



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/057425

PROPOSAL: Dwelling

LOCATION: 124 Athena Drive, Risdon Vale

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 05 January 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 05 January 2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 05 January 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New residential dwelling

Location:

Address 124 Athena Drive

Suburb/Town Risdon Vale

Postcode 7016

Current
Owners/s:

Applicant:

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

no

Current Use of Site: Vacant

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No



Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 185311	FOLIO 87
EDITION 2	DATE OF ISSUE 09-Oct-2025

SEARCH DATE : 04-Dec-2025

SEARCH TIME : 04.18 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 87 on Sealed Plan [185311](#)

Derivation : Part of Lot 31801, 248A-1R-0P Gtd. to Fane Claude Campbell Cox

Prior CT [181250/502](#)

SCHEDULE 1

[N280541](#) TRANSFER to LILY CONSTANCE CASTRISIOS and HAYDEN COSTELLO Registered 09-Oct-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP185311](#) COVENANTS in Schedule of Easements

[SP185311](#) FENCING COVENANT in Schedule of Easements

[SP168081](#), [SP172459](#), [SP174507](#) & [SP181250](#) COVENANTS in Schedule of Easements

[SP164707](#), [SP168081](#), [SP172459](#), [SP174507](#) & [SP181250](#) FENCING PROVISION in Schedule of Easements

[E255112](#) AGREEMENT pursuant to Section 78 of the Land Use Planning and Approvals Act 1993 Registered 19-Aug-2021 at noon

[E430662](#) MORTGAGE to Commonwealth Bank of Australia Registered 09-Oct-2025 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER PHAROS CUSTODIANS PTY LTD</p> <p>FOLIO REFERENCE C.T.183638/125 & C.T.181250/502</p> <p>GRANTEE PART OF LOT 31801 (248A-1R-OP) GTD. TO FANE CLAUDE CAMPBELL COX</p>	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR ANDREW STEPHEN BIRCH ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0400-114-824</p> <p>CITY OF CLARENCE</p> <p>SCALE 1: 1,000 LENGTHS IN METRES</p>	<p>REGISTERED NUMBER SP185311</p> <p>APPROVED EFFECTIVE FROM 18 JUL 2023</p> <p><i>Ren</i> Recorder of Titles</p>
<p>LOT 601 IS COMPILED FROM C.T.183638/125 & THIS SURVEY</p>		
<p style="text-align: right;">ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>		

(SP168678) PRIORITY FINAL PLAN

(SP127474)

<p><i>[Signature]</i> 8-6-2023 Registered Land Surveyor Date</p>	<p><i>Claire Shea</i> 30-06-2023 Council Delegate Date</p>
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SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 185311

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 59 to 61, 80 to 85 and Lot 601 (all inclusive) (the "Lots") are subject to a Pipeline and Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, it's successors and assigns (TasWater) over the land marked "Pipeline and Services Easement and Drainage Easement 3.00m wide on the Plan (the "Easement Land").

Lots 62 to 68 (all inclusive) (the "Lots") are subject to a Pipeline and Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, it's successors and assigns (TasWater) over the land marked "Pipeline and Services Easement and Drainage Easement 3.50m wide on the Plan (the "Easement Land").

Lots 59 to 61, 80 to 85 and Lot 601 (all inclusive) (the "Lots") are each subject to a Right of Drainage over the land marked "Pipeline and Services Easement and Drainage Easement 3.00m wide" in favour of the Clarence City Council.

Lots 62 to 68 (all inclusive) (the "Lots") are each subject to a Right of Drainage over the land marked "Pipeline and Services Easement and Drainage Easement 3.50m wide" in favour of the Clarence City Council.

Lot 601 is subject to a Right of Drainage over the land marked "Pipeline and Services Easement and Drainage Easement 3.00m wide" in favour of the Clarence City Council and more fully set forth in SP174507.

(SP174507)

Lot 601 is subject to a Pipeline and Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, it's successors and assigns (TasWater) over the land marked "Pipeline and Services Easement and Drainage Easement 3.00m wide" (SP174507) and more fully set forth in SP174507.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Pharos Custodians Pty Ltd	PLAN SEALED BY: Clarence City Council
FOLIO REF: 183638/125 and 181250/502	DATE: 30 th June 2023
SOLICITOR	PPPLAN/MTD-2019/
& REFERENCE: William Justo: WCJ 069028	REF NO. 008974 Stage 6 Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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of EP

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP 185311
SUBDIVIDER: Pharos Custodians Pty Ltd FOLIO REFERENCE: 183638/125 and 181250/502	

Fencing Covenant

The owner of each Lot on the Plan covenants with the Vendors, Pharos Custodians Pty Ltd, that the Vendors shall not be required to fence.

Restrictive Covenants

& that part of Lot 301 formerly comprised in Lot 502 on Sealed Plan 181250
 Lots 87, 88, 89, 90 and 602 are each subject to Restrictive Covenants more fully set forth in SP168081, SP172459, and SP174507, & SP181250
 & that part of Lot 301 formerly comprised in Lot 125 on Sealed Plan 183638
 Lots 80 to Lot 86 (inclusive), and Lot 601 are each subject to Restrictive Covenants more fully set forth in SP168081, SP172459 & SP174507

Definitions:

Pipeline and Services Easement is defined as follows:-

FIRSTLY, THE FULL RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition;

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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SP E.P.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP 185311
SUBDIVIDER: Pharos Custodians Pty Ltd FOLIO REFERENCE: 183638/125 and 181250/502	

- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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 C.P.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP 185311
SUBDIVIDER: Pharos Custodians Pty Ltd FOLIO REFERENCE: 183638/125 and 181250/502	

"TasWater" means Tasmanian Water and Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns

EXECUTED by Pharos Custodians Pty Ltd
(ACN 131 759 807) in accordance with
section 127 of the *Corporations Act 2001*:

Signature: 

Name: **ANTONIOS PAPASTAMATIS**
PLEASE PRINT

Director

Signature: 

Name: **EUGENIA PAPASTAMATIS**
PLEASE PRINT

Director/Secretary *

* Delete as appropriate

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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26.11.2025

Dear Sir/Madam,

124 Athena Dr, Risdon Vale - 7016

Please see our DA application for a new dwelling at 124 Athena Drive, Risdon Vale.

The proposal includes the construction of a retaining wall located **within 300 mm of the side boundary**. While this does not meet the Acceptable Solution under the Clarence Planning Scheme 2015 for boundary setbacks, it **satisfies the relevant Performance Criteria**, as outlined below.

1. **Not cause unreasonable loss of amenity** to the adjoining property through:

○ **Overshadowing:**

The retaining wall is low-height and does not generate any meaningful shadowing impact. Due to its modest scale and position relative to the sun path, overshadowing is negligible and will not reduce solar access to habitable rooms or private open space on the neighbouring lot.

○ **Visual Bulk:**

The wall remains low in overall height and does not present as a dominant feature when viewed from the adjoining lot. Given its height and materials, it will not create a sense of enclosure or bulk.

○ **Privacy:**

A retaining wall does not introduce privacy impacts as it does not contain openings or elevated viewing positions.

2. **Be compatible with the use and development of adjoining land:**

Retaining walls are common in residential zones to manage level changes and enable safe, functional use of land. The proposed structure is consistent with standard residential development and will not impact the future development potential of the neighbouring property.

3. **Allow for adequate separation for maintenance of the wall:**

The retaining wall is engineered to be structurally sound without requiring access from the neighbouring property. All maintenance can be carried out from within the subject site, ensuring no reliance on the adjoining land for future works.

4. Not cause drainage or stormwater issues:

The retaining wall will incorporate appropriate drainage (e.g., gravel backfill, ag-drain) to ensure water does not concentrate or discharge onto the neighbouring lot. Stormwater will be directed to lawful points of discharge in accordance with council requirements.

The proposal includes a window with a **floor level greater than 1.0 m above natural ground level**. While this triggers the privacy provisions under the Clarence Planning Scheme 2015, the window complies with the **Performance Criteria** as it does **not cause unreasonable overlooking** of the neighbouring non-habitable room window (ensuite) which is also obscure glass.

1. Horizontal Separation Ensures No Unreasonable Overlooking

The subject window is located **1.5 metres horizontally** from the neighbour's window. Although this does not meet the Acceptable Solution of a 3 m setback to a shared boundary or screening, the development **meets the intent** of the Performance Criteria because:

- The two windows are not directly facing each other in a way that allows clear sightlines into the neighbour's habitable room.
- The 1.5 m horizontal offset disrupts direct lines of sight and prevents intrusive overlooking.

2. Window Orientation and Sightlines

The design has been carefully considered to:

- Limit outward views into the neighbour's window through offset positioning.
- Ensure that any view from the subject window is **angled rather than direct**, which significantly reduces privacy impacts.
- Maintain visual separation in accordance with the zone's purpose.

3. Internal Privacy vs External Privacy

The neighbouring window does not lose reasonable privacy because:


- Neither window provides a direct, perpendicular view into the other.
- There is no shared line of sight that would enable views into sensitive internal living spaces.
- The neighbouring ensuite window is obscure

4. No Need for Additional Screening

Due to the horizontal offset and broken sightline, screening is **not required** to achieve the objectives of the Performance Criteria.

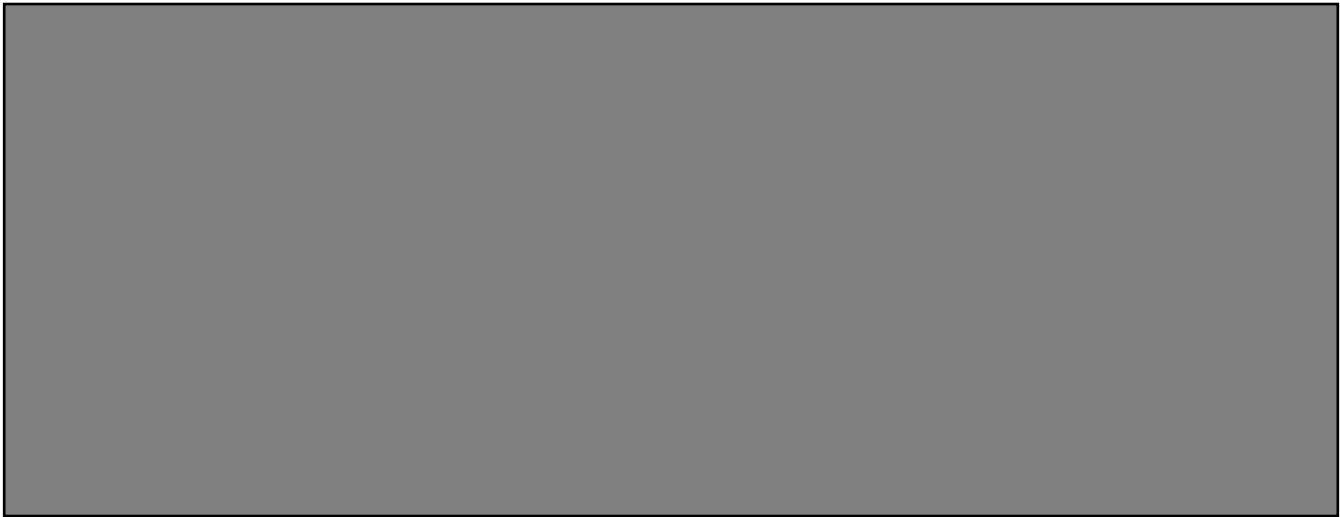
The outcome is functionally equivalent to the acceptable solution in terms of privacy protection.

PINNACLE

Should you have any questions in regards to the application, please feel free to contact us on 6248 4743 or by email at 

Kind Regards,





Please see my response to the RFI for 124 Athena Drive.

8.4.6 – Privacy for All Dwellings – W02

As compliance with A2 is not achieved, the design must be justified under **P2**, demonstrating that **privacy of the adjoining property is not unreasonably impacted**.

- **Reason for non-compliance:**

Window W02 is required for natural light/ventilation and functional layout of the kitchen and living area.

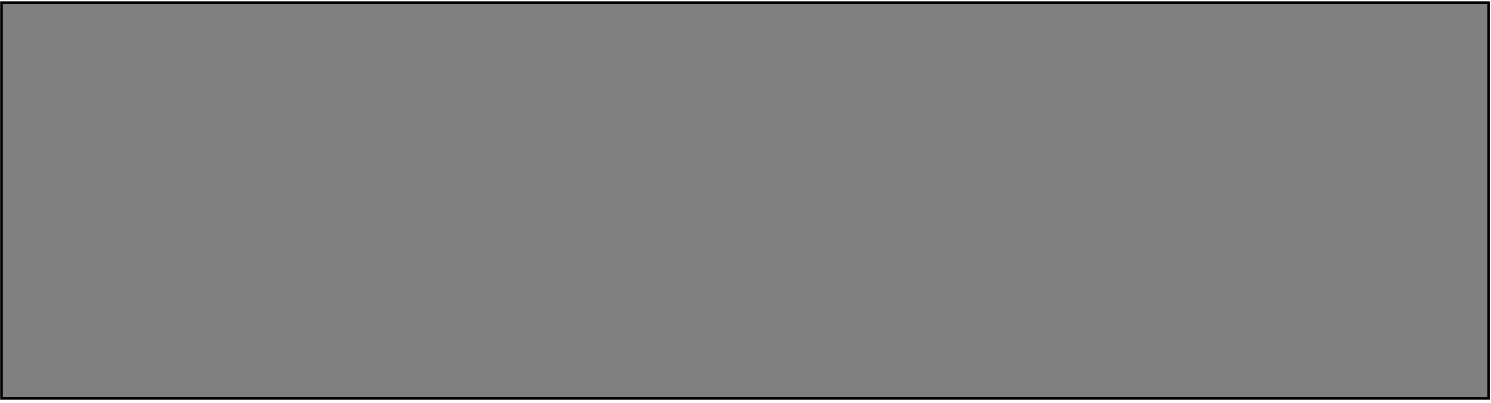
- **Privacy protection measures:**

- The window does **not directly overlook private open space** or habitable room windows of the neighbouring dwelling; the closest window is an obscure glass window of the ensuite (screened and non-habitable room) and has a vertical separation of 1500mm.
- Any potential overlooking is **oblique rather than direct**;
- **Separation of sight lines by fencing** and vegetative buffers;
- Differences in **floor levels** and **site topography** reduce visibility into neighbouring areas. Natural ground level differences of the steep topography of the blocks, allows for the sight line of W02 to extend **over** the neighbouring lot rather than **into** any private open space or habitable room windows.

- **Conclusion:** Given the **steep natural topography**, absence of direct sightlines, and existing boundary treatments, the proposal maintains **reasonable levels of privacy** for occupants of adjoining dwellings and therefore complies with Performance Criterion P2.

Thank you

Kind regards,



P I N N Δ C L E

PINNACLE



Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

124 Athena Drive, Risdon Vale - 7016

Owner(s) or Clients	Hayden Costello & Lily Castrisios	Title Reference	185311/87
Building Classification	1a	Zoning	General Residential
Designer	Jason Nickerson CC6073Y	Land Size	659m ²
Total Floor Area (Combined)	169.56m ² Deck 51.71m ²	Design Wind Speed	N3
Alpine Area	N/A	Soil Classification	S
Other Hazards	Airport obstacle limitation area, Bushfire-prone areas	Climate Zone	7
<small>(e.g., High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)</small>		Corrosion Environment	Low
		Bushfire Attack Level (BAL)	TBA

Changes List			
Issue	Description of change	Date	Designer

ID	Sheet Name	Issue
A.01	Site Plan	DA - 01
A.02	Floor Plan	DA - 01
A.03	Elevations	DA - 01
A.04	Elevations	DA - 01
A.05	Roof Plan	DA - 01
A.06	Electrical Plan	DA - 01
A.07	Door & Window Schedule	DA - 01

Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a)Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
 - (i)25mm over the first 1m from the building
 - (A)in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or
 - (B)for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
 - (ii)50 mm over the first 1 m from the building in any other case.
- (b)Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces mustbe not less than
 - (i)100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
 - (ii)50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or
 - (iii)150 mm in any other case.
- (c)The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with-
 - (i)the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

Site Areas

Site Area	659 m ²
Building Footprint	169.56m ²
Total Site Coverage	25.73%

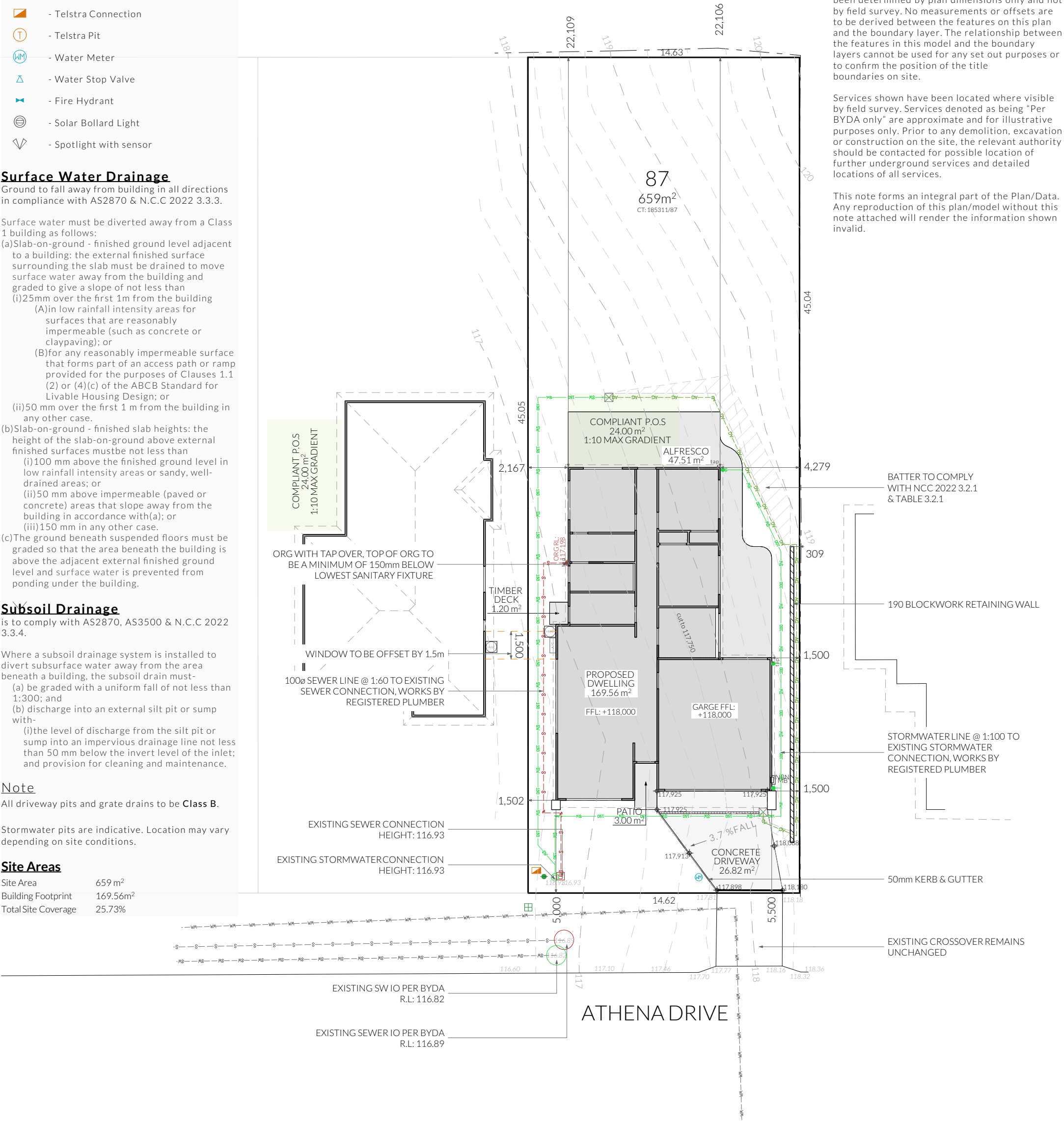
Survey Notes from Surveyor

This plan and associated digital model is prepared for Hayden Costello from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site.

Services shown have been located where visible by field survey. Services denoted as being "Per BYDA only" are approximate and for illustrative purposes only. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.



<div>PINNACLE</div> <div>PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence Number: CC6073Y</div>			<table><tr><th>Issue</th><th>Date</th><th>Designer</th></tr><tr><td colspan="3">NOTE: Refer to cover page for further details on changes.</td></tr></table>		Issue	Date	Designer	NOTE: Refer to cover page for further details on changes.		
Issue	Date	Designer								
NOTE: Refer to cover page for further details on changes.										
Site Plan	Scale: 1:200 @ A3	Proposal: New Dwelling	Date: 21/11/25	 <div>These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.</div>						
Revision: DA - 01	Pg. No: A.01	Client: Hayden Costello & Lily Castrisios	Drawn by: CJ							
Approved by: JN		Address: 124 Athena Drive, Risdon Vale - 7016	Job No: 079-2025							
		Engineer: TBA	Building Surveyor: TBA							

 Access Panel

 Articulation Joint

 Smoke Alarm

Construction of sanitary compartments
10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;

(a) in a *habitable room* excluding a kitchen - 2.4 m; and

(b) in a kitchen - 2.1 m; and

(c) in a corridor, passageway or the like - 2.1 m; and

(d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and

(e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items

(f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

Floor Areas

Total Floor Area	169.56m ²
Patio	3.00m ²
Deck	1.20m ²
Alfresco	47.51m ²

Important Note

Compliant bracing for livable housing standards - black dashed line represents location of reinforcement materials.

In accordance with the Livable Housing Provisions, acceptable options for reinforcement material include noggings with a minimum thickness of 25mm or structural grade plywood with a minimum thickness of 12mm.

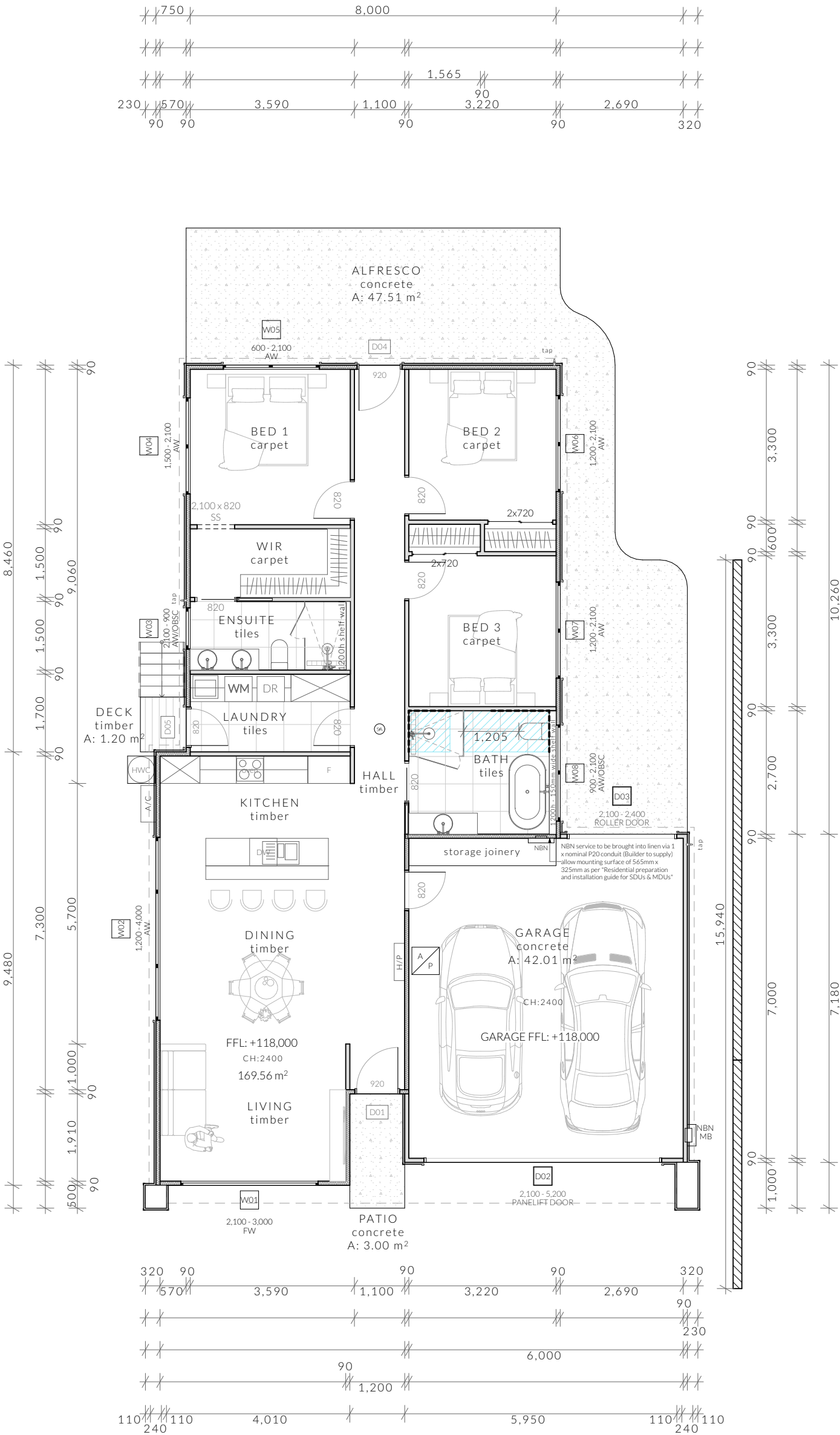
Required reinforcement of bathroom and sanitary compartment in compliance with Livable Housing Design Standards 2022

Builder to refer to;

Shower - Figure 6.2c

Bath - Figure 6.2a freestanding is exempt under 6.1(1)(b)(ii)

Toilet - Figure 6.2e

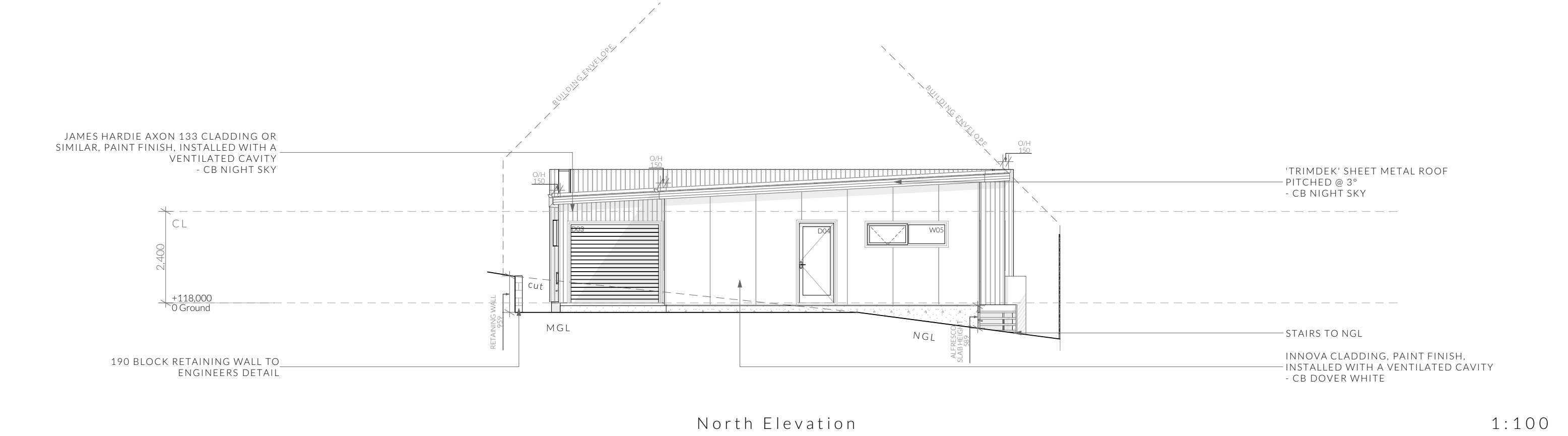
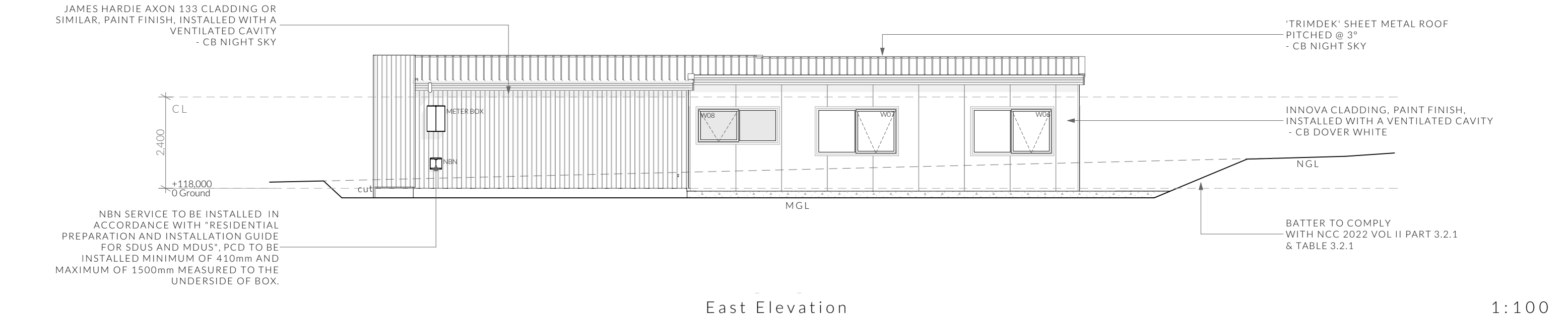


NOT FOR CONSTRUCTION

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			NOTE: Refer to cover page for further details on changes.			
Floor Plan		Scale: 1:100 @ A3	Proposal: New Dwelling	Date: 21/11/25	<div></div> <div>These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.</div>	
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Approved by: JN		Address: 124 Athena Drive, Risdon Vale - 7016	Engineer: TBA	Building Surveyor: TBA		
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Version: 1, Version Date: 08/12/2025




NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

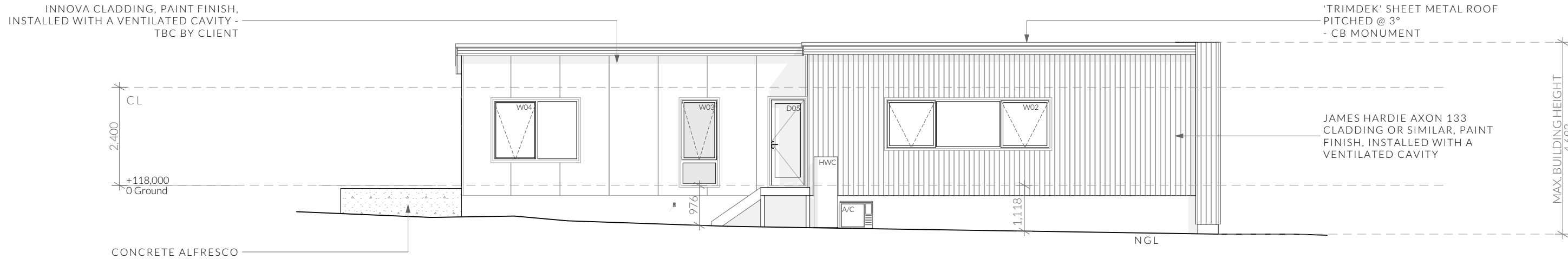
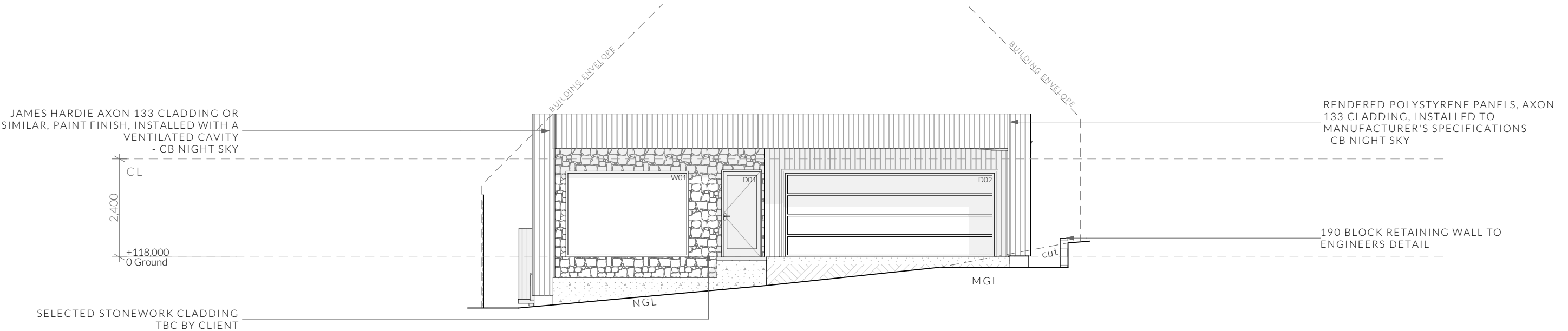
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

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	Revision: DA - 01															
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Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a)is located-
 - (i)immediately above the primary insulation layer; or
 - (ii)immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii)immediately above ceiling insulation; and
- (b)has a height of not less than 20 mm; and
- (c)is either-
 - (i)ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii)located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

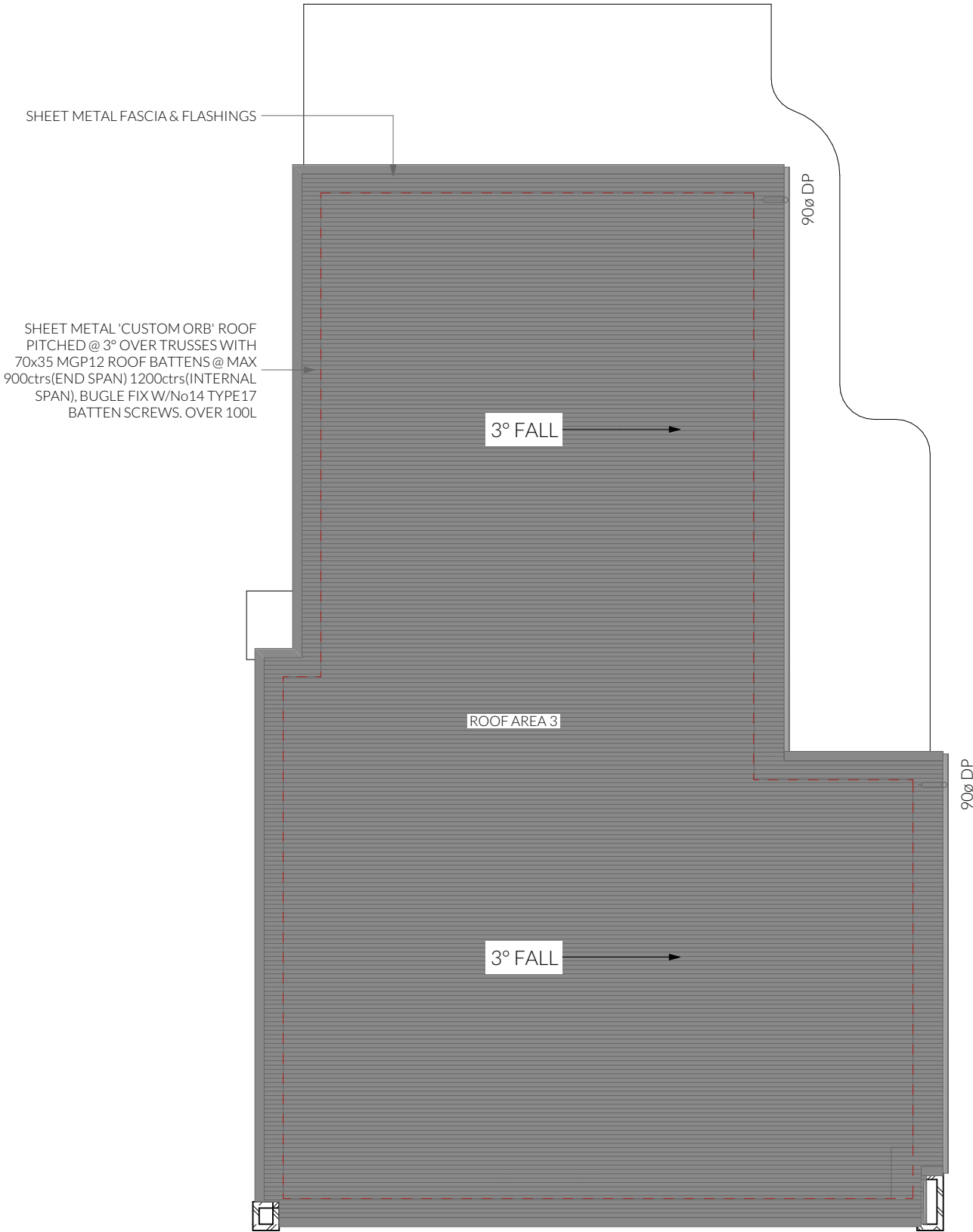
Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a)comply with AS/NZS 2908.2 or ISO 8336; and
- (b)be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 × 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
<10°	25,000 mm2/m provided at each of two opposing ends
(1)Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2)For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.	



Parapet cappings

Where a wall cladding is used to form a parapet wall, the cladding must be attached to a supporting frame and have a capping installed that complies with the following:

- (a)Cappings must-
 - (i)be purpose made, machine-folded sheet metal or equivalent sections of a material compatible with all up and downstream metal roof covering materials in accordance with 7.2.2(2); and
 - (ii)extend not less than 50 mm down the sides of the parapet; and
 - (iii)be separated from the supporting framing by a vapour permeable sarking installed in accordance with (f); and
 - (iv)be fixed with either self drilling screws or rivets with rubber washers at intervals of not more than 500 mm that do not penetrate the top of cappings, except at joints and corners.
- (b)The top of the capping must slope a minimum of 5 degrees.
- (c)Joints in cappings must-
 - (i)overlap by not less than 50 mm in the direction of flow; and
 - (ii)be securely fastened at intervals of not more than 40 mm; and
 - (iii)have sealant installed between laps.
- (d)Fixing for cappings must be compatible with the capping material in accordance with 7.2.2.
- (e)Lead cappings must not be used with prepainted steel or zinc/aluminium steel or on any roof if the roof is part of a drinking water catchment area.
- (f)Sarking must comply with AS 4200.1 and be installed behind all wall cladding where parapets are installed, with-
 - (i)each adjoining sheet or roll being-
 - (A)overlapped not less than 150 mm; or
 - (B)taped together; and
 - sarking fixed to supporting members at not more than 300 mm centres.

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ELECTRICAL LEGEND - Lower Floor			
Symbol	Description	Allowance	Quantity
	DATA- CAT 6 (RJ45) - 1 GANG		2
	DATA- TV CONNECTION		1
	FAN - 3 IN 1 (2 LAMP)	10W (LIGHT)	1
	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	1
	FAN - CEILING - EXHAUST		2
	GPO - (1) SINGLE		2
	GPO - (1) SINGLE (CEILING MOUNTED)		1
	GPO - (2) DOUBLE		22
	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		1
	GPO - WEATHERPROOF DOUBLE		2
	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	21
	LIGHT - CEILING - LED BATTEN	20W	3
	LIGHT - CEILING - PENDANT - LED STRIP 1200L	20W (LM)	1
	LIGHT - WALL MOUNTED - TYPE 1	10W	4
	SWITCH - LIGHT 1 GANG		11

Smoke Alarms Part 9.5 of NCC 2022

- Smoke alarms must-
- (a)be located in-
- (i)a Class 1a building in accordance with 9.5.2 and 9.5.4; and
 - (ii)a Class 1b building in accordance with 9.5.3 and 9.5.4; and
- (b)comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
- (c)be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

- In a Class 1a building, smoke alarms must be located in-
- (a)any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
- (b) each other storey not containing bedrooms.

- Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:
- (a)Where a smoke alarm is located on the ceiling it must be-
- (i)a minimum of 300 mm away from the corner junction of the wall and ceiling; and
 - (ii)between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
- (b)Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Note: Exhaust Fans

- Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have;
- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-
 - (a)25 L/s for a bathroom or sanitary compartment; and
 - (b)40 L/s for a kitchen or laundry.
 - Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
 - Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
 - An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-
 - (a)be interlocked with the room's light switch; and
 - (b)include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Note: Lighting

- Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:
- 5W/m² in class 1a dwellings
 - 4W/m² to veranda, balcony or the like
 - 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

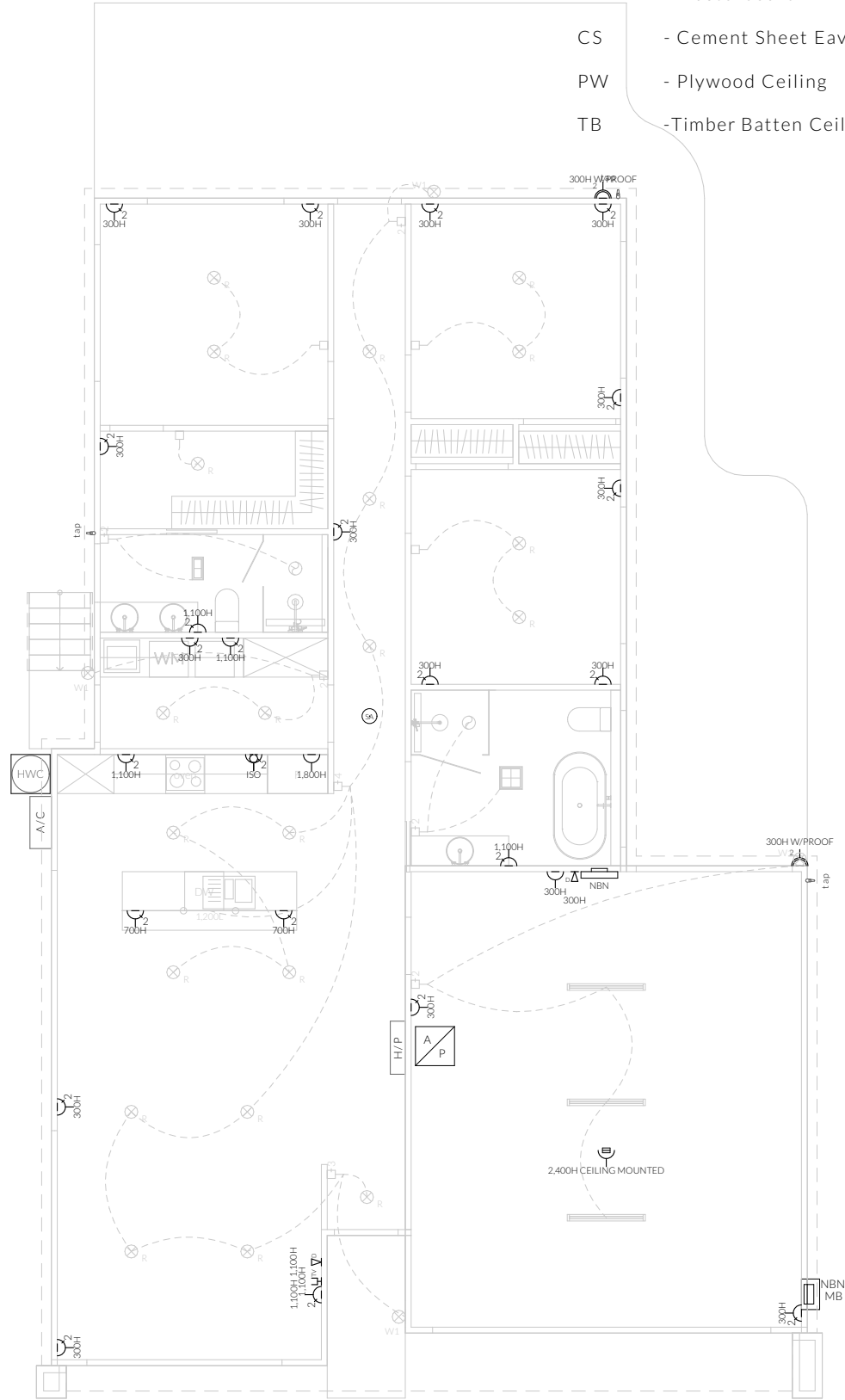
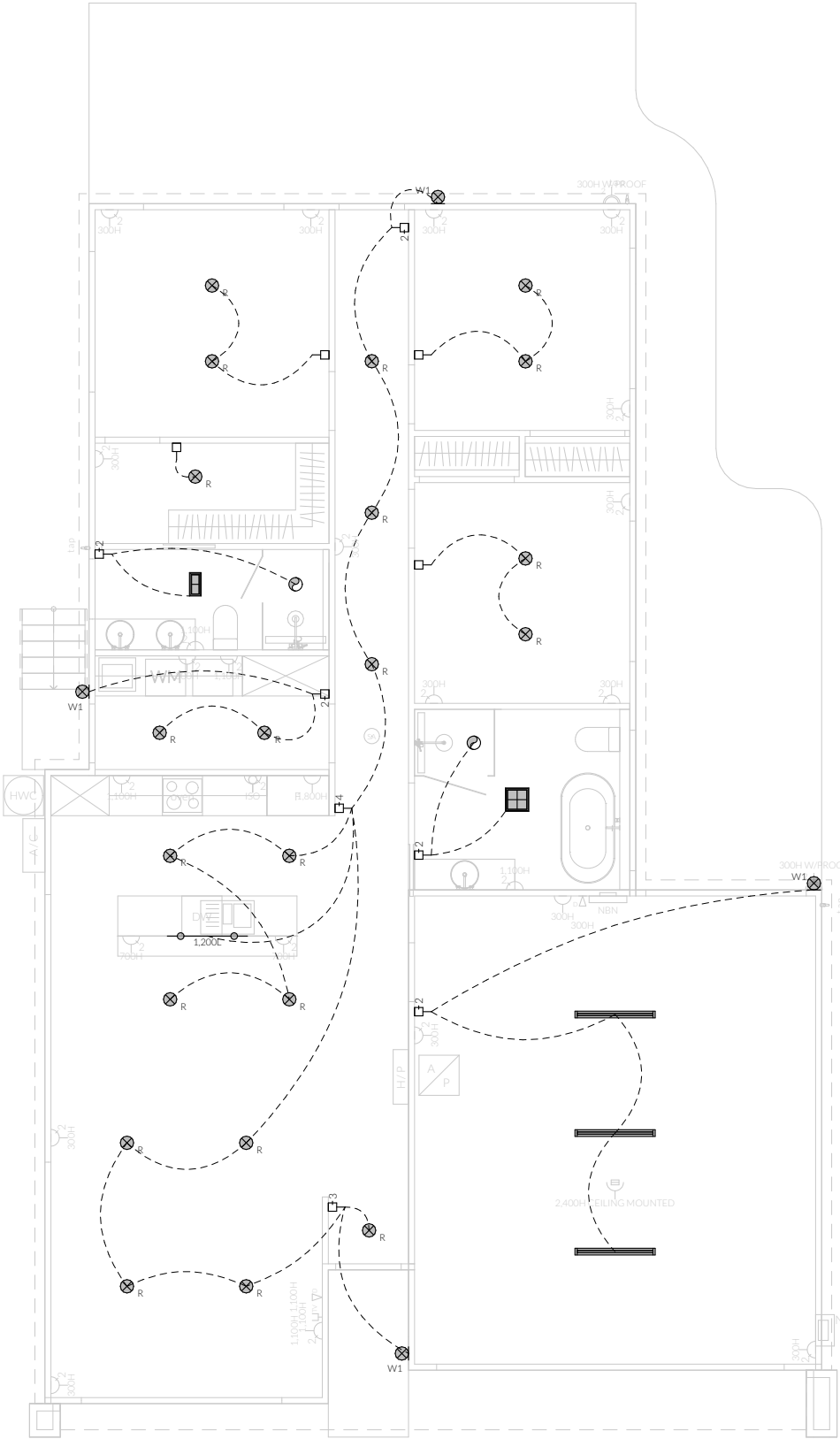
Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space.

Notes

U.N.O ceilings are to be plasterboard.

- ▷-----▷ Dimmable Circuit
- ↑-----↑ Timer Circuit(as fan note)
- PB - Plasterboard
- CS - Cement Sheet Eaves
- PW - Plywood Ceiling
- TB -Timber Batten Ceiling



Electrical Plan - Lower - Light/Reflected Ceiling

Electrical Plan - Lower - Power

Important note
All windows to be in compliance with **BAL TBA** requirements. Refer to Bushfire Protection Plan.

ID	D01	D02	D03	D04	D05	W01	W02
External View							
Sill Height	0	0	0	0	0	0	900
Notes							

ID	W03	W04	W05	W06	W07	W08
External View						
Sill Height	0	600	1,500	900	900	1,200
Notes	OBSCURE					OBSCURE

Glazing

All glazing must comply with Section 8 of NCC Vol II 2022.

Windows must be installed in accordance with the following:

- (a)Structural building loads must not be transferred to the window assembly.
- (b)A minimum 10 mm gap must be provided between the top of the window assembly and any loadbearing framing or masonry wall element.
- (c)The requirements of (b) may be increased where necessary to allow for frame settlement over wide openings.
- (d)Packing, if provided between each window assembly and the frame, must be-
 - (i)located along each side and bottom; and
 - (ii)fixed to ensure the sides and bottom of the window assembly remain straight; and
 - (iii) clear of any flashing material.

If a door, side panel or panel is capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible with an opaque band not less than 20 mm in height located so that-

- (a)the upper edge is not less than 700 mm above the floor; and
- (b)the lower edge is not more than 1.2 m above the floor.

Refer to Part 8.4.7 for exemptions.

<div>PINNACLE</div>	PINNACLE DRAFTING & DESIGN	<div>Door & Window Schedule</div>	Scale:	Proposal: New Dwelling	Date: 21/11/25	<div>Issue</div>	<div>Date</div>	<div>Designer</div>	<div>These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.</div> <div><div>bdga</div><div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div></div>	
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	03 6248 4218				Job No: 079-2025	Engineer: TBA				
	admin@pinnacledrafting.com.au		Pg. No: A.07	Address: 124 Athena Drive, Risdon Vale - 7016		Building Surveyor: TBA				
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