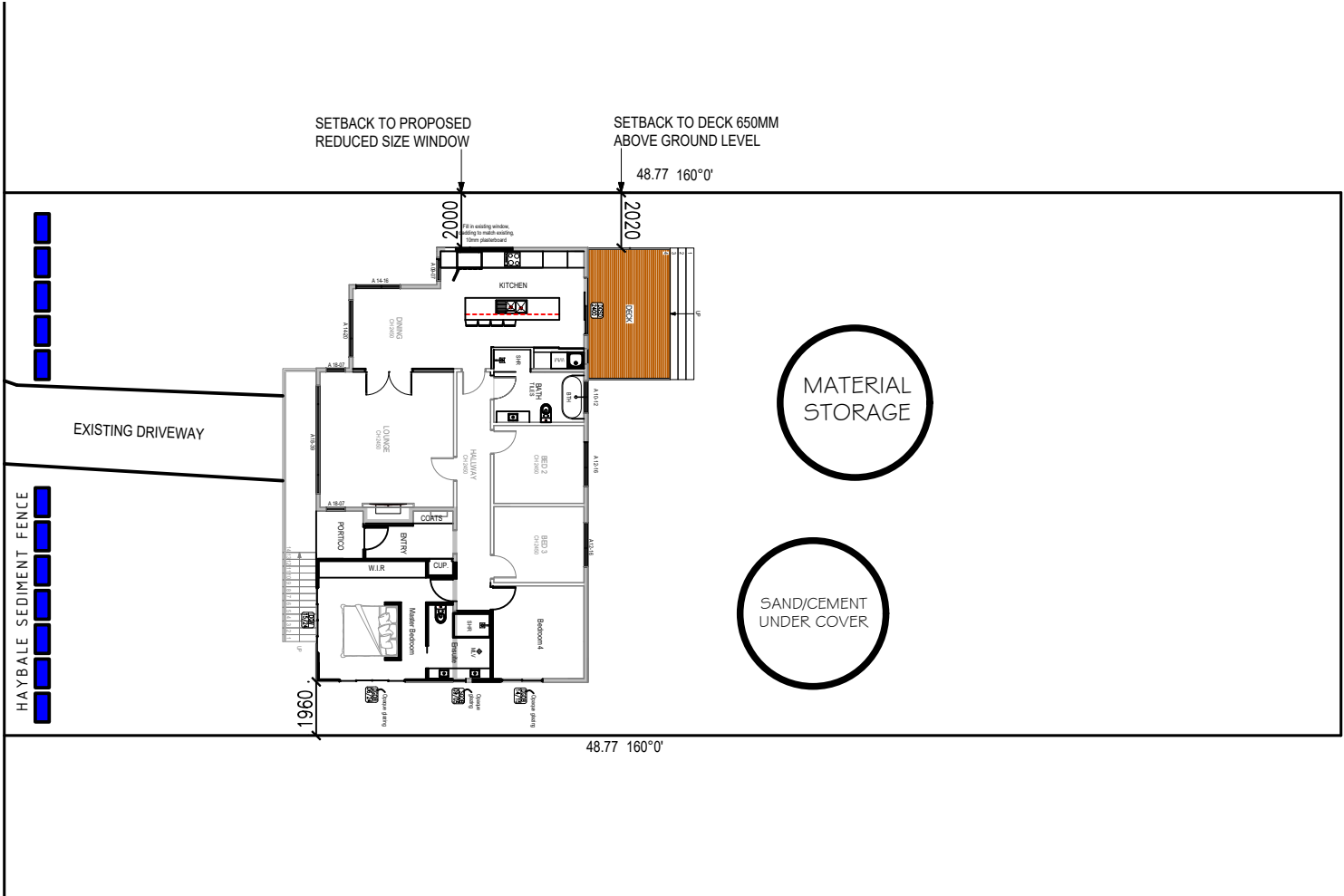
RETICULATED WATER MAINS AND ELECTRICAL CONNECTION TRENCHED TOGETHER. NOTES AS PER SEWER AND STORMWATER TRENCHING ABOVE.

WATER DIVERSION BARRIER (DIVERSION OF UPSLOPE WATER) CONSTRUCTED FROM SAND OR GRAVEL FILLED BAGS IN ACCORDANCE WITH DRAWING SD1.

SILT TRAP/STORM WATER PIT PROVIDE FILTRATION BARRIER AS PER DETAIL SD10.

IT IS THE BUILDERS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UNDERGROUND SERVICES, INCLUDING BUT NOT LIMITED TO; GAS, WATER, SEWER, STORM WATER, ELECTRICITY, TELECOMMUNICATIONS.

TRANMERE ROAD

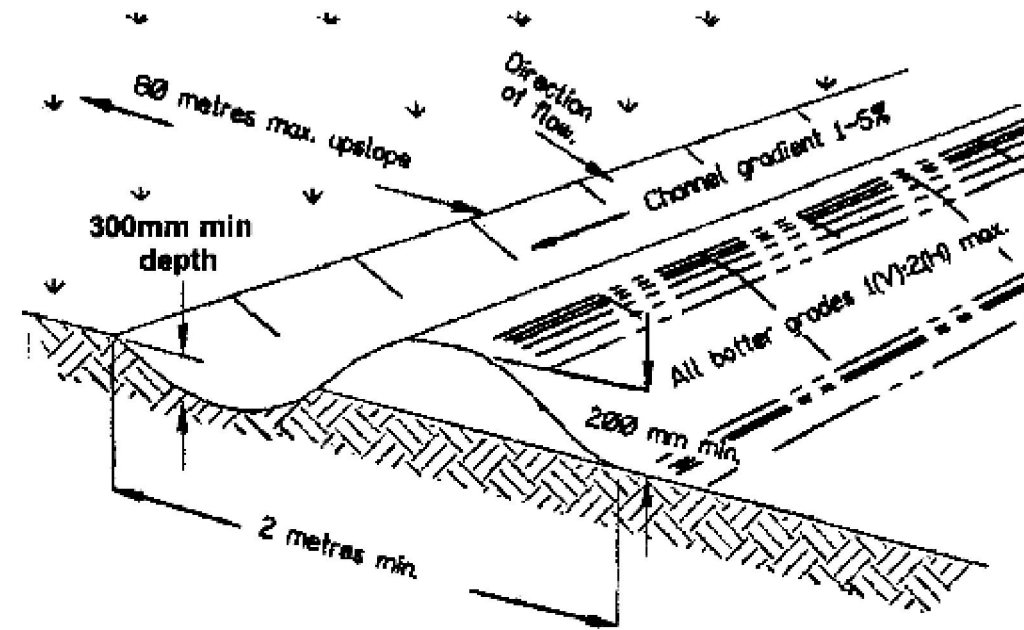


REVEGETATION & LONG TERM EROSION CONTROLS:

ONLY REMOVE VEGETATION AS REQUIRED DURING CONSTRUCTION. TREAT HEAVILY CLAYED SOILS WITH GYPSUM OR LIME AT A RATE OF 10t/ha TO STABILISE CLAY PARTICLES. TEMPORARY STABILISATION CAN BE GAINED BY SOWING RYECORN/OATS AT 40kg/ha AND RYEGRASS *var.* CONCORDE AT 10kg/ha OR SIMILAR FAST ROOTING GRASSES/CROPS (WITH ADVICE FROM AGRONOMIST) TO HOLD TOGETHER TOP SOIL. PERMANENT GROUND STABILISATION CAN BE ACHIEVED USING TURF OR OTHER GRASS MIXES OF FINE LEAF RYES, FESCUSES, POA, CLOVERS, ETC. GARDEN AREAS TO BE MULCHED WITH WATER EFFICIENT PLANTINGS THAT HAVE QUICK ESTABLISHMENT TIMES TO BE USED IN INITIAL GARDEN BEDS.

WHERE TUNNEL EROSION IS EVIDENT THE TUNNELED AREA MUST BE COMPLETELY BROKEN UP AND RECONSOLIDATED TO INTERRUPT CHANNELED FLOWS OF WATER AND THEN STABILISED WITH VEGETATION. DEEP RIP ACROSS THE SLOPE MAKING SURE THAT THESE RIP LINES ARE DEEPER THAN THE BOTTOM OF THE TUNNELS. COMPACT USING RUBBER WHEELED TRACTOR ON AREAS OF SHALLOW TUNNELING. TUNNELS DEEPER THAN THE RIPPERS ARE BEST EXCAVATED AND REPACKED.

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19/06/2025	A	Issued for Council Approval	D. Jackson	<div>WIND CLASS - AS4055</div> <div>SOIL CLASS - AS2870</div> <div>CLIMATE ZONE - 7</div> <div>ENERGY RATING - refer report</div> <div>TITLE 12491 - Lot 107 966m²</div>			Project: 214 TRANMERE ROAD, TRANMERE		
28/10/2025	B	Issued for RFI	D. Jackson				Title: SWMP 1		
26/11/2025	C	Issued for RFI	D. Jackson				Scale: 1:250		
04/12/2025	D	Issued for RFI	D. Jackson				Drawn : D. Jackson	Date : 13/05/2025	Checked by: R.JACKSON CC340Y
							Designed : D. Jackson	Date: 01/05/2025	
					JOB NUMBER: 130725	Drawing : M01	REVISION: D		



Construction Notes

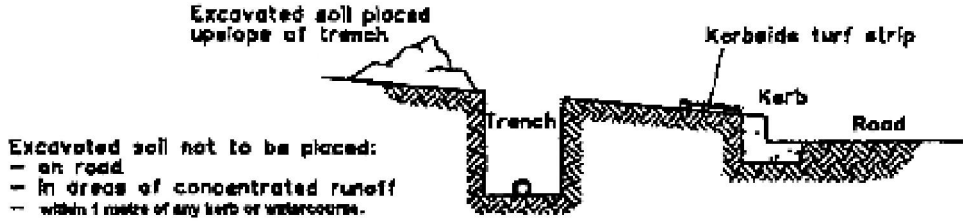
1. Construct along gradient as specified.
2. Maximum spacing between banks shall be 80 metres.
3. Drains to be of parabolic or trapezoidal cross section not V-shaped.
4. Earth banks to be adequately compacted in order to prevent failure.
5. Construction is of a temporary nature and shall be completed at the end a days work or immediately prior to rain.
6. All outlets from disturbed lands are to feed into a sediment basin or similar.
7. Discharge runoff collected from undisturbed lands onto either a stabilised or an undisturbed disposal site within the same subcatchment area from which the water originated.
8. Compact with a suitable implement in situations where they are required to function for more than five days.
9. Earth banks to be free of projections or other irregularities that will impede normal flow.

DETAILS EXTRACTED FROM "GUIDELINES FOR SOIL AND WATER MANAGEMENT" BY THE DEPARTMENT OF PRIMARY INDUSTRIES WATER AND ENVIRONMENT - JUNE 1999
ENDORSED BY BRIGHTON, CLARENCE, GLENORCHY, HOBART AND KINGBOROUGH CITY AND MUNICIPAL COUNCILS.

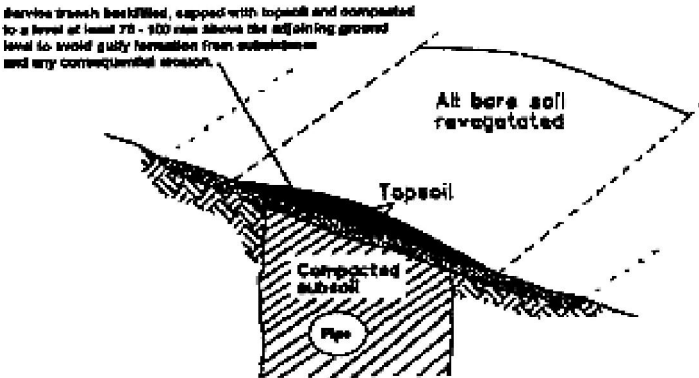
SD 1 - Diversion of Upslope Water - CatchDrains

Date	Rev.	Description	Drawn By	SITE DESCRIPTION		<div>ARCHIBIM</div> <div>ARCHITECTURAL BUILDING INVENTORY MODELLING</div> <div>ABN: 34 625 657 785 Unit 1, 10 Stanton Place, Cambridge TAS 7170 Email: archibim@outlook.com.au</div>	<div>ARCHIBIM</div>	Client: J. WOOLLEY & H. STEWART		
19/06/2025	A	Issued for Council Approval	D. Jackson	<div>WIND CLASS - AS4055</div> <div>SOIL CLASS - AS2870</div> <div>CLIMATE ZONE - 7</div> <div>ENERGY RATING - refer report</div> <div>TITLE 12491 - Lot 107 966m²</div>	Project: 214 TRANMERE ROAD, TRANMERE					
28/10/2025	B	Issued for RFI	D. Jackson		Title: SWMP 2					
26/11/2025	C	Issued for RFI	D. Jackson		Scale: NTS					
04/12/2025	D	Issued for RFI	D. Jackson		Drawn : D. Jackson			Date : 13/05/2025	Checked by: R.JACKSON CC340Y	
					Designed : D. Jackson			Date: 01/05/2025		
							JOB NUMBER: 130725	Drawing : M02	REVISION: D	

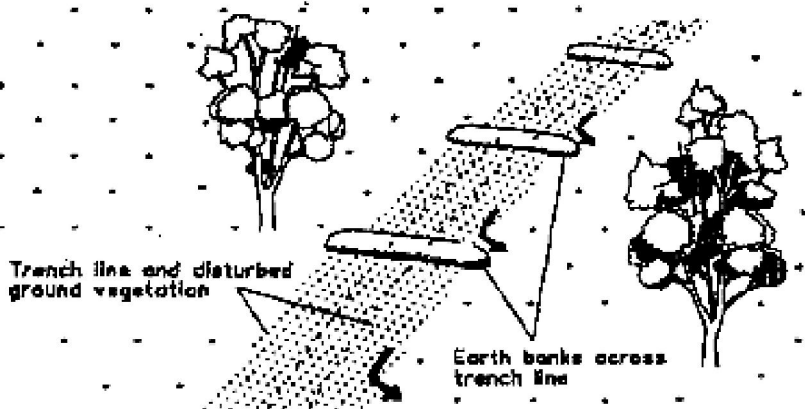
WHEN EXCAVATING TRENCH...



WHEN BACKFILLING TRENCH...

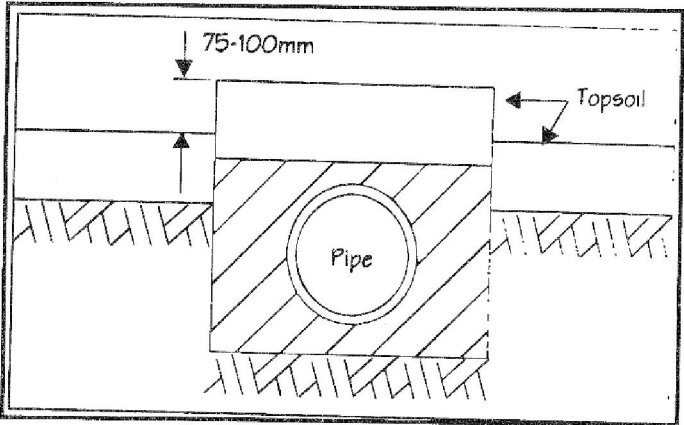


ON STEEP AND/OR LONG SECTIONS OF TRENCH...



Construction Notes

1. Do not open any trench unless it is likely to be closed in three days.
2. Place excavated material upslope of trench.
3. Stockpile topsoil separately from subsoil.
4. Divert runoff from the line of the cut
5. Rehabilitate in accordance with specification.

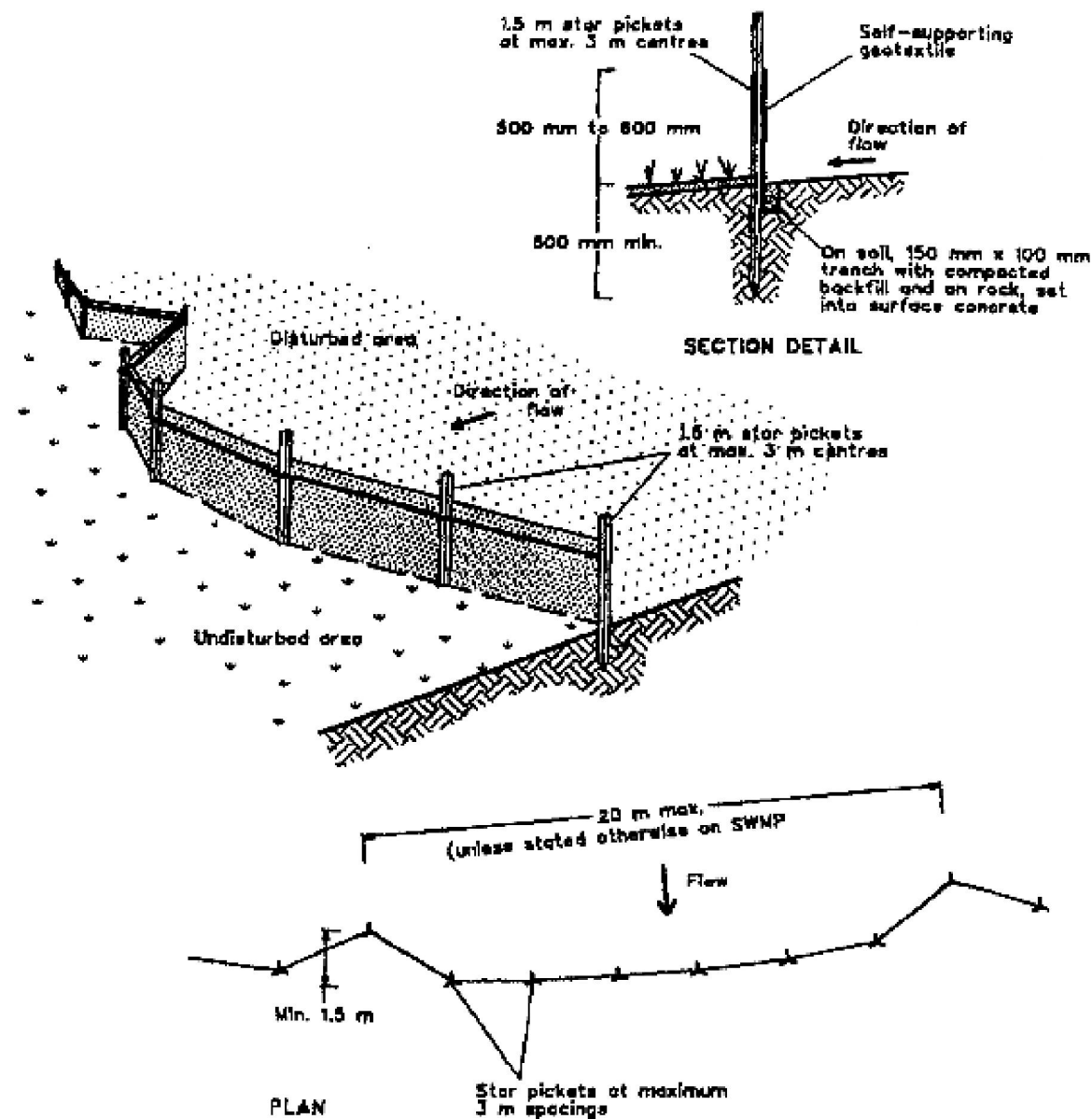


[See Appendix B - Standard Drawing SD 3 for installation and construction details]

SD 3 - Service Installation

DETAILS EXTRACTED FROM "GUIDELINES FOR SOIL AND WATER MANAGEMENT" BY THE DEPARTMENT OF PRIMARY INDUSTRIES WATER AND ENVIRONMENT - JUNE 1999
ENDORSED BY BRIGHTON, CLARENCE, GLENORCHY, HOBART AND KINGBOROUGH CITY AND MUNICIPAL COUNCILS.

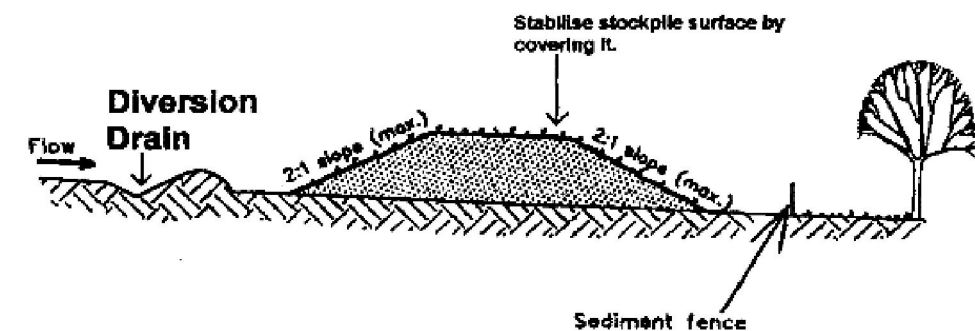
Date	Rev.	Description	Drawn By	SITE DESCRIPTION		<div>ARCHIBIM</div> <div>ARCHITECTURAL BUILDING INVENTORY MODELLING</div> <div>ABN: 34 625 657 785 Unit 1, 10 Stanton Place, Cambridge TAS 7170 Email: archibim@outlook.com.au</div>	<div>ARCHIBIM</div>	Client: J. WOOLLEY & H. STEWART		
19/06/2025	A	Issued for Council Approval	D. Jackson	WIND CLASS	- AS4055			Project:	214 TRANMERE ROAD, TRANMERE	Checked by: R.JACKSON CC340Y
28/10/2025	B	Issued for RFI	D. Jackson	SOIL CLASS	- AS2870			Title:	SWMP 3	
26/11/2025	C	Issued for RFI	D. Jackson	CLIMATE ZONE	- 7			Scale:	NTS	
04/12/2025	D	Issued for RFI	D. Jackson	ENERGY RATING	- refer report			Drawn : D. Jackson	Date : 13/05/2025	Drawing : M03
				TITLE 12491	- Lot 107 966m ²			Designed : D. Jackson	Date : 01/05/2025	
								JOB NUMBER: 130725		REVISION: D



Construction Notes

1. Construct sediment fence as close as possible to parallel to the contours of the site.
2. Drive 1.5 metre long star pickets into ground, 3 metres apart.
3. Dig a 150 mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
4. Backfill trench over base of fabric.
5. Fix self-supporting geotextile to upslope side of posts with wire ties or as recommended by geotextile manufacturer.
6. Join sections of fabric at a support post with a 150 mm overlap.

SD 8 - SEDIMENT FENCE



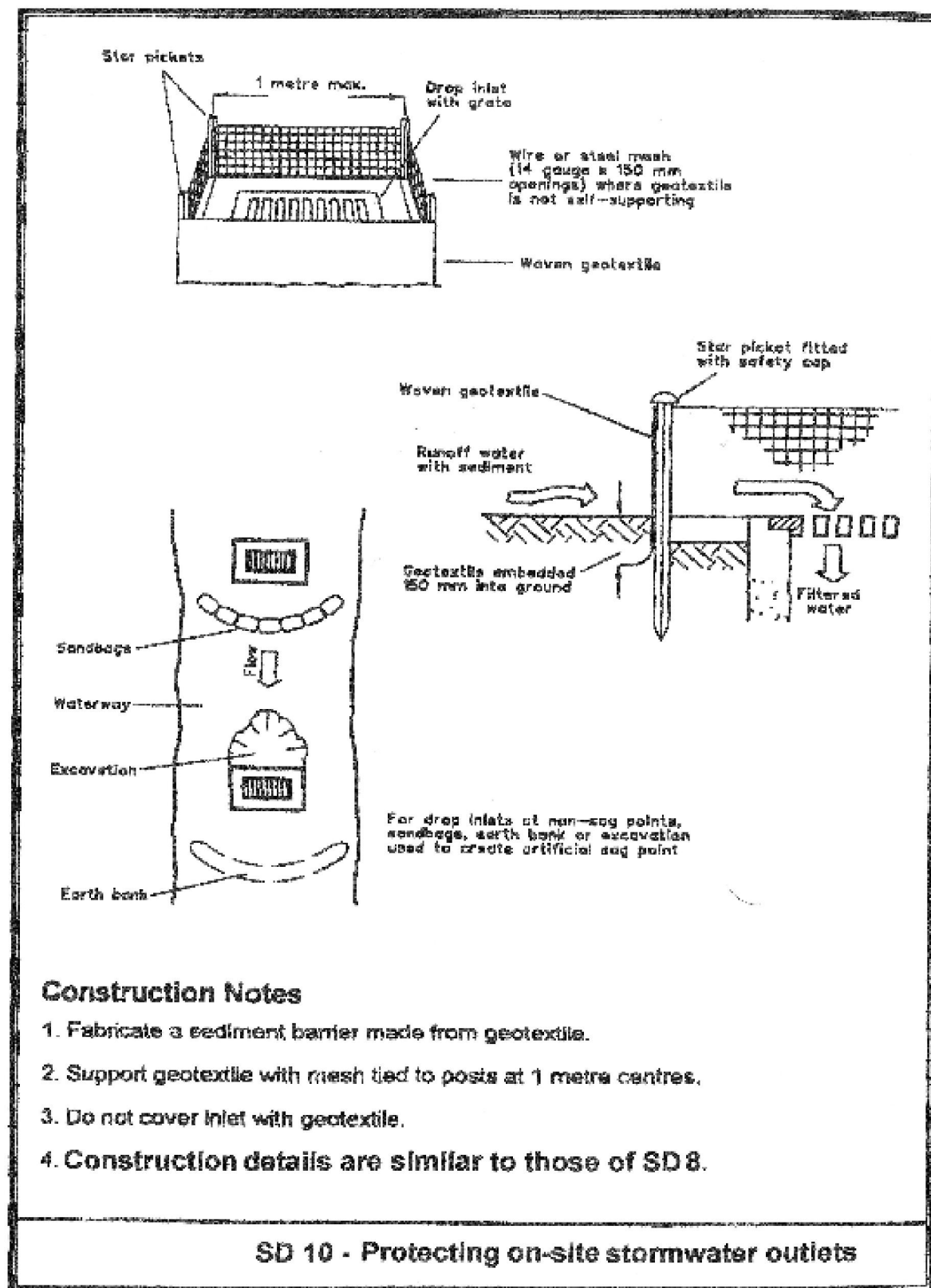
Construction Notes

1. Construct a diversion drain on upslope side of stockpile to divert water around stockpile and install a sediment fence 1-2 metres downslope of stockpile.
2. Locate stockpile at least 5 metres from existing bushland, concentrated water flows roads and other hazard areas.
3. Construct stockpile on the contour as a low, flat, elongated mound.
4. Where there is sufficient space, topsoil stockpiles shall be less than 2 metres high.
5. Rehabilitate in accordance with the SWMP.

SD 9 - Stabilising Stockpiles

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ENDORSED BY BRIGHTON, CLARENCE, GLENORCHY, HOBART AND KINGBOROUGH CITY AND MUNICIPAL COUNCILS.

Date	Rev.	Description	Drawn By	SITE DESCRIPTION		<div>ARCHIBIM</div> <div>ARCHITECTURAL BUILDING INVENTORY MODELLING</div> <div>ABN: 34 625 657 785</div> <div>Unit 1, 10 Stanton Place, Cambridge TAS 7170</div> <div>Email: archibim@outlook.com.au</div>	<div>Client: J. WOOLLEY & H. STEWART</div> <div>Project: 214 TRANMERE ROAD, TRANMERE</div> <div>Title: SWMP 4</div> <div>Scale: NTS</div>		
19/06/2025	A	Issued for Council Approval	D. Jackson	WIND CLASS	- AS4055			Drawn : D. Jackson	Date : 13/05/2025
28/10/2025	B	Issued for RFI	D. Jackson	SOIL CLASS	- AS2870			Designed : D. Jackson	Date : 01/05/2025
26/11/2025	C	Issued for RFI	D. Jackson	CLIMATE ZONE	- 7			Checked by: R.JACKSON CC340Y	
04/12/2025	D	Issued for RFI	D. Jackson	ENERGY RATING	- refer report			JOB NUMBER: 130725	Drawing : M04
				TITLE 12491	- Lot 107 966m ²			REVISION: D	



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 ENDORSED BY BRIGHTON, CLARENCE, GLENORCHY, HOBART AND KINGBOROUGH CITY AND MUNICIPAL COUNCILS.

Date	Rev.	Description	Drawn By	SITE DESCRIPTION		ARCHIBIM ARCHITECTURAL BUILDING INVENTORY MODELLING	Client: J. WOOLLEY & H. STEWART Project: 214 TRANMERE ROAD, TRANMERE Title: SWMP 5 Scale: NTS
19/06/2025	A	Issued for Council Approval	D. Jackson	WIND CLASS	- AS4055		
28/10/2025	B	Issued for RFI	D. Jackson	SOIL CLASS	- AS2870	ABN: 34 625 657 785 Unit 1, 10 Stanton Place, Cambridge TAS 7170 Email: archibim@outlook.com.au	<div> <div>Drawn : D. Jackson</div> <div>Designed : D. Jackson</div> </div> <div> <div>Date : 13/05/2025</div> <div>Date : 01/05/2025</div> </div> <div> <div>Checked by: R.JACKSON CC340Y</div> <div>REVISION: D</div> </div>
26/11/2025	C	Issued for RFI	D. Jackson	CLIMATE ZONE	- 7		
04/12/2025	D	Issued for RFI	D. Jackson	ENERGY RATING	- refer report		
				TITLE 12491	- Lot 107 966m ²		