



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/057585

PROPOSAL: Awning Addition

LOCATION: 63 George Street, Dulcote

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 08 January 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 08 January 2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 08 January 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

Two awning additions at front of house

Location:

Address 63 George Street

Suburb/Town Dulcot

Postcode 7025

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

Estimated cost of development

\$19,060.00

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Residential

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

01/12/2025

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

(please refer to <http://www.ccc.tas.gov.au/fees> or phone (03) 6217 9550 to determine applicable fees).

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 122000	FOLIO 1
EDITION 7	DATE OF ISSUE 06-Jul-2022

SEARCH DATE : 25-Mar-2025

SEARCH TIME : 09.13 AM

DESCRIPTION OF LAND

Town of DULCOT

Lot 1 on Plan 122000

Derivation : Part of Lot 4 (Sec. F) Gtd. to R. Cane

Prior CT 29845/4

SCHEDULE 1

M903179 TRANSFER to BRUCE CLIVE PICKERING and MARY PICKERING
Registered 13-Aug-2021 at noon

SCHEDULE 2


Reservations and conditions in the Crown Grant if any

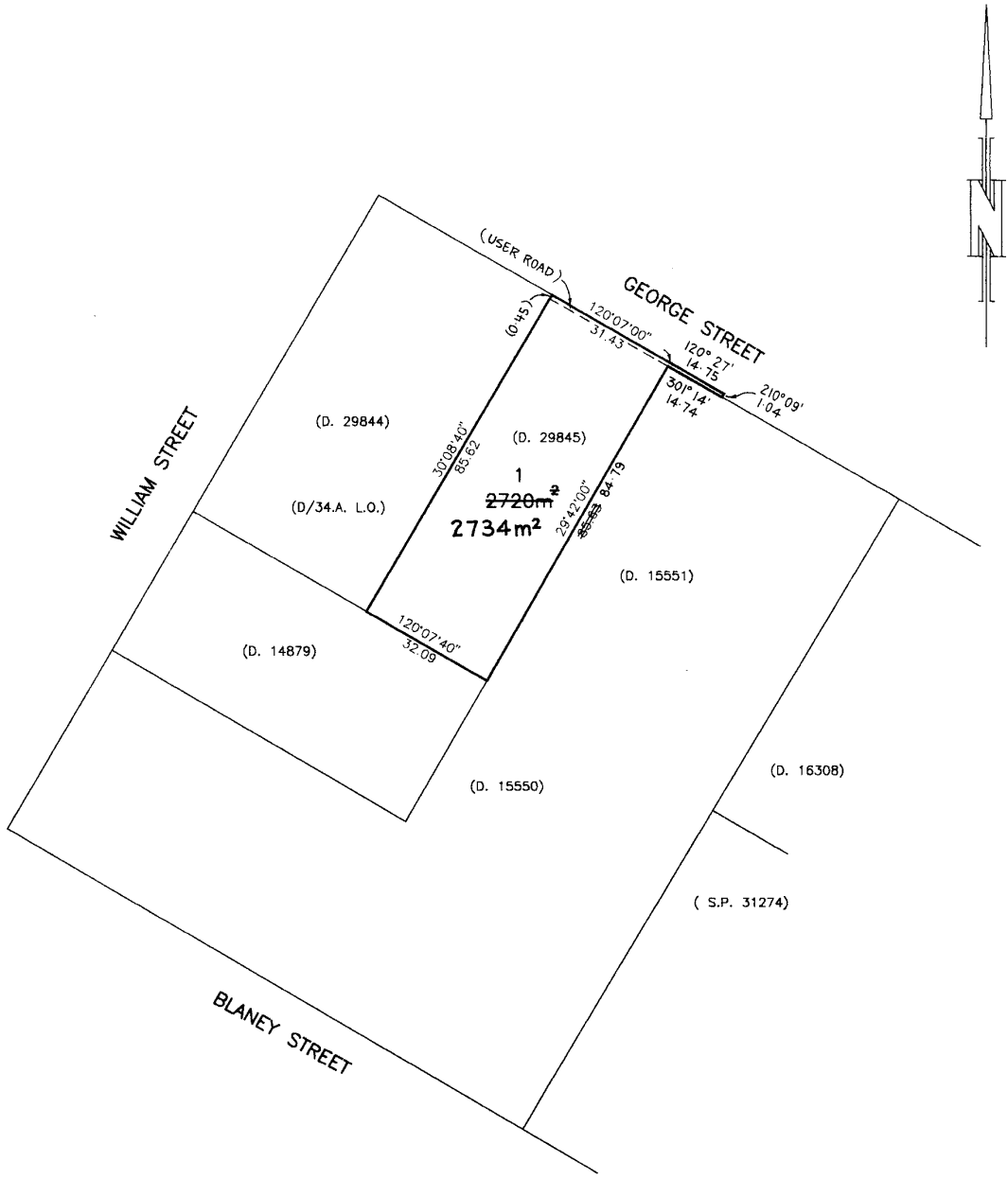
D85648 ENCUMBRANCE to Dulcot Water Association Inc

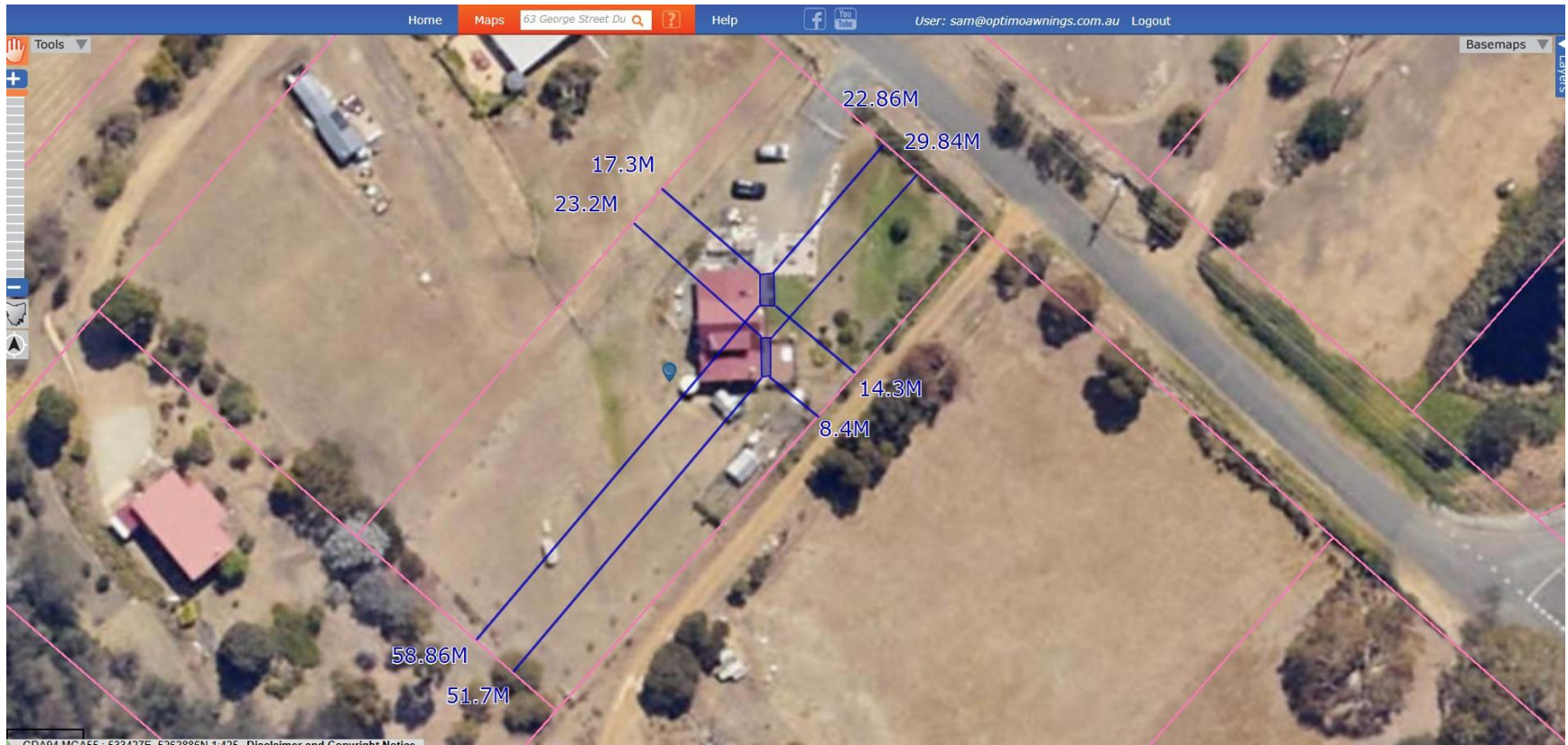
Registered 03-Jun-2013 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER FREDERICK STUART CRAIG, LORIS JUNE CRAIG, STUART STEVEN CRAIG. WAYNE PATRICK FLANAGAN FOLIO REFERENCE C.T. 29845/4. GRANTEE PART OF LOT 4 ^A (SECTION F) GTD. TO R. CANE. ROGER		<p align="center">PLAN OF SURVEY</p> <p align="center">BY SURVEYOR CRAIG B. ROGERSON <small>CROWER & CERUTY 7 BAYFIELD STREET, ROSNY PARK A DIVISION OF CC&R PTY. LTD. ACN 009521984</small></p> <p align="center">LOCATION TOWN OF DULCOT</p> <p align="center">SCALE 1:1000 LENGTHS IN METRES</p>		REGISTERED NUMBER P 122000 APPROVED 17 JAN 1996 EFFECTIVE FROM  Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 107	LAST UPI No. 2801150	LAST PLAN No. D. 29845.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	







JOSHUA WING



December 2, 2025

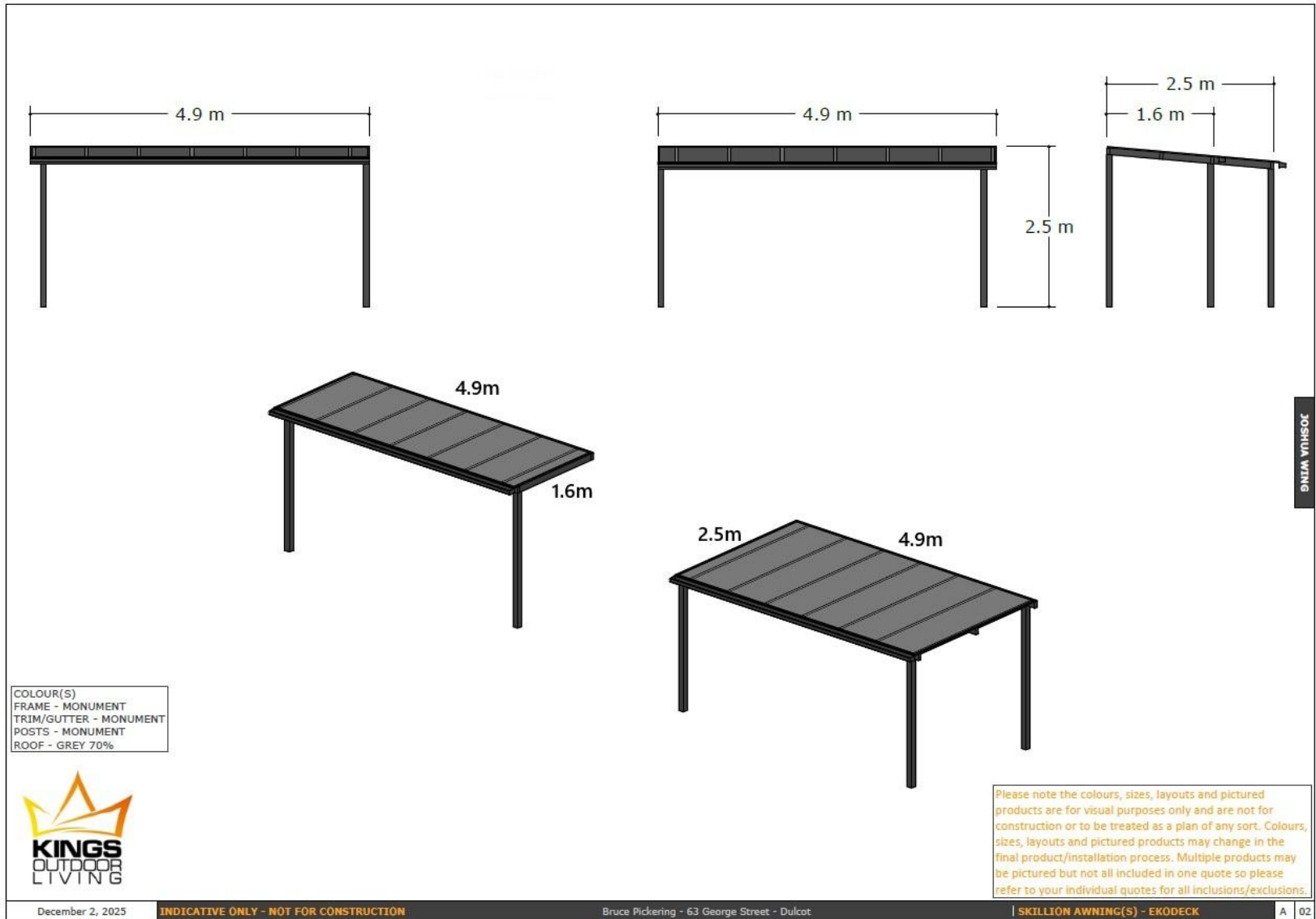
INDICATIVE ONLY - NOT FOR CONSTRUCTION

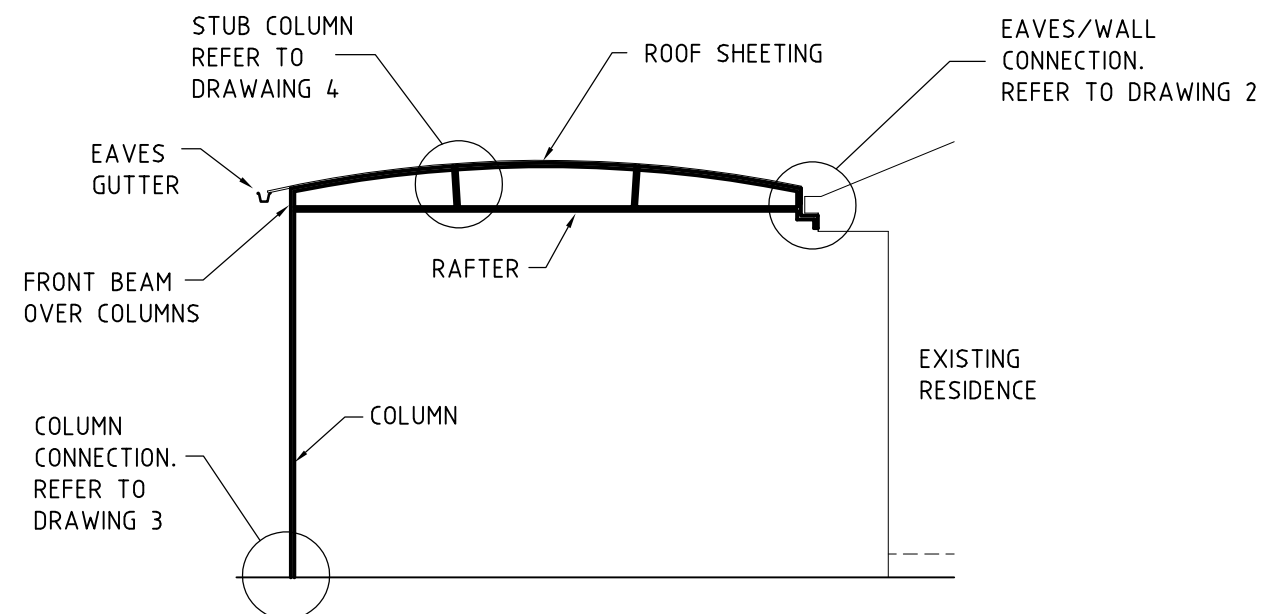
Bruce Pickering - 63 George Street - Dulcote

Please note the colours, sizes, layouts and pictured products are for visual purposes only and are not for construction or to be treated as a plan of any sort. Colours, sizes, layouts and pictured products may change in the final product/installation process. Multiple products may be pictured but not all included in one quote so please refer to your individual quotes for all inclusions/exclusions.

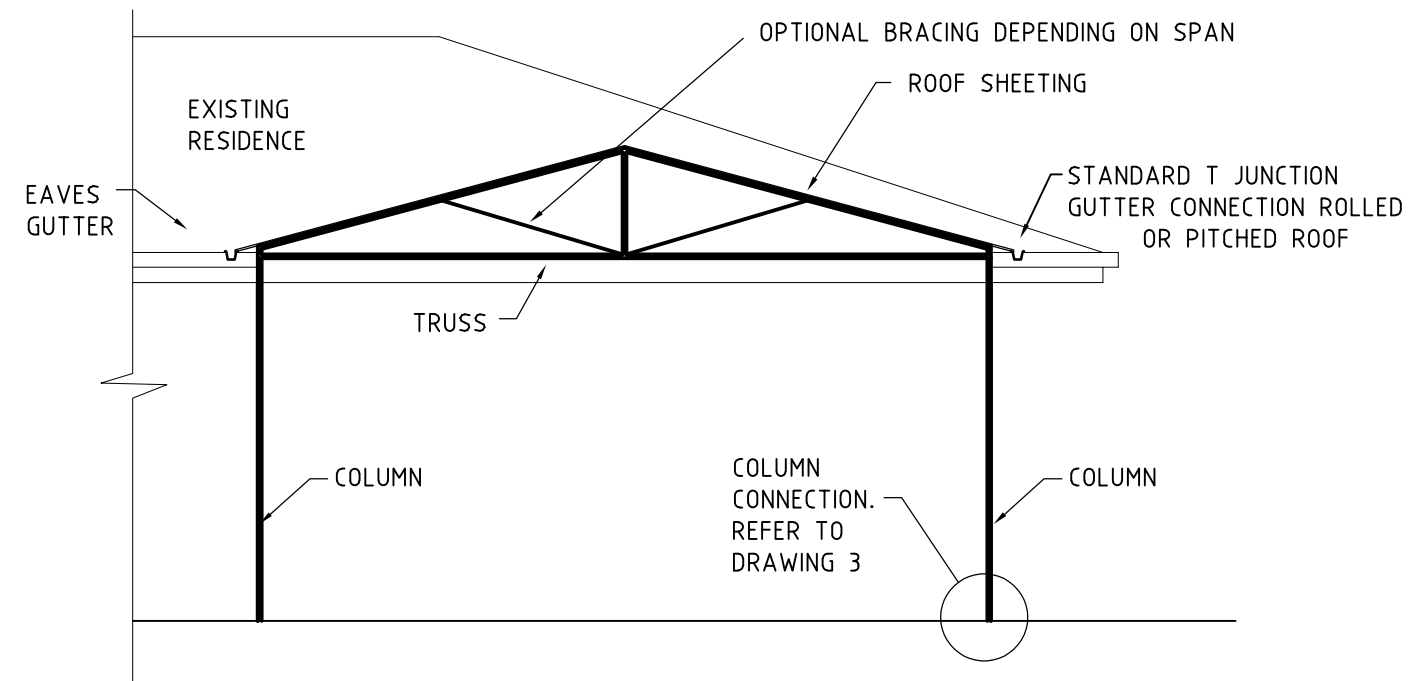
SKILLION AWNING(S) - EKODECK

A 01

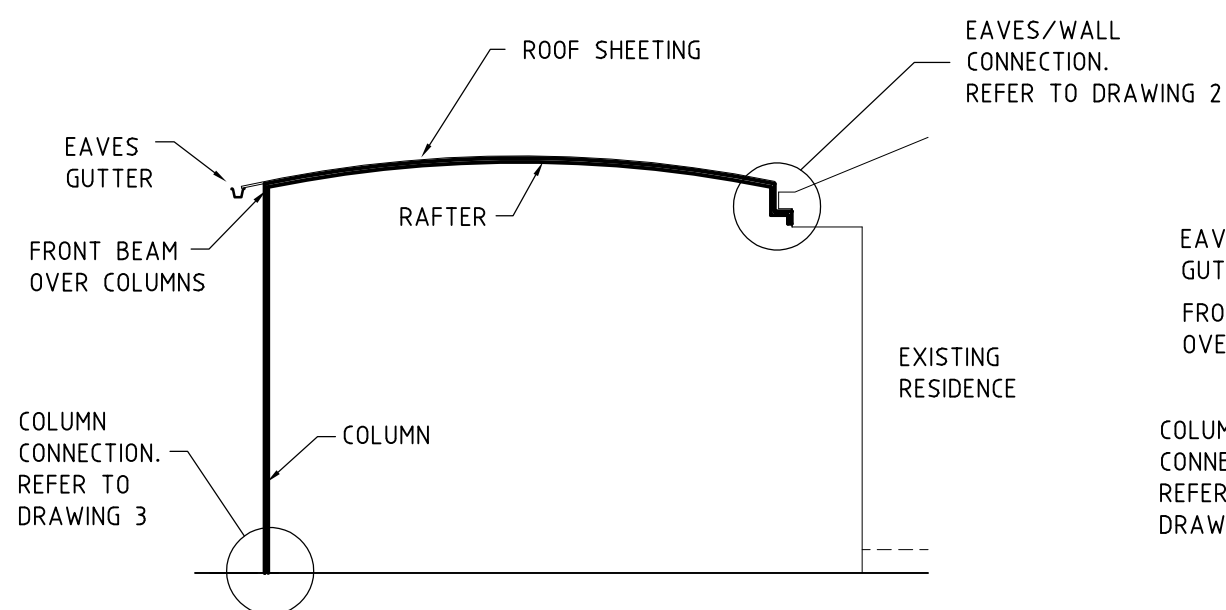




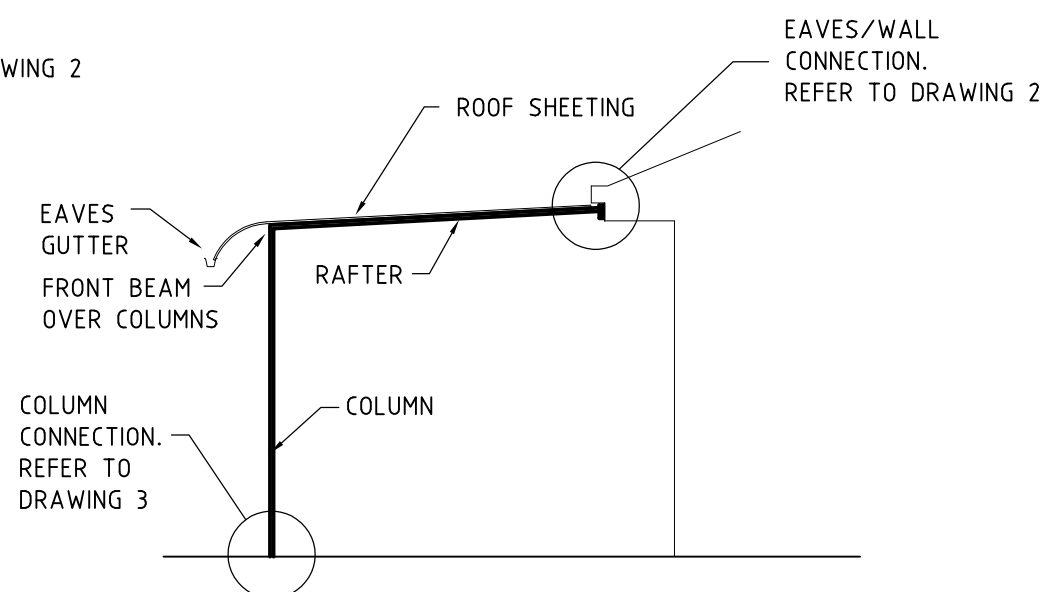
VAULTED ROOF - HORIZONTAL RAFTERS
SCALE 1:50



PITCHED ROOF - KING POST TRUSS
SCALE 1:50



VAULTED ROOF - ROLLED RAFTERS
SCALE 1:50



SKILLION ROOF
SCALE 1:50

GENERAL NOTES:

1. ALL JOINTS MADE WITH INTERNAL BRACKET SYSTEM FASTENED WITH 4 TEK SCREWS PER JOINT.
2. ALL ALUMINIUM TO AS1664
3. ALL ALUMINIUM TO BE POWDER COATED TO OWNERS SPECIFICATION.

NOTE:

DURING INSTALLATION, CONTRACTOR IS TO CHECK & CONFIRM THAT ROOF TRUSSES OR RAFTERS OR FRAMING HAVE BEEN INSTALLED AND TIED DOWN IN ACCORDANCE WITH AS1684-2010 RESIDENTIAL TIMBER FRAMED CONSTRUCTION.

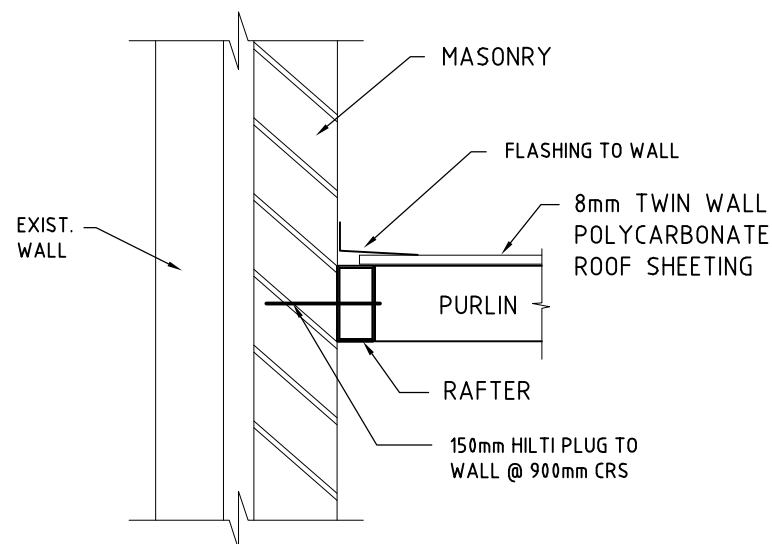
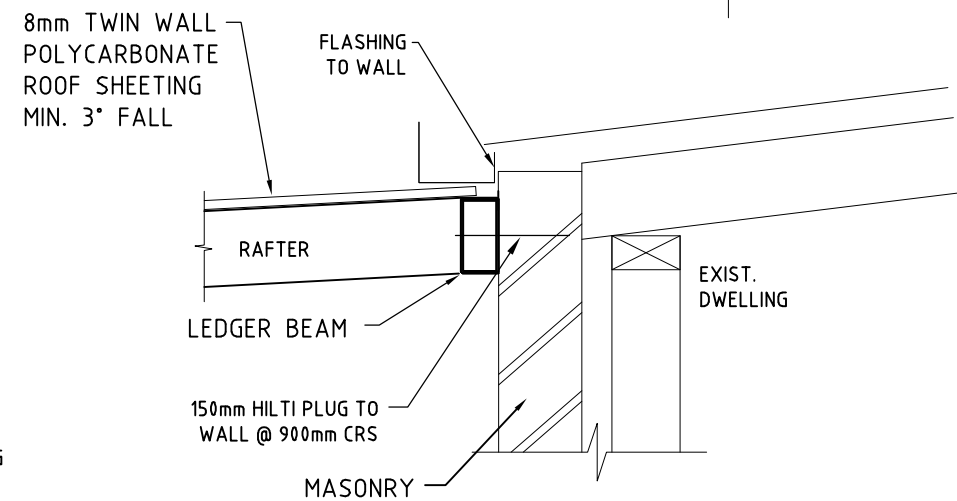
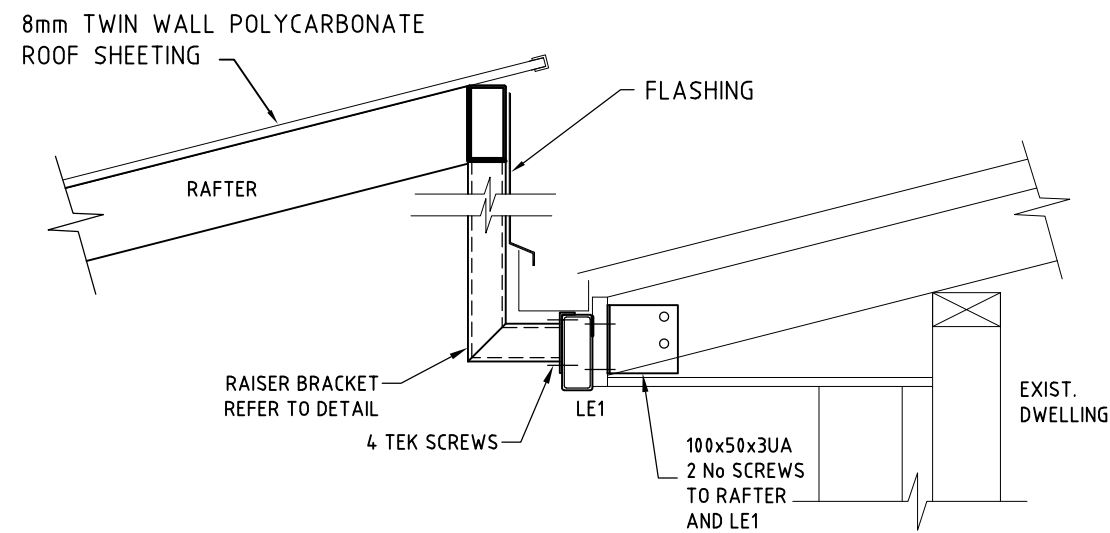
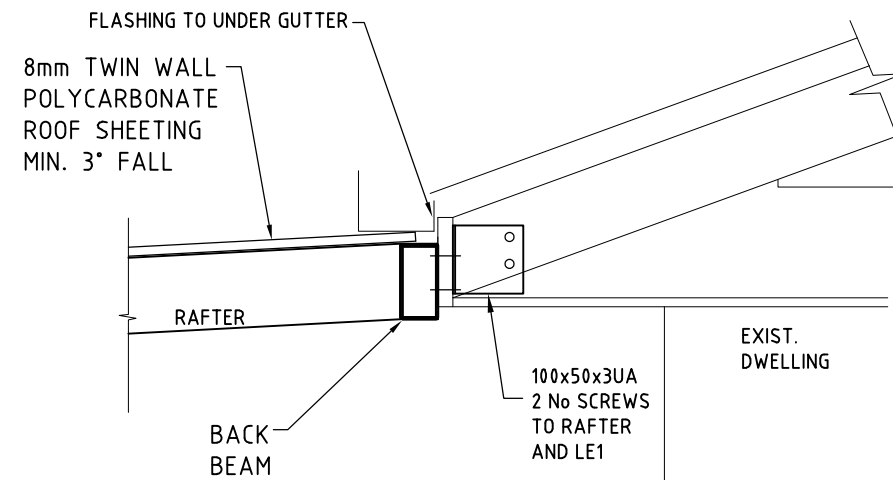
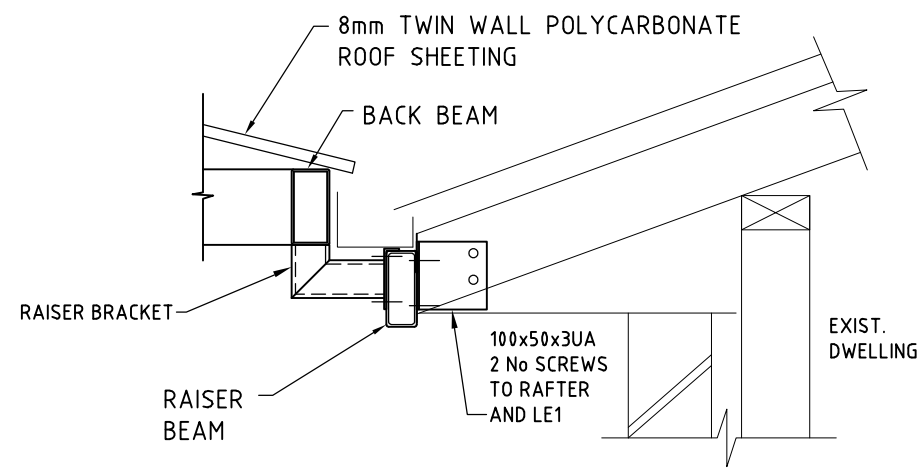
NEW EAVES GUTTERS TO BE CONNECTED TO EXISTING STORMWATER SERVICES VIA DOWNPIPE OR RETURNED AND CONNECTED TO EXISTING EAVES GUTTER.

ELEVATIONS



OPTIMO
AWNINGS
6 UNION STREET
LONGFORD TAS 7301

DRAWN	GOWLAND DRAFTING	
DATE	AUGUST 2017	
SCALE	AS NOTED	
DRAWING NO.	170608-1	0

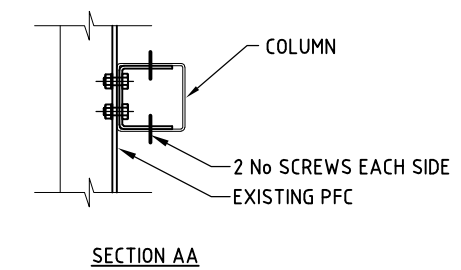
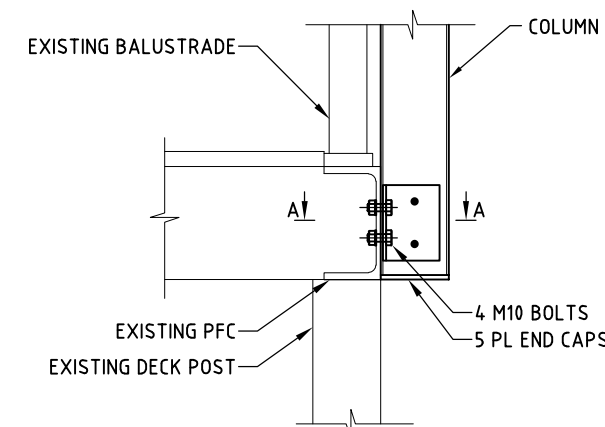
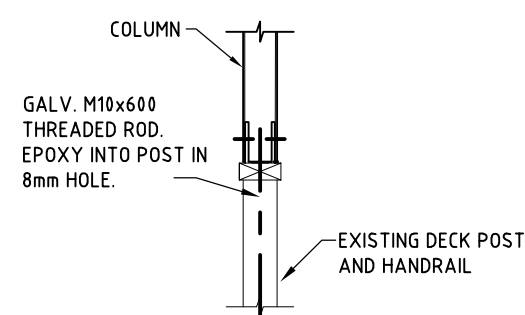
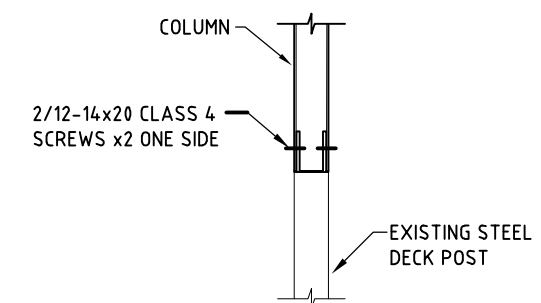
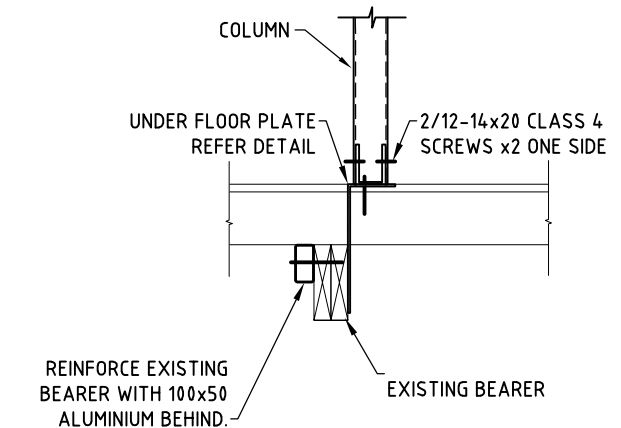
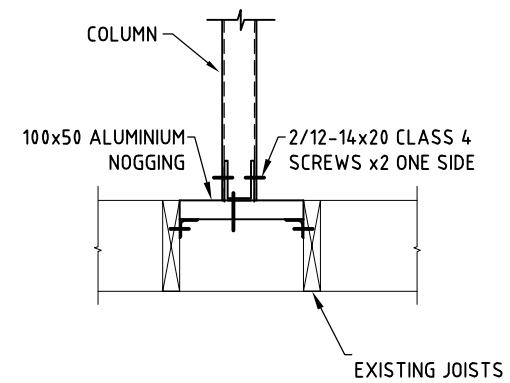
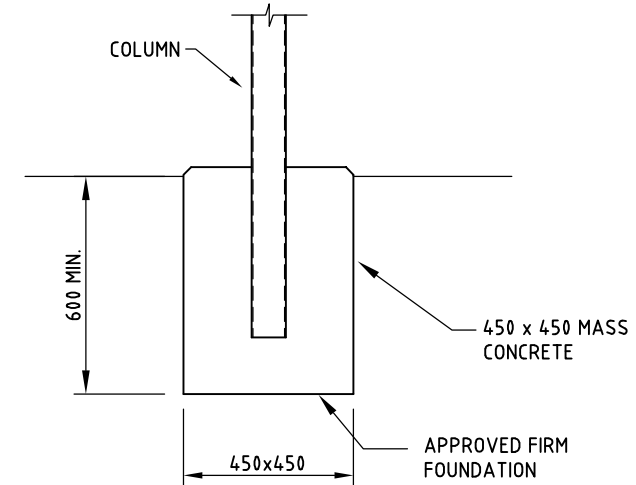
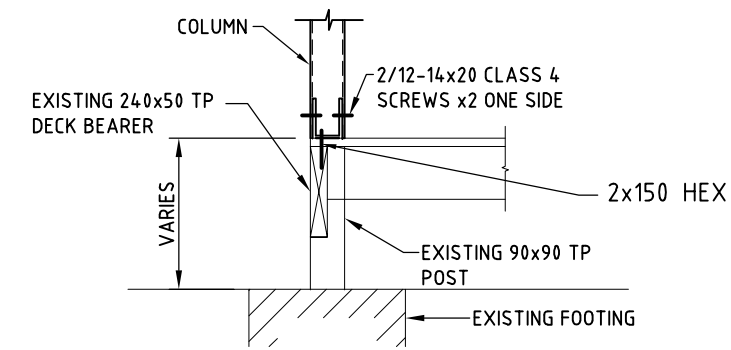
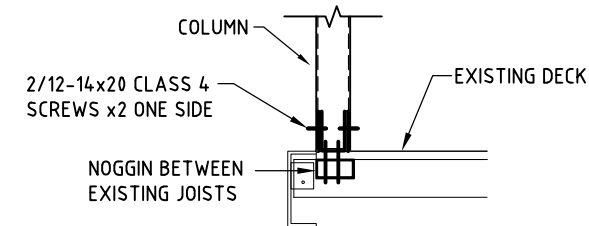
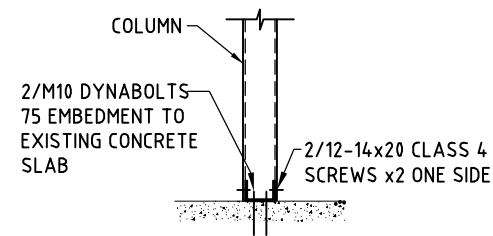


STANDARD DETAILS AWNING ROOF CONNECTIONS



OPTIMO
AWNINGS
6 UNION STREET
LONGFORD TAS 7301

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DATE	AUGUST 2017	
SCALE	1:20	
DRAWING NO.	170608-2	0



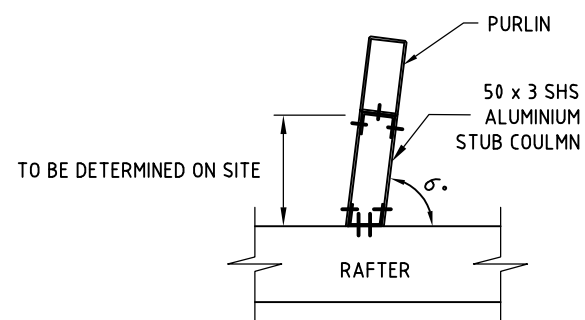
× SOME DETAILS CAN VARY DEPENDING ON SITE LAYOUT
 × SOME CUSTOM BUILD DESIGNS WILL VARY SOME JOINT CONNECTIONS
 × SOME LAYOUTS WILL VARY

STANDARD DETAILS AWNING COLUMN CONNECTIONS

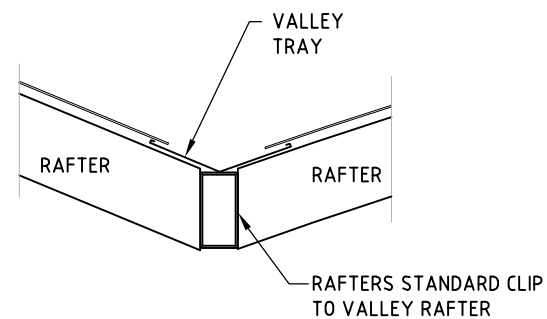


OPTIMO
 AWNINGS
 6 UNION STREET
 LONGFORD TAS 7301

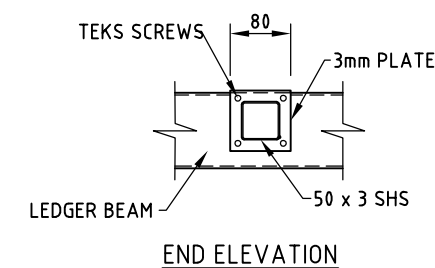
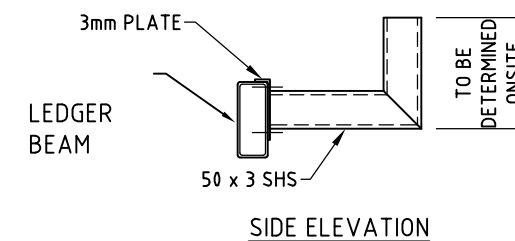
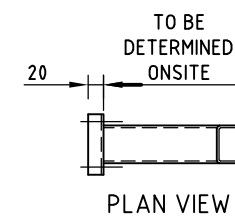
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DATE	AUGUST 2017	
SCALE	AS NOTED	
DRAWING NO.	170608-3	0



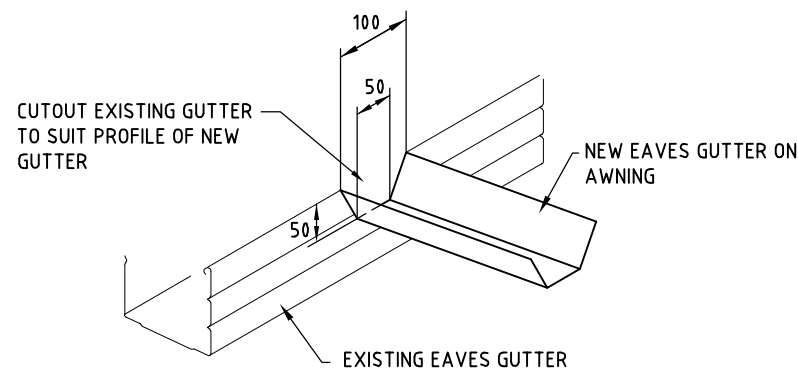
STUB COLUMN CONNECTION
SCALE 1:20



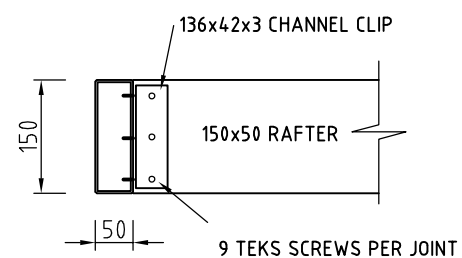
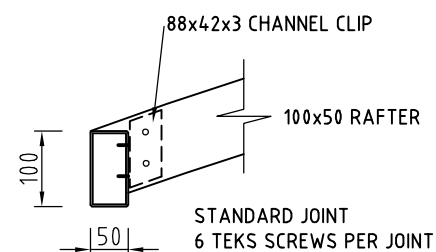
VALLEY BEAM CONNECTION
SCALE 1:20



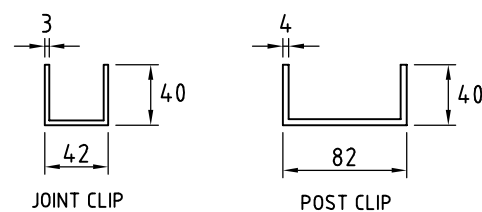
RAISER BRACKET DETAILS
SCALE 1:10



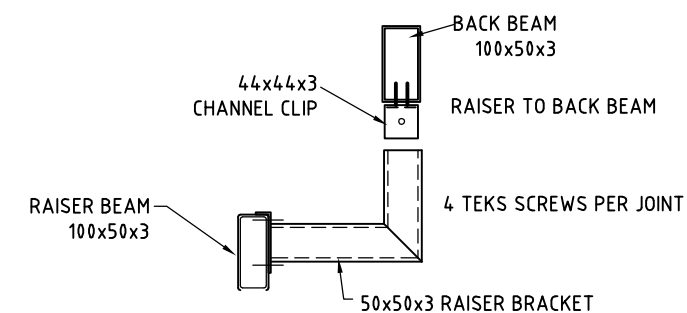
GUTTER CONNECTION
SCALE 1:10



STANDARD CONNECTIONS
SCALE 1:10

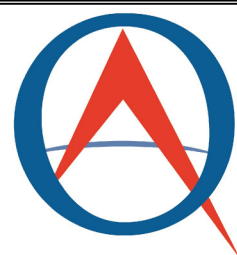


STANDARD CLIP MATERIAL
SCALE 1:5



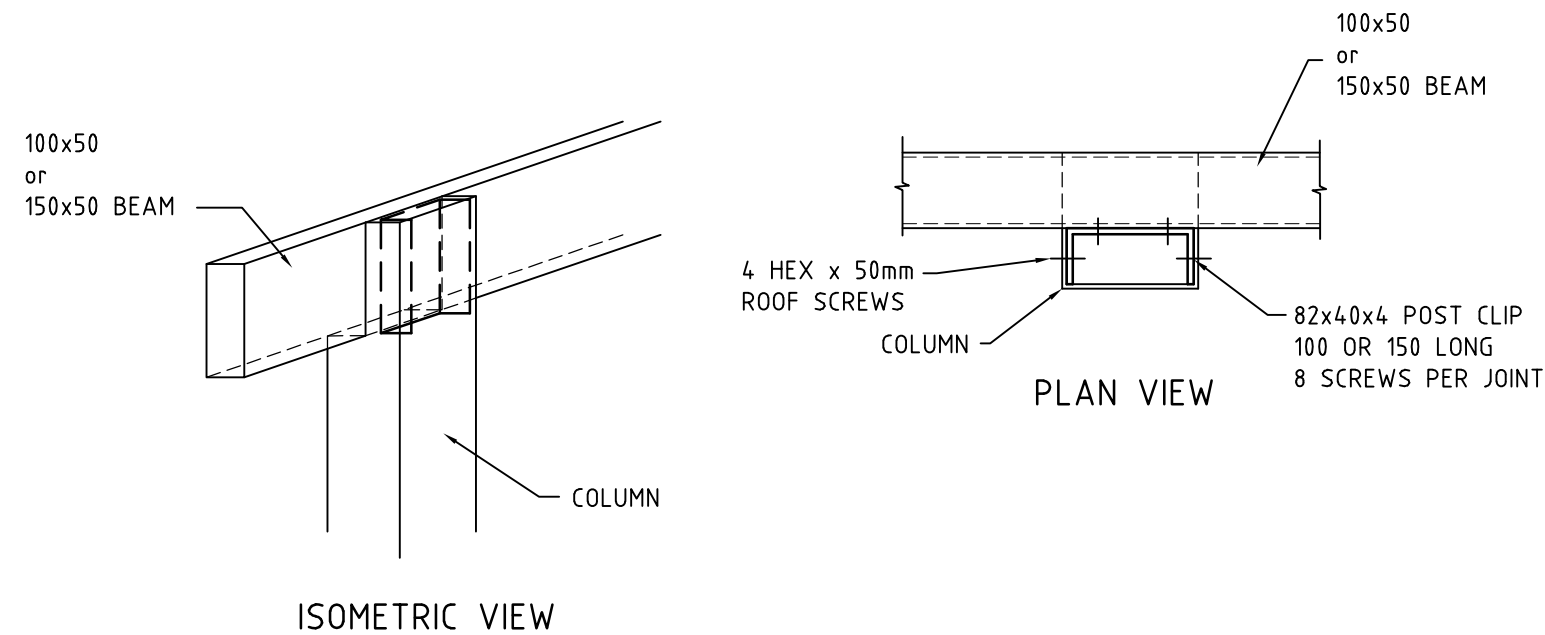
BACK BEAM TO RAISER BRACKET
SCALE 1:10

STANDARD DETAILS MISCELLANEOUS CONNECTIONS

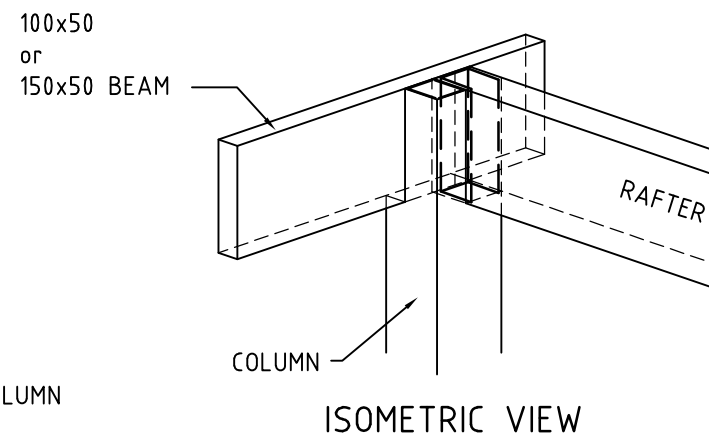


OPTIMO
AWNINGS
6 UNION STREET
LONGFORD TAS 7301

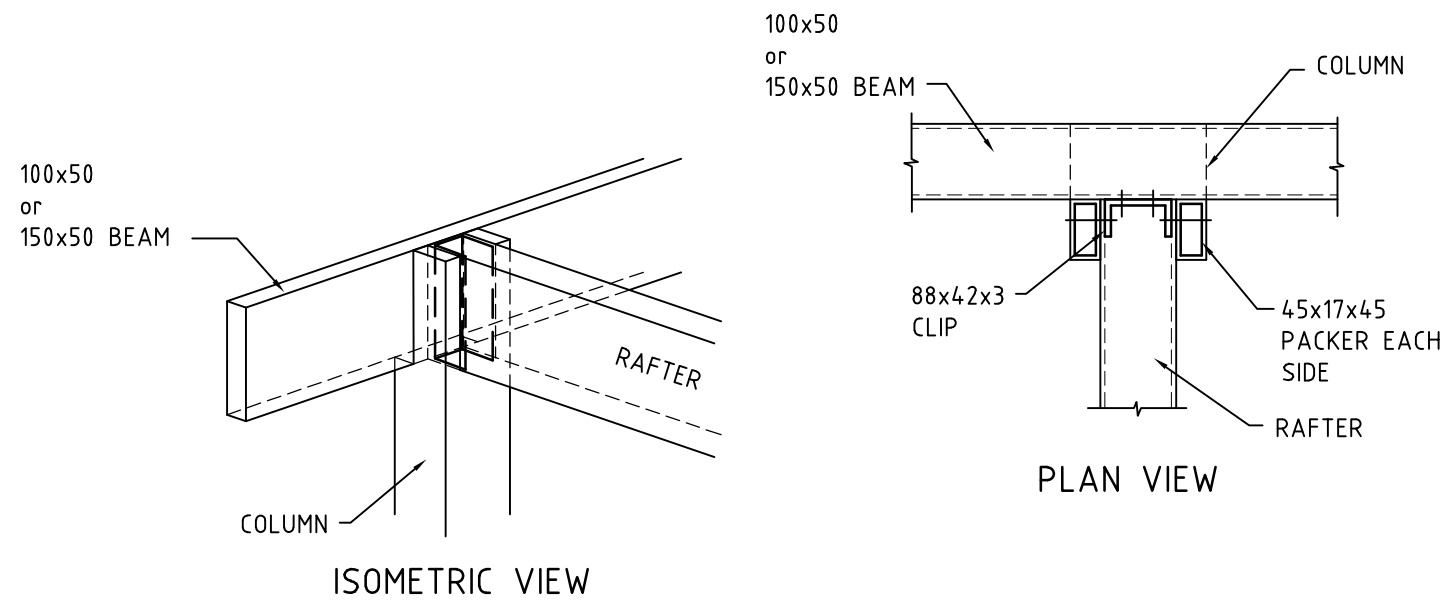
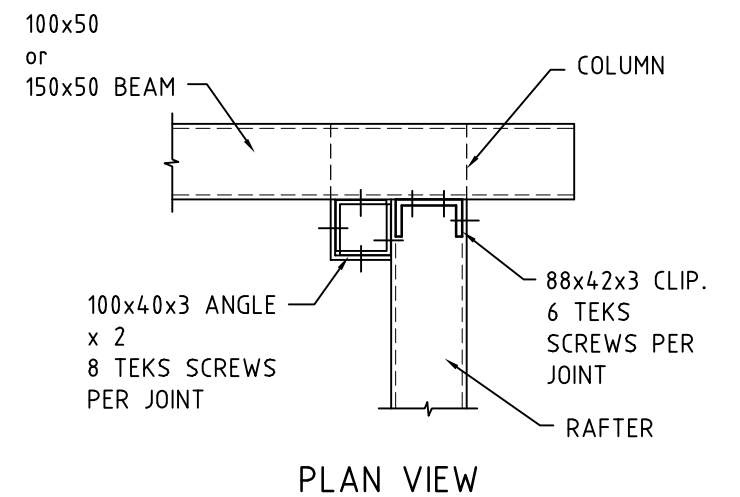
DRAWN	GOWLAND DRAFTING	
DATE	AUGUST 2017	
SCALE	AS NOTED	
DRAWING NO.	170608-4	0



HALF CUT COLUMN TO BEAM



QUARTER CUT CORNER COLUMN TO BEAM



TEE CUT COLUMN TO BEAM

BEAM TO COLUMN CONNECTIONS



OPTIMO
AWNINGS
6 UNION STREET
LONGFORD TAS 7301

DRAWN	GOWLAND DRAFTING	
DATE	AUGUST 2017	
SCALE	AS NOTED	
DRAWING NO.	170608-5	0



AWNING 1 WILL
CONNECT INTO
THIS DOWNPIPE



AWNING 2 WILL
CONNECT INTO
THIS DOWNPIPE

