



## DEVELOPMENT APPLICATION

**PDPLANPMTD-2025/056064**

**PROPOSAL:** Dwelling

**LOCATION:** 18 Titara Avenue, Rokeby

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 05 February 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 05 February 2026. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 05 February 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.



# Clarence City Council

## APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at Council offices.

Proposal:

New Dwelling

Location:

Address..... 18 TITARA AV, ROKEBY TAS 7019

Suburb/Town ..... Postcode .....

Current  
Owners/s:

### Personal Information Removed

Applicant:

Tax Invoice for  
application fees to  
be in the name of:  
(if different from  
applicant)

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as  
exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

**Personal Information Removed**

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.**



### Documentation required:

#### 1. **MANDATORY DOCUMENTATION**

*This information is required for the application to be valid. An application lodged without these items is unable to proceed.*

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.  
*May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.*
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

*Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.*

#### 2. **ADDITIONAL DOCUMENTATION**

*In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.*

- Site analysis plan and site plan**, including where relevant:

- *Existing and proposed use(s) on site.*
  - *Boundaries and dimensions of the site.*
  - *Topography, including contours showing AHD levels and major site features.*
  - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
  - *Soil type.*
  - *Vegetation types and distribution, and trees and vegetation to be removed.*
  - *Location and capacity of any existing services or easements on/to the site.*
  - *Existing pedestrian and vehicle access to the site.*
  - *Location of existing and proposed buildings on the site.*
  - *Location of existing adjoining properties, adjacent buildings and their uses.*
  - *Any natural hazards that may affect use or development on the site.*
  - *Proposed roads, driveways, car parking areas and footpaths within the site.*
  - *Any proposed open space, communal space, or facilities on the site.*
  - *Main utility service connection points and easements.*
  - *Proposed subdivision lot boundaries.*

# Clarence City Council

## DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
  - *Internal layout of each building on the site.*
  - *Private open space for each dwelling.*
  - *External storage spaces.*
  - *Car parking space location and layout.*
  - *Major elevations of every building to be erected.*
  - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
  - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
  - *Materials and colours to be used on roofs and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
  - *Planting concepts.*
  - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
  - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

*This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.*

**SEARCH OF TORRENS TITLE**

VOLUME	FOLIO
185273	15
EDITION	DATE OF ISSUE
2	03-Aug-2023

SEARCH DATE : 10-Jul-2025

SEARCH TIME : 09.58 AM

**DESCRIPTION OF LAND**

City of CLARENCE

Lot 15 on Sealed Plan 185273

Derivation : Part of Lot 36312, 87.56ha Gtd. to The Director  
of Housing.

Prior CT 242355/1

**SCHEDULE 1**E295303 TRANSFER to HOMES TASMANIA      Registered 03-Aug-2023  
at noon**SCHEDULE 2**

Reservations and conditions in the Crown Grant if any

SP185273 FENCING PROVISION in Schedule of Easements

E275346 NOTIFICATION pursuant to section 18B and section 18G  
of the Homes Act 1935 (Tas). The land is subject to  
this section for a period of 30 years. Registered  
21-Jun-2022 at 12.01 PM**UNREGISTERED DEALINGS AND NOTATIONS**

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	<b>SP 185273</b>

PAGE 1 OF 4 PAGE/S

**EASEMENTS AND PROFITS**

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**EASEMENTS**

Each of lots 1-12 inclusive, 24-37 inclusive and 39-46 inclusive on the Plan ("the Lot") are subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 3.00 WIDE & DRAINAGE EASEMENT 3.00 WIDE shown on the Plan ("the Easement Land").

Each of lots 1-12 inclusive, 24-37 inclusive and 39-46 inclusive on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT 3.00 WIDE & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

**FENCING PROVISION**

In respect of the lots shown on the Plan, the Vendor (Mission Australia Housing Tasmania) shall not be required to fence.

**DEFINITIONS**

**"Drainage Easement"** means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away

  
Attorney

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Mission Australia Housing Tasmania FOLIO REF: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1 SOLICITOR & REFERENCE: Page Seager (David Shelley) 200541	PLAN SEALED BY: CLARENCE CITY COUNCIL DATE: 14 <sup>th</sup> July 2023 PPDPLAN PmTD 2019/0038.02 REF NO. .... Council Delegate Clare Shea
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**NOTE:** The Council Delegate must sign the Certificate for the purposes of identification.

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 4 PAGES	Registered Number <b>SP 185273</b>
SUBDIVIDER: Mission Australia Housing Tasmania FOLIO REFERENCE: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1	

stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

“Pipeline and Services Easement” is defined as follows:-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and

  
Attorney  
Attorney

CC

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 3 OF 4 PAGES</p>	<p>Registered Number <b>SP 185273</b></p>
<p>SUBDIVIDER: Mission Australia Housing Tasmania FOLIO REFERENCE: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1</p>	

(7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

### Interpretation:

**“Infrastructure”** means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO  
SCHEDULE OF EASEMENTS**

PAGE 4 OF 4 PAGES

Registered Number

**SP 185273**

SUBDIVIDER: Mission Australia Housing Tasmania

FOLIO REFERENCE: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1

“**TasWater**” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

**EXECUTED** by **Mission Australia Housing Tasmania (ACN 648 587 017)**, as registered proprietor of the land comprised in Folios of the Register Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1 by its attorneys **David Alexander Shelley** and **Daniel Eamonn Morgan** (each a Director of Page Seager Pty Ltd ACN 620 698 286) under registered Power of Attorney number PA139154 who hereby declare that no notice of alteration or revocation of this Power of Attorney has been received in the presence of:

Witness Signature

.....

Witness Full Name (print)

.....  
Luke Charles Stanford  
Witness address  
Level 2, 179 Murray Street  
Hobart  
TAS 7000

.....

David Alexander Shelley

(Director Page Seager Pty Ltd ACN 620 698 286)

.....

Daniel Eamonn Morgan

(Director Page Seager Pty Ltd ACN 620 698 286)

Attorney

Attorney

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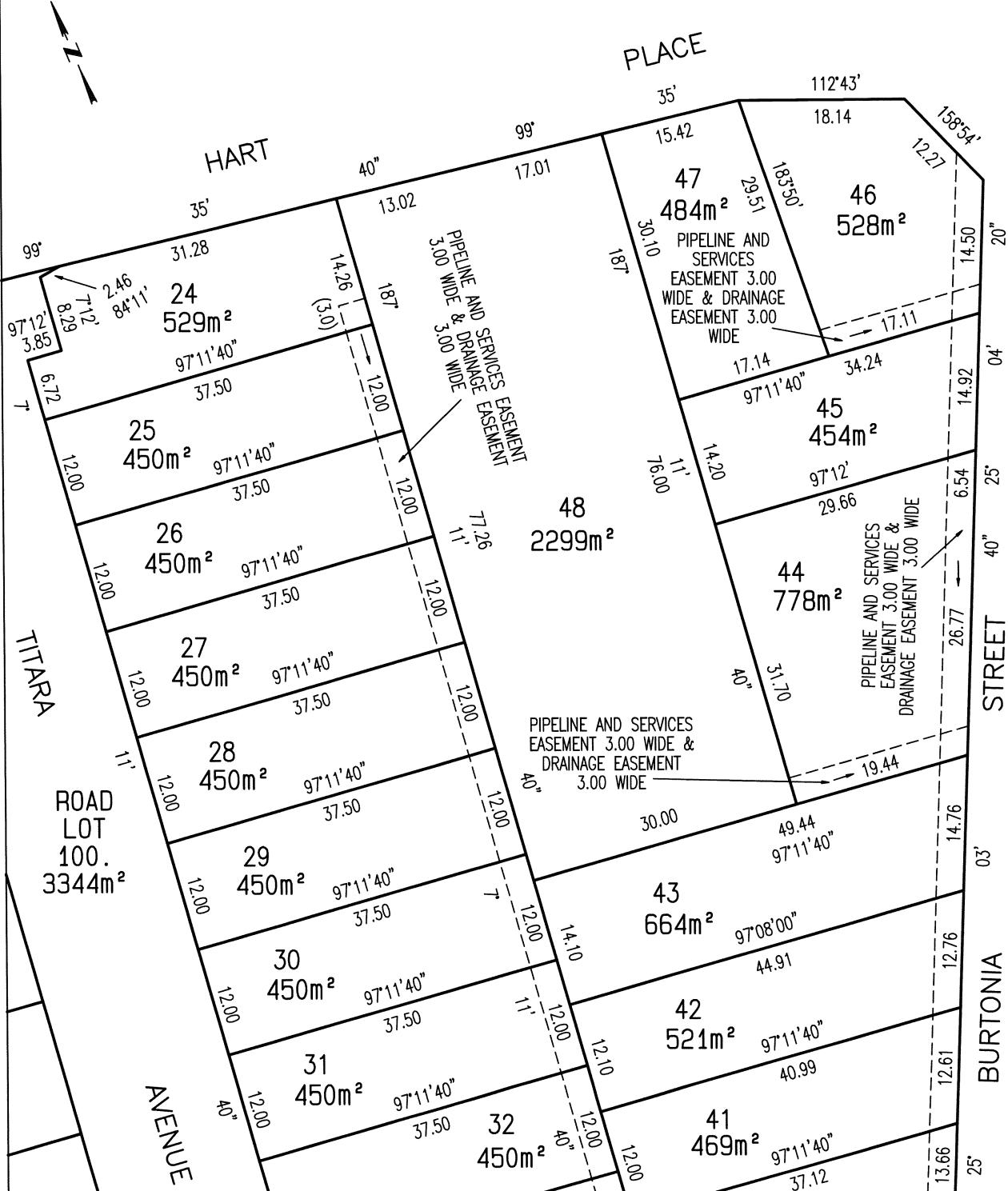
CD

## PRIORITY FINAL PLAN

OWNER: MISSION AUSTRALIA HOUSING TASMANIA FOLIO REFERENCE: C/T 242355/1, C/T 17695/1, & C/T 10117/1 GRANTEE: PART OF LOT 36312 87.56ha GRANTED TO THE DIRECTOR OF HOUSING		PLAN OF SURVEY BY SURVEYOR: RUSSELL JAMES SMITH LOCATION: CITY OF CLARENCE SCALE 1: 750 LENGTHS IN METRES	REGISTERED NUMBER <b>SP185273</b> APPROVED EFFECTIVE FROM 31 JUL 2023 <i>Renew</i> Recorder of Titles
		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	
INDEX PLAN			
<p>ROAD LOT 99 14.3m<sup>2</sup></p> <p>ROAD LOT 98 6.7m<sup>2</sup></p> <p>ROAD LOT 100 3344m<sup>2</sup></p> <p>1 650m<sup>2</sup> (SP6076)</p> <p>2 452m<sup>2</sup></p> <p>3 452m<sup>2</sup></p> <p>4 452m<sup>2</sup></p> <p>5 452m<sup>2</sup></p> <p>6 452m<sup>2</sup></p> <p>7 452m<sup>2</sup></p> <p>8 452m<sup>2</sup></p> <p>9 452m<sup>2</sup></p> <p>10 452m<sup>2</sup></p> <p>11 646m<sup>2</sup></p> <p>12 450m<sup>2</sup></p> <p>13 450m<sup>2</sup></p> <p>14 450m<sup>2</sup></p> <p>15 450m<sup>2</sup></p> <p>16 450m<sup>2</sup></p> <p>17 450m<sup>2</sup></p> <p>18 450m<sup>2</sup></p> <p>19 450m<sup>2</sup></p> <p>20 450m<sup>2</sup></p> <p>21 450m<sup>2</sup></p> <p>22 526m<sup>2</sup></p> <p>23 454m<sup>2</sup></p> <p>(SP17695) 24 529m<sup>2</sup></p> <p>25 450m<sup>2</sup></p> <p>26 450m<sup>2</sup></p> <p>27 450m<sup>2</sup></p> <p>28 450m<sup>2</sup></p> <p>29 450m<sup>2</sup></p> <p>30 450m<sup>2</sup></p> <p>31 450m<sup>2</sup></p> <p>32 450m<sup>2</sup></p> <p>33 450m<sup>2</sup></p> <p>34 450m<sup>2</sup></p> <p>35 450m<sup>2</sup></p> <p>36 450m<sup>2</sup></p> <p>37 547m<sup>2</sup> (SP10117) (P242355)</p> <p>38 459m<sup>2</sup></p> <p>39 458m<sup>2</sup></p> <p>40 455m<sup>2</sup></p> <p>41 469m<sup>2</sup></p> <p>42 521m<sup>2</sup></p> <p>43 664m<sup>2</sup></p> <p>44 778m<sup>2</sup></p> <p>45 454m<sup>2</sup></p> <p>46 528m<sup>2</sup></p> <p>47 484m<sup>2</sup> (SP6077)</p> <p>PIPELINE AND SERVICES EASEMENT 3.00 WIDE &amp; DRAINAGE EASEMENT 3.00 WIDE</p> <p>PIPELINE AND SERVICES EASEMENT 3.00 WIDE &amp; DRAINAGE EASEMENT 3.00 WIDE</p> <p>PIPELINE AND SERVICES EASEMENT 3.00 WIDE &amp; DRAINAGE EASEMENT 3.00 WIDE</p> <p>DRAINAGE RESERVE SET APART FOR DRAINAGE PURPOSES</p> <p>INDEX PLAN</p>			
<p>4/6/2023 4/6/2023 4/6/2023</p> <p>Registered Land Surveyor Russell James Smith CITY OF CLARENCE</p>		<p>(SP143877)</p> <p>14.07.2023 14.07.2023 14.07.2023</p> <p>Council Delegate Clare Shea Date</p>	



PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 4 SHEETS		OWNER: MISSION AUSTRALIA HOUSING TASMANIA FOLIO REFERENCE: C/T 242355/1, C/T 17695/1, & C/T 10117/1 SCALE 1:400 LENGTH IN METRES	Registered Number <b>SP.185273</b>
SIGNED FOR IDENTIFICATION PURPOSES  ..... C. Dore..... 14.07.2023 ..... Council Delegate Date		THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  ..... B. S. .... ..... Registered Land Surveyor	APPROVED EFFECTIVE FROM 31 JUL 2023  ..... R. .... ..... Recorder of Titles
		4/6/2023 ..... Date	



PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 4 SHEETS		OWNER: MISSION AUSTRALIA HOUSING TASMANIA FOLIO REFERENCE: C/T 242355/1, C/T 17695/1, & C/T 10117/1 SCALE 1:400	Registered Number <b>SP 185273</b>
SIGNED FOR IDENTIFICATION PURPOSES <i>Conrad</i> ..... 14.07.2023 Council Delegate Date		THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>BS</i> Registered Land Surveyor	APPROVED EFFECTIVE FROM 31 JUL 2023 <i>Renae</i> Recorder of Titles
<p><b>DRIVE</b></p> <p><b>AVENUE</b></p> <p><b>TOLLARD</b></p> <p><b>TITARA</b></p> <p><b>STREET</b></p> <p><b>ROAD LOT 98</b></p> <p><b>PIPELINE AND SERVICES EASEMENT 3.00 WIDE &amp; DRAINAGE EASEMENT 3.00 WIDE</b></p> <p><b>ROAD LOT 100</b></p> <p><b>3344m<sup>2</sup></b></p> <p><b>ROAD LOT 33</b></p> <p><b>450m<sup>2</sup></b></p> <p><b>ROAD LOT 34</b></p> <p><b>450m<sup>2</sup></b></p> <p><b>ROAD LOT 35</b></p> <p><b>450m<sup>2</sup></b></p> <p><b>ROAD LOT 36</b></p> <p><b>450m<sup>2</sup></b></p> <p><b>ROAD LOT 37</b></p> <p><b>547m<sup>2</sup></b></p> <p><b>BURTONIA</b></p> <p><b>ROAD LOT 98</b></p> <p><b>6.7m<sup>2</sup></b></p> <p><b>PIPELINE AND SERVICES EASEMENT 3.00 WIDE &amp; DRAINAGE EASEMENT 3.00 WIDE</b></p>			



# Homes Tasmania

Building homes,  
creating communities.

Wilson Homes  
250 Murray Street  
HOBART TAS 7000

To whom it may concern,

**Subject: Proposed New Dwelling – 18 Titara Avenue (Tiernan)**

Under the MyHome Shared Equity Program, Homes Tasmania as co-owner is required to consent to Council applications and permit approvals for this property.

As a person acting as a delegate of Homes Tasmania pursuant to instrument of delegation dated 25 October 2023 made under the Homes Tasmania Act 2022 (Tas) I wish to advise that Homes Tasmania has no objections to the authorisation of Wilson Homes as the agent for submitting the council applications and permit approvals for the above property.

Yours sincerely



Pip Bilson  
Acting Director  
**Homes Tasmania**

24 December 2025

**Attachments:**  
**Copy:**

---

GPO Box 65  
Hobart, TAS, 7001  
[homestasmania.com.au](http://homestasmania.com.au)

**Contact Officer:** Belinda Mudge  
**Phone:** (03) 6145 9207  
**Email:** [propertysales@homes.tas.gov.au](mailto:propertysales@homes.tas.gov.au)  
**Our Reference:** 10574



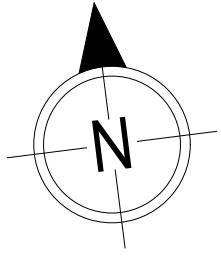
## APPROX. CUT/FILL

CUT	37.58m <sup>3</sup>	84.56t
FILL	37.66m <sup>3</sup>	84.74t
DIFFERENCE	0.08m <sup>3</sup>	0.18t

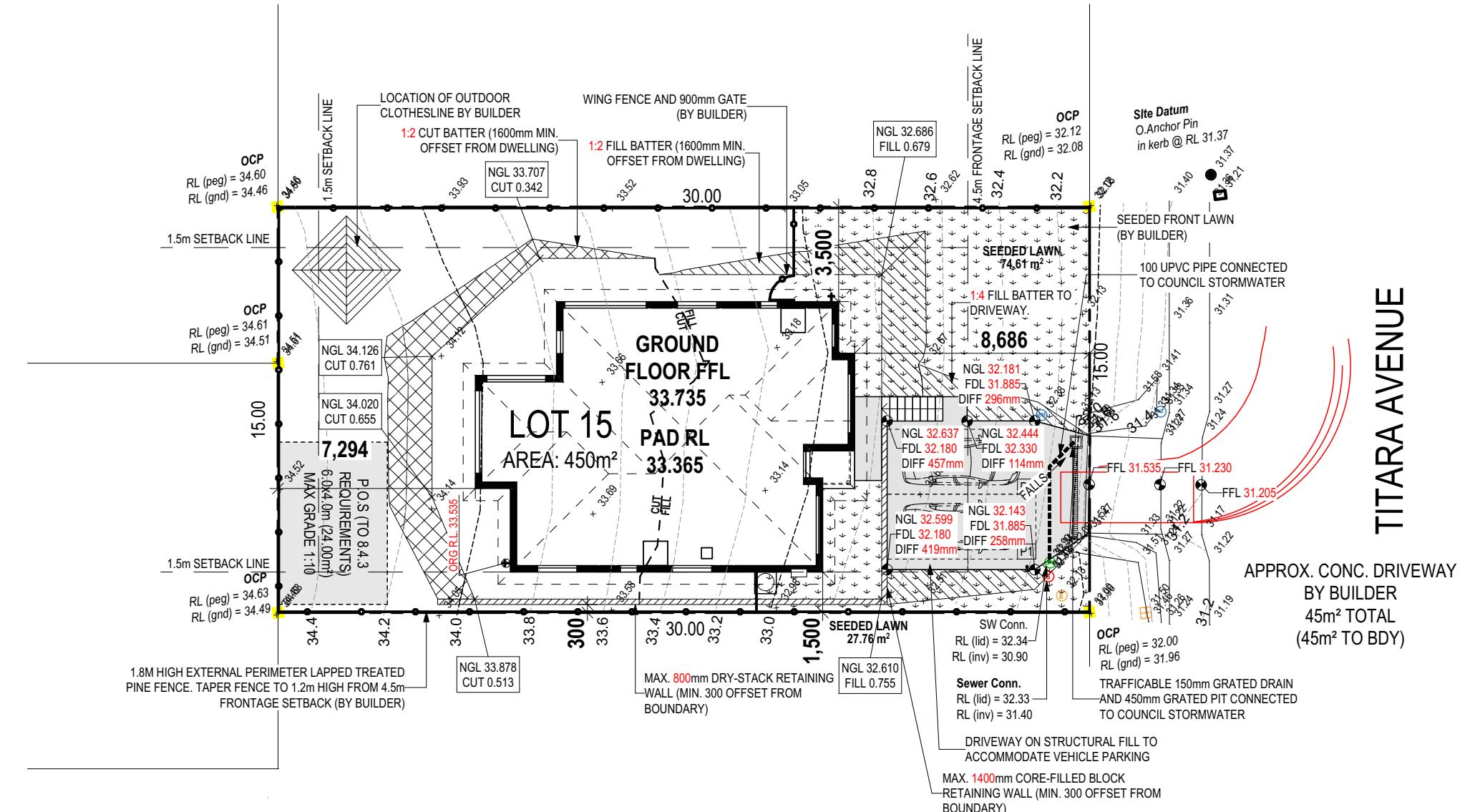
**EVEN CUT & FILL**

**LOT SIZE:** 450m<sup>2</sup>  
**HOUSE (COVERED AREA):** 123.25m<sup>2</sup>  
**SITE COVERAGE:** 27.39%

DRY STACK WALLS <1m HIGH:  
ISLAND BLOCK & PAVING FREESTONE  
ECO RETAINING WALL INSTALLATION TO  
MANUFACTURER'S SPECIFICATION AND  
DETAILS



Last Published: Wednesday, 24 September 2025 11:41 AM

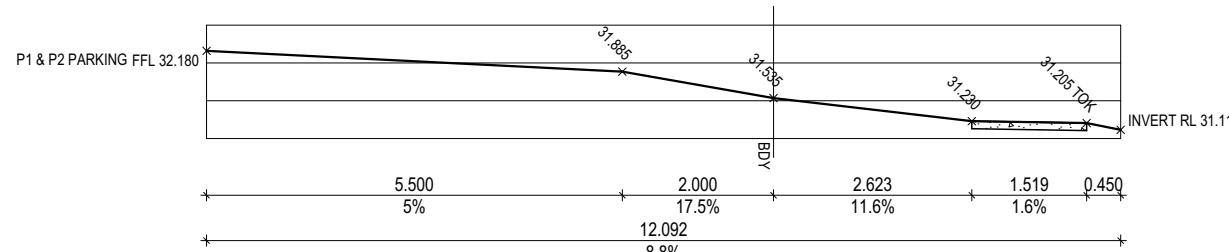


**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT**

<b>PLAN ACCEPTANCE BY OWNER</b>	
SIGNATURE:	DATE:
-----	
SIGNATURE:	DATE:
-----	
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED  
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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SPECIFICATION: <b>DISCOVERY</b>	REVISION	DRAWN		CLIENT: <b>LAURA GRACE TIERNAN</b>	HOUSE DESIGN: <b>EDEN 13</b>	HOUSE CODE: <b>H-WDCEDE10SA</b>	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
	1 DRAFT SALE PLAN - CT1	HMI	25/08/2025					
COPYRIGHT: <b>© 2025</b>	2 PRELIM PLANS - INITIAL ISSUE	TRV	17/09/2025	ADDRESS: <b>18 TITARA AV, ROKEBY TAS 7019</b>	FACADE DESIGN: <b>HAMPTON</b>	FAÇADE CODE: <b>F-WDCEDE10HMPTA</b>		
				LOT / SECTION / CT: <b>15 / - / 185273</b>	COUNCIL: <b>CLARENCE</b>	SHEET TITLE: <b>SITE PLAN</b>	SCALES: <b>1:200</b>	
						SHEET No.: <b>2 / 21</b>		<b>714423</b>

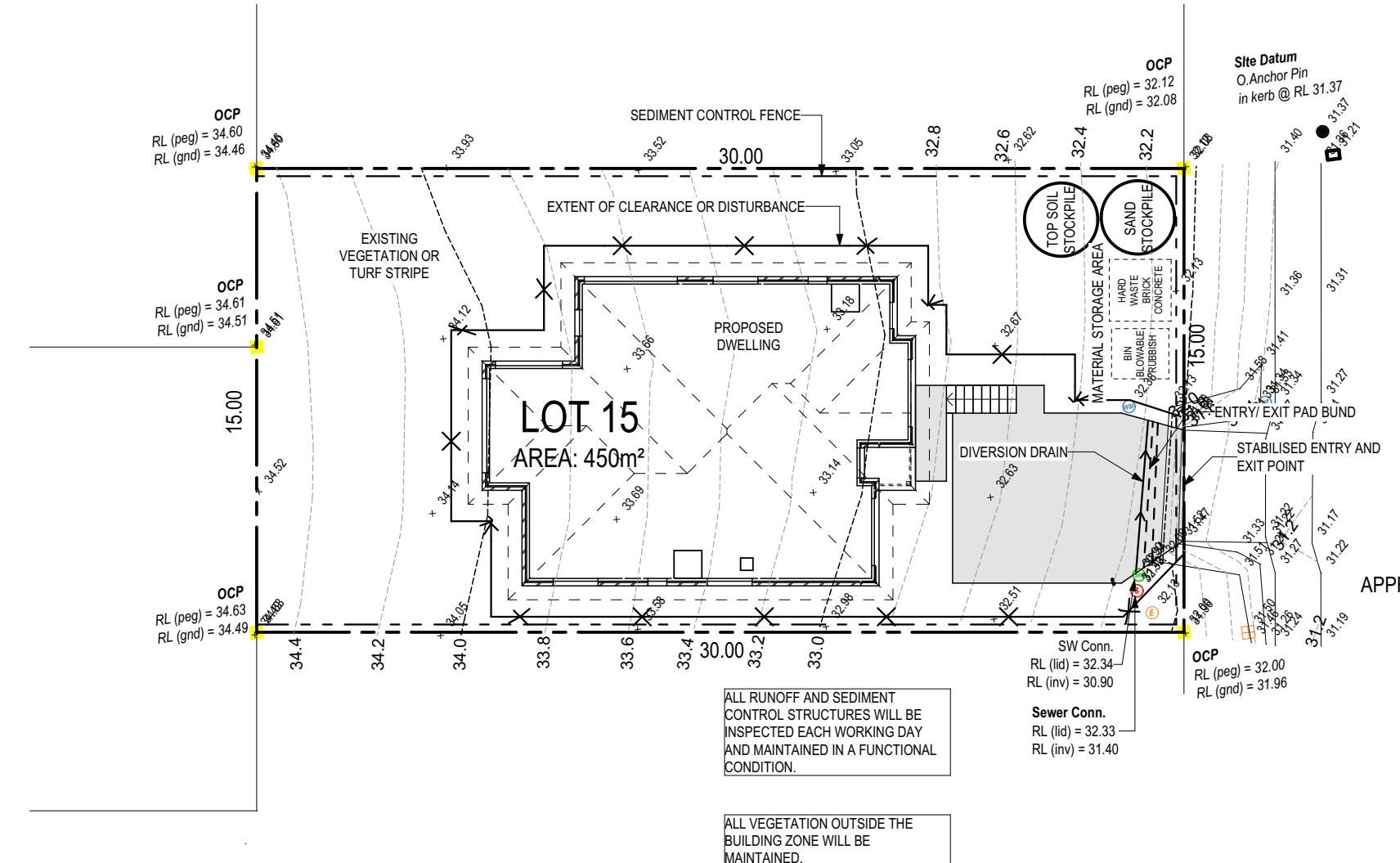
ALL VEGETATION OUTSIDE THE BUILDING  
ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON  
COMPLETION OF THE BUILD WITH TURF  
LAWNS, GRASS SEEDS, NATIVE GROUND  
COVERS AND/ OR MULCH SPREAD TO A  
DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

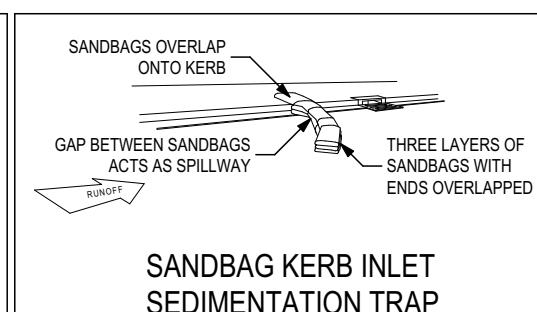
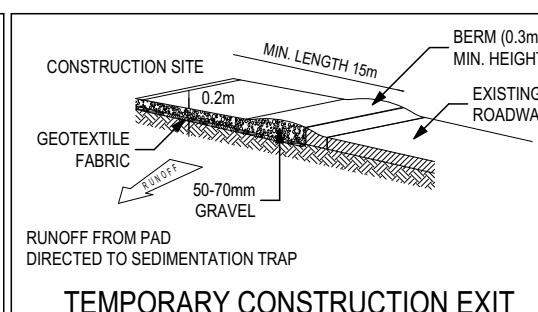
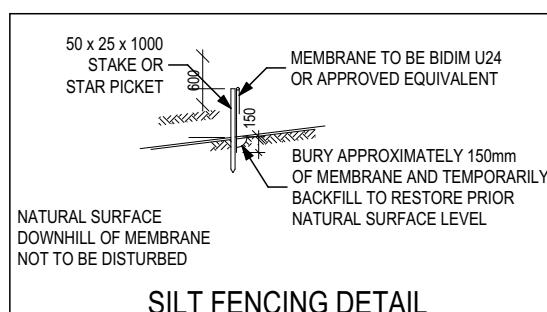
NOTES:

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



## TITARA AVENUE

APPROX. CONC. DRIVEWAY  
BY BUILDER  
45m<sup>2</sup> TOTAL  
(45m<sup>2</sup> TO BDY)



**SUBJECT TO NCC 2022  
(1 MAY 2023)**  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT

**PLAN ACCEPTANCE BY OWNER**

SIGNATURE: DATE:

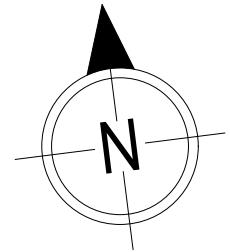
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The logo for Wilson Homes. It features a large, stylized orange 'WJ' monogram on the left, with the letters 'W' and 'J' partially overlapping. To the right of the monogram, the word 'WILSON' is written in a large, bold, black sans-serif font. Below 'WILSON', the word 'HOMES' is written in a slightly smaller, black sans-serif font.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPipe THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

Last Published: Wednesday, 24 September 2025 11:41 AM

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

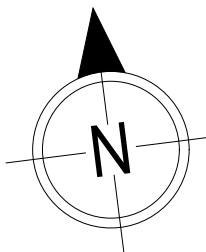
ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:

A  
B  
C  
D



#### LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- FACE BRICK / COMMON BRICK
- RENDER
- SOUND INSULATION
- BRICK ARTICULATION JOINT
- STANDARD DOWNPipe
- CDP CHARGED DOWNPipe
- 3D DENOTES DRAWER SIDE
- MECHANICAL VENTILATION
- L.B.W LOAD BEARING WALL
- PB PLASTERBOARD
- FC FIBRE CEMENT
- THIS DOOR OPENS FIRST
- SMOKE ALARM
- # LIFT OFF HINGE
- WATER POINT
- FW FLOOR WASTE
- GAS GAS BAYONET

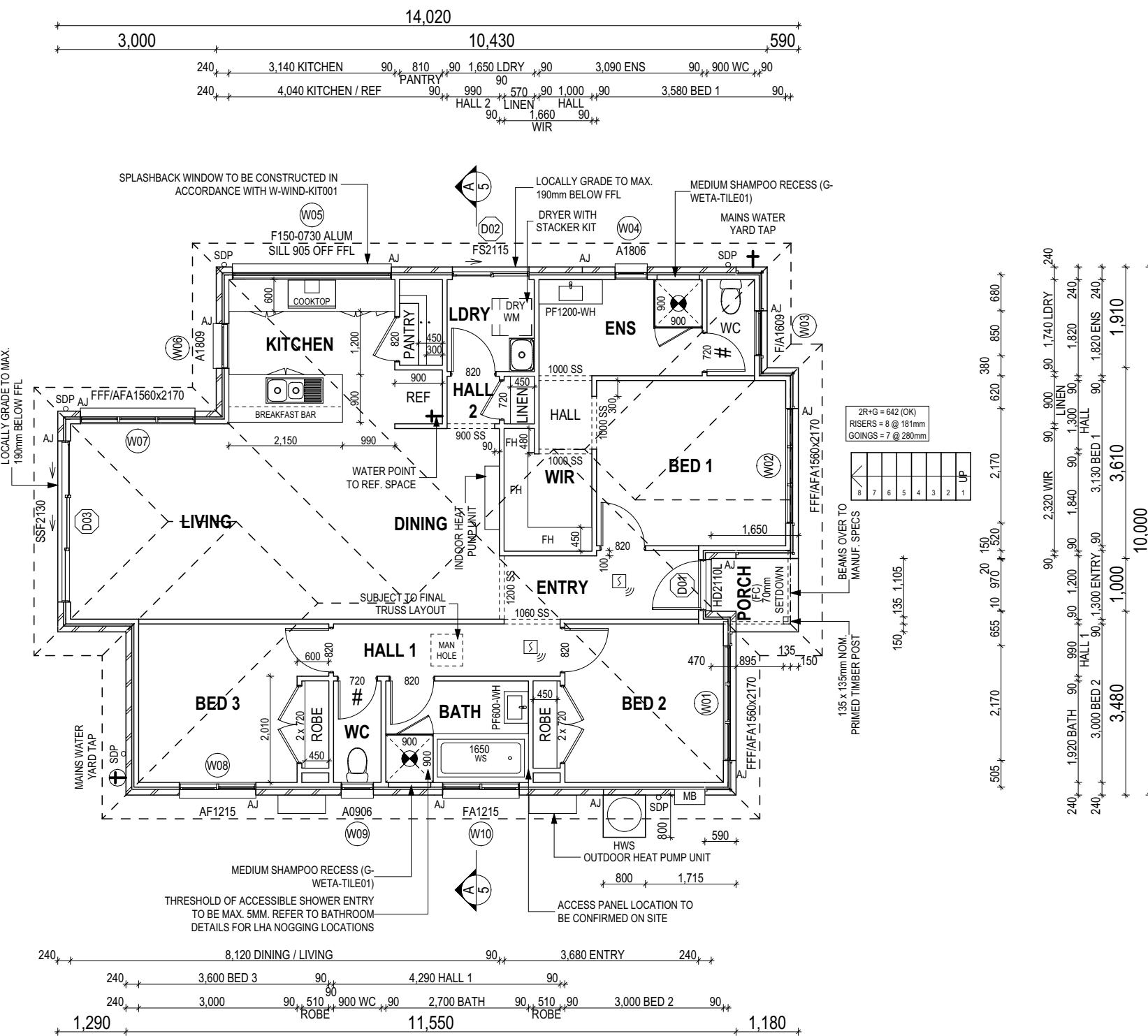
**WILSON**  
HOMES

SPECIFICATION:  
**DISCOVERY**  
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MAIN DWELLING, GROUND FLOOR

LIVING	121.14
PORCH	2.11
	123.25 m <sup>2</sup>



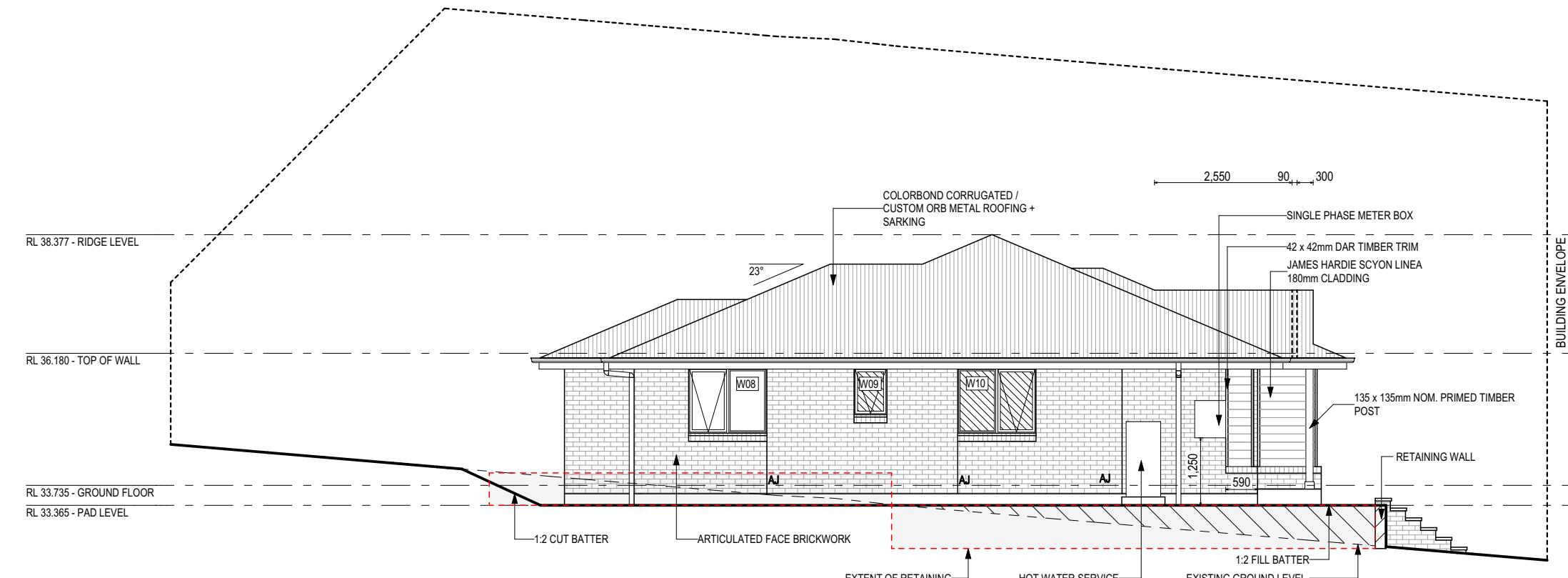
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WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT**

SIGNATURE:	DATE:
SIGNATURE:	DATE:

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SIGNATURE: _____ DATE: _____	
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 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE  
 BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

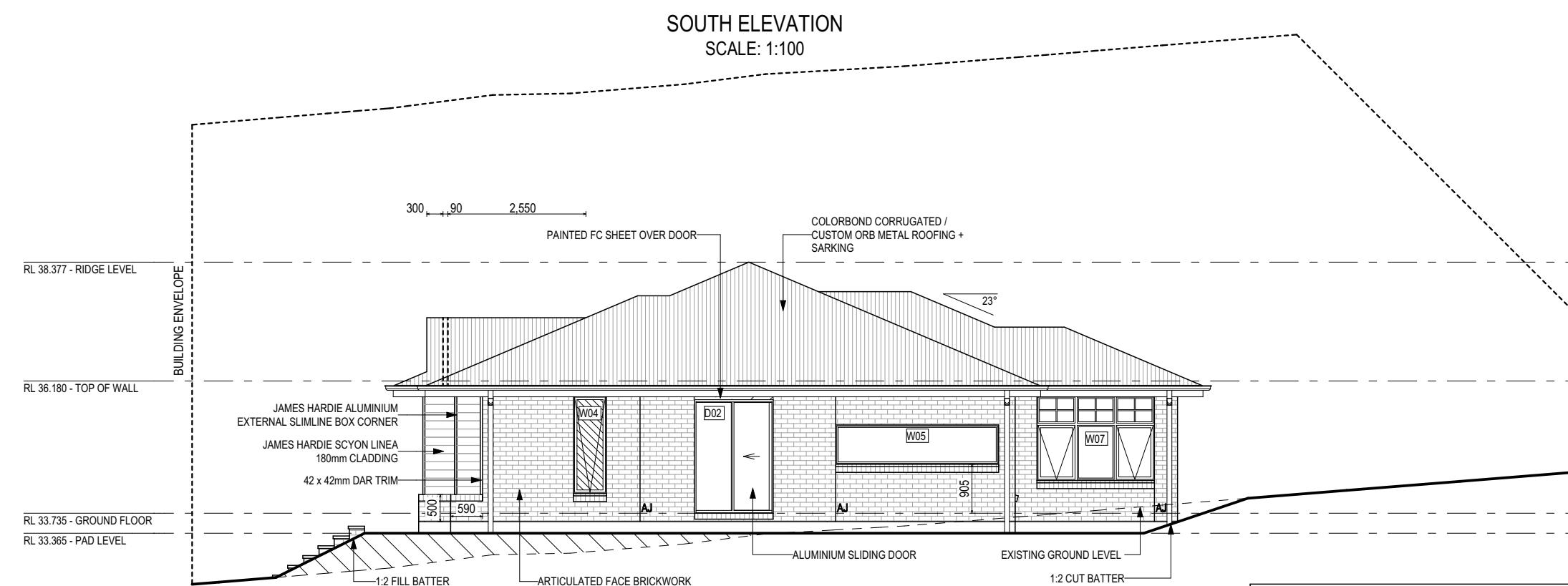
SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE  
 BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM  
 WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

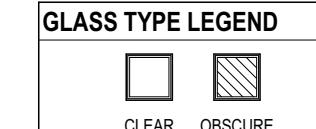
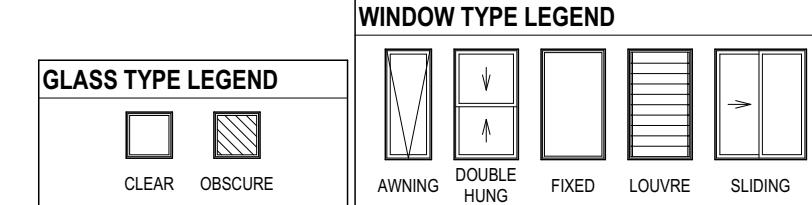
REFER TO THE FOLLOWING DETAILS:  
 BRICK COURSING W-BRIC-001

Last Published: Wednesday, 24 September 2025 11:42 AM



**SUBJECT TO NCC 2022  
 (1 MAY 2023)  
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 CONDENSATION MANAGEMENT**

**NORTH ELEVATION**  
 SCALE: 1:100



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SPECIFICATION: <b>DISCOVERY</b>	REVISION 1 DRAFT SALE PLAN - CT1	DRAWN HMI 25/08/2025	CLIENT: <b>LAURA GRACE TIERNAN</b>		HOUSE DESIGN: <b>EDEN 13</b>		HOUSE CODE: <b>H-WDCEDE10SA</b>	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
			ADDRESS: <b>18 TITARA AV, ROKEBY TAS 7019</b>		FACADE DESIGN: <b>HAMPTON</b>			
COPYRIGHT: © 2025			LOT / SECTION / CT: 15 / - / 185273	COUNCIL: CLARENCE	SHEET TITLE: <b>ELEVATIONS</b>	SHEET No.: 6 / 21	SCALES: 1:100	<b>714423</b>



## NATURAL LIGHT AND VENTILATION

ROOM	AREA (m <sup>2</sup> )	WINDOW ID	LIGHT REQUIRED (m <sup>2</sup> )	LIGHT ACHIEVED (m <sup>2</sup> )	VENTILATION REQ'D (m <sup>2</sup> )	VENTILATION ACH'D (m <sup>2</sup> )
OPEN KITCHEN/ LIVING/ DINING	39.35 m <sup>2</sup>	W05, W06, W07, D03	3.94 m <sup>2</sup>	11.39 m <sup>2</sup>	1.97 m <sup>2</sup>	6.78 m <sup>2</sup>
BED 1	11.21 m <sup>2</sup>	W02	1.12 m <sup>2</sup>	2.59 m <sup>2</sup>	0.56 m <sup>2</sup>	1.36 m <sup>2</sup>
BED 2	9.84 m <sup>2</sup>	W01	0.98 m <sup>2</sup>	2.59 m <sup>2</sup>	0.49 m <sup>2</sup>	1.36 m <sup>2</sup>
BED 3	10.44 m <sup>2</sup>	W08	1.04 m <sup>2</sup>	1.38 m <sup>2</sup>	0.52 m <sup>2</sup>	0.79 m <sup>2</sup>

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

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CONDENSATION MANAGEMENT**

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SIGNATURE:	DATE:
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REFER TO SHEET 1 (COVER SHEET) FOR  
ALL BUILDING INFORMATION REGARDING  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

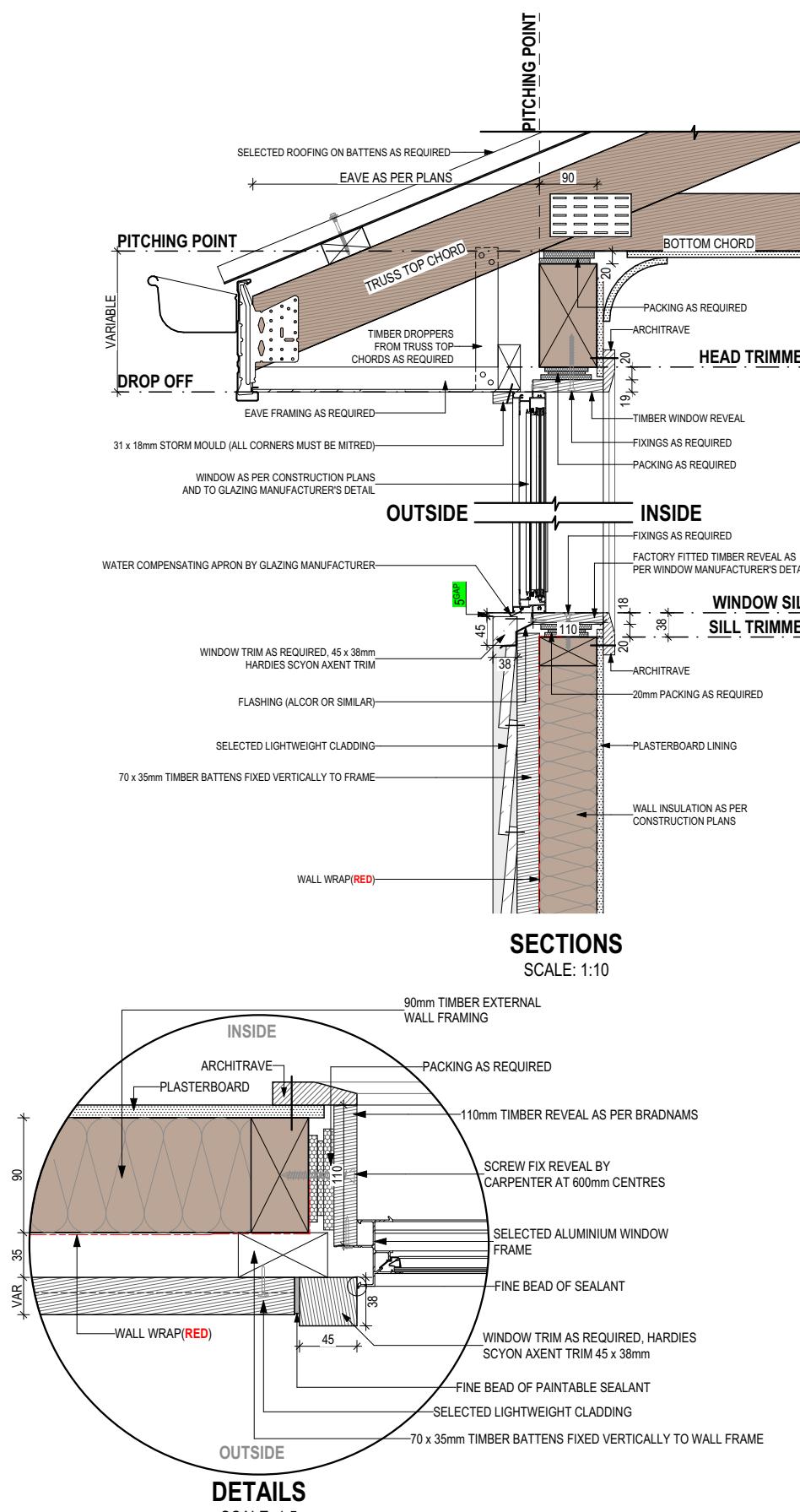
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	1 DRAFT SALE PLAN - CT1	HMI	25/08/2025				
	2 PRELIM PLANS - INITIAL ISSUE	TRV	17/09/2025	ADDRESS: <b>18 TITARA AV, ROKEBY TAS 7019</b>		FAÇADE DESIGN: <b>HAMPTON</b>	
				LOT / SECTION / CT: <b>15 / - / 185273</b>	COUNCIL: <b>CLARENCE</b>	SHEET TITLE: <b>CALCULATIONS</b>	SHEET No.: <b>8 / 21</b> SCALES:



**REFER TO W-CLAD-001 & W-CLAD-002 FOR FULL DETAIL**

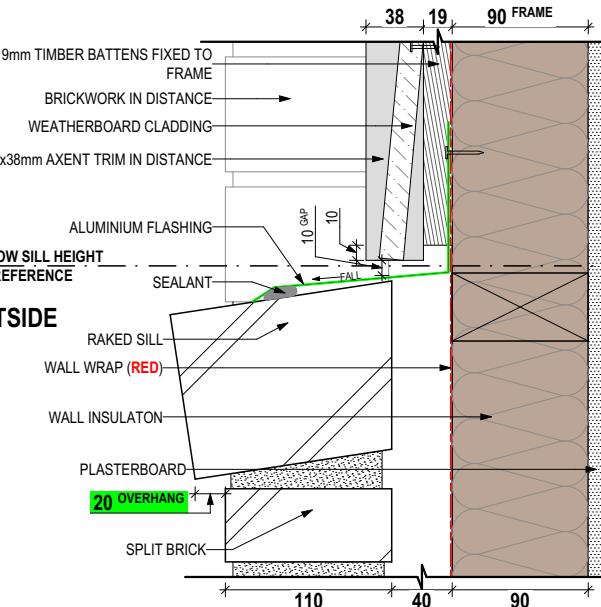
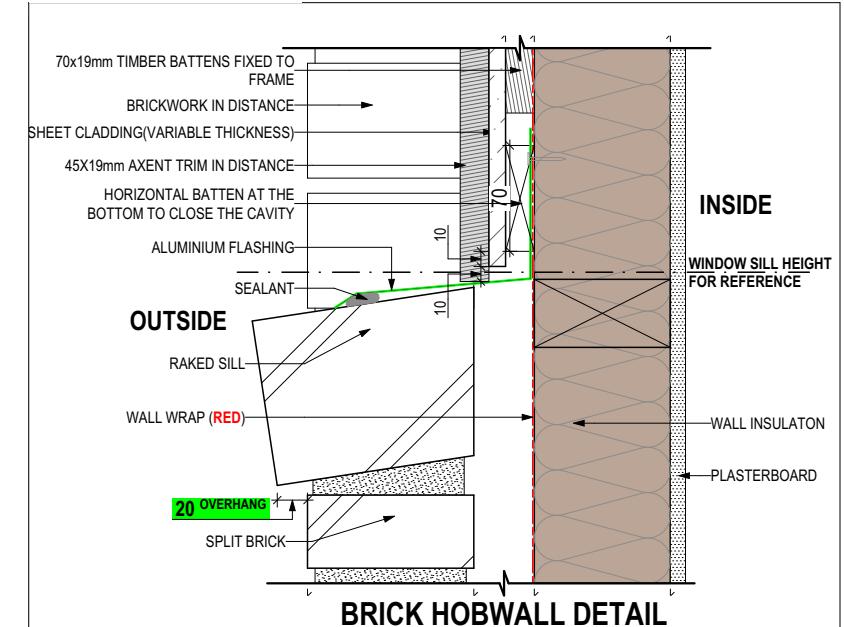


**THIS DWELLING IS BEING CONSTRUCTED IN A [Unused] AREA** © 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT (RESTRICTIONS FOR CONSTRUCTION METHODS/ MATERIALS APPLY. REFER TO NOTES) IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



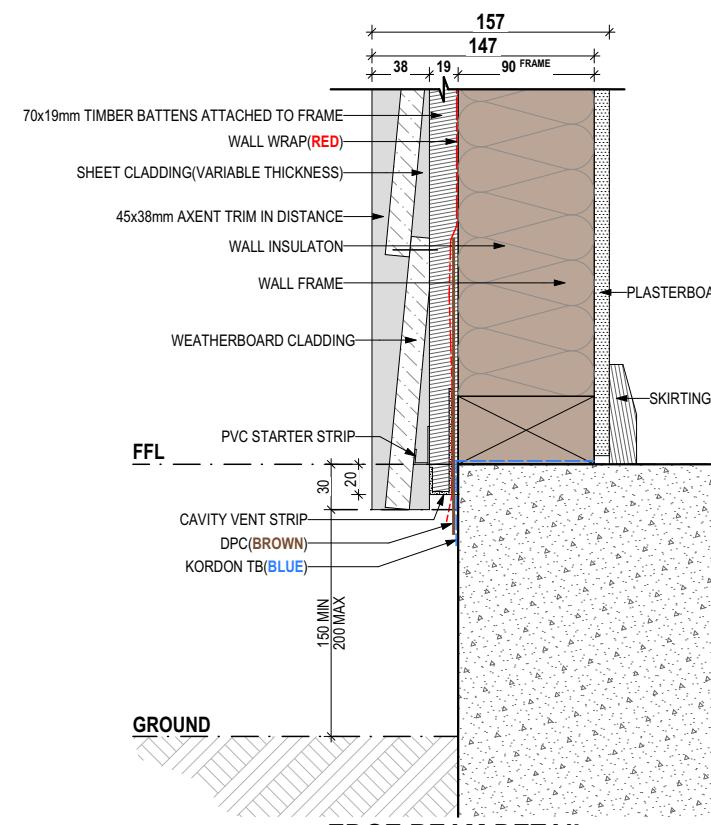
 <p><b>WILSON HOMES</b></p>	<p><b>SPECIFICATION:</b> <b>DISCOVERY</b></p>	REVISION		DRAWN	<p><b>CLIENT:</b> <b>LAURA GRACE TIERNAN</b></p>	<p><b>HOUSE DESIGN:</b> <b>EDEN 13</b></p>	<p><b>HOUSE CODE:</b> <b>H-WDCDE10SA</b></p>	<p><b>DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.</b></p>		
		1	DRAFT SALE PLAN - CT1	HMI 25/08/2025						
	<p><b>COPYRIGHT:</b> <b>© 2025</b></p>	2	PRELIM PLANS - INITIAL ISSUE	TRV 17/09/2025	<p><b>ADDRESS:</b> <b>18 TITARA AV, ROKEBY TAS 7019</b></p>	<p><b>FAÇADE DESIGN:</b> <b>HAMPTON</b></p>	<p><b>FAÇADE CODE:</b> <b>F-WDCDE10HMPTA</b></p>			
					<p><b>LOT / SECTION / CT:</b> <b>15 / - / 185273</b></p>	<p><b>COUNCIL:</b> <b>CLARENCE</b></p>	<p><b>SHEET TITLE:</b> <b>DETAILS (CLADDING)</b></p>	<p><b>SHEET No.:</b> <b>10 / 21</b></p>	<p><b>SCALES:</b></p>	<p><b>714423</b></p>

## **SHEET CLADDING**



## BRICK HOBWALL DETAIL 02

SCALE: 1:5



## EDGE BEAM DETAIL

SCALE: 1:5

THIS PLAN ACCEPTED BY:

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**SIGNATURE:**

DATE:

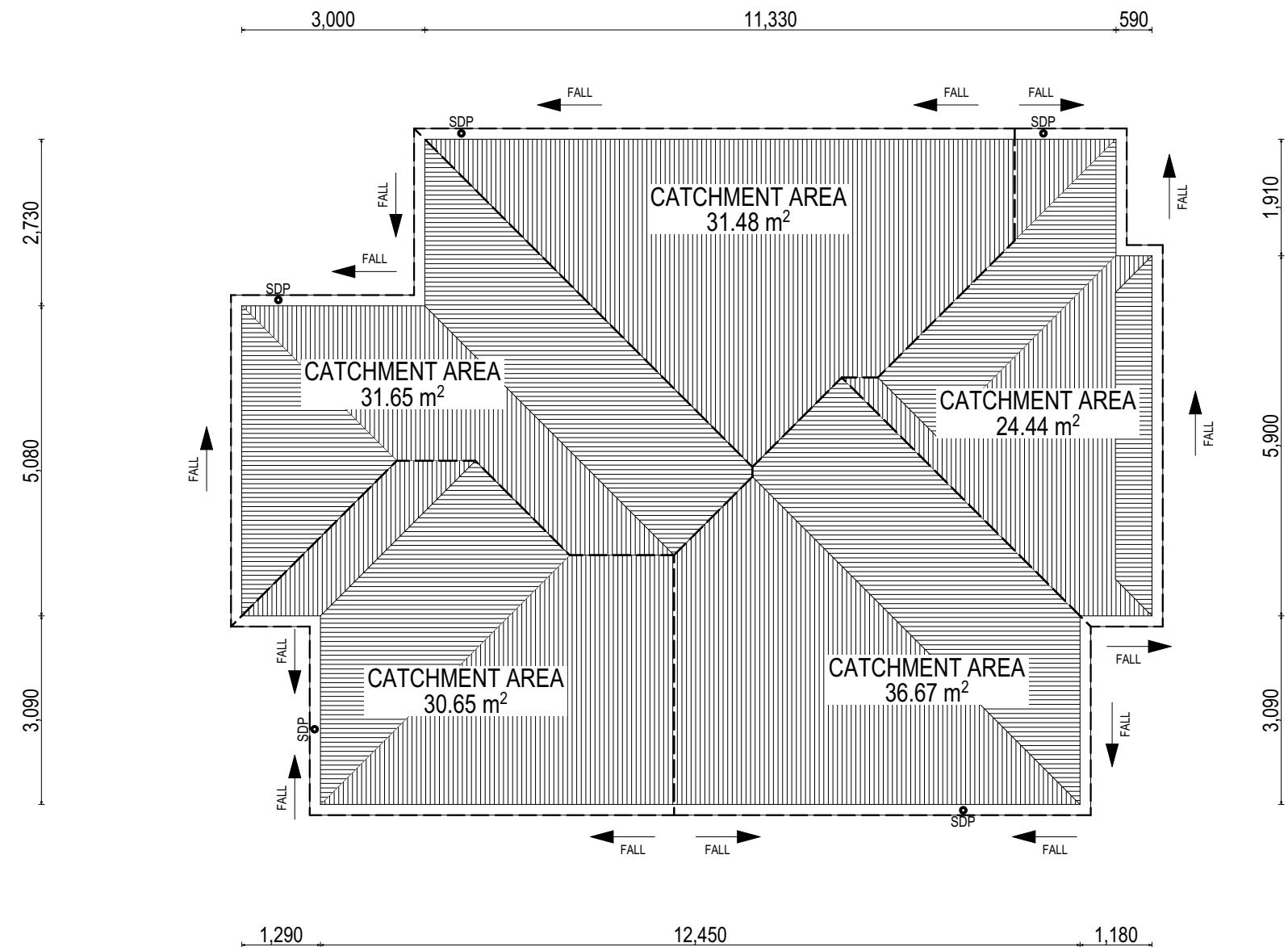
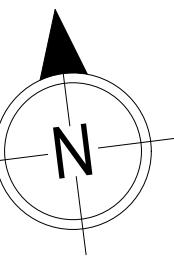
This technical cross-section diagram illustrates a detailed construction of a cavity wall. The wall is built in two parallel vertical frames. The outer frame is formed by 70x19mm timber battens attached to a frame, with sheet cladding of variable thickness. The inner frame is formed by a wall frame with sheet cladding of variable thickness. A 45x19mm Axent trim is positioned in the distance between the frames. The cavity between the frames is filled with wall insulation. The outer cladding is sealed with a red wall wrap. The bottom of the cavity is closed by a horizontal batten. The ground floor is shown with a Kordon TB (blue) membrane, a DPC (brown) membrane, and a cavity vent strip. The top of the wall features a plasterboard finish and a skirting board. The diagram also shows a foundation with a thickness of 300mm and a ground surface.

## EDGE BEAM DETAIL

last Published: Wednesday 24 September 2025 11:42 AM

File location: G:\Wilson\18 Drafting\19\_Eiles714400714423 - Tieman (AC24)\Plans714423 - Tieman - Prelim - AC24 - 20225 0917 01

Template Version: 24 041



WHERE DOWNPipes ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPipes ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/CATCHMENT AREAS, NOT PLAN AREAS

#### Roofing Data

	145.68	Flat Roof Area (excluding gutter and slope factor) (m <sup>2</sup> )
	159.56	Roof Surface Area (includes slope factor, excludes gutter) (m <sup>2</sup> )

#### Downpipe roof calculations (as per AS/NZA3500.3:2021)

Ah	154.88	Area of roof catchment (including 115mm Slotted Quad Gutter) (m <sup>2</sup> )
Ac	187.40	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m <sup>2</sup> )
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm <sup>2</sup> )
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m <sup>2</sup> )
Required Downpipes	2.92	Ac / Acdp
Downpipes Provided	5	

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EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

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SPECIFICATION: <b>DISCOVERY</b>	REVISION 1 DRAFT SALE PLAN - CT1	DRAWN HMI 25/08/2025	CLIENT: <b>LAURA GRACE TIERNAN</b>	HOUSE DESIGN: <b>EDEN 13</b>	HOUSE CODE: <b>H-WDCEDE10SA</b>	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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			LOT / SECTION / CT: <b>15 / - / 185273</b>	COUNCIL: <b>CLARENCE</b>	SHEET TITLE: <b>ROOF DRAINAGE PLAN</b>	SCALES: <b>1:100</b>

**714423**

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.  
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

## COVERINGS LEGEND

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	DECKING

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Last Published: Wednesday, 24 September 2025 11:42 AM



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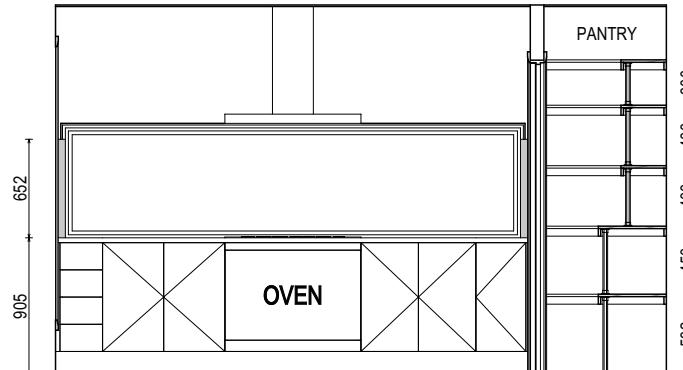
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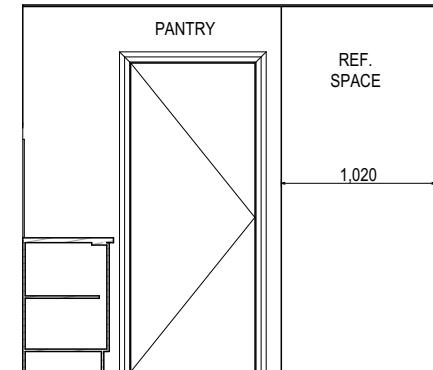
SPECIFICATION: <b>DISCOVERY</b>	REVISION	DRAWN		CLIENT: <b>LAURA GRACE TIERNAN</b>	HOUSE DESIGN: <b>EDEN 13</b>	HOUSE CODE: <b>H-WDCEDE10SA</b>	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
	1 DRAFT SALE PLAN - CT1	HMI	25/08/2025					
COPYRIGHT: <b>© 2025</b>	2 PRELIM PLANS - INITIAL ISSUE		TRV	17/09/2025	ADDRESS: <b>18 TITARA AV, ROKEBY TAS 7019</b>	FACADE DESIGN: <b>HAMPTON</b>		
						FACADE CODE: <b>F-WDCEDE10HMPTA</b>		
				LOT / SECTION / CT: <b>15 / - / 185273</b>	COUNCIL: <b>CLARENCE</b>	SHEET TITLE: <b>FLOOR COVERINGS</b>	SHEET No.: <b>12 / 21</b> SCALES: <b>1:100</b>	<b>714423</b>

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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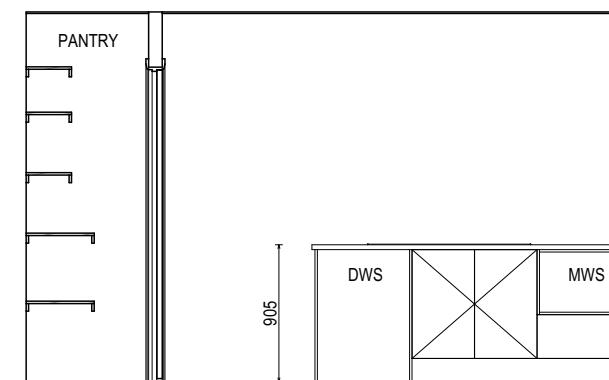
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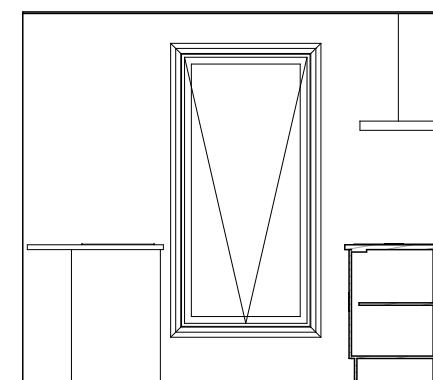
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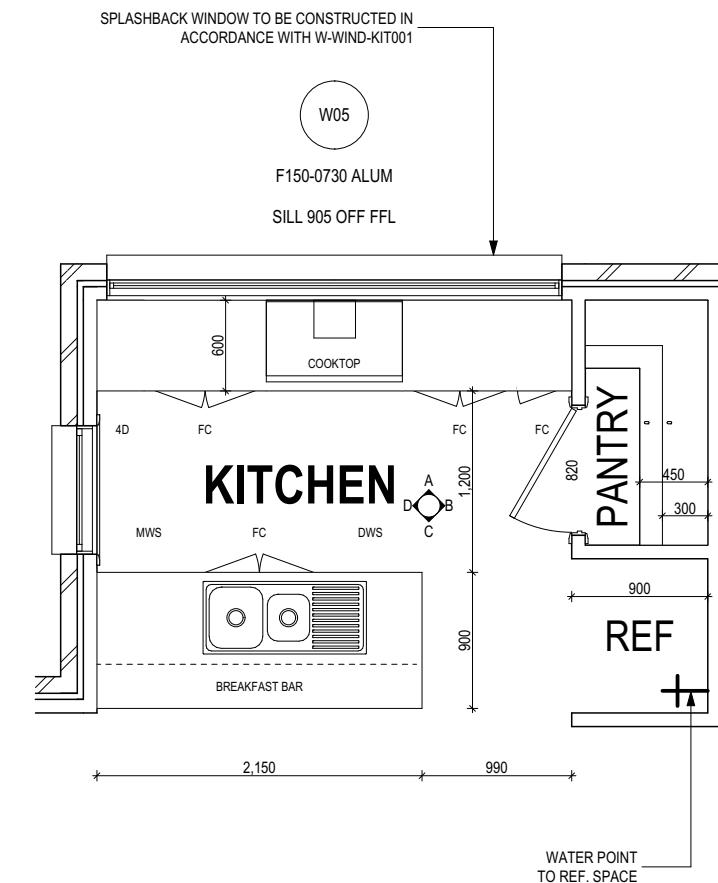
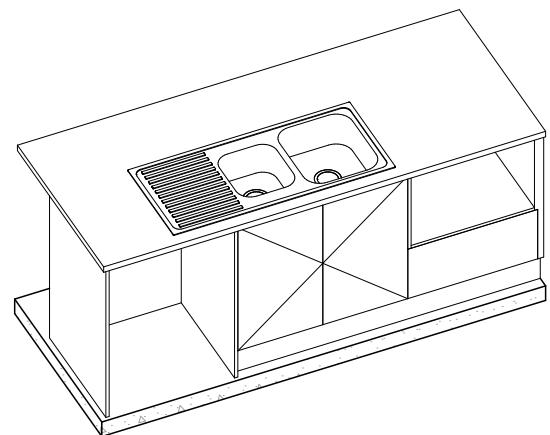
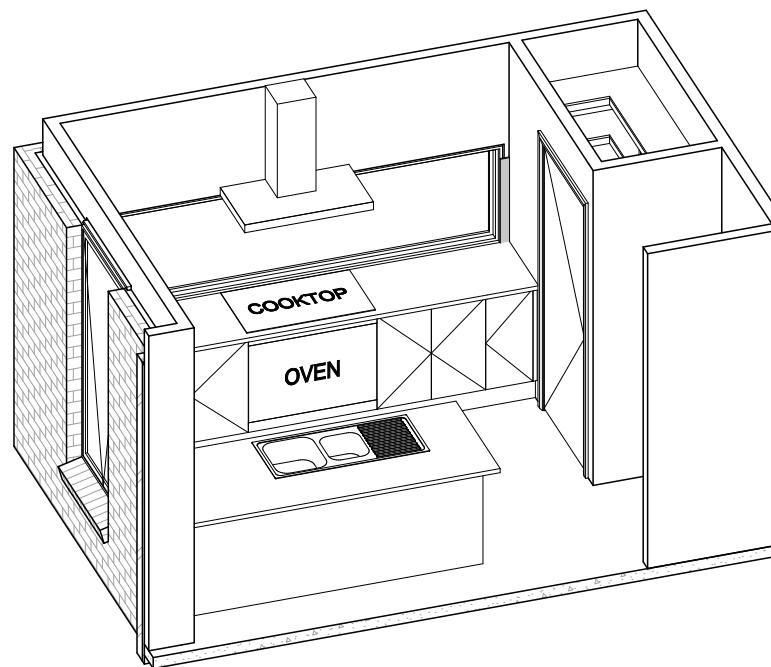
ELEVATION B  
SCALE: 1:50



ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50



KITCHEN PLAN  
SCALE: 1:50

SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:
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SIGNATURE:	DATE:
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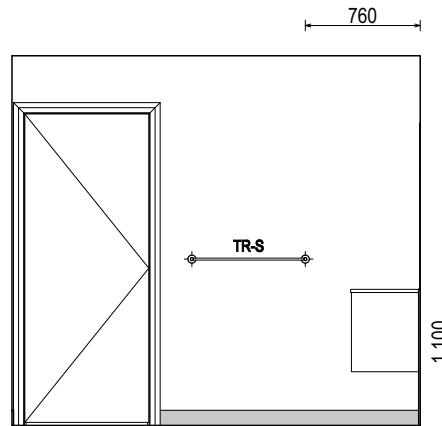
**REFER TO THE FOLLOWING DETAILS:**  
VANITY DETAILS G-VANI-001  
WINDOW OVER BATH HOB D-WIND-ALU001  
STANDARD BATH HOB D-WETA-BATH003  
WET AREA TILING LAYOUTS D-WETA-TILE002  
SQUARE SET WINDOWS G-WIND-SSET02  
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR  
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- GENERAL BUILDING INFORMATION

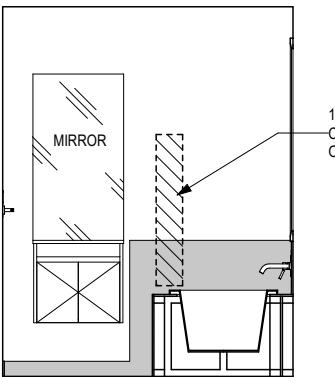
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## LEGEND

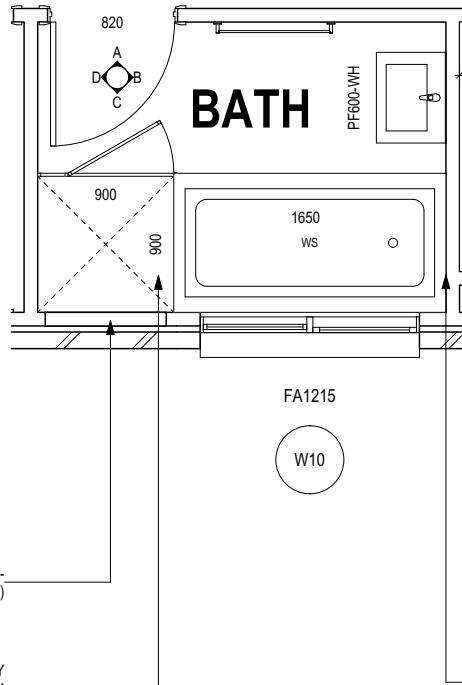
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ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



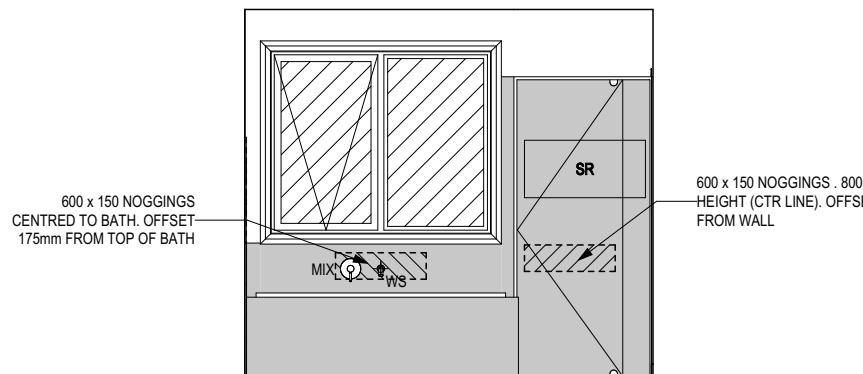
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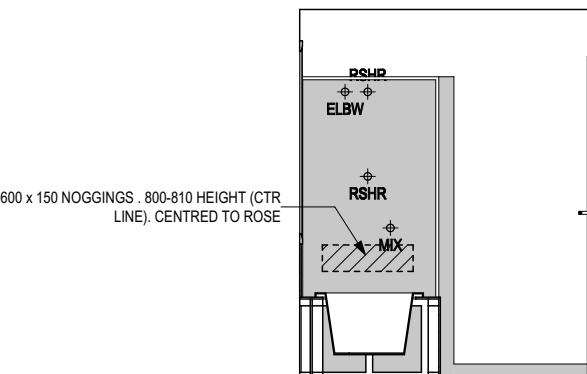
ELEVATION B  
SCALE: 1:50



# BATHROOM PLAN



**ELEVATION C**



**ELEVATION D**  
SCALE: 1:50

SHAMPOO RECESS SIZE	STRUCTURAL DIMENSIONS	
	WIDTH	HEIGHT
SMALL"	470 x 380mm	548mm
MEDIUM"	800 x 380mm	878mm
LARGE"	1500 x 380mm	1578mm
		446mm
		446mm
		446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

**SUBJECT TO NCC 2022  
(1 MAY 2023)**  
**WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT**

<b>PLAN ACCEPTANCE BY OWNER</b>	
SIGNATURE:	DATE:
<hr/>	
SIGNATURE:	DATE:
<hr/> PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

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				LOT / SECTION / CT: <b>15 / - / 185273</b>	COUNCIL: <b>CLARENCE</b>	SHEET TITLE: <b>BATHROOM DETAILS</b>	SHEET No.: <b>14 / 21</b>	SCALES: <b>1:50</b>	<b>714423</b>

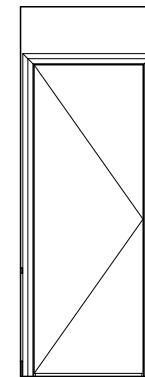
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 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

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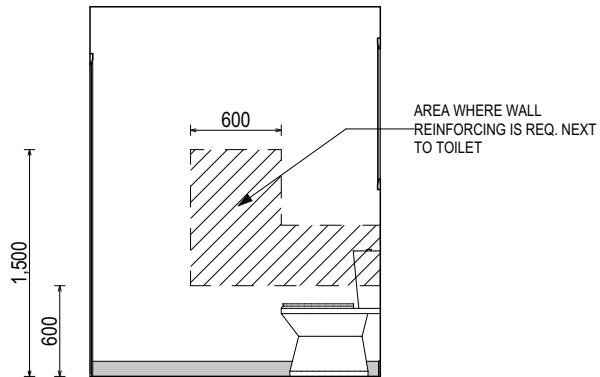
**LEGEND**

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

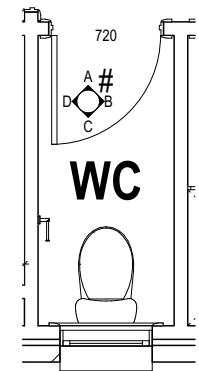
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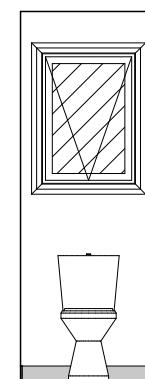
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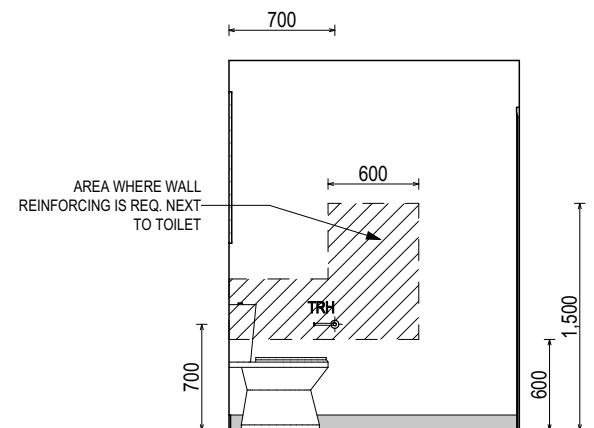
ELEVATION B  
SCALE: 1:50



WC PLAN  
SCALE: 1:50



ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50

**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT**

<b>PLAN ACCEPTANCE BY OWNER</b>	
SIGNATURE:	DATE:
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SIGNATURE:	DATE:
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COPYRIGHT: © 2025			LOT / SECTION / CT: <b>15 / - / 185273</b>	COUNCIL: <b>CLARENCE</b>	SHEET TITLE: <b>WC DETAILS</b>	SCALES: <b>15 / 21 1:50</b>
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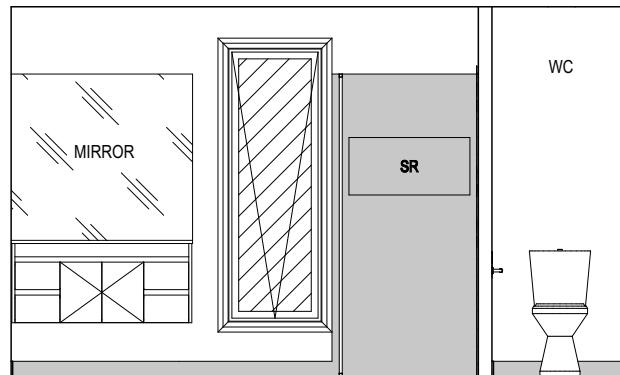
REFER TO THE FOLLOWING DETAILS:  
 VANITY DETAILS G-VANI-001  
 WINDOW OVER BATH HOB D-WIND-ALU001  
 STANDARD BATH HOB D-WETA-BATH003  
 WET AREA TILING LAYOUTS D-WETA-TILE002  
 SQUARE SET WINDOWS G-WIND-SSET02  
 FULL HEIGHT TILING D-LINI-WETA

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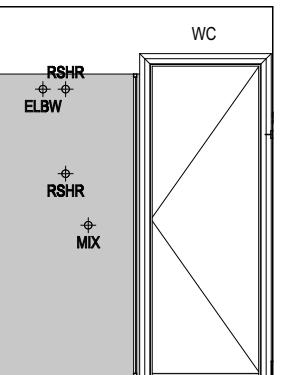
#### LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

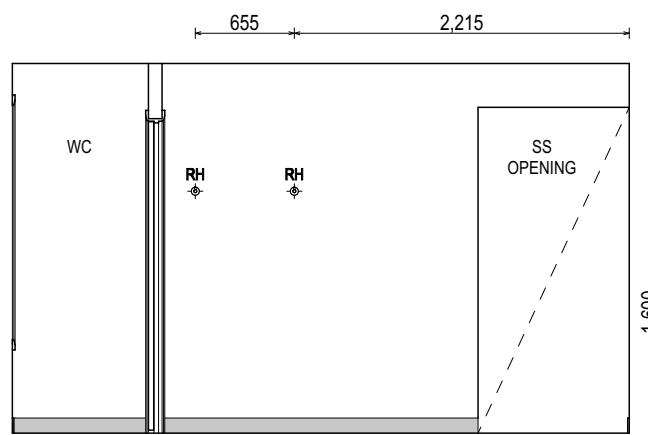
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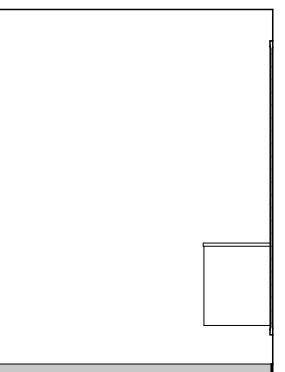
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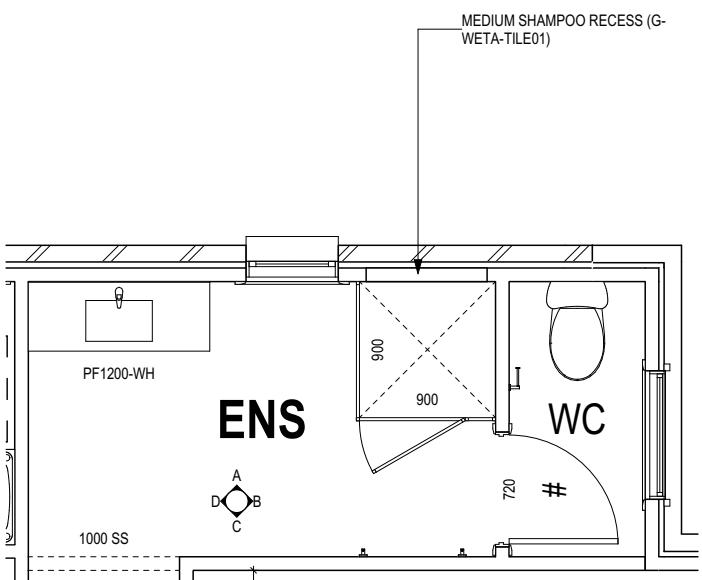
ELEVATION B  
SCALE: 1:50



ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50



ENSUITE PLAN  
SCALE: 1:50

SHAMPOO RECESS SIZE	STRUCTURAL DIMENSIONS	
"SMALL"	470 x 380mm	548mm 446mm
"MEDIUM"	800 x 380mm	878mm 446mm
"LARGE"	1500 x 380mm	1578mm 446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

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(1 MAY 2023)  
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SIGNATURE:	DATE:

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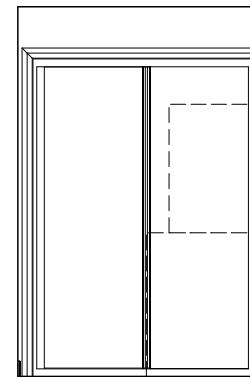


SPECIFICATION: DISCOVERY	REVISION 1 DRAFT SALE PLAN - CT1	DRAWN HMI 25/08/2025	CLIENT: LAURA GRACE TIERNAN	HOUSE DESIGN: EDEN 13	HOUSE CODE: H-WDCDE10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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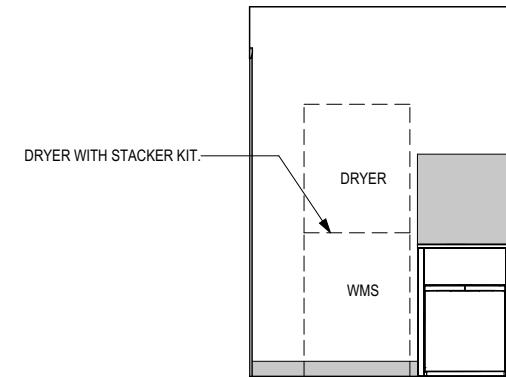
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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 - GENERAL BUILDING INFORMATION

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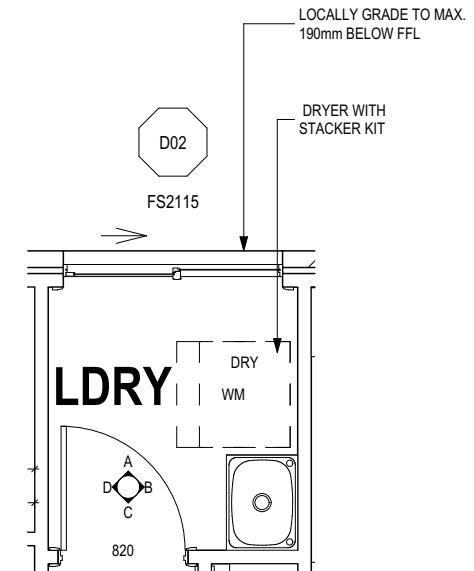
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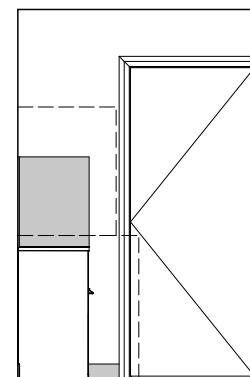
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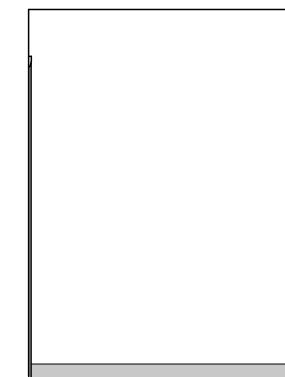
ELEVATION B  
SCALE: 1:50



LAUNDRY PLAN  
SCALE: 1:50



ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50

**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:
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SIGNATURE:	DATE:
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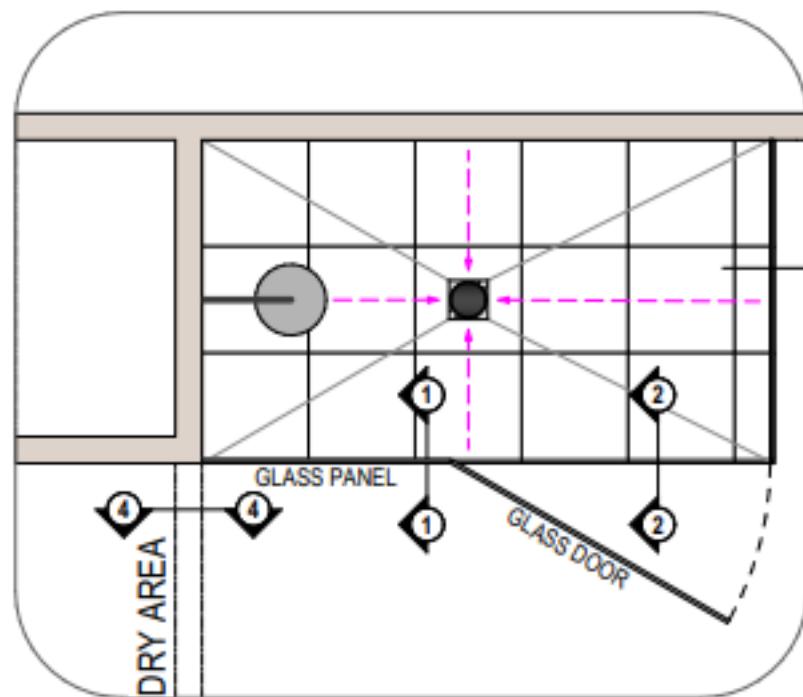


SPECIFICATION: <b>DISCOVERY</b>  COPYRIGHT: © 2025	REVISION 1 DRAFT SALE PLAN - CT1	DRAWN HMI 25/08/2025	CLIENT: <b>LAURA GRACE TIERNAN</b>	HOUSE DESIGN: <b>EDEN 13</b>	HOUSE CODE: <b>H-WDCEDE10SA</b>	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	2 PRELIM PLANS - INITIAL ISSUE	TRV 17/09/2025	ADDRESS: <b>18 TITARA AV, ROKEBY TAS 7019</b>	FACADE DESIGN: <b>HAMPTON</b>	FAÇADE CODE: <b>F-WDCEDE10HMPTA</b>	
			LOT / SECTION / CT: 15 / - / 185273	COUNCIL: <b>CLARENCE</b>	SHEET TITLE: <b>LAUNDRY DETAILS</b>	SCALES: 17 / 21 1:50

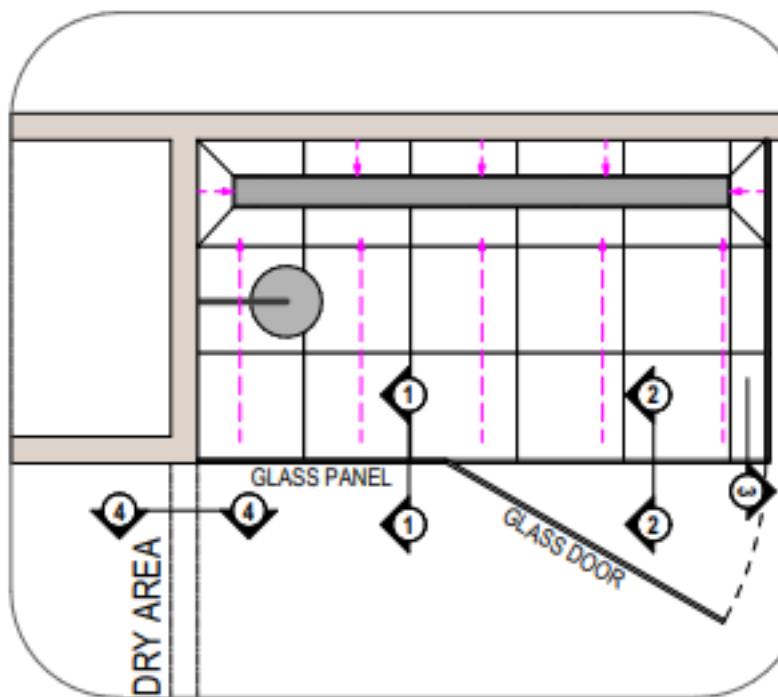
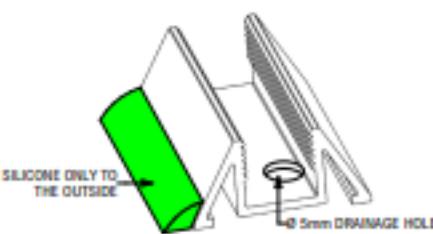
**714423**

## STANDARD SHOWER & WATERPROOFING DETAIL

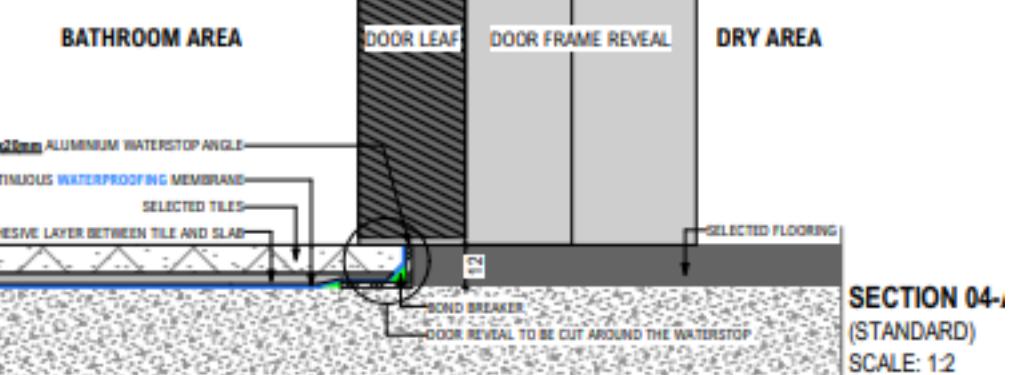
- ALL PLANS ARE DIAGRAMATIC, REFER TO THE CONSTRUCTION PLANS FOR THE BATHROOM & SHOWER LAYOUTS.
- DO NOT SILICON THE BOTTOM OF THE FRAME ON THE SHOWER SIDE.



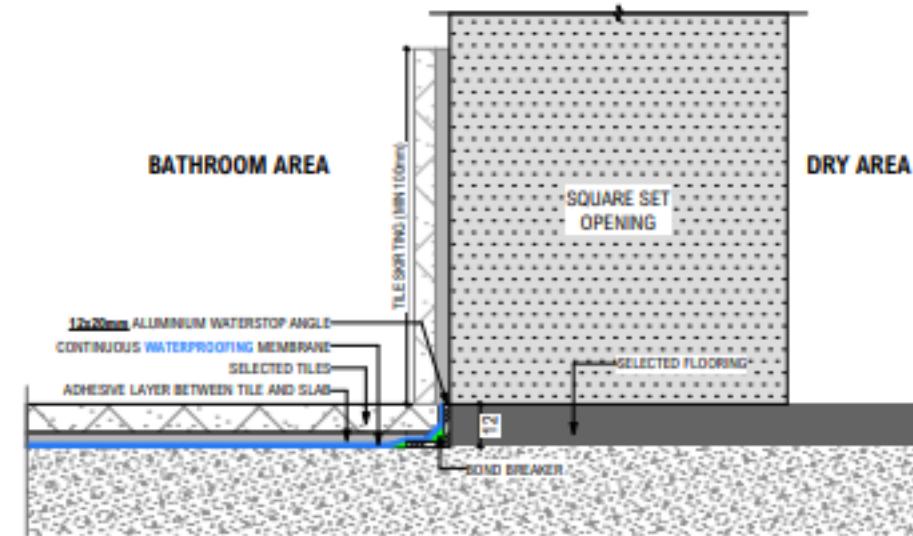
PLAN VIEW 1  
(STANDARD FW)  
SCALE: 1:20



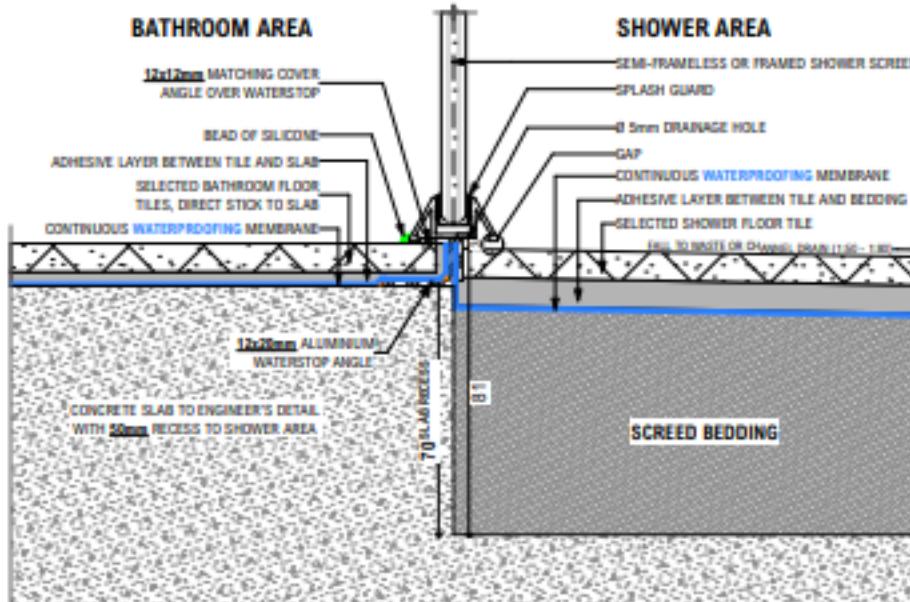
PLAN VIEW 2  
(CHANNEL DRAIN)  
SCALE: 1:20



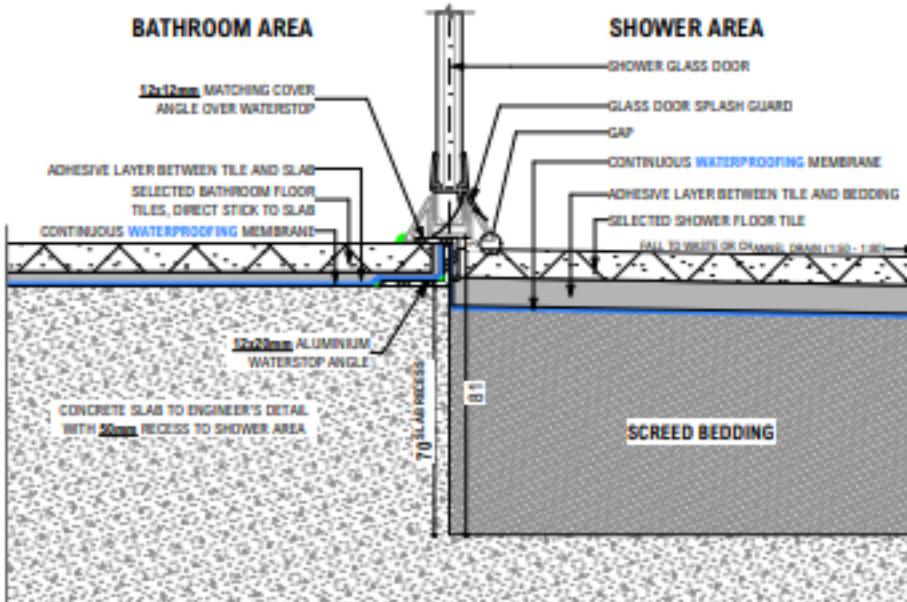
SECTION 04-1  
(STANDARD)  
SCALE: 1:2



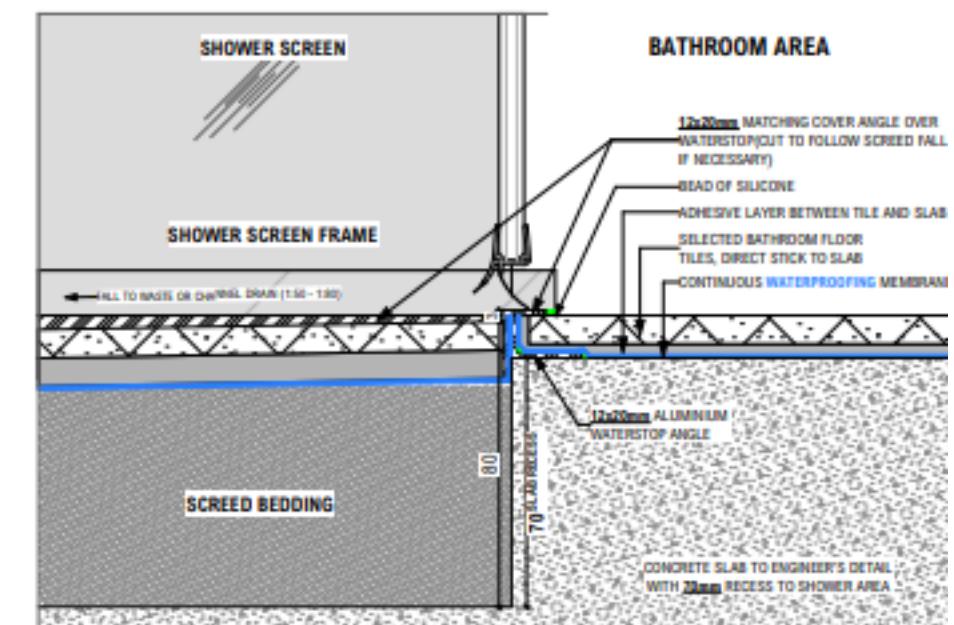
SECTION 04-1  
(UPGRADE)  
SCALE: 1:2



SECTION 01 - THROUGH GLASS SCREEN  
SCALE: 1:2

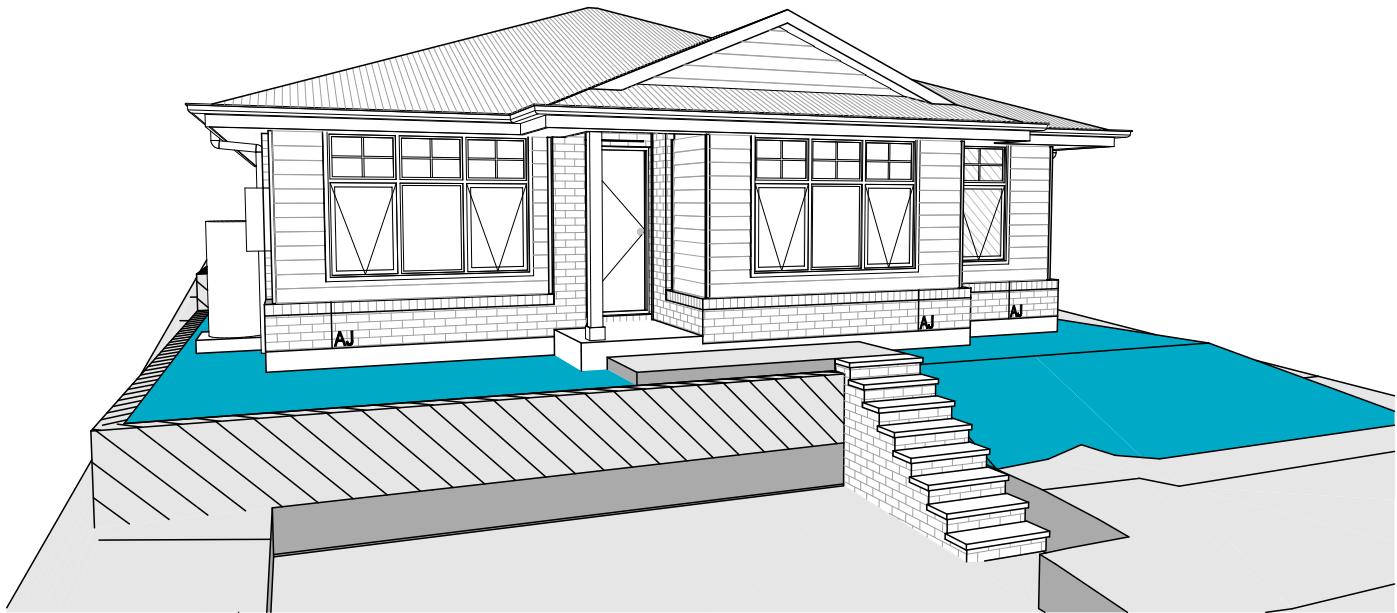


SECTION 02 - THROUGH GLASS DOOR  
SCALE: 1:2

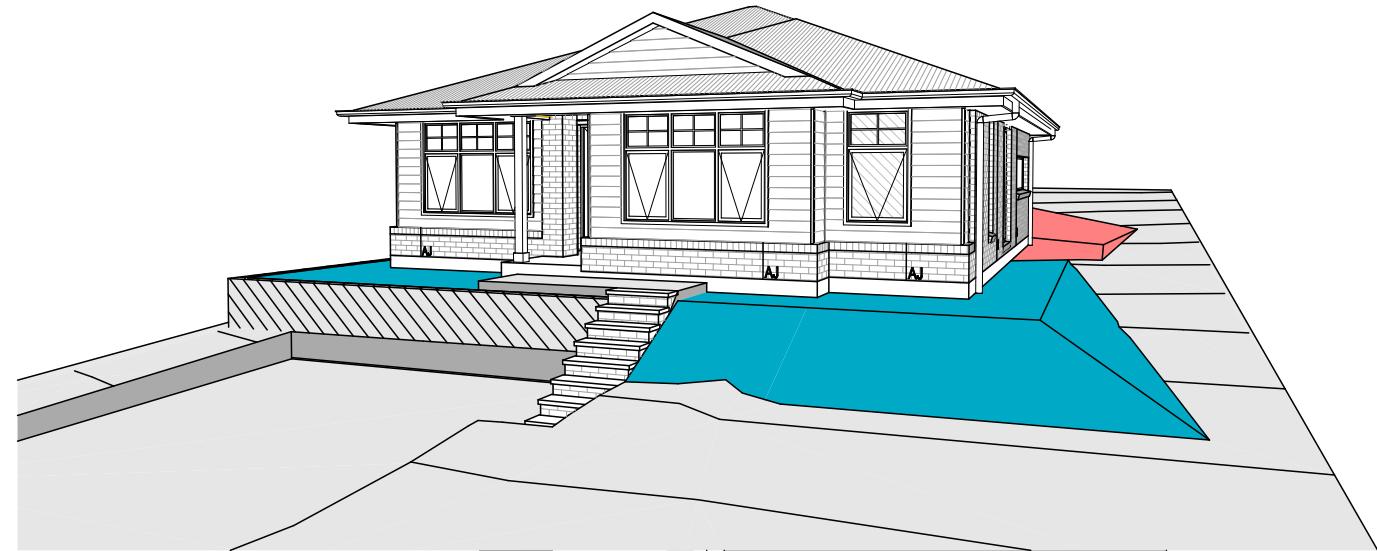


SECTION 03 - THROUGH GLASS SCREEN  
SCALE: 1:2

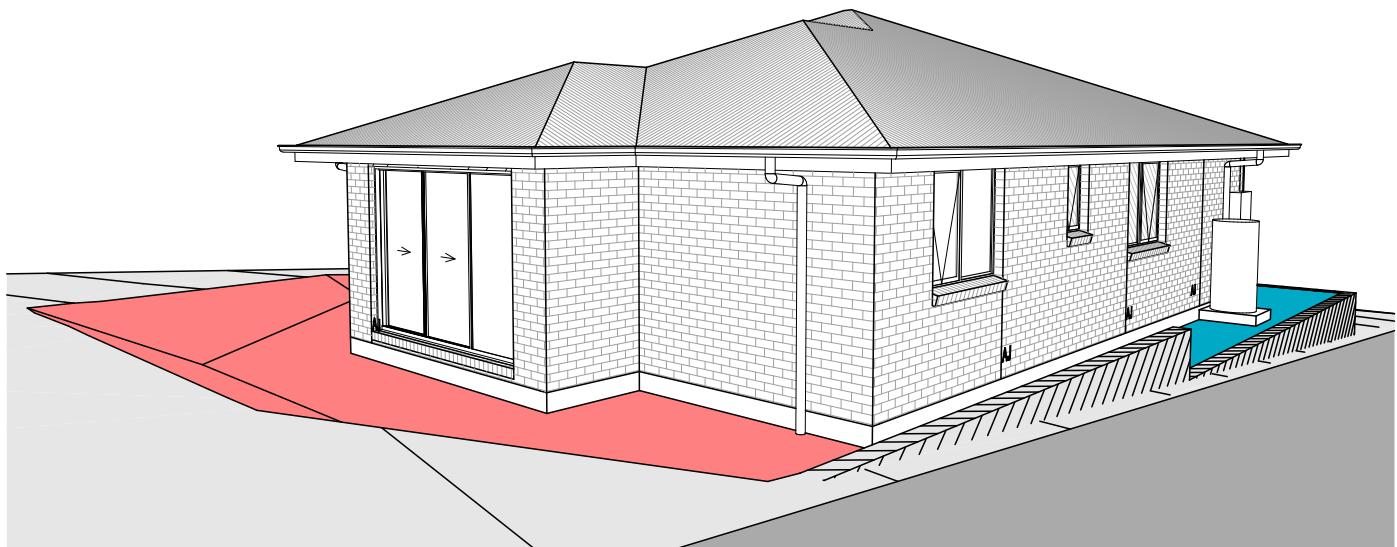
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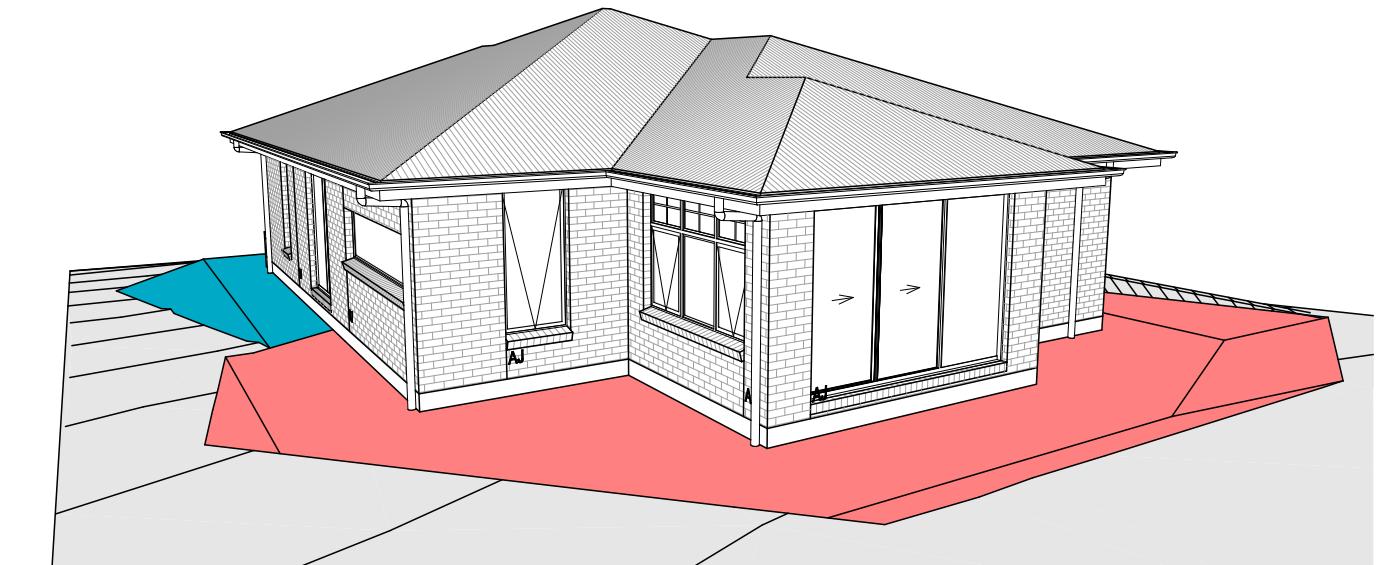
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT**

<b>PLAN ACCEPTANCE BY OWNER</b>	
THIS PLAN HAS BEEN DRAWN TO REFLECT YOUR CONSOLIDATED TENDER. PLEASE CHECK THAT EVERYTHING IS CORRECT AND FINALISED. FURTHER STRUCTURAL CHANGES ARE NOT POSSIBLE PAST THIS POINT.	
PLEASE NOTE, SELECTIONS ITEMS WILL NOT APPEAR ON YOUR PLANS UNTIL AFTER YOUR INTERNAL COLOUR SELECTIONS APPOINTMENT IS COMPLETE.	
SIGNATURE:	DATE:
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SIGNATURE:	DATE:

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SPECIFICATION: <b>DISCOVERY</b>	REVISION 1 DRAFT SALE PLAN - CT1	DRAWN HMI 25/08/2025	CLIENT: <b>LAURA GRACE TIERNAN</b>	HOUSE DESIGN: <b>EDEN 13</b>	HOUSE CODE: <b>H-WDCEDE10SA</b>	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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