



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056064

PROPOSAL: Dwelling

LOCATION: 18 Titara Avenue, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 05 February 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 05 February 2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 05 February 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New Dwelling

Location:

Address 18 TITARA AV, ROKEBY TAS 7019

Suburb/Town Postcode

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☐

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 185273	FOLIO 15
EDITION 2	DATE OF ISSUE 03-Aug-2023

SEARCH DATE : 10-Jul-2025

SEARCH TIME : 09.58 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 15 on Sealed Plan 185273

Derivation : Part of Lot 36312, 87.56ha Gtd. to The Director
of Housing.

Prior CT 242355/1

SCHEDULE 1E295303 TRANSFER to HOMES TASMANIA Registered 03-Aug-2023
at noonSCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP185273 FENCING PROVISION in Schedule of Easements

E275346 NOTIFICATION pursuant to section 18B and section 18G
of the Homes Act 1935 (Tas). The land is subject to
this section for a period of 30 years. Registered
21-Jun-2022 at 12.01 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 185273

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Each of lots 1-12 inclusive, 24-37 inclusive and 39-46 inclusive on the Plan ("the Lot") are subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 3.00 WIDE & DRAINAGE EASEMENT 3.00 WIDE shown on the Plan ("the Easement Land").

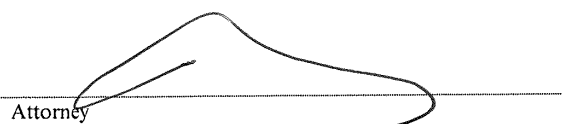
Each of lots 1-12 inclusive, 24-37 inclusive and 39-46 inclusive on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT 3.00 WIDE & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

FENCING PROVISION

In respect of the lots shown on the Plan, the Vendor (Mission Australia Housing Tasmania) shall not be required to fence.

DEFINITIONS

"**Drainage Easement**" means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away


Attorney

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Mission Australia Housing Tasmania	PLAN SEALED BY: CLARENCE CITY COUNCIL
FOLIO REF: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1	DATE: 14 th July 2023
SOLICITOR	PDPLAN PMTD 2019/003802
& REFERENCE: Page Seager (David Shelley) 200541	REF NO. Council Delegate Clare Shea
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP 185273
SUBDIVIDER: Mission Australia Housing Tasmania FOLIO REFERENCE: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1	

stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

“**Pipeline and Services Easement**” is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and

Attorney

Attorney

CE

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP 185273
SUBDIVIDER: Mission Australia Housing Tasmania FOLIO REFERENCE: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1	

- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Attorney  Attorney 


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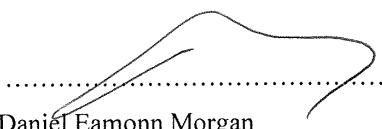
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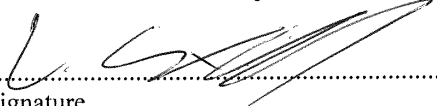
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP 185273
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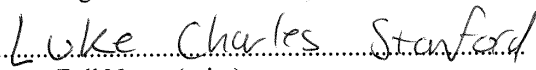
“TasWater” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

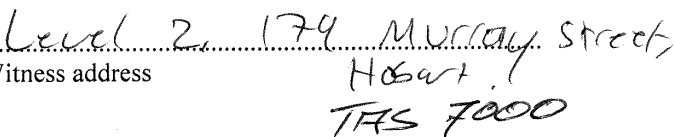
EXECUTED by **Mission Australia Housing Tasmania (ACN 648 587 017)**, as registered proprietor of the land comprised in Folios of the Register Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1 by its attorneys **David Alexander Shelley** and **Daniel Eamonn Morgan** (each a Director of Page Seager Pty Ltd ACN 620 698 286) under registered Power of Attorney number PA139154 who hereby declare that no notice of alteration or revocation of this Power of Attorney has been received in the presence of:

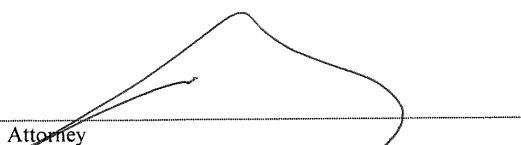

.....
David Alexander Shelley
(Director Page Seager Pty Ltd ACN 620 698 286)


.....
Daniel Eamonn Morgan
(Director Page Seager Pty Ltd ACN 620 698 286)


.....
Witness Signature


.....
Witness Full Name (print)


.....
Witness address

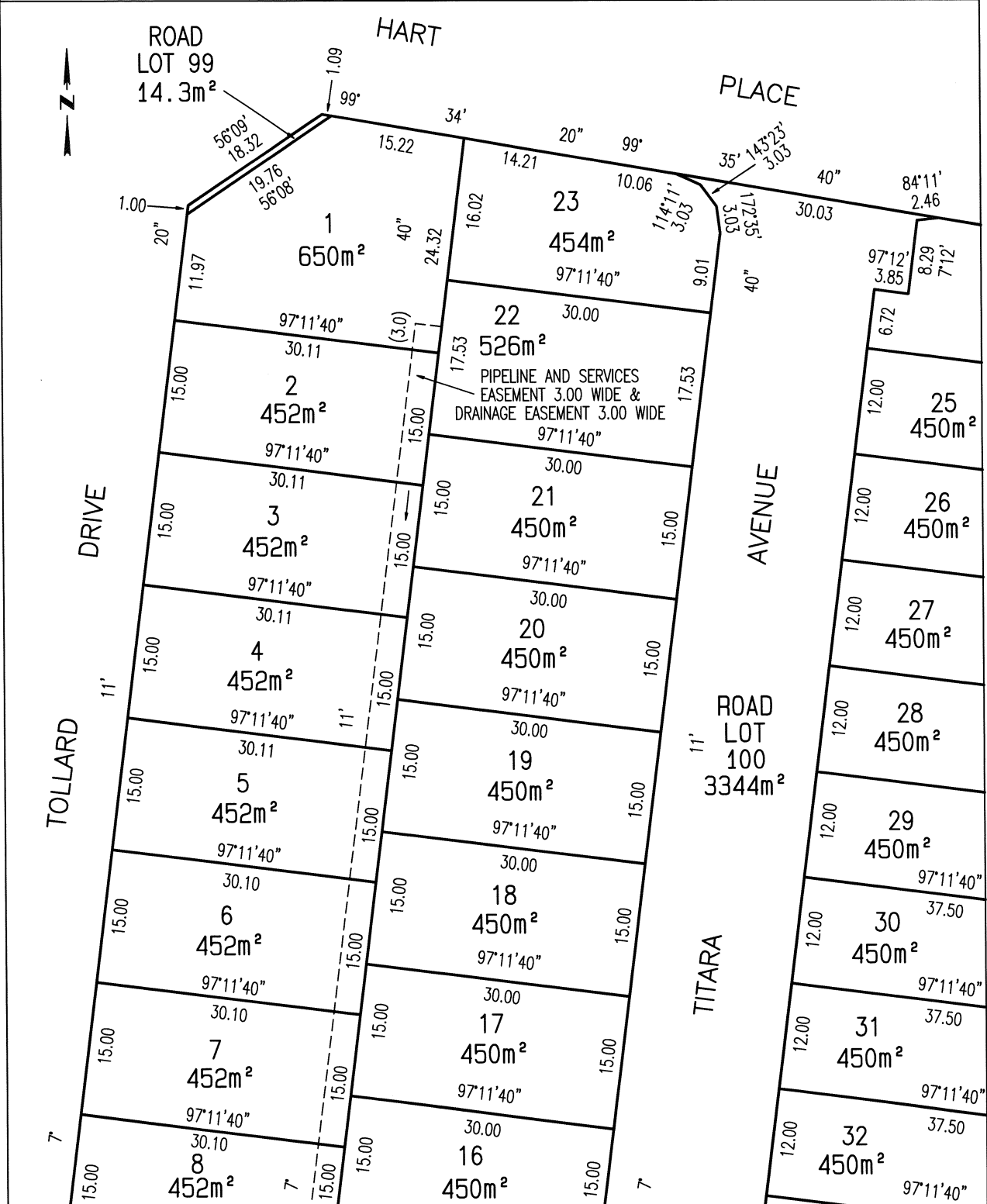

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Attorney

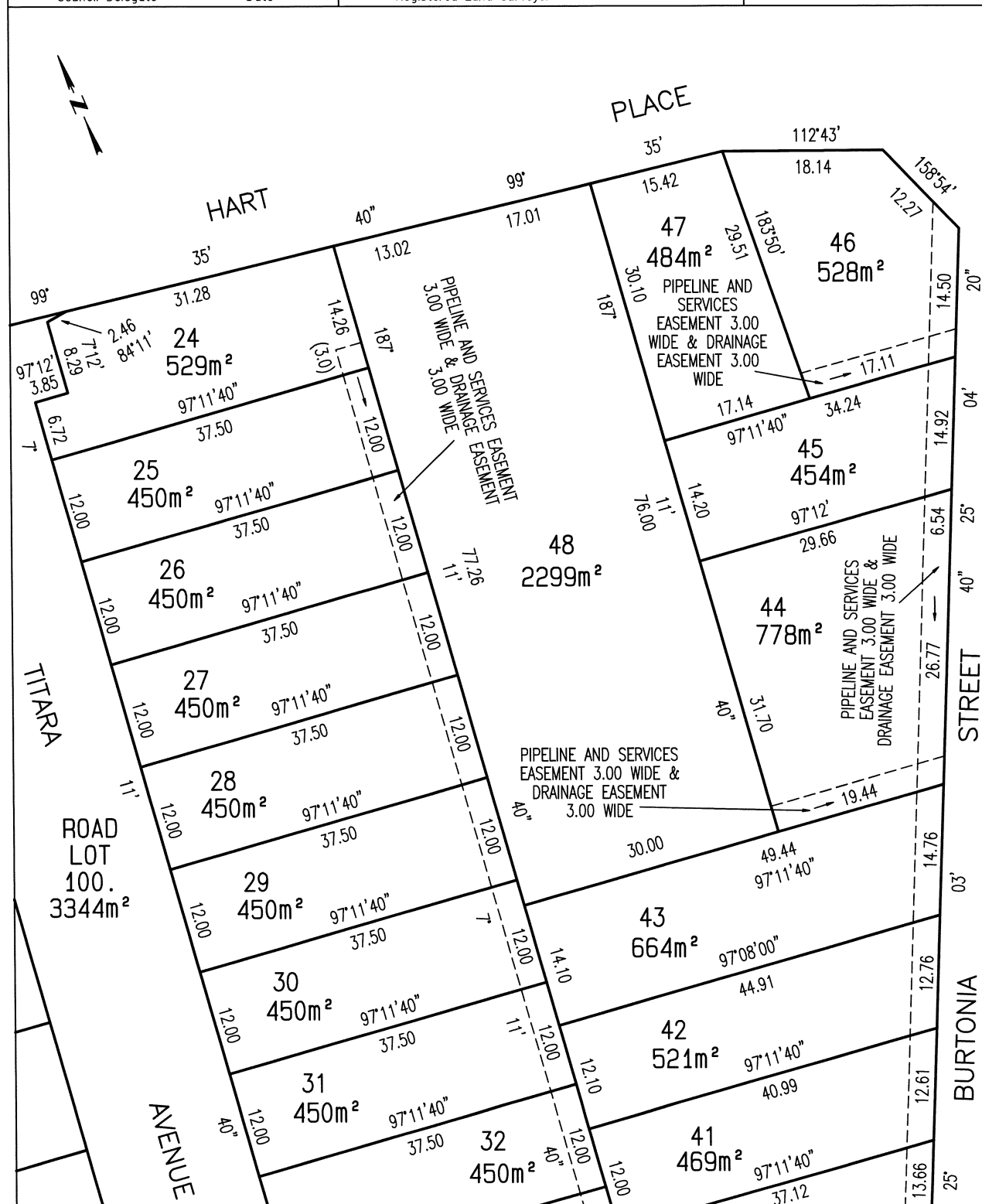
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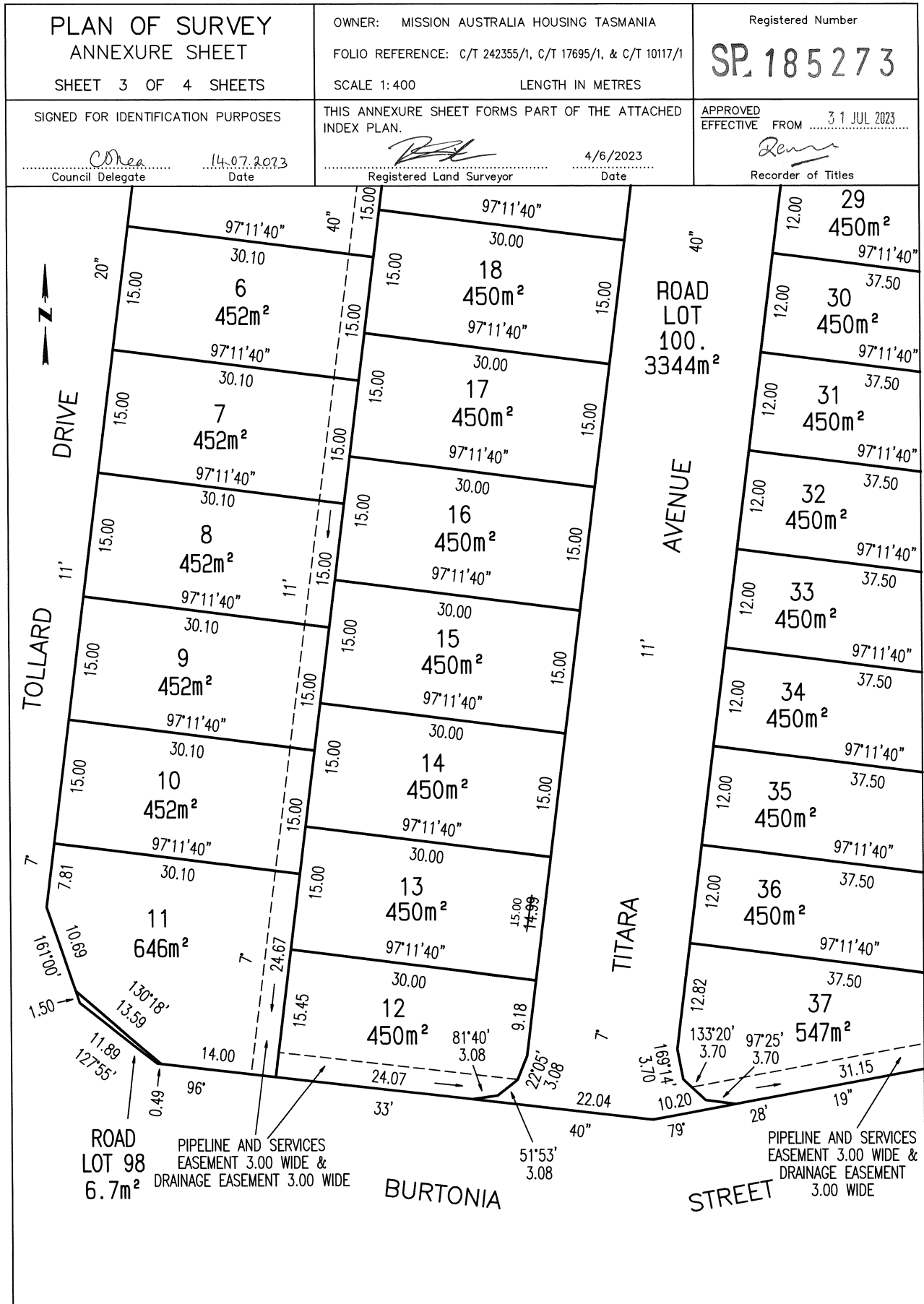
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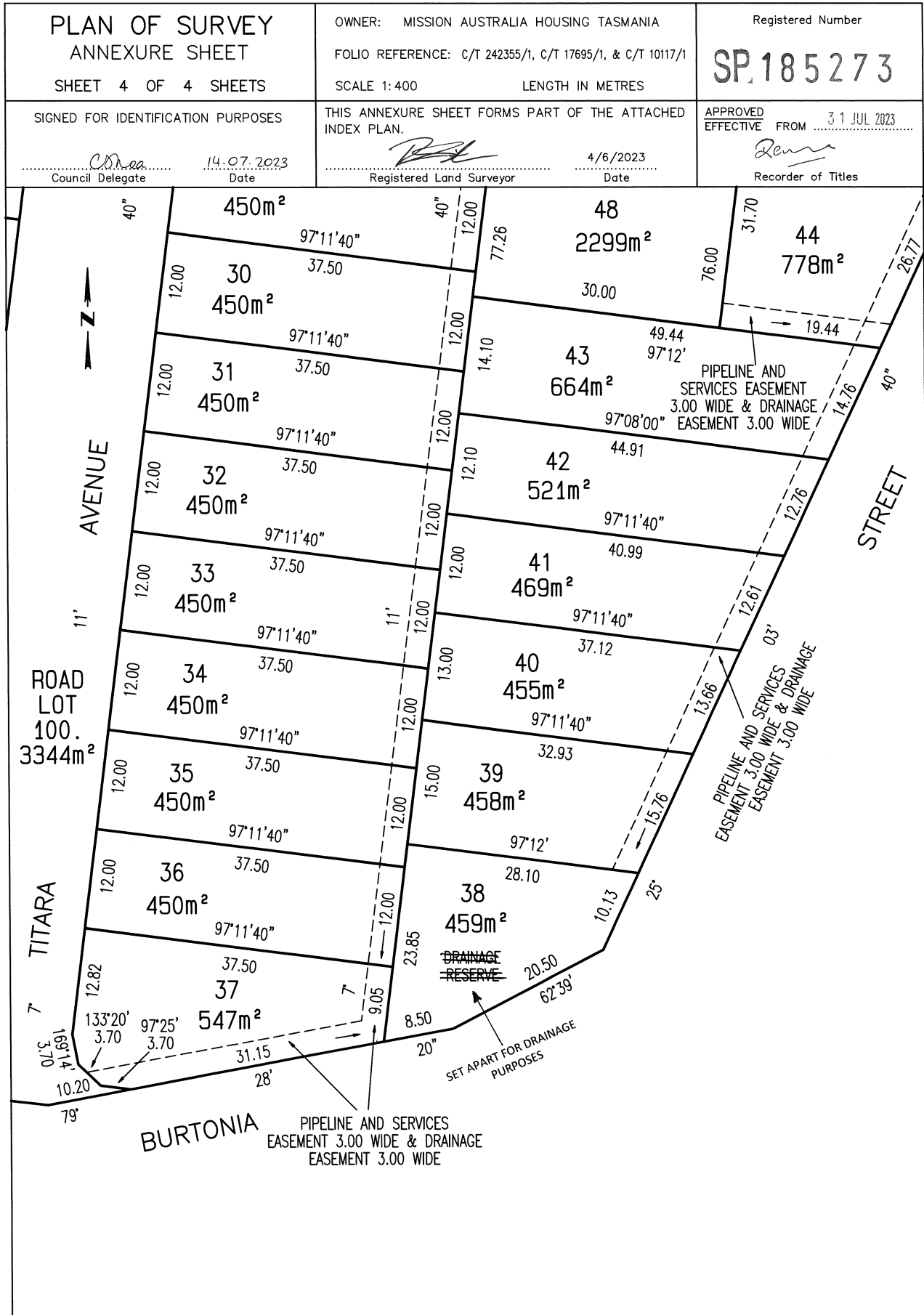
<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 4 SHEETS</p>	<p>OWNER: MISSION AUSTRALIA HOUSING TASMANIA</p> <p>FOLIO REFERENCE: C/T 242355/1, C/T 17695/1, & C/T 10117/1</p> <p>SCALE 1: 400 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 185273</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>C. Mees</i> 14.07.2023 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 4/6/2023 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 31 JUL 2023</p> <p><i>[Signature]</i> Recorder of Titles</p>



<p>PLAN OF SURVEY</p> <p>ANNEXURE SHEET</p> <p>SHEET 2 OF 4 SHEETS</p>	<p>OWNER: MISSION AUSTRALIA HOUSING TASMANIA</p> <p>FOLIO REFERENCE: C/T 242355/1, C/T 17695/1, & C/T 10117/1</p> <p>SCALE 1:400 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP.185273</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <div style="display: flex; justify-content: space-between;"> CDee 14.07.2023 </div> <div style="display: flex; justify-content: space-between;"> Council Delegate Date </div>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <div style="display: flex; justify-content: space-between;">  4/6/2023 </div> <div style="display: flex; justify-content: space-between;"> Registered Land Surveyor Date </div>	<p>APPROVED EFFECTIVE FROM 31 JUL 2023</p> <div style="text-align: center;">  Recorder of Titles </div>







Wilson Homes
250 Murray Street
HOBART TAS 7000

To whom it may concern,

Subject: Proposed New Dwelling – 18 Titara Avenue (Tiernan)

Under the MyHome Shared Equity Program, Homes Tasmania as co-owner is required to consent to Council applications and permit approvals for this property.

As a person acting as a delegate of Homes Tasmania pursuant to instrument of delegation dated 25 October 2023 made under the Homes Tasmania Act 2022 (Tas) I wish to advise that Homes Tasmania has no objections to the authorisation of Wilson Homes as the agent for submitting the council applications and permit approvals for the above property.

Yours sincerely



Pip Bilson
Acting Director
Homes Tasmania

24 December 2025

Attachments:
Copy:

DA
TASMANIAN PLANNING SCHEME

SHEET INDEX

1	COVER SHEET
2	SITE PLAN
3	SOIL & WATER MANAGEMENT PLAN
4	GROUND FLOOR PLAN
5	ELEVATIONS / SECTION
6	ELEVATIONS
7	WINDOW & DOOR SCHEDULES
8	CALCULATIONS
9	DETAILS (FACE BRICKWORK)
10	DETAILS (CLADDING)
11	ROOF DRAINAGE PLAN
12	FLOOR COVERINGS
13	KITCHEN DETAILS
14	BATHROOM DETAILS
15	WC DETAILS
16	ENSUITE DETAILS
17	LAUNDRY DETAILS
18	STANDARD SHOWER & WATERPROOFING
19	3D VIEWS
20	GENERAL NOTES
21	WET AREA & ENERGY EFFICIENCY NOTES

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR		
LIVING		121.14
PORCH		2.11
		123.25 m²

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	YES
BUSHFIRE	NO
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N2 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	M
SPECIFIC AREA PLAN OVERLAY	NO
TERRAIN CATEGORY	TC2
TOPOGRAPHIC CLASSIFICATION	T3
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	15.00km
ZONING	GENERAL RESIDENTIAL
AIRPORT OBSTACLE LIMITATION	AREA
CROWN OR COUNCIL LAND ON	

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 4,500mm	8,686mm
SIDE A	MIN. 1,500mm	3,500mm
SIDE B	MIN. 1,500mm	1,500mm
REAR	MIN. 1,500mm	7,294mm
BULK & SCALE		
SITE AREA	450m²	
SITE COVERAGE	MAX. 50%	27.39%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	761mm
FILL DEPTH	MAX. 1,000mm	755mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-
Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S) 2445mm	
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER CLADDING
SLAB CLASSIFICATION	TBC
INSULATION	
ROOF	SARKING UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

- ACCESSIBLE SANITARY COMPARTMENT: WC
ACCESSIBLE SHOWER LOCATION: BATH
- GENERAL NOTES:**
- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM
 - 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
 - REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE: _____ DATE: _____

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

PRELIMINARY PLAN SET

2	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2025.09.17	TRV	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

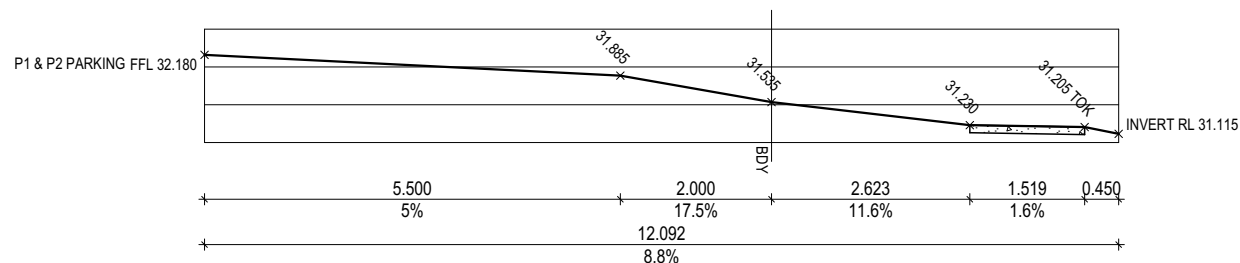
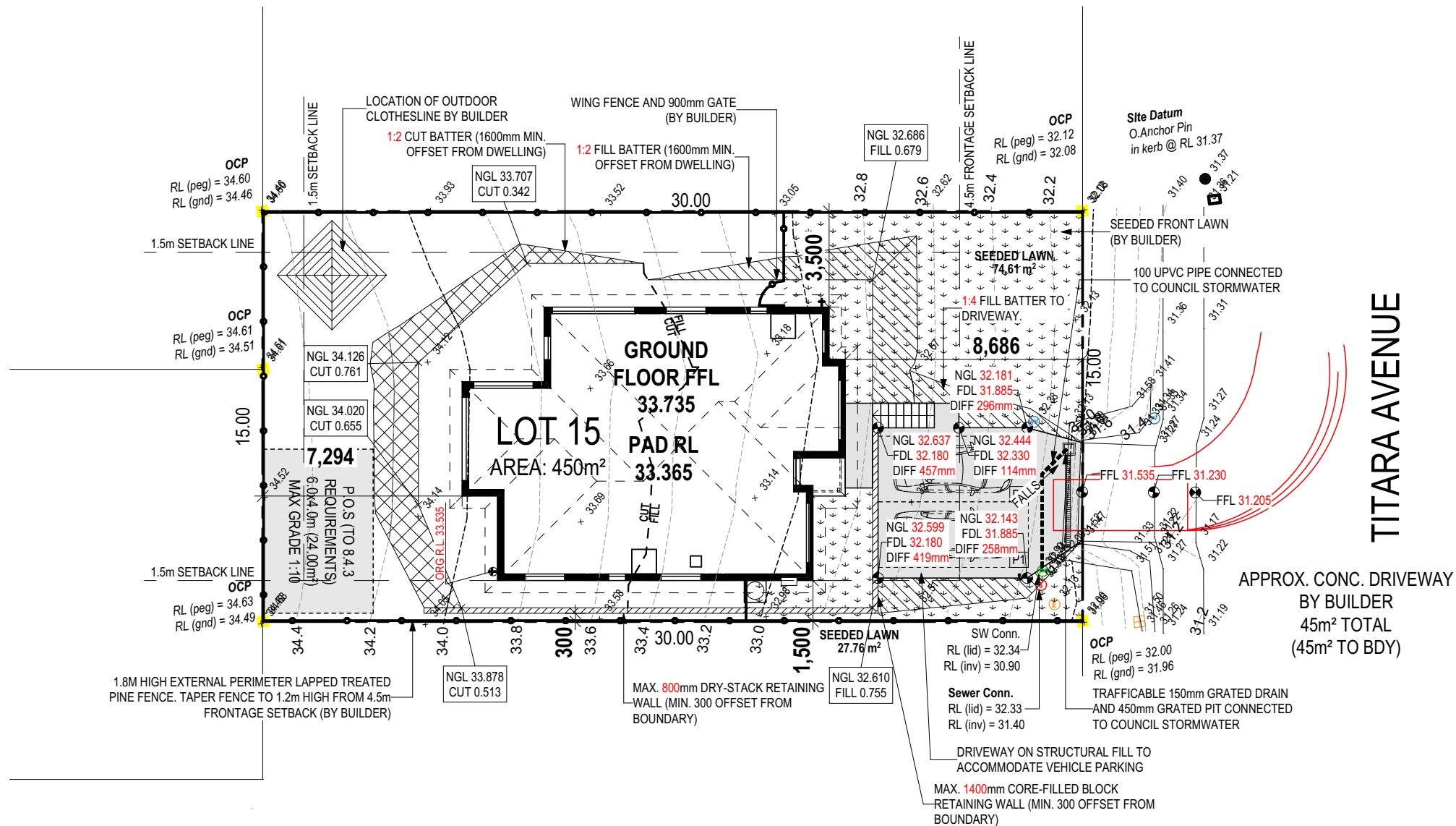
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	2 PRELIM PLANS - INITIAL ISSUE	TRV 17/09/2025	LOT / SECTION / CT: 15 / - / 185273	SHEET TITLE: COVER SHEET	SCALES: 1:100	
			COUNCIL: CLARENCE	SHEET No.: 1 / 21		

APPROX. CUT/FILL		
CUT	37.58m³	84.56t
FILL	37.66m³	84.74t
DIFFERENCE	0.08m³	0.18t
EVEN CUT & FILL		

DRY STACK WALLS <1m HIGH:
ISLAND BLOCK & PAVING FREESTONE
ECO RETAINING WALL INSTALLATION TO
MANUFACTURER'S SPECIFICATION AND
DETAILS



**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT**

PLAN ACCEPTANCE BY OWNER

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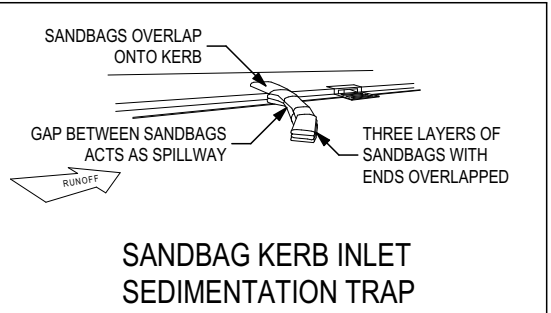
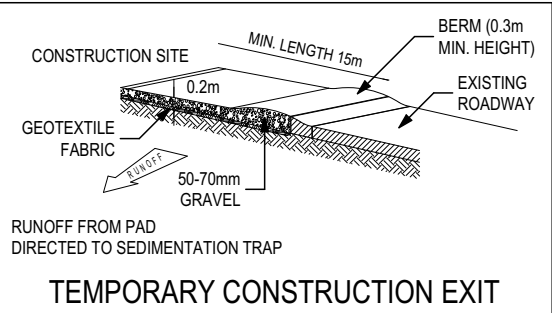
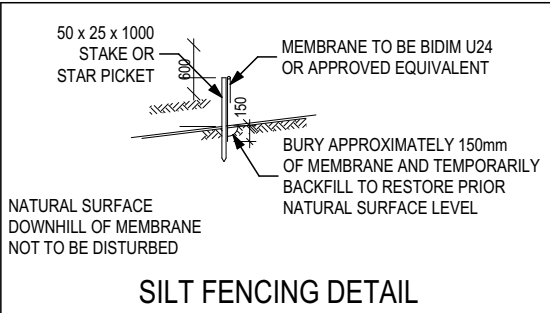
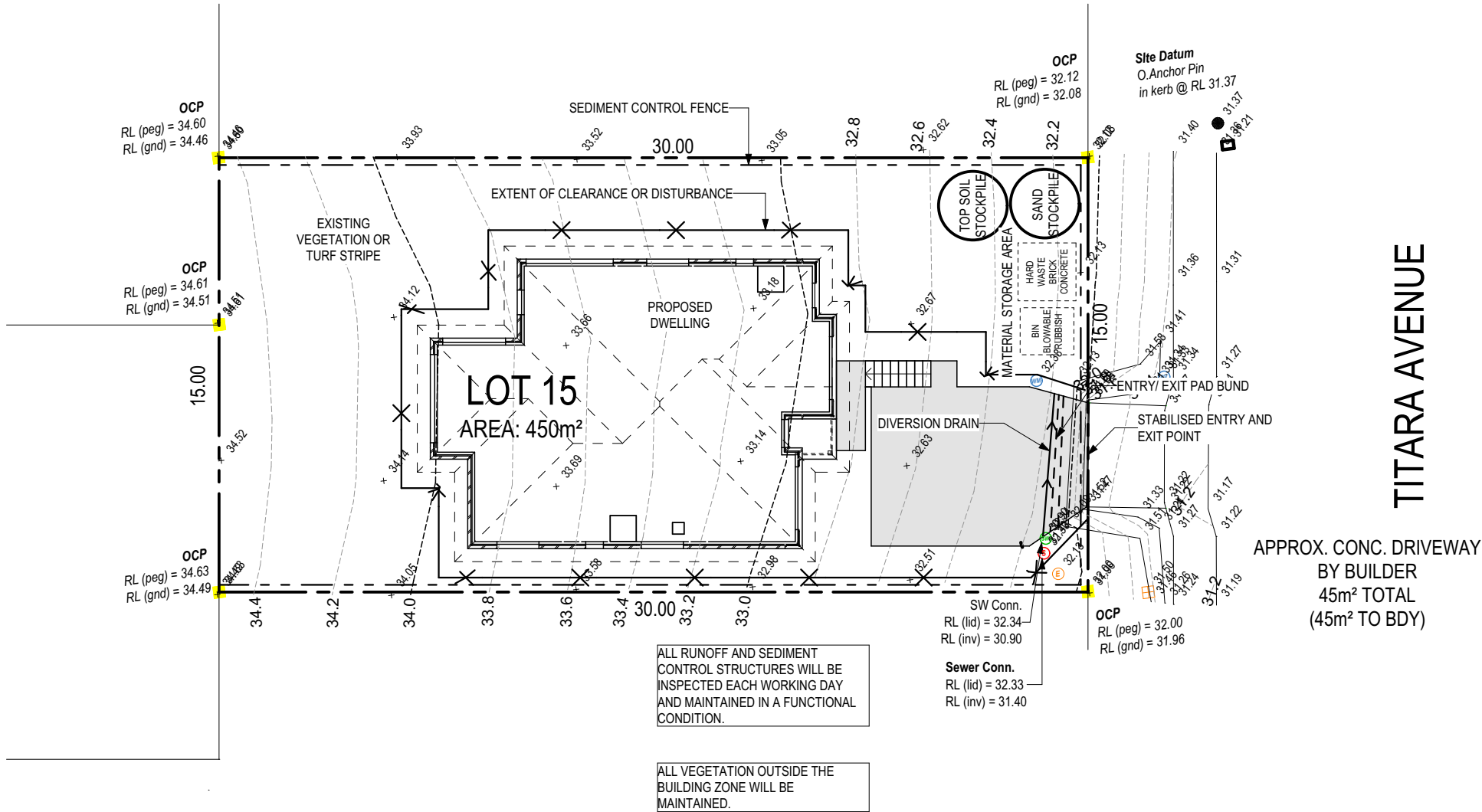
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						LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:			SHEET No.:	
						15 / - / 185273		CLARENCE		SITE PLAN		2 / 21	1:200	714423

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
 6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
 7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.




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(1 MAY 2023)
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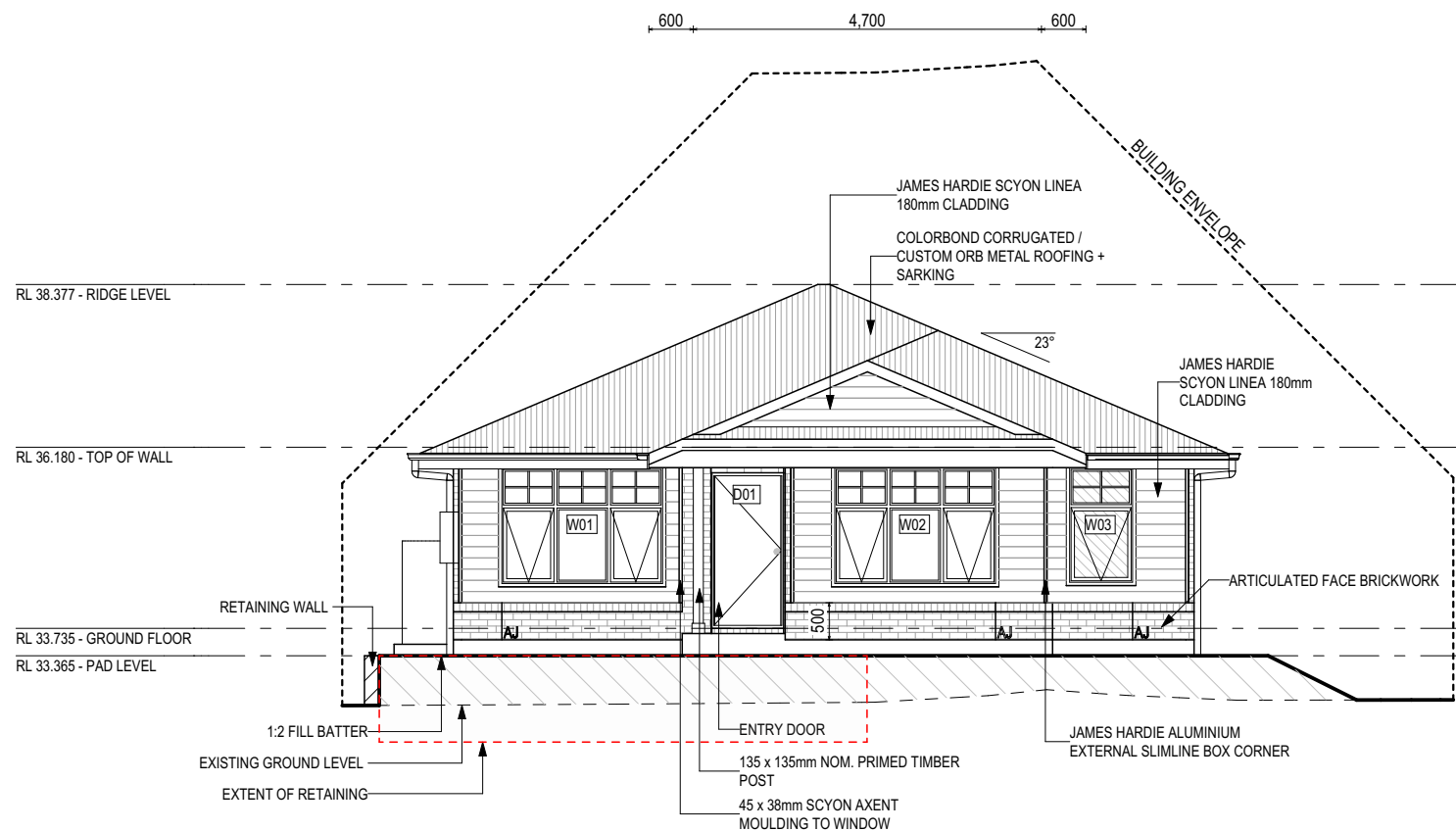
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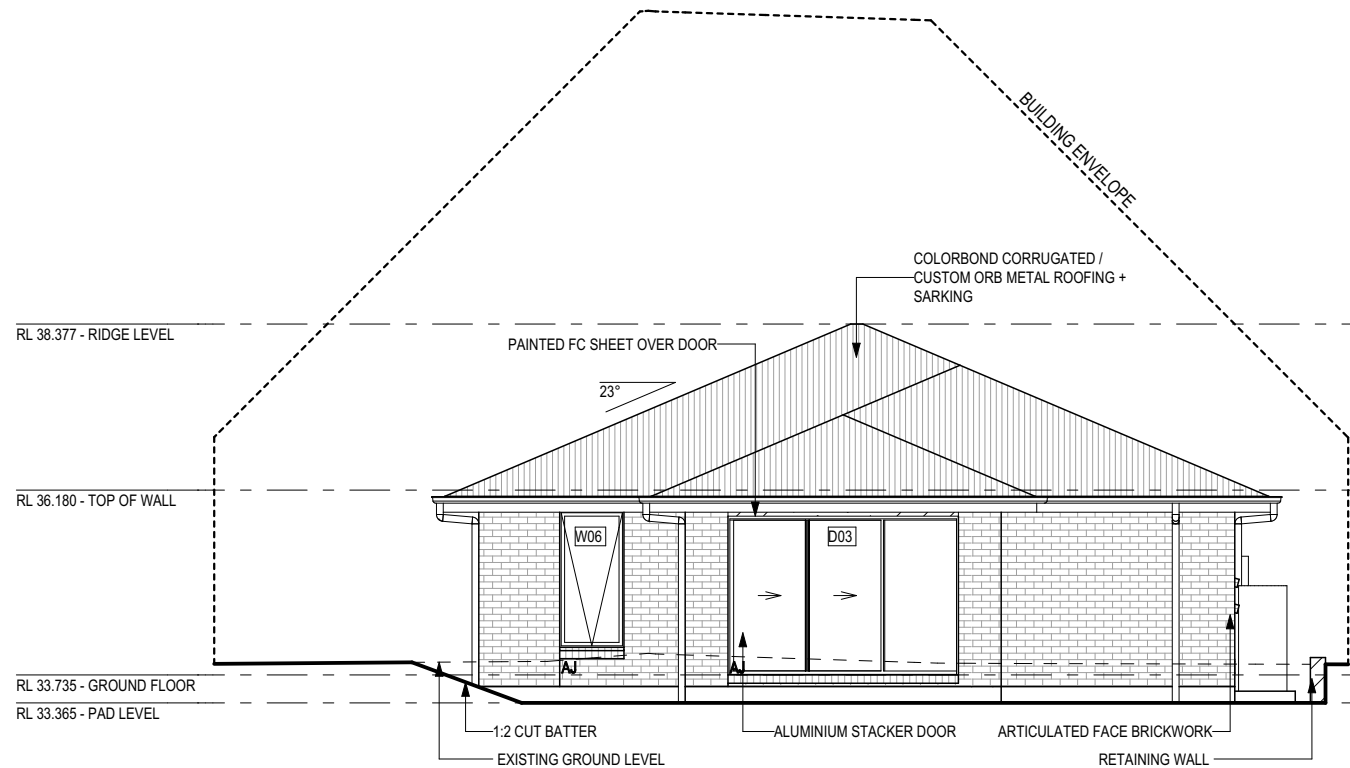
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	COPYRIGHT:		2	PRELIM PLANS - INITIAL ISSUE	TRV	17/09/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:			
	© 2025						18 TITARA AV, ROKEBY TAS 7019		HAMPTON		F-WDCEDE10HMPTA			
							LOT / SECTION / CT:		SHEET TITLE:		SHEET No.:			
						15 / - / 185273		COUNCIL:		SOIL & WATER MANAGEMENT PLAN		3 / 21	SCALES:	714423
								CLARENCE					1:200	

UNLESS NOTED OTHERWISE
ALL ROOMS ARE REFERENCED
AS FOLLOWS:





EAST ELEVATION
SCALE: 1:100



WEST ELEVATION
SCALE: 1:100

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- GENERAL BUILDING INFORMATION

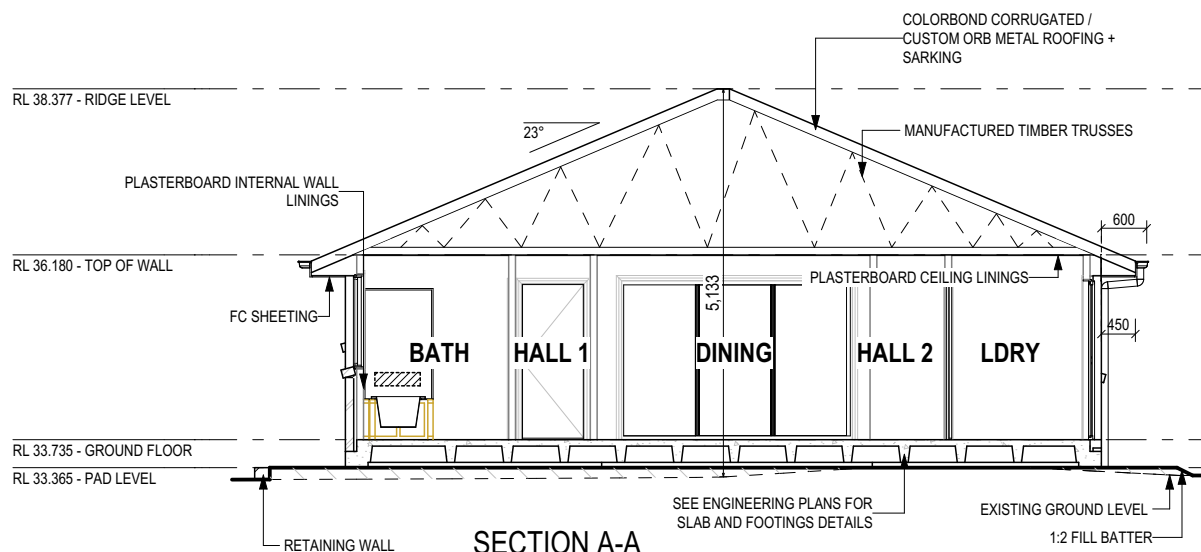
SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

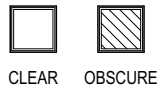
ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BRIC-001

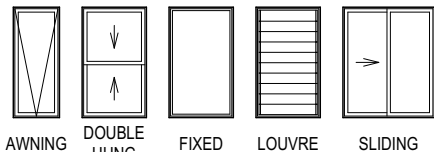


SECTION A-A
SCALE: 1:100

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

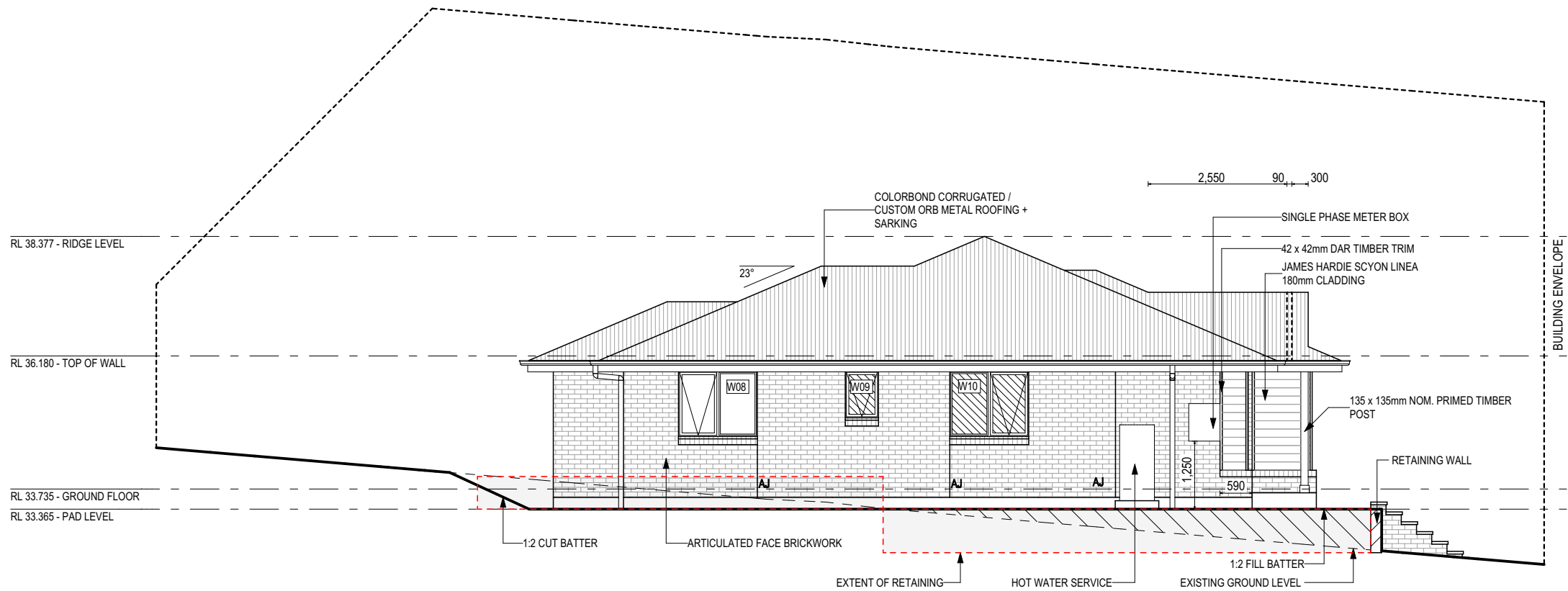
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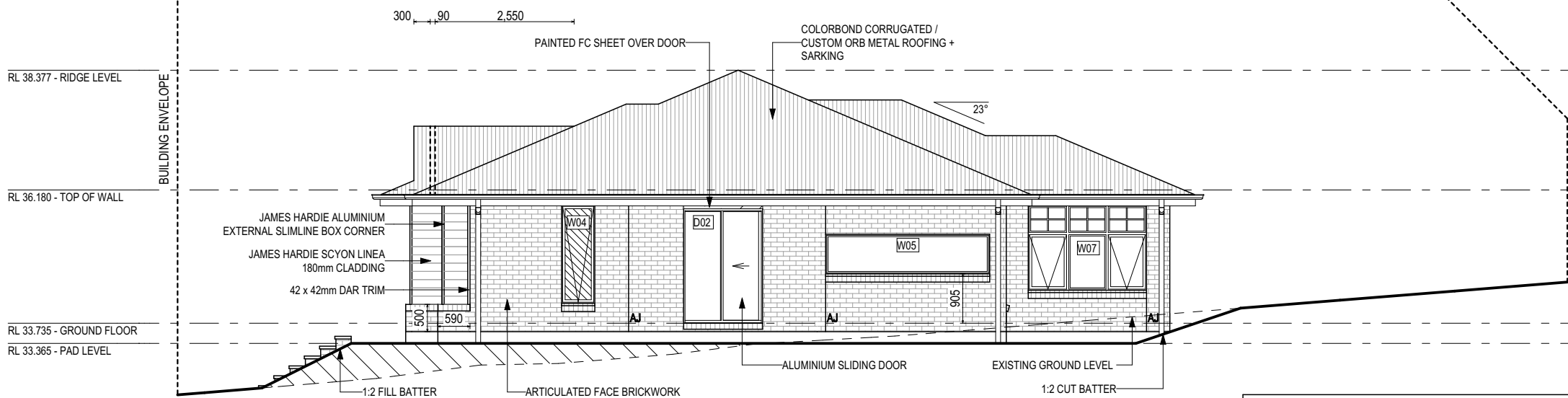
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			COUNCIL: CLARENCE	SCALES: 1:100		714423

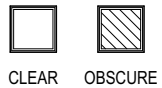


SOUTH ELEVATION
SCALE: 1:100

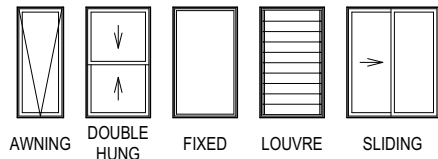


NORTH ELEVATION
SCALE: 1:100

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



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			LOT / SECTION / CT: 15 / - / 185273	SHEET TITLE: ELEVATIONS	SCALES: 1:100	
			COUNCIL: CLARENCE	SHEET No.: 6 / 21		714423

EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

	STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE <small>(SINGLE GLAZING U.N.O.)</small>	ADDITIONAL INFORMATION²
WINDOW																
	GROUND FLOOR	W01	FFF/AF1560x2170	SPECIAL	BED 2	1,560	2,170	7,460	3.39	ALUMINIUM	N/A	NONE	E	2.59	CLEAR, DOUBLE GLAZED	BP 1040, MP 723-723/723-723, GLAZING BARS
	GROUND FLOOR	W02	FFF/AF1560x2170	SPECIAL	BED 1	1,560	2,170	7,460	3.39	ALUMINIUM	N/A	NONE	E	2.59	CLEAR, DOUBLE GLAZED	BP 1040, MP 723-723/723-723, GLAZING BARS
	GROUND FLOOR	W03	F/A1609	AWNING	WC	1,543	850	4,786	1.31	ALUMINIUM	N/A	NONE	E	1.00	OBSCURE, DOUBLE GLAZED, TOUGHENED	BP 1028, GLAZING BARS
	GROUND FLOOR	W04	A1806	AWNING	ENS	1,800	610	4,820	1.10	ALUMINIUM	N/A	ANGLED	N	0.81	OBSCURE, DOUBLE GLAZED, TOUGHENED	
	GROUND FLOOR	W05	F150-0730	FIXED	KITCHEN	727	3,010	7,474	2.19	ALUMINIUM	N/A	ANGLED	N	1.92	CLEAR, DOUBLE GLAZED	
	GROUND FLOOR	W06	A1809	AWNING	KITCHEN	1,800	850	5,300	1.53	ALUMINIUM	N/A	ANGLED	W	1.21	CLEAR, DOUBLE GLAZED	
	GROUND FLOOR	W07	FFF/AF1560x2170	SPECIAL	LIVING	1,560	2,170	7,460	3.39	ALUMINIUM	N/A	ANGLED	N	2.59	CLEAR, DOUBLE GLAZED	BP 1040, MP 723-723/723-723, GLAZING BARS
	GROUND FLOOR	W08	AF1215	AWNING	BED 3	1,200	1,450	5,300	1.74	ALUMINIUM	N/A	ANGLED	S	1.38	CLEAR, DOUBLE GLAZED	MP 725
	GROUND FLOOR	W09	A0906	AWNING	WC	857	610	2,934	0.52	ALUMINIUM	N/A	ANGLED	S	0.35	OBSCURE, DOUBLE GLAZED, TOUGHENED	
	GROUND FLOOR	W10	FA1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	N/A	ANGLED	S	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725
								58,294 mm	20.29					15.83		
DOOR																
	GROUND FLOOR	D01	HD2110L	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	N/A	SNAP HEADER	E	1.41	N/A	
	GROUND FLOOR	D02	FS2115	SLIDING	LDRY	2,100	1,450	7,100	3.05	ALUMINIUM	N/A	SNAP HEADER	N	2.59	CLEAR, DOUBLE GLAZED, TOUGHENED	
	GROUND FLOOR	D03	SSF2130	STACKER	LIVING	2,100	3,048	10,296	6.40	ALUMINIUM	N/A	SNAP HEADER	W	5.67	CLEAR, DOUBLE GLAZED, TOUGHENED	
								23,536 mm	11.48					9.67		
								81,830 mm	31.77					25.50		

Window Manufacturer: Dowell Windows

No BAL / BAL 12.5 Window Type	Sliding Window	WERS Code	DOW-022-003	U Value	2.9	SHGC	0.64
	Awning Window	DOW-005-001	3.9	0.58			
	Fixed External Window	DOW-038-001	3.03	0.71			
	Sliding Door	DAR-034-001	3.97	0.63			
	Stacking Door	DAR-034-001	3.97	0.63			
	Hinged Door	DOW-017-001	4.1	0.55			
	Bi-Fold Door	DOW-020-001	4.1	0.54			
	BAL 19 Window Type	Sliding Window	TND-034-001	3.1	0.61		
		Awning Window	STG-001-066	3.91	0.54		
		Fixed External Window	DOW-038-005	3.02	0.66		
Sliding Door		AUW-009-009	4.03	0.58			
Stacking Door		AUW-009-009	4.03	0.58			
Hinged Door		GRN-009-001	4.25	0.53			
Bi-Fold Door		DOW-020-001	4.1	0.54			
BAL 29 Window Type	Sliding Window	TND-034-001	3.1	0.61			
	Awning Window	STG-001-066	3.91	0.54			
	Fixed External Window	DOW-038-005	3.02	0.66			
	Sliding Door	AMJ-007-005	4.03	0.59			
	Stacking Door	AMJ-007-005	4.03	0.59			
	Hinged Door	GRN-009-001	4.29	0.53			

NOTE:

Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

PICTURE, TV RECESS AND SS WINDOW OPENINGS				
QTY	TYPE	HEIGHT	WIDTH	AREA (m²)

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INTERIOR WINDOW & DOOR SCHEDULE								
	STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR								
	GROUND FLOOR	3	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
	GROUND FLOOR	1	1060 SS	SQUARE SET OPENING	2,155	1,060	N/A	
	GROUND FLOOR	1	1200 SS	SQUARE SET OPENING	2,155	1,200	N/A	
	GROUND FLOOR	2	2 x 720	SWINGING	2,040	1,440	N/A	
	GROUND FLOOR	2	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
	GROUND FLOOR	1	720	SWINGING	2,040	720	N/A	
	GROUND FLOOR	6	820	SWINGING	2,040	820	N/A	
	GROUND FLOOR	1	900 SS	SQUARE SET OPENING	2,155	900	N/A	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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REVISION

1

DRAFT SALE PLAN - CT1

2

PRELIM PLANS - INITIAL ISSUE

DRAWN

HMI

25/08/2025

TRV

17/09/2025

CLIENT:

LAURA GRACE TIERNAN

ADDRESS:

18 TITARA AV, ROKEBY TAS 7019

LOT / SECTION / CT:

15 / - / 185273

COUNCIL:

CLARENCE

HOUSE DESIGN:

EDEN 13

FACADE DESIGN:

HAMPTON

SHEET TITLE:

WINDOW & DOOR SCHEDULES

SHEET No.:

7 / 21

HOUSE CODE:

H-WDCEDE10SA

FACADE CODE:

F-WDCEDE10HMPTA

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Template Version: 24.041

NATURAL LIGHT AND VENTILATION						
ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ`D (m2)	VENTILATION ACH`D (m2)
OPEN KITCHEN/ LIVING/ DINING	39.35 m²	W05, W06, W07, D03	3.94 m²	11.39 m²	1.97 m²	6.78 m²
BED 1	11.21 m²	W02	1.12 m²	2.59 m²	0.56 m²	1.36 m²
BED 2	9.84 m²	W01	0.98 m²	2.59 m²	0.49 m²	1.36 m²
BED 3	10.44 m²	W08	1.04 m²	1.38 m²	0.52 m²	0.79 m²
PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)						
PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).						

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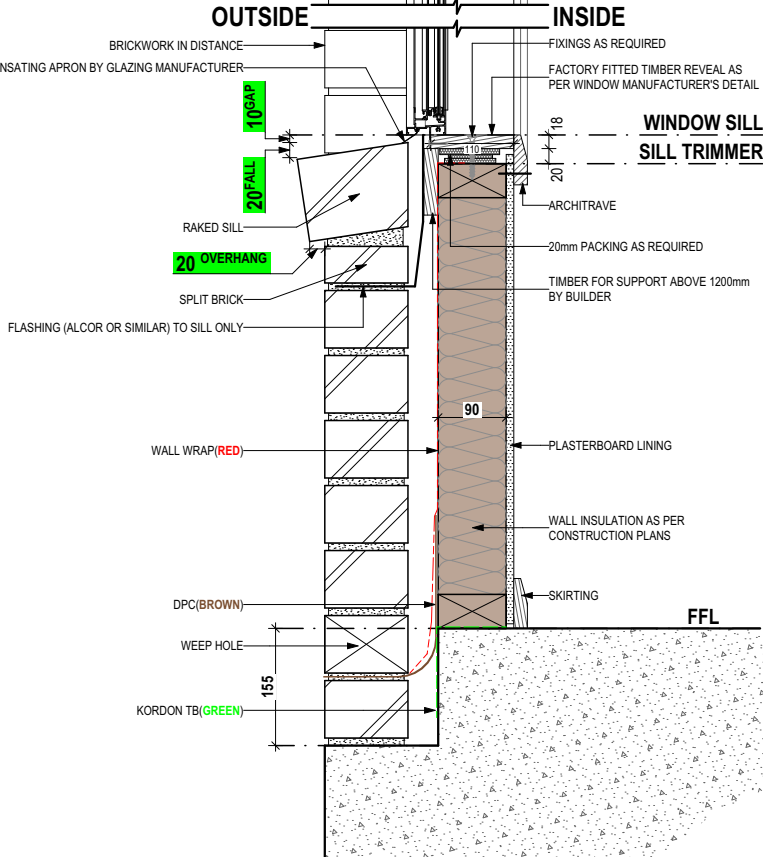
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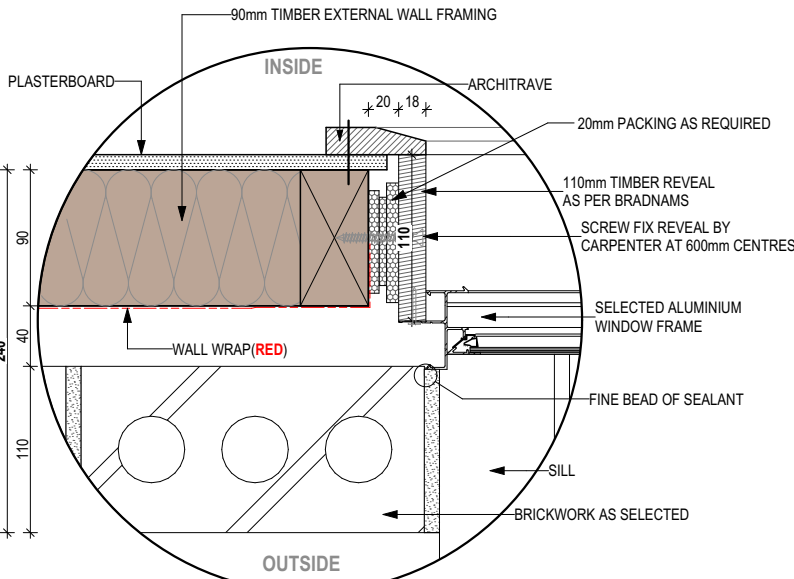
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	SPECIFICATION:	REVISION		DRAWN	CLIENT:		HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714423
	DISCOVERY	1	DRAFT SALE PLAN - CT1	HMI 25/08/2025	LAURA GRACE TIERNAN		EDEN 13		H-WDCEDE10SA	
	COPYRIGHT:	2	PRELIM PLANS - INITIAL ISSUE	TRV 17/09/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:	
	© 2025				18 TITARA AV, ROKEBY TAS 7019		HAMPTON		F-WDCEDE10HMPTA	
					LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	
					15 / - / 185273	CLARENCE	CALCULATIONS	8 / 21		



DETAILS
SCALE: 1:5

STANDARD BRICK								STANDARD BRICK							
BRICKWORK DIMENSIONS		Bricks per m ² in wall = 48.5 approx.				all dimensions in mm		BRICKWORK DIMENSIONS		Bricks per m ² in wall = 48.5 approx.				all dimensions in mm	
FORMAT SIZE: 240x120x86mm		MANUFACTURING SIZE: 230x110x76mm		VERTICAL GAUGE: 7 Courses to 600mm		FORMAT SIZE: 240x120x86mm		MANUFACTURING SIZE: 230x110x76mm		VERTICAL GAUGE: 7 Courses to 600mm					
NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT
1	230	250	86	26	6230	6250	2229	11	2630	2650	943	36' ₂	8630	NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.	3086
1' ₂	350	370		26' ₂	6350	6370		11' ₂	2750	2770		36' ₂	8750		
2	470	490	172	27	6470	6490	2314	12	2870	2890	1029	37	8870		3172
2' ₂	590	610		27' ₂	6590	6610		12' ₂	2990	3010		37' ₂	8990		
3	710	730	257	28	6710	6730	2400	13	3110	3130	1114	38	9110		3257
3' ₂	830	850		28' ₂	6830	6850		13' ₂	3230	3250		38' ₂	9230		
4	950	970	343	29	6950	6970	2486	14	3350	3370	1200	39	9350		3343
4' ₂	1070	1090		29' ₂	7070	7090		14' ₂	3470	3490		39' ₂	9470		
5	1190	1210	429	30	7190	7210	2572	15	3590	3610	1286	40	9590		3429
5' ₂	1310	1330		30' ₂	7310	7330		15' ₂	3710	3730		40' ₂	9710		
6	1430	1450	514	31	7430	7450	2657	16	3830	3850	1372	41	9830		3514
6' ₂	1550	1570		31' ₂	7550	7570		16' ₂	3950	3970		41' ₂	9950		
7	1670	1690	600	32	7670	7690	2743	17	4070	4090	1457	42	10070		3600
7' ₂	1790	1810		32' ₂	7790	7810		17' ₂	4190	4210		42' ₂	10190		
8	1910	1930	686	33	7910	7930	2829	18	4310	4330	1543	43	10310		3686
8' ₂	2030	2050		33' ₂	8030	8050		18' ₂	4430	4450		43' ₂	10430		
9	2150	2170	772	34	8150	8170	2914	19	4550	4570	1629	44	10550		3772
9' ₂	2270	2290		34' ₂	8270	8290		19' ₂	4670	4690		44' ₂	10670		
10	2390	2410	857	35	8390	8400	3000	20	4790	4810	1714	45	10790		3857
								20' ₂	4910	4930		45' ₂	10910		
								21	5030	5050	1800	46	11030		3943
								21' ₂	5150	5170		46' ₂	11150		
								22	5270	5290	1886	47	11270		4029
								22' ₂	5390	5410		47' ₂	11390		
								23	5510	5530	1972	48	11510		4114
								23' ₂	5630	5650		48' ₂	11630		
								24	5750	5770	2057	49	11750		4200
								24' ₂	5870	5890		49' ₂	11870		
								25	5990	6010	2143	50	11990		4286
								25' ₂	6110	6130		100	23990		8572



PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

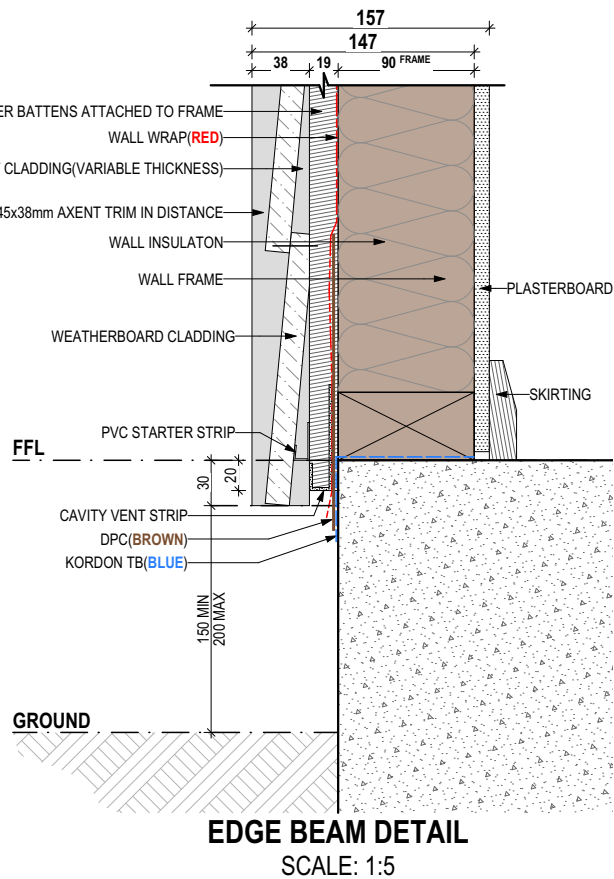
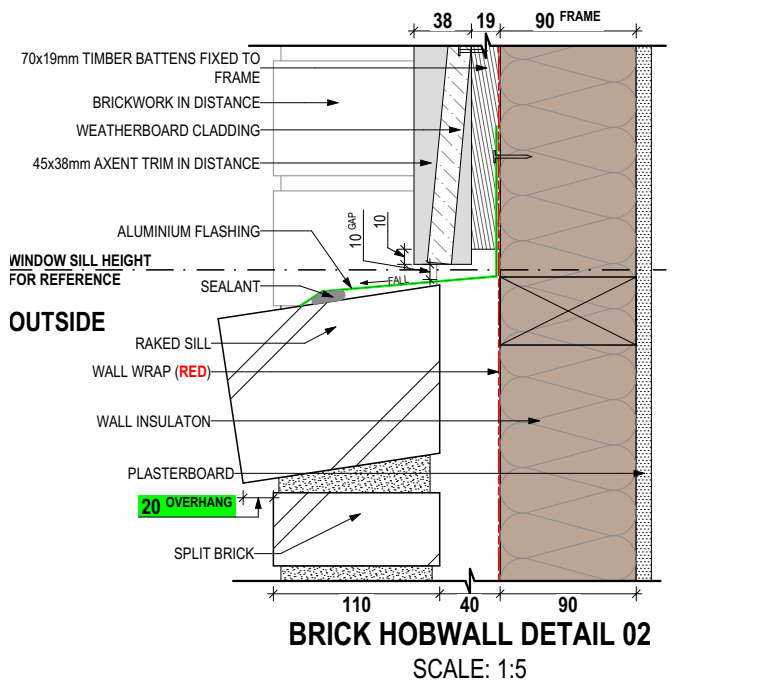
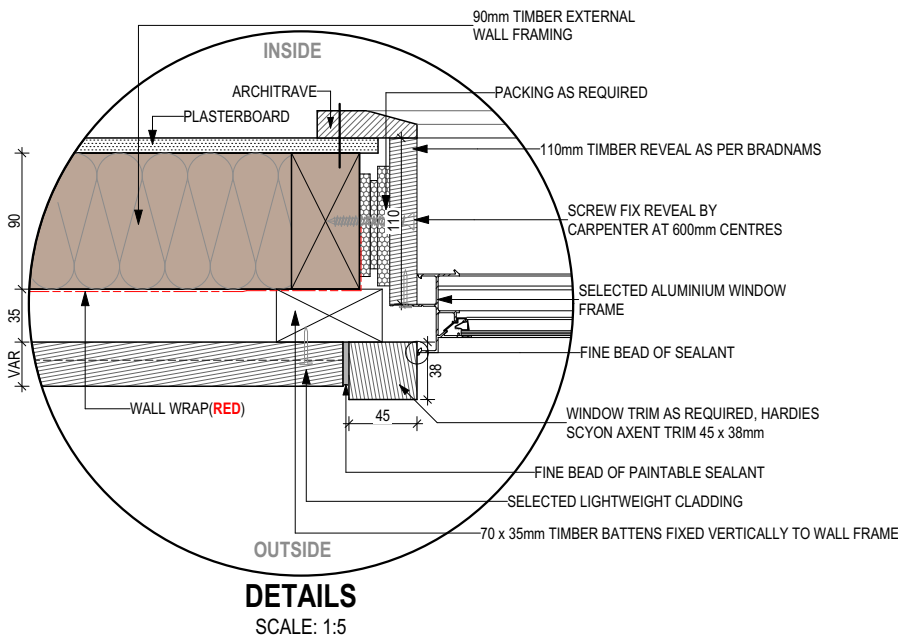
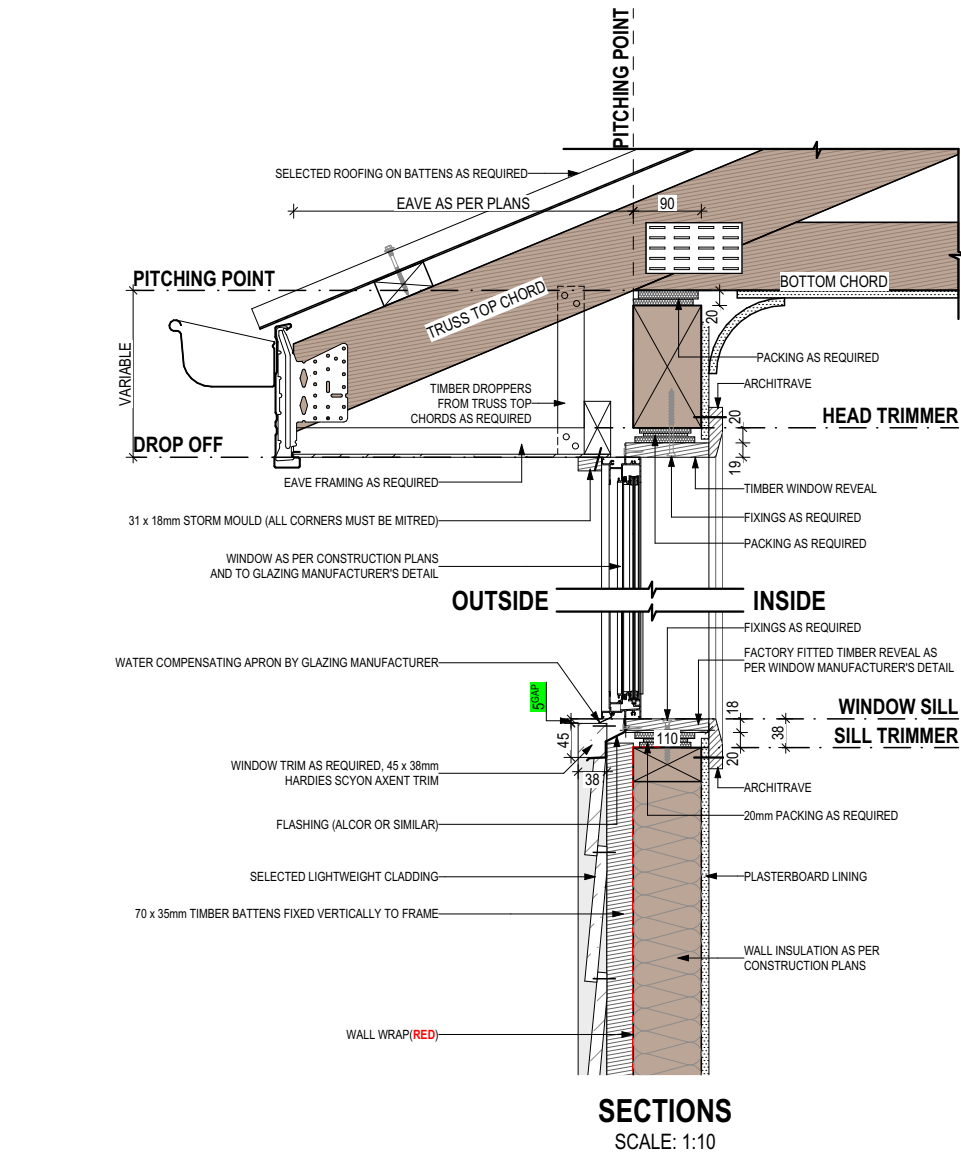
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING

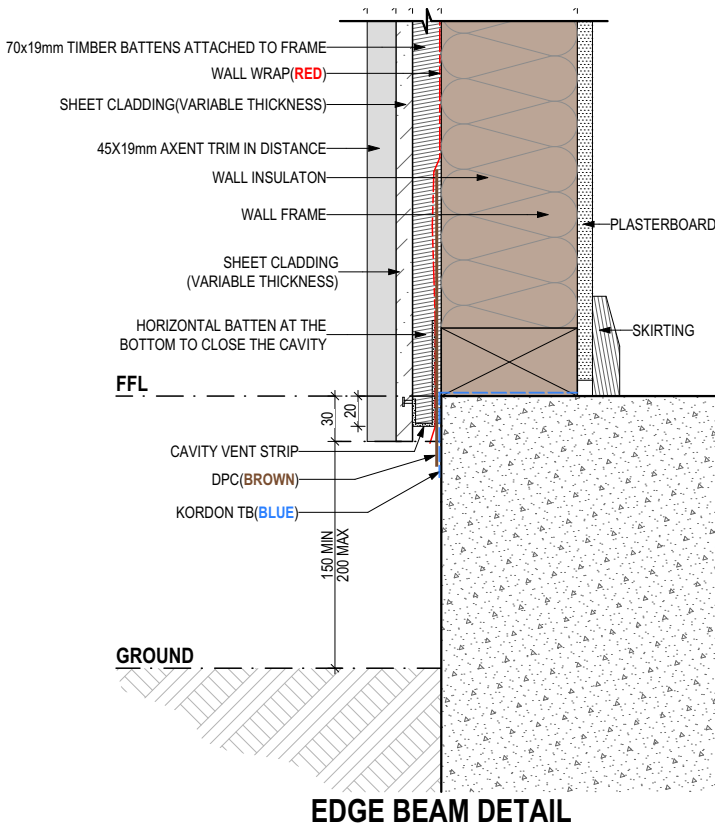
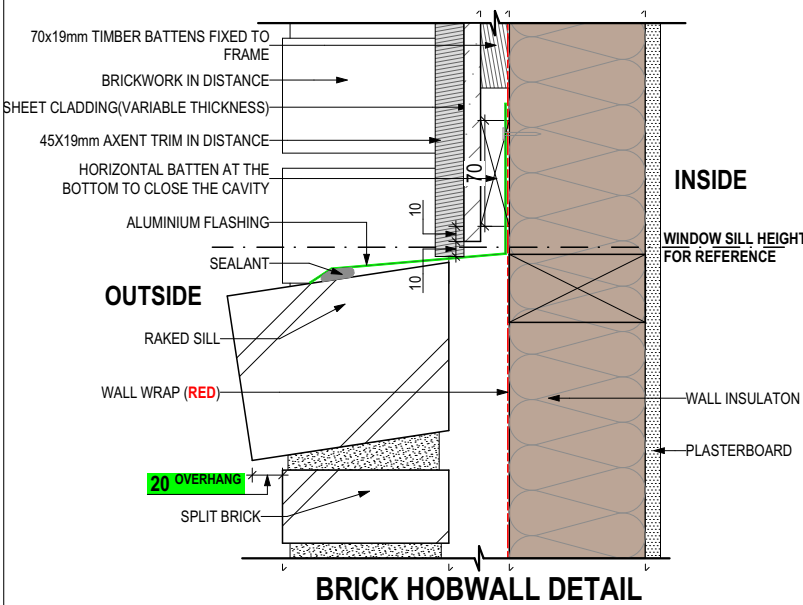
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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REFER TO W-CLAD-001 & W-CLAD-002 FOR FULL DETAIL



SHEET CLADDING



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE
ACCEPTED ON THIS PLAN AFTER SIGNING
SIGNATURE:

DATE:

THIS DWELLING IS BEING CONSTRUCTED IN A [Unused] AREA
RESTRICTIONS FOR CONSTRUCTION METHODS/MATERIALS APPLY. REFER TO NOTES



SPECIFICATION:
DISCOVERY
COPYRIGHT:
© 2025

REVISION		DRAWN	
1	DRAFT SALE PLAN - CT1	HMI	25/08/2025
2	PRELIM PLANS - INITIAL ISSUE	TRV	17/09/2025

CLIENT:
LAURA GRACE TIERNAN
ADDRESS:
18 TITARA AV, ROKEBY TAS 7019
LOT / SECTION / CT:
15 / - / 185273
COUNCIL:
CLARENCE

HOUSE DESIGN:
EDEN 13
FACADE DESIGN:
HAMPTON
SHEET TITLE:
DETAILS (CLADDING)

HOUSE CODE:
H-WDCED10SA
FACADE CODE:
F-WDCED10HMPTA
SHEET No.:
10 / 21

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AND VERIFY DIMENSIONS AND
LEVELS PRIOR TO THE
COMMENCEMENT OF ANY WORK. ALL
DISCREPANCIES TO BE REPORTED
TO THE DRAFTING OFFICE.

714423

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

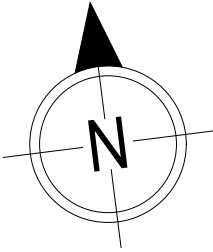
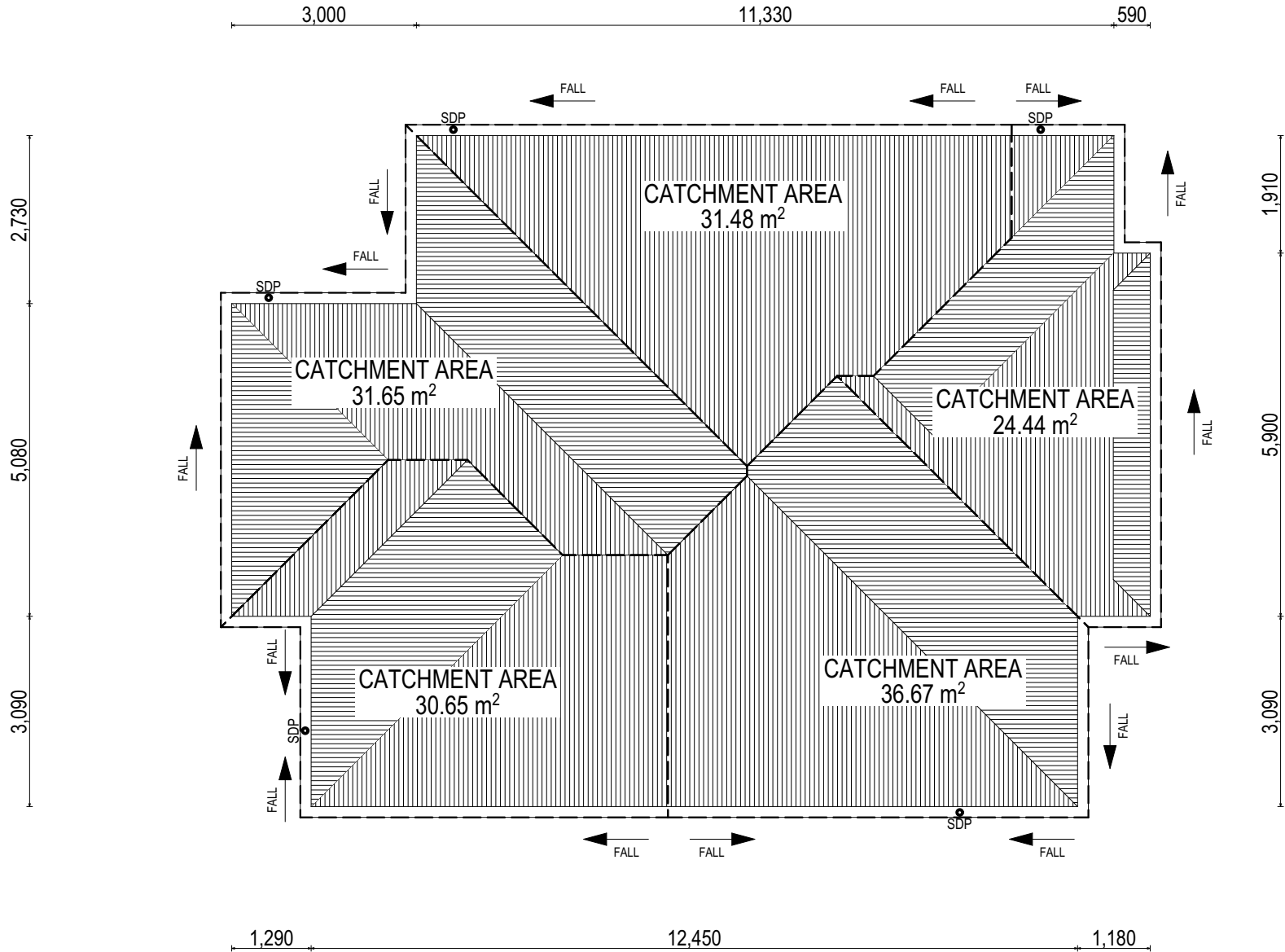
AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	145.68	Flat Roof Area (excluding gutter and slope factor) (m ²)
	159.56	Roof Surface Area (includes slope factor, excludes gutter) (m ²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	154.88	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	187.40	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²)
Required Downpipes	2.92	Ac / Acdp
Downpipes Provided	5	

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SPECIFICATION: DISCOVERY	REVISION	DRAFT SALE PLAN - CT1	DRAWN	HMI	25/08/2025	CLIENT: LAURA GRACE TIERNAN	HOUSE DESIGN: EDEN 13	HOUSE CODE: H-WDCEDE10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714423
COPYRIGHT: © 2025		2 PRELIM PLANS - INITIAL ISSUE	TRV	17/09/2025		ADDRESS: 18 TITARA AV, ROKEBY TAS 7019	FACADE DESIGN: HAMPTON	FACADE CODE: F-WDCEDE10HMPTA	
						LOT / SECTION / CT: 15 / - / 185273	SHEET TITLE: ROOF DRAINAGE PLAN	SHEET No.: 11 / 21	
						COUNCIL: CLARENCE		SCALES: 1:100	



EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

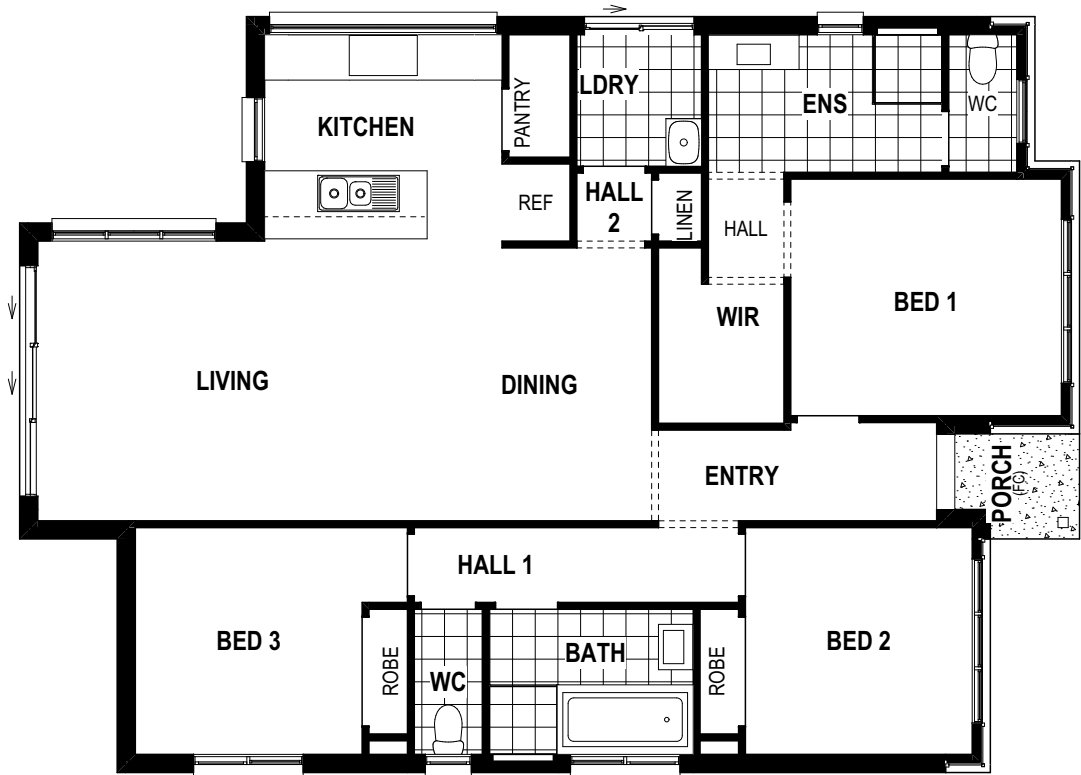
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	DECKING



SUBJECT TO NCC 2022

(1 MAY 2023)

WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

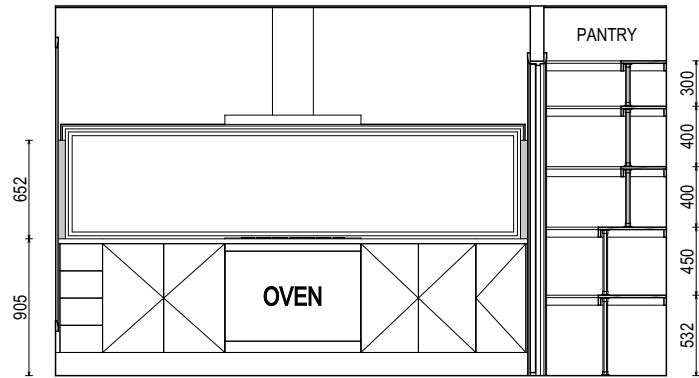
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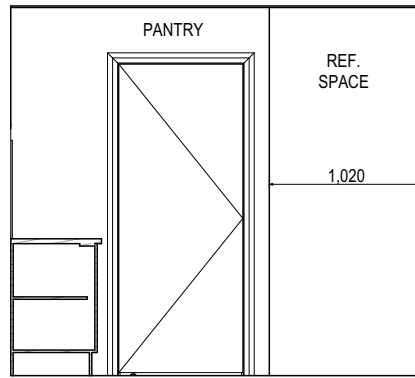
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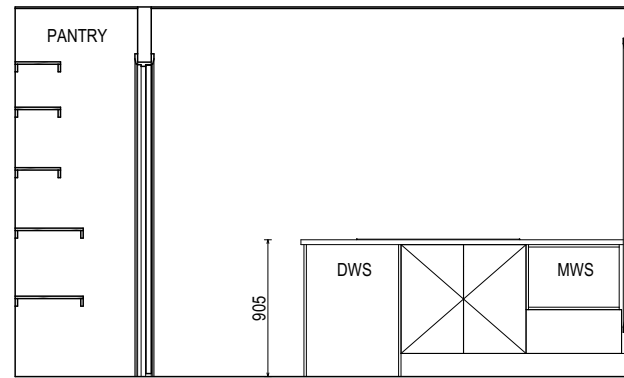
SPECIFICATION: DISCOVERY	REVISION	DRAWN	CLIENT: LAURA GRACE TIERNAN	HOUSE DESIGN: EDEN 13	HOUSE CODE: H-WDCEDE10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714423
COPYRIGHT: © 2025	1 DRAFT SALE PLAN - CT1	HMI 25/08/2025	ADDRESS: 18 TITARA AV, ROKEBY TAS 7019	FACADE DESIGN: HAMPTON	FACADE CODE: F-WDCEDE10HMPTA	
	2 PRELIM PLANS - INITIAL ISSUE	TRV 17/09/2025	LOT / SECTION / CT: 15 / - / 185273	SHEET TITLE: FLOOR COVERINGS	SCALES: 1:100	
			COUNCIL: CLARENCE	SHEET No.: 12 / 21		



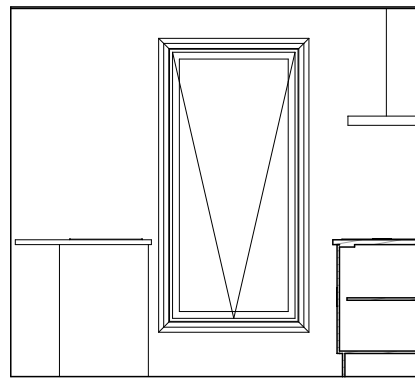
ELEVATION A
SCALE: 1:50



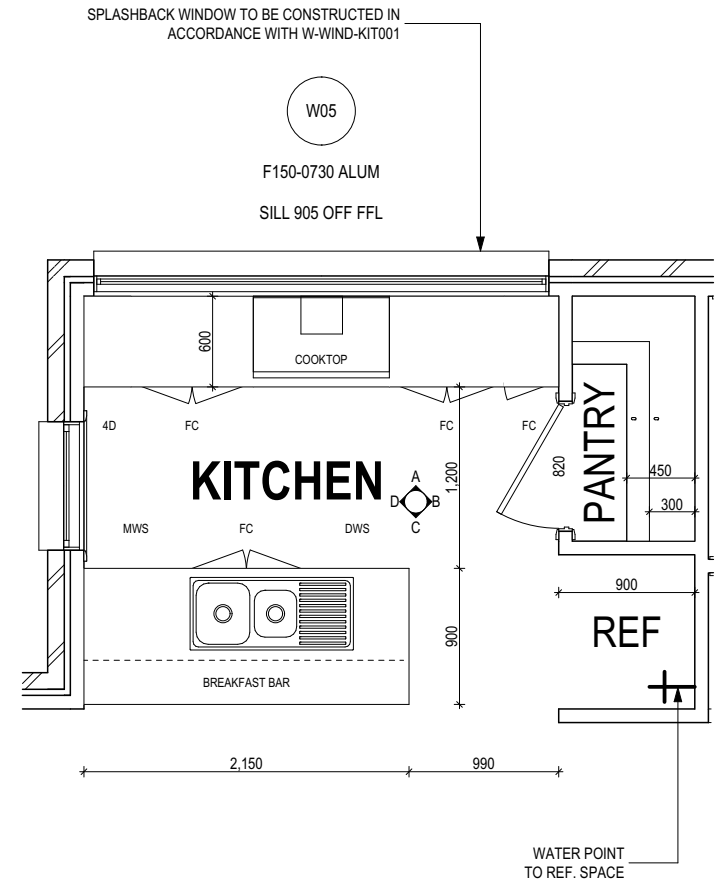
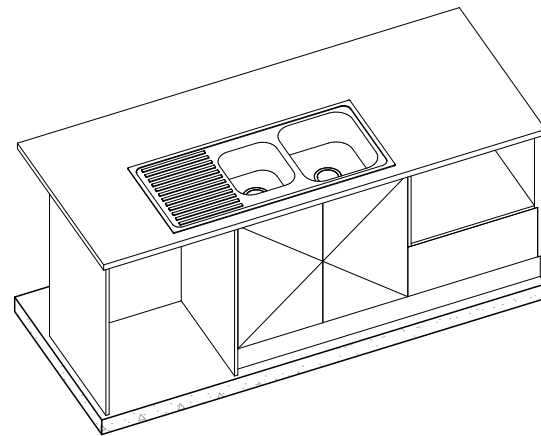
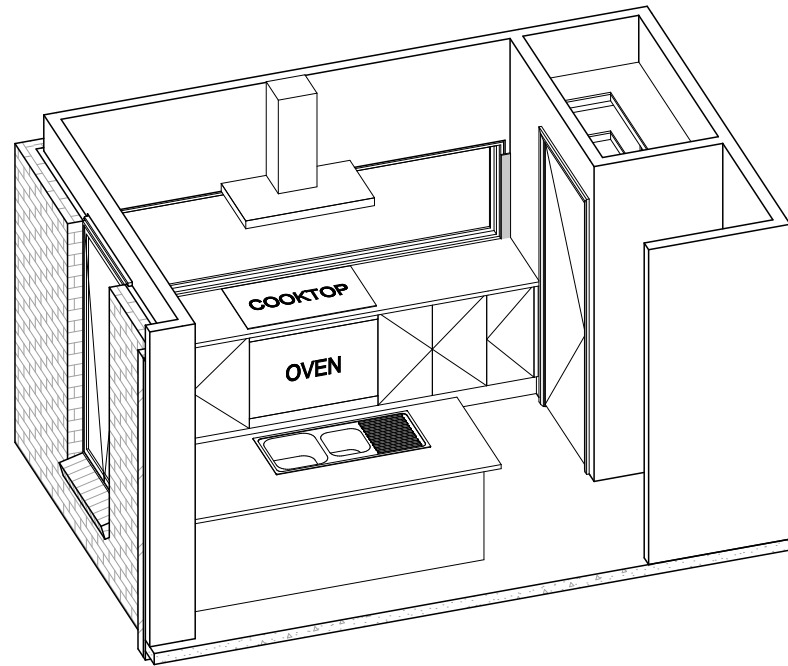
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER


SIGNATURE: DATE:

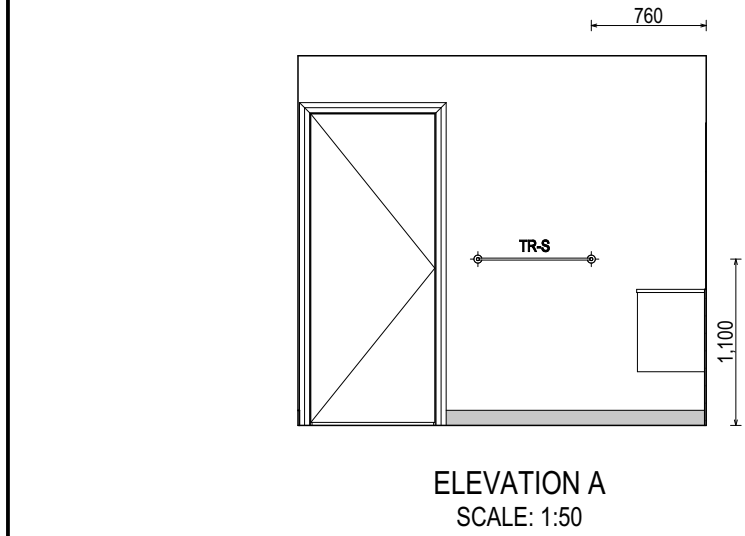
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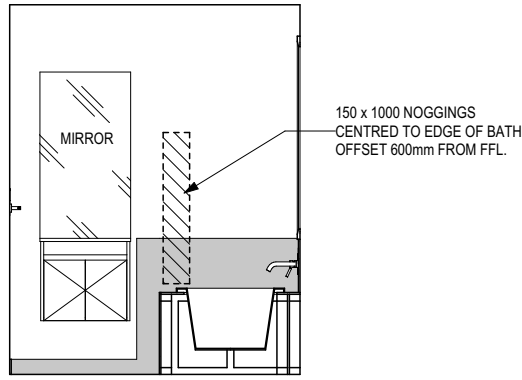
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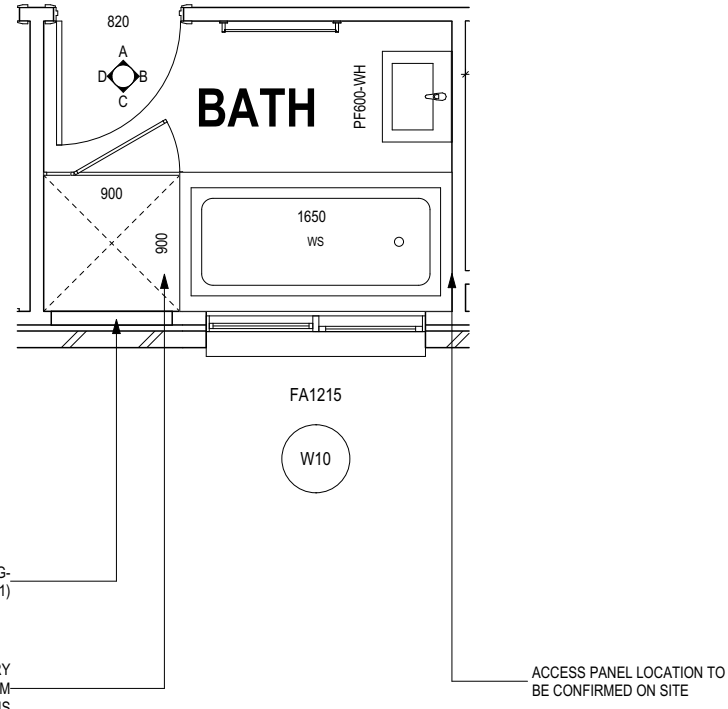
	SPECIFICATION: DISCOVERY		REVISION		DRAWN		CLIENT:				HOUSE DESIGN:				HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714423
	COPYRIGHT: © 2025		1	DRAFT SALE PLAN - CT1	HMI	25/08/2025	LAURA GRACE TIERNAN				EDEN 13				H-WDCED10SA		
			2	PRELIM PLANS - INITIAL ISSUE	TRV	17/09/2025	ADDRESS: 18 TITARA AV, ROKEBY TAS 7019				FACADE DESIGN: HAMPTON				FACADE CODE: F-WDCED10HMPTA		
							LOT / SECTION / CT: 15 / - / 185273		COUNCIL: CLARENCE		SHEET TITLE: KITCHEN DETAILS		SHEET No.: 13 / 21	SCALES: 1:50			



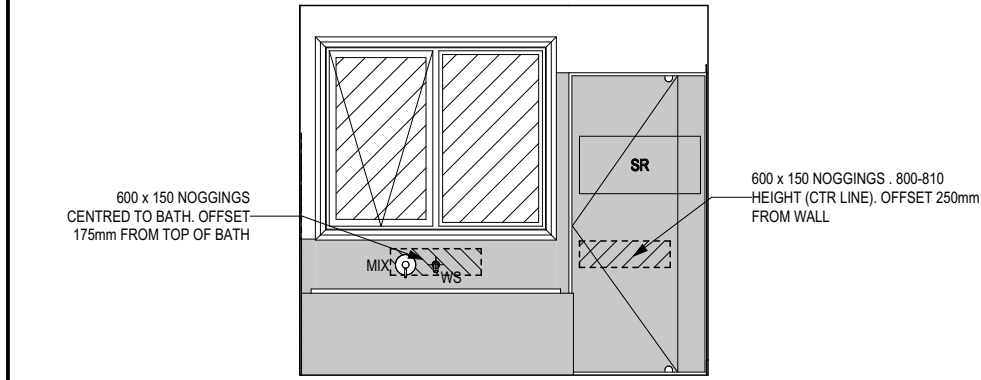
ELEVATION A
SCALE: 1:50



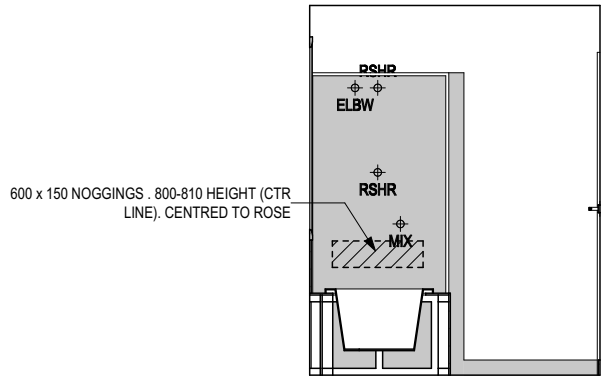
ELEVATION B
SCALE: 1:50



BATHROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
		WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm	446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE:DATE:

SIGNATURE:DATE:

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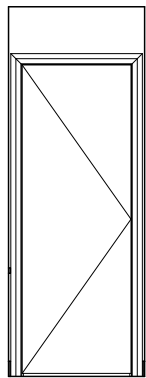
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

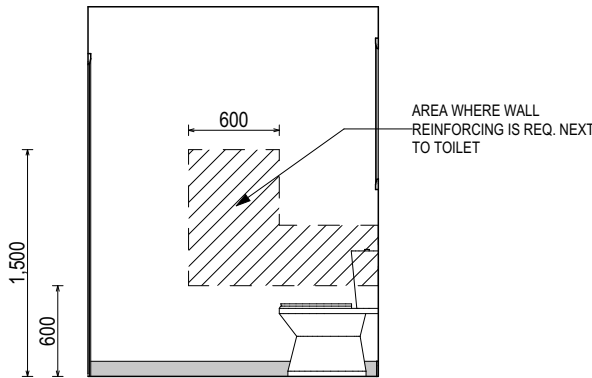
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

LEGEND

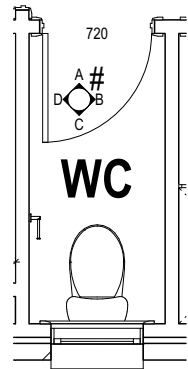
- | | |
|------|-------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW CONNECTION |
| MIX | MIXER TAP |
| HT | HOT TAP |
| CT | COLD TAP |
| HS | HOB SPOUT |
| WS | WALL SPOUT |
| SC | STOP COCK |
| TRH | TOILET ROLL HOLDER |
| TR-S | TOWEL RAIL - SINGLE |
| TR-D | TOWEL RAIL - DOUBLE |
| TL | TOWEL LADDER |
| TH | TOWEL HOLDER |
| TR | TOWEL RACK |
| TMB | TUMBLER HOLDER |
| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
| SR | SHAMPOO RECESS |
| SOAP | SOAP HOLDER |



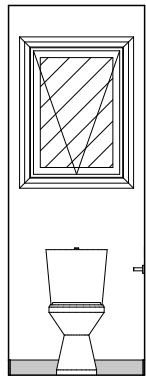
ELEVATION A
SCALE: 1:50



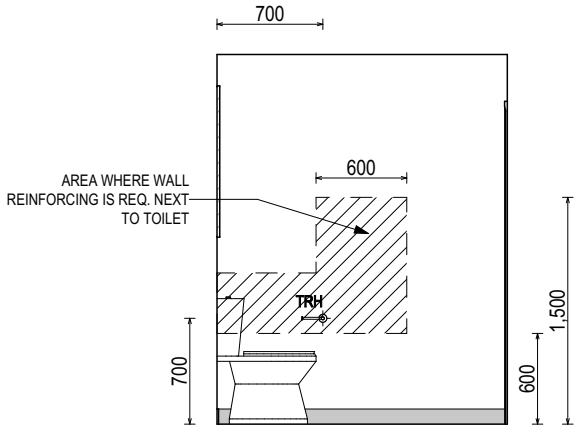
ELEVATION B
SCALE: 1:50



WC PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER


SIGNATURE: DATE:

SIGNATURE: DATE:

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	SPECIFICATION: DISCOVERY		REVISION		DRAWN		CLIENT: LAURA GRACE TIERNAN		HOUSE DESIGN: EDEN 13		HOUSE CODE: H-WDCEDE10SA		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714423
	COPYRIGHT: © 2025		1	DRAFT SALE PLAN - CT1	HMI	25/08/2025	ADDRESS: 18 TITARA AV, ROKEBY TAS 7019		FACADE DESIGN: HAMPTON		FACADE CODE: F-WDCEDE10HMPTA		
			2	PRELIM PLANS - INITIAL ISSUE	TRV	17/09/2025	LOT / SECTION / CT: 15 / - / 185273		SHEET TITLE: WC DETAILS		SHEET No.: 15 / 21	SCALES: 1:50	
							COUNCIL: CLARENCE						

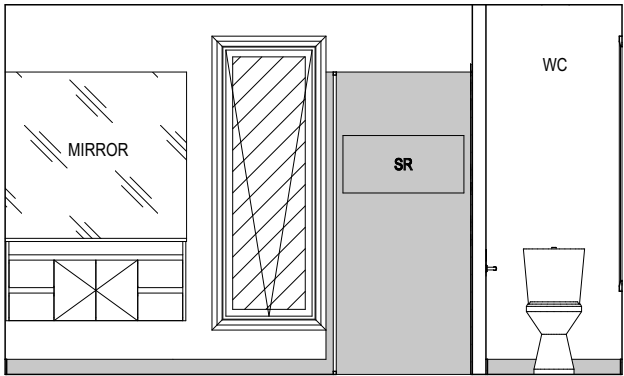
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

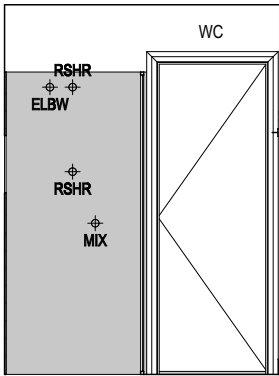
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LEGEND

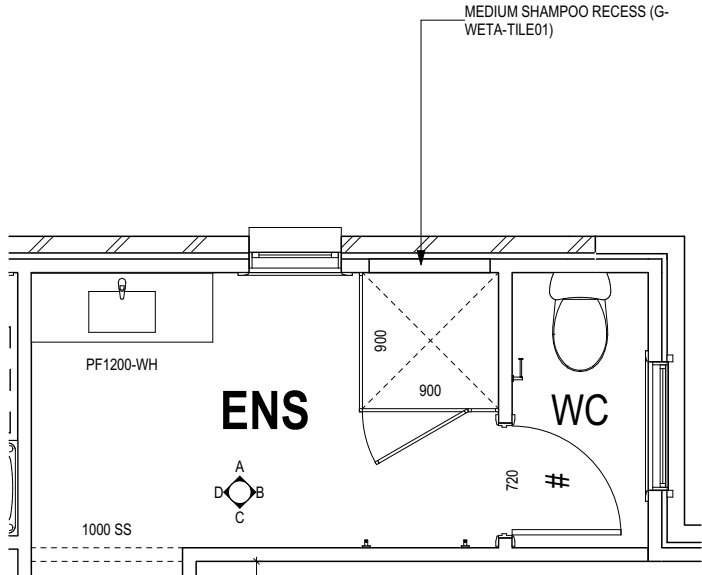
- RSHR RAIL SHOWER
ROSE SHOWER ROSE
ELBW SHOWER ELBOW CONNECTION
MIX MIXER TAP
HT HOT TAP
CT COLD TAP
HS HOB SPOUT
WS WALL SPOUT
SC STOP COCK
TRH TOILET ROLL HOLDER
TR-S TOWEL RAIL - SINGLE
TR-D TOWEL RAIL - DOUBLE
TL TOWEL LADDER
TH TOWEL HOLDER
TR TOWEL RACK
TMB TUMBLER HOLDER
RNG TOWEL RING
RH ROBE HOOK
SHLF SHELF
SR SHAMPOO RECESS
SOAP SOAP HOLDER



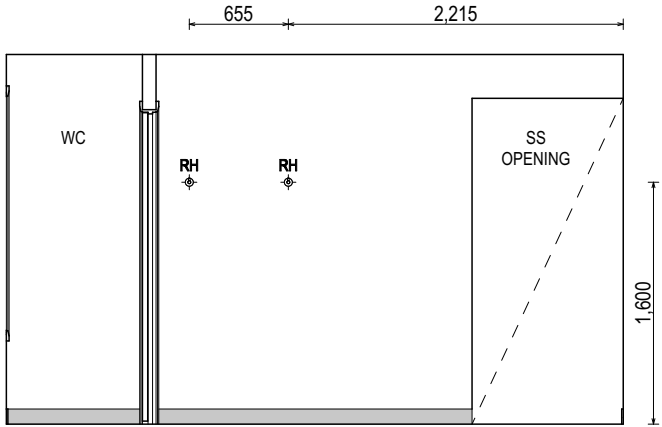
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SCALE: 1:50



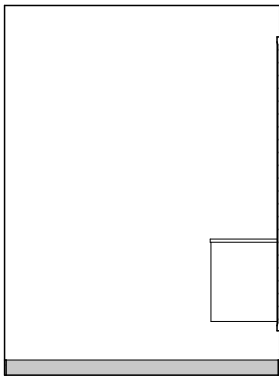
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SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
		WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm	446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

ALL DIMENSIONS ARE FRAME DIMENSIONS

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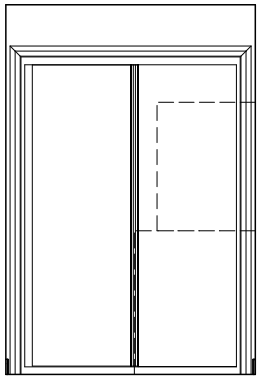


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COPYRIGHT:		2	PRELIM PLANS - INITIAL ISSUE	TRV	17/09/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
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						LOT / SECTION / CT:		SHEET TITLE:		SHEET No.:		714423
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						COUNCIL:				SCALES:		
						CLARENCE				1:50		

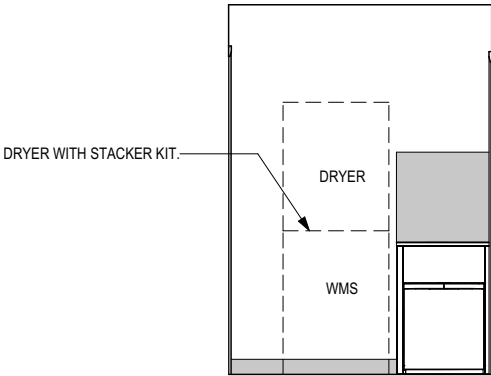
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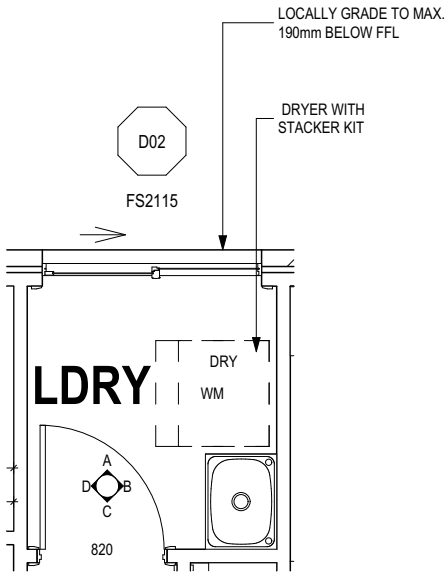
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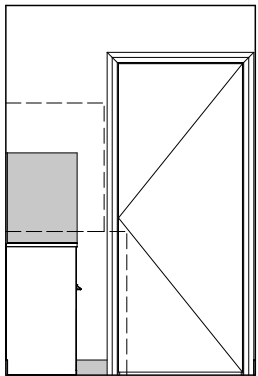
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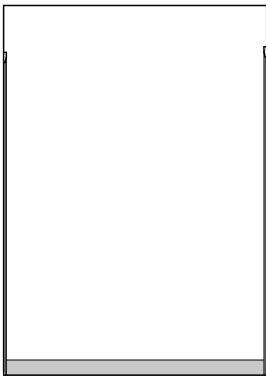
ELEVATION B
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50




ELEVATION D
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

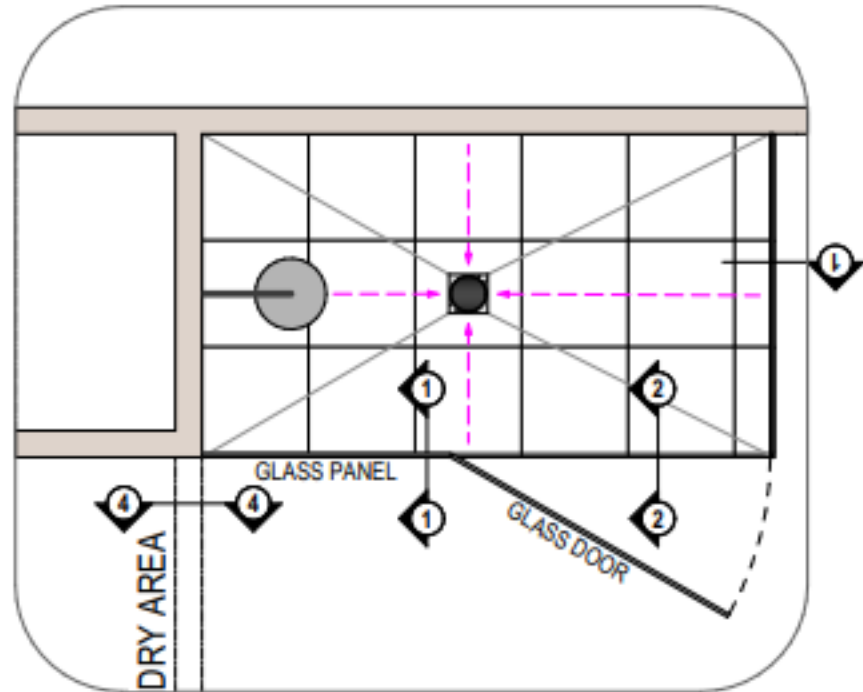
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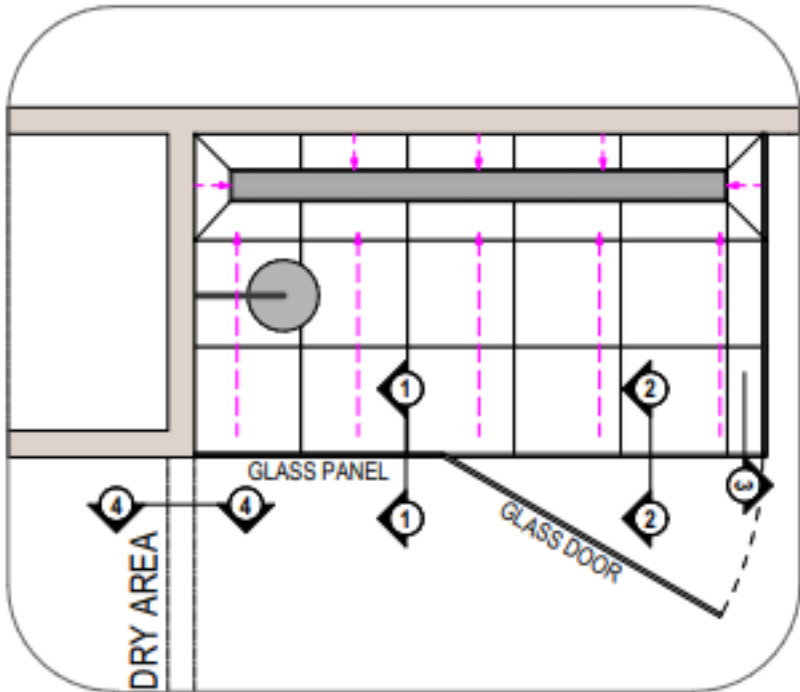
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STANDARD SHOWER & WATERPROOFING DETAIL

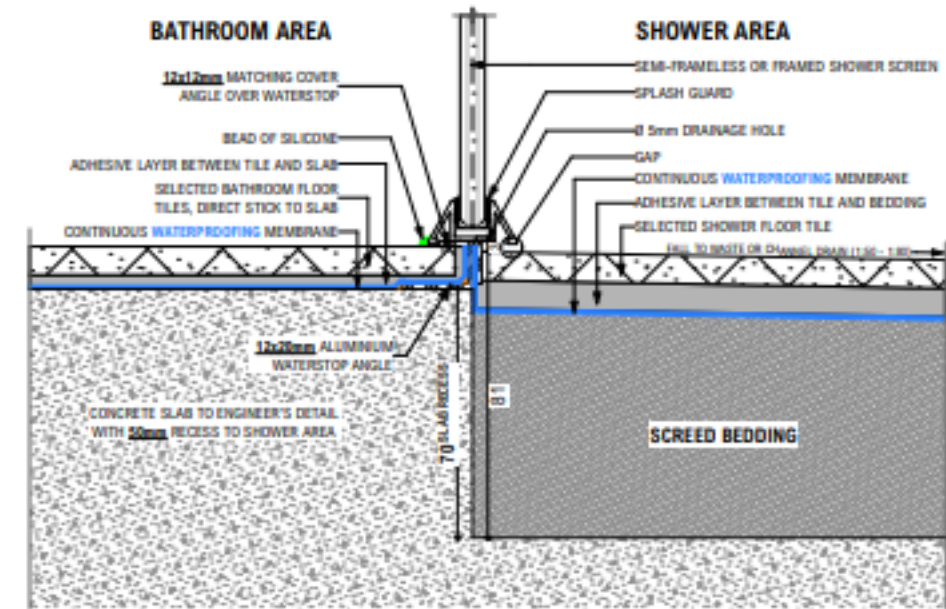
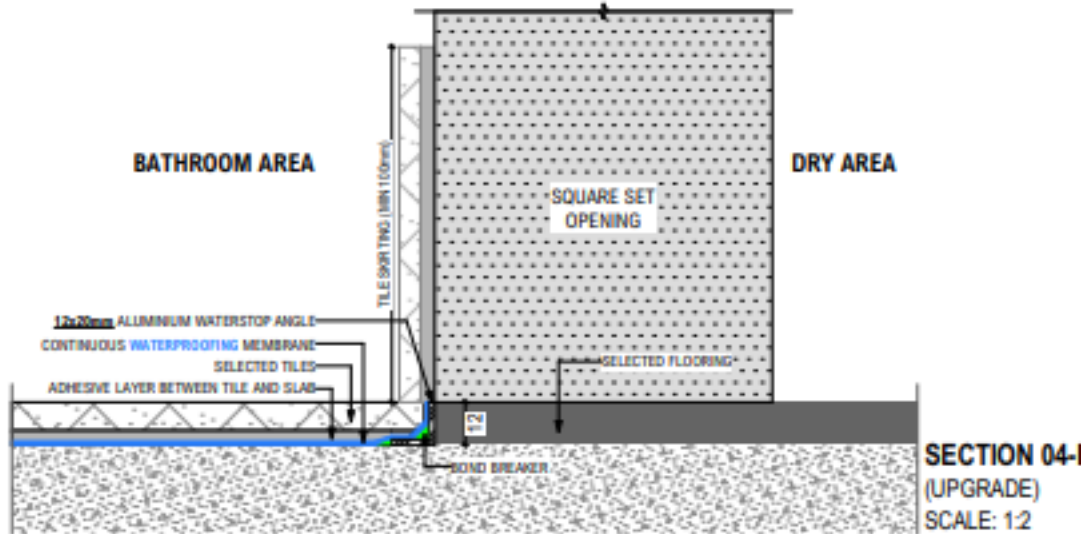
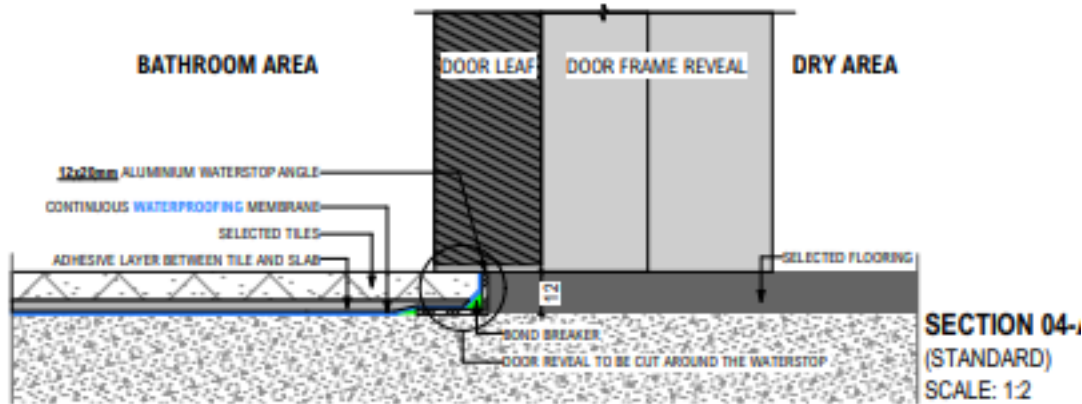
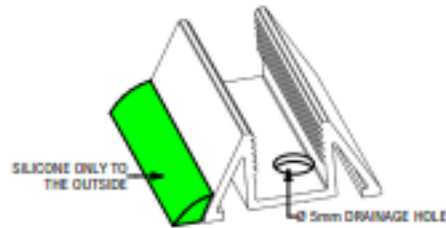
- ALL PLANS ARE DIAGRAMMATIC, REFER TO THE CONSTRUCTION PLANS FOR THE BATHROOM & SHOWER LAYOUTS.
- DO NOT SILICONE THE BOTTOM OF THE FRAME ON THE SHOWER SIDE.



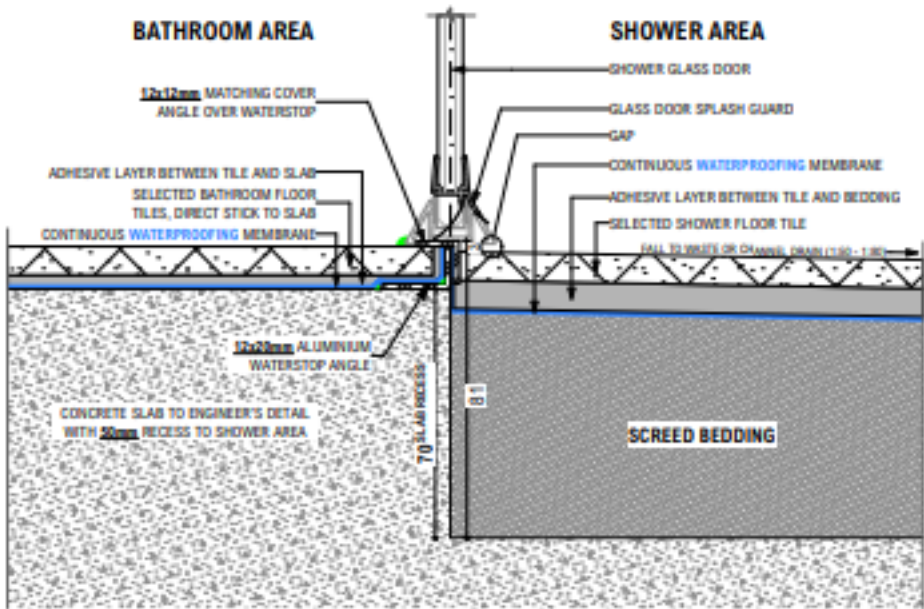
PLAN VIEW 1
(STANDARD FW)
SCALE: 1:20



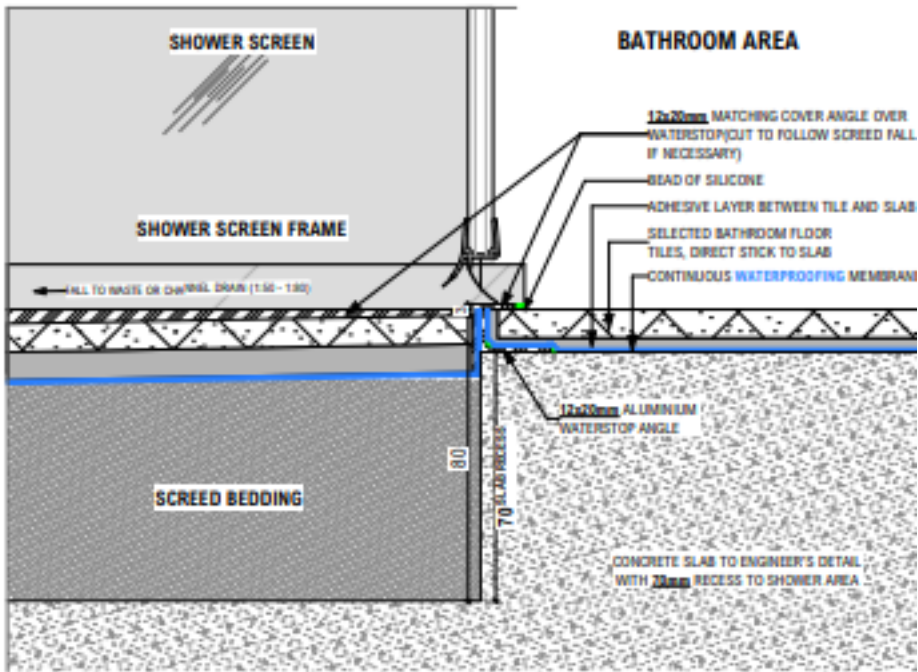
PLAN VIEW 2
(CHANNEL DRAIN)
SCALE: 1:20



SECTION 01 - THROUGH GLASS SCREEN
SCALE: 1:2



SECTION 02 - THROUGH GLASS DOOR
SCALE: 1:2



SECTION 03 - THROUGH GLASS SCREEN
SCALE: 1:2

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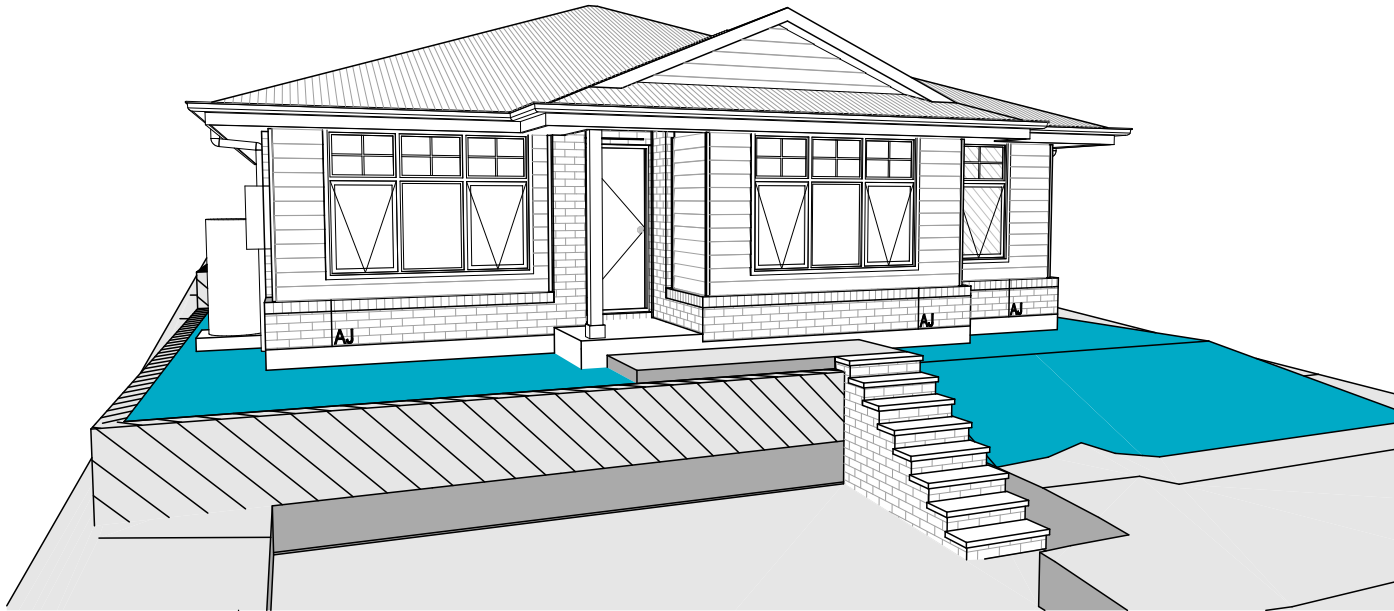
DRAWN	
HMI	25/08/2025
TRV	17/09/2025

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ADDRESS:
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COUNCIL:
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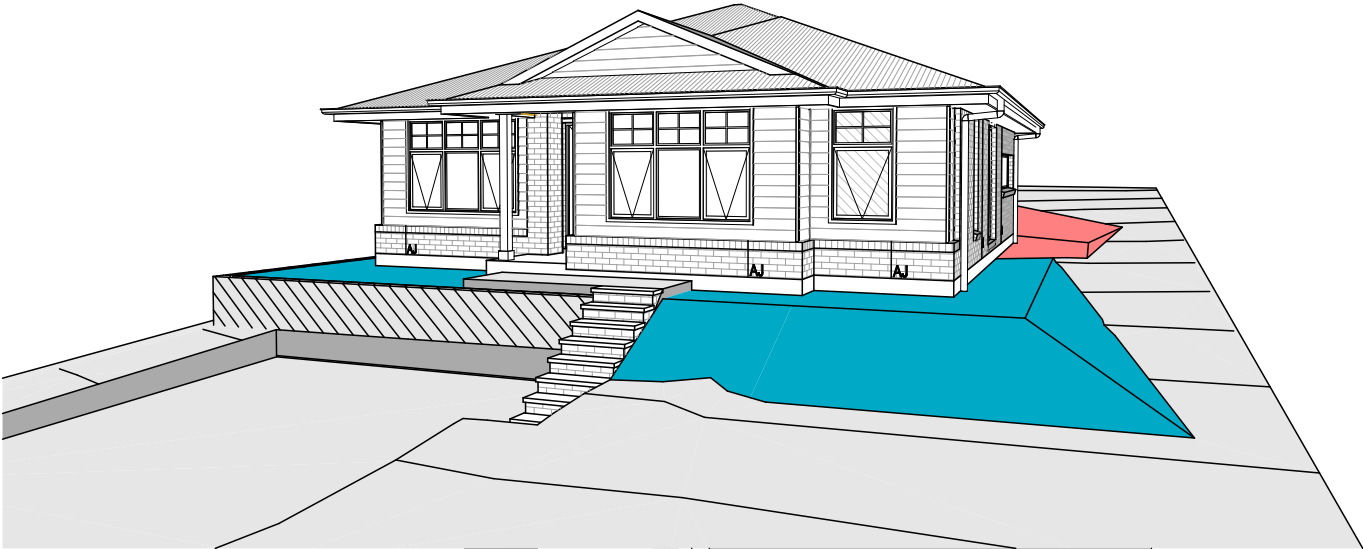
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EDEN 13
FACADE DESIGN:
HAMPTON
SHEET TITLE:
STANDARD SHOWER & WATERPROOFING

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18 / 21
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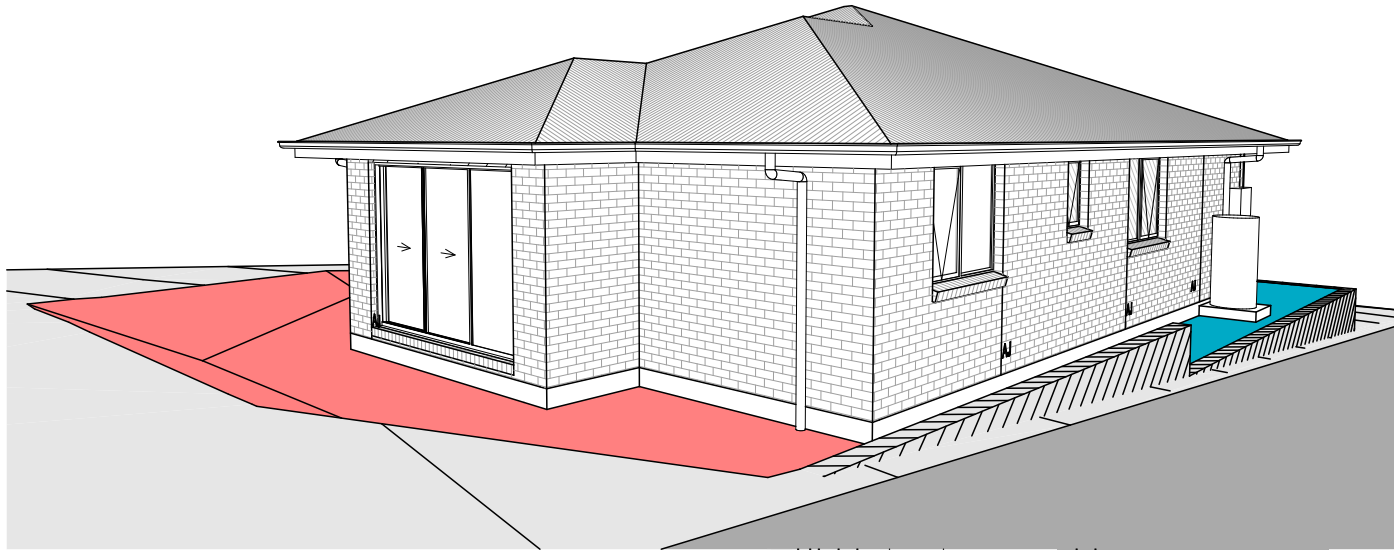
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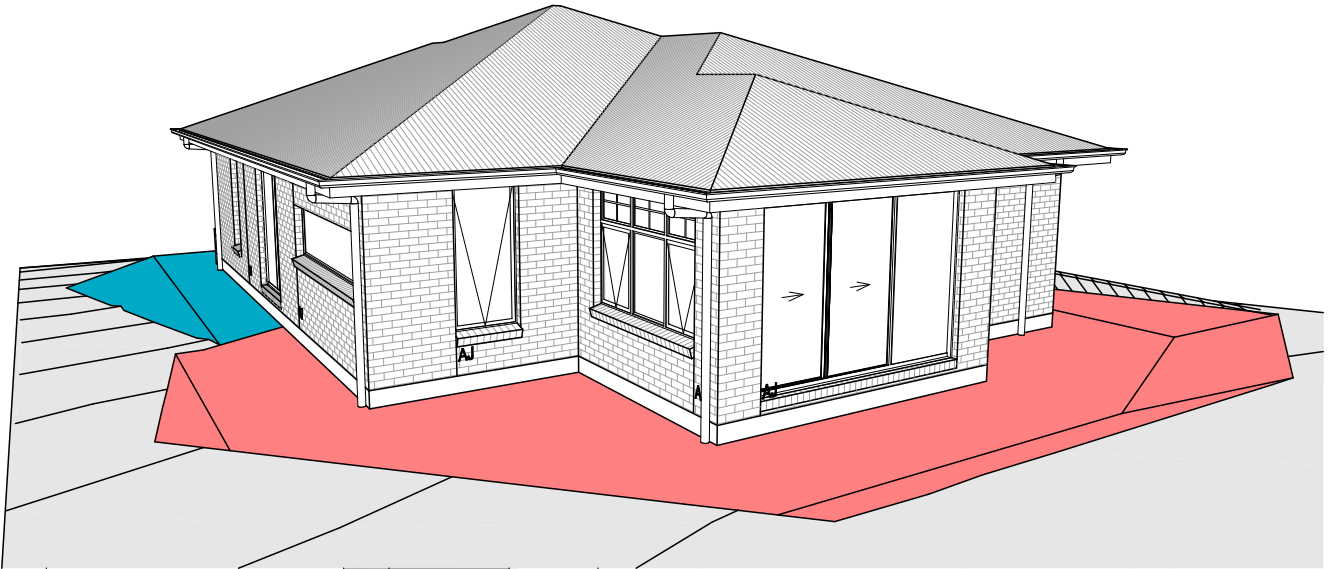
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER


THIS PLAN HAS BEEN DRAWN TO REFLECT YOUR CONSOLIDATED TENDER. PLEASE CHECK THAT EVERYTHING IS CORRECT AND FINALISED. FURTHER STRUCTURAL CHANGES ARE NOT POSSIBLE PAST THIS POINT. PLEASE NOTE, SELECTIONS ITEMS WILL NOT APPEAR ON YOUR PLANS UNTIL AFTER YOUR INTERNAL COLOUR SELECTIONS APPOINTMENT IS COMPLETE.

SIGNATURE: DATE:

SIGNATURE: DATE:

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						15 / - / 185273		CLARENCE		3D VIEWS		19 / 21		

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