



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/057474

PROPOSAL: Dwelling

LOCATION: 23 Creese Drive, Richmond

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 11 February 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 11 February 2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 11 February 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **New Residential Dwelling**

Location: **23 Creese Drive, Richmond**

Personal Information Removed



Is the property on the Tasmanian Heritage Register?

Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Vacant**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.



- Location and capacity of any existing services or easements on/to the site.
- Existing pedestrian and vehicle access to the site.
- Location of existing and proposed buildings on the site.
- Location of existing adjoining properties, adjacent buildings and their uses.
- Any natural hazards that may affect use or development on the site.
- Proposed roads, driveways, car parking areas and footpaths within the site.
- Any proposed open space, communal space, or facilities on the site.
- Main utility service connection points and easements.
- Proposed subdivision lot boundaries.

Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:

- Internal layout of each building on the site.
- Private open space for each dwelling.
- External storage spaces.
- Car parking space location and layout.
- Major elevations of every building to be erected.
- Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
- Relationship of the elevations to natural ground level, showing any proposed cut or fill.
- Materials and colours to be used on rooves and external walls.

Where it is proposed to erect buildings, a plan of the proposed landscaping showing:

- Planting concepts.
- Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
- Plantings proposed for screening from adjacent sites or public places.

Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME	FOLIO
184978	9
EDITION	DATE OF ISSUE
2	03-Nov-2025

SEARCH DATE : 19-Nov-2025

SEARCH TIME : 10.55 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 9 on Sealed Plan [184978](#)

Derivation : Part of 569A-2R-0P Gtd. to Thomas Daniel Cosgrove

Prior CT [174538/1](#)**SCHEDULE 1**

[N279682](#) TRANSFER to MICHAEL ALLEN NEWMAN and MARISA ANNA NEWMAN Registered 03-Nov-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP184978](#) FENCING COVENANT in Schedule of Easements[SP 11304](#) FENCING COVENANT in Schedule of Easements[E386656](#) INSTRUMENT Creating Restrictive Covenants Registered 03-Nov-2025 at 12.01 PM[E434150](#) MORTGAGE to Bendigo and Adelaide Bank Limited Registered 03-Nov-2025 at 12.02 PM**UNREGISTERED DEALINGS AND NOTATIONS**

No unregistered dealings or other notations

PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 3 SHEETS		OWNER: JAC MULTI ASSET PTY LTD FOLIO REFERENCE: CT.174538-1 SCALE 1:750	Registered Number SP 184978
SIGNED FOR IDENTIFICATION PURPOSES Council Delegate 21/8/2023 Date		THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN Registered Land Surveyor 4-4-23 Date	APPROVED EFFECTIVE FROM 21 AUG 2023 Recorder of Titles

PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 3 SHEETS		OWNER: JAC MULTI ASSET PTY LTD FOLIO REFERENCE: CT.174538-1, CT.40183-1 & CT.55252-1 SCALE 1:750	Registered Number SP 184978
SIGNED FOR IDENTIFICATION PURPOSES <i>Cllr. [Signature]</i> 21/8/2023 Council Delegate Date		THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>John [Signature]</i> 4-4-23 Registered Land Surveyor Date	APPROVED EFFECTIVE FROM 21 AUG 2023 <i>Renae [Signature]</i> Recorder of Titles

SCHEDULE OF EASEMENTS

Registered Number

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED.
SIGNATURES MUST BE ATTESTED.

SP 18 4978

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Drainage

Lots 101 & 103 is SUBJECT TO a right of drainage (appurtenant to lot 1 on Sealed Plan 26006) over the land marked "DRAINAGE EASEMENT 1.50 WIDE (SP.26374)" passing through that lot on the plan.

Lot 103 is SUBJECT TO a right of drainage in gross (in favour of Clarence City Council) over the land marked "DRAINAGE EASEMENT 10.00 WIDE" passing through that lot on the plan.

Lot 103 is SUBJECT TO a right of drainage in gross (in favour of Clarence City Council) over the land marked "DRAINAGE EASEMENT 3.00 WIDE" passing through that lot on the plan.

Lot 103 is SUBJECT TO a right of drainage in gross (in favour of Clarence City Council) over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.50 WIDE" passing through such lot on the plan.

Lots 36, 37, 39, 41 & 103 are each SUBJECT TO a right of drainage in gross (in favour of Clarence City Council) over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE" passing through such lot on the plan.

Lot 39 is TOGETHER WITH a right of drainage over the land marked "DRAINAGE EASEMENT 2.00 WIDE (SP.24958)" on the plan.

That part of Lot 103 formerly comprised in Lot 1 on Plan 174538

Lot 103 is TOGETHER WITH a right of drainage over the land marked "DRAINAGE EASEMENT 2.00 WIDE (SP.24958)" on the plan.

That part of Lot 103 formerly comprised in Lot 1 on Diagram 40183

Lot 103 is TOGETHER WITH a right of drainage over the land marked "DRAINAGE EASEMENT 1.00 WIDE (SP.2264)" on the plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: JAC MULTI ASSET P/L	PLAN SEALED BY: CLARENCE CITY COUNCIL
FOLIO REF: 40183-1, 55252-1 & 174538-1	DATE: 21/8/2023
SOLICITOR: BUTLER McINTYRE & BUTLER (JS:220968)	2019-003190 REF NO. Council Delegate Signature Shea

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP 18 4978
SUBDIVIDER: JAC MULTI ASSET P/L FOLIO REFERENCE: 40183-1, 55252-1 & 174538-1	

Taswater

Lot 103 is SUBJECT TO a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked "PIPELINE AND SERVICES EASEMENT 3.50 WIDE" ("the Easement Land") passing through that lot on the plan.

Lots 36, 37, 39, 41 & 103 is SUBJECT TO a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE" ("the Easement Land") passing through such lot on the plan.

Lot 103 is SUBJECT TO a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE AND SERVICES EASEMENT VARIABLE WIDTH ("the Easement Land") passing through that lot on the plan.

~~Lot 103 is SUBJECT TO a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked "PIPELINE AND SERVICES EASEMENT 2.50 WIDE" ("the Easement Land") passing through that lot on the plan.~~

Lots 102 & 103 are SUBJECT TO a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked "PIPELINE AND SERVICES EASEMENT 2.50 WIDE" ("the Easement Land") passing through that lot on the plan.

Electricity

Lot 101 is SUBJECT TO an electricity supply easement created by and more fully set forth in Transfer No E85079 (appurtenant to lot 1 on Sealed Plan 33920) over the land marked "ELECTRICITY SUPPLY EASEMENT 6.00 WIDE" passing through that lot on the plan.

FENCING COVENANT

In respect to the lots on the plan the vendor (JAC Multi Asset Pty Ltd) shall not be required to fence

RESTRICTIVE COVENANT

The owner or owners of Lot 103 hereby covenant with the owner of each and every other Lot on the Plan and the Clarence City Council to the intent that the burden of this covenant may run with and bind the covenanter's Lot and every part and that the benefit may be created in favour of each and every other Lot on the Plan and in gross in favour of the Clarence City Council to observe the following stipulation:

1. Not to make any or permit or suffer the making of any alterations to the finished surface levels of the overland flowpath, swale drain or catch drain constructed within the area marked DRAINAGE EASEMENT 10.00 WIDE on the plan without prior consent in writing of Clarence City Council.
2. Not to make or permit or suffer the placement of any fencing within the drainage easement area with the exception of open style fencing that does not obstruct surface flows to or within the area marked DRAINAGE EASEMENT 10.00 WIDE on the plan.

Director: Director: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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**ANNEXURE TO
SCHEDULE OF EASEMENTS**

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Registered Number

SP 184978SUBDIVIDER: JAC MULTI ASSET P/L
FOLIO REFERENCE: 40183-1, 55252-1 & 174538-1

3. **Y**. Not to make or permit or suffer the placement of any wall, structure, landscaping, or vegetation, with the exception of grass or turf within the area marked DRAINAGE EASEMENT 10.00 WIDE on the plan.

INTERPRETATION

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

"Pipeline and Services Easement" means-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Director: Director: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing. 

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**ANNEXURE TO
SCHEDULE OF EASEMENTS**

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Registered Number

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FOLIO REFERENCE: 40183-1, 55252-1 & 174538-1

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Lot 103 is SUBJECT TO a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked “PIPELINE AND SERVICES EASEMENT 3.00 WIDE” (“the Easement Land”) passing through that lot on the plan.

Executed by **JAC MULTI ASSET PTY LTD (ACN 636 512 082)**
pursuant to section 127(1) Corporations Act (Cth) 2001 by-

PETER KMZ

Name of Director



Signature of Director

** John Jason Sotile
Solicitor
for owner
17.8.23*

DEAN MURRAY COCKER
Name of Director/Secretary
(strike out whichever is inapplicable)



Signature of Director/Secretary
(strike out whichever is inapplicable)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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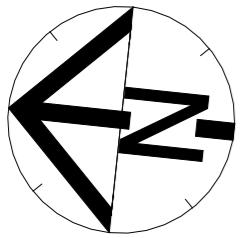
AP2025-2511 - PROPOSED NEWMAN RESIDENCE (2024)
 23 Creese Drive,
 RICHMOND

SHEET DRAWING TITLE

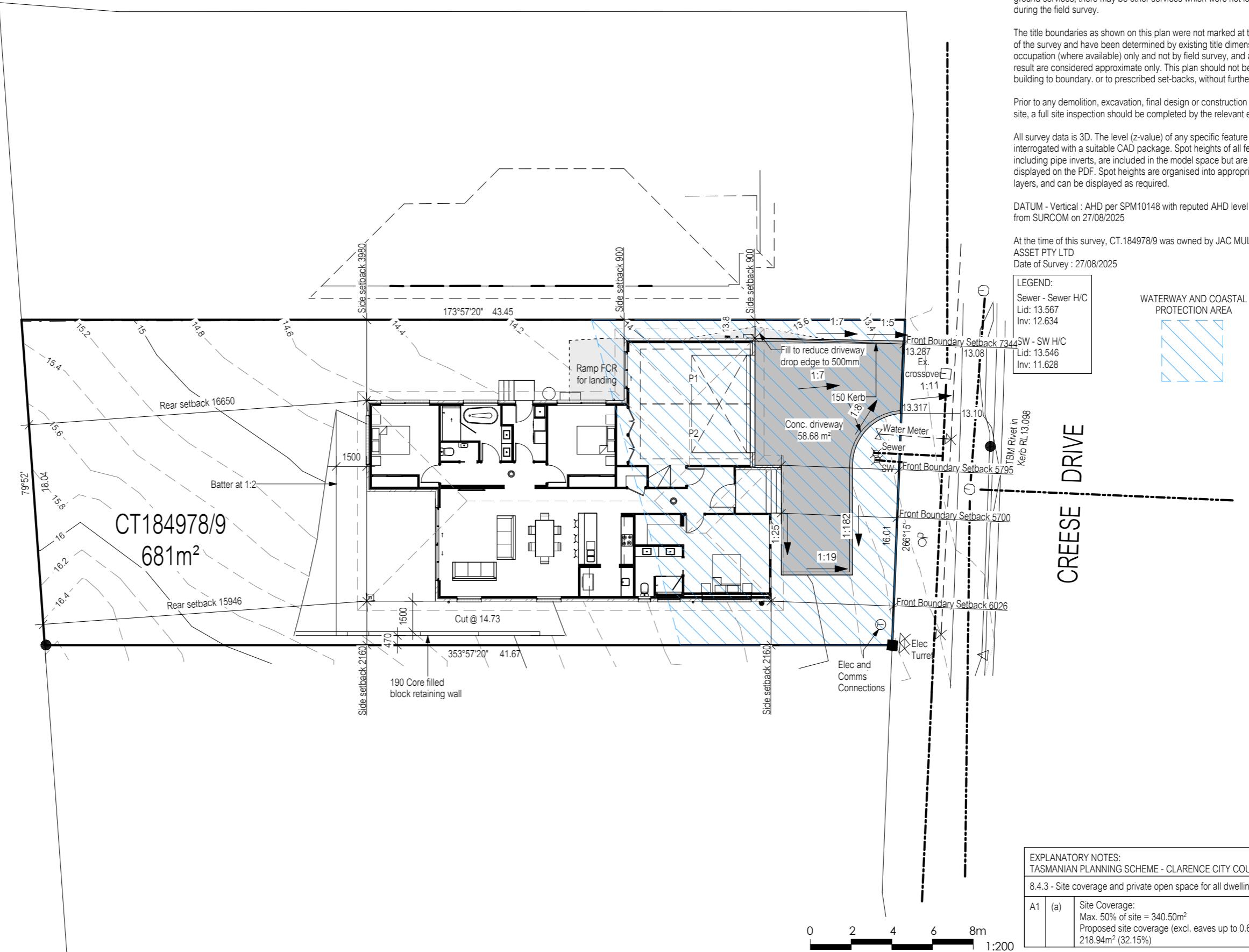
01	B	SITE PLAN
01a	B	DRAINAGE PLAN
02	A	FLOOR PLAN
03	A	ELEVATIONS SHEET 1
03a	A	ELEVATIONS SHEET 2
03b	A	PERSPECTIVE VIEWS

B	Council RFI: Show Driveway gradients DA PLAN SET	09 Jan. 2026	RJ	SW	01,01a 01 - 03
A	Changes to floor plan and FFL to reduce retaining. PRELIM DA PLAN SET	18 Nov. 2025	SW	ST	01, 02 - 03b -
		13 Nov. 2025	SW	N/A	01, 02 - 03b -
		29 Sep. 2025	CK	N/A	-

Notes <ul style="list-style-type: none">Builder to verify all dimensions and levels on site prior to commencement of workAll work to be carried out in accordance with the current National Construction Code.All materials to be installed according to manufacturers specifications.Do not scale from these drawings.No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED NEWMAN RESIDENCE (2024) 23 Creese Drive, RICHMOND	Soil Classification: M Title Reference: CT184978/9 Floor Areas: 191.59m ² Porch / Deck Areas: 24.72m ² Wind Speed: N2 Climate Zone: 7 Alpine Zone: N/A Corrosion Environment: LOW Certified BAL: NOT BUSHFIRE PRONE Designed BAL: NOT BUSHFIRE PRONE (Refer to Standard Notes for Explanation)	COVER SHEET
				AP2025-2511
No. Amendment Date Drawn Checked Sheet				Date 18 November 2025
				Sheet 00/03

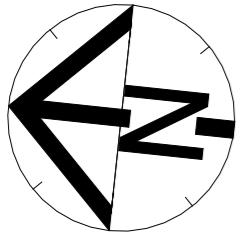


Garage FFL 14.50
Ground Floor FFL 15.10



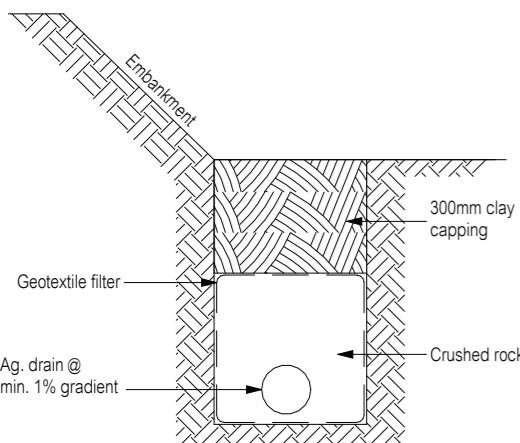
B	09 Jan. 2026	RJ
A	13 Nov. 2025	SW
No.	Date	Int.

			SITE PLAN	
			Drawn	SW
			Date	29 September 2025
			Scale	1:200
			Sheet	01/03
JOSCON TASMANIA				

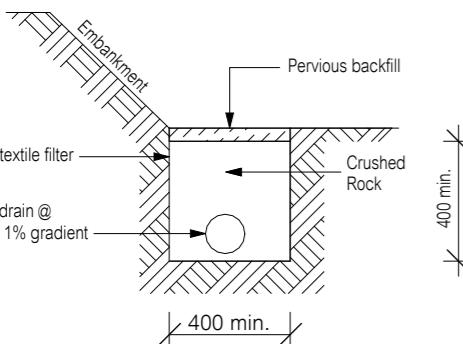


Where ag drain is < 1.5m from footing, the following engineering principles are required:

1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
2. Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
3. Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
4. Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.



TYPICAL AG. DRAIN DETAIL
(<1800 FROM HOUSE)
Not to scale



TYPICAL AG. DRAIN DETAIL
(≥1800 FROM HOUSE)
Not to scale

NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

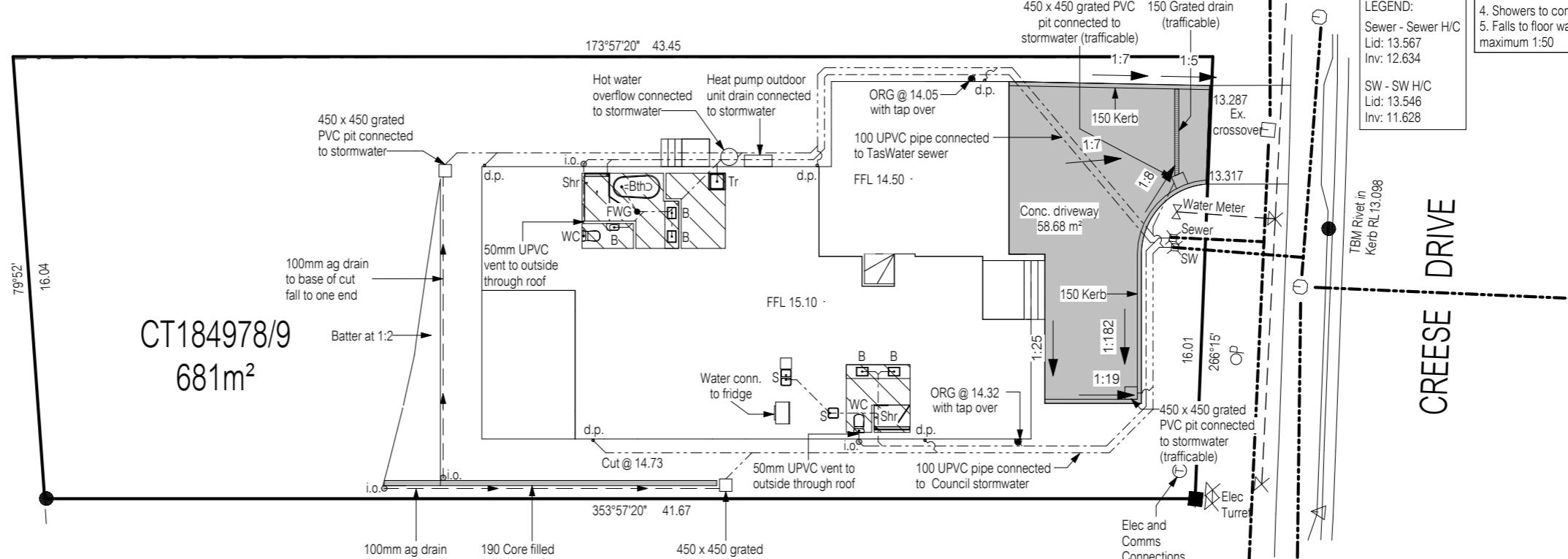
All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe invert, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM10148 with reputed AHD level of 8.734 from SURCOM on 27/08/2025

At the time of this survey, CT.184978/9 was owned by JAC MULTI ASSET PTY LTD
Date of Survey : 27/08/2025

DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	400
Bth	Bath	400 (incl. trap)
Shr	Shower	400 (Note 3)
S	Sink	500
Tr	Trough	400
WC	Water Closet Pan	1000
d.p.	Downpipe	900
ORG	Overflow Relief Gully	1000
FWG	Floor Waste Gully	650 (Note 2)
	Sewer Line (1000 UPVC)	
	(unless noted otherwise)	
	Stormwater Line (1000 UPVC)	
	(unless noted otherwise)	
	Stormwater Line (1500 UPVC)	
	(unless noted otherwise)	

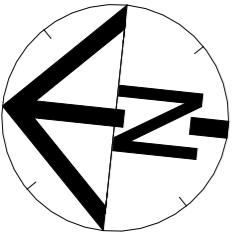
NOTES:
1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.
2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.
3. 500 required for multiple shower heads.
650 where outlet is being used as a FWG
4. Showers to comply with N.C.C. 10.2.14.
5. Falls to floor waste to be minimum 1:80 & maximum 1:50



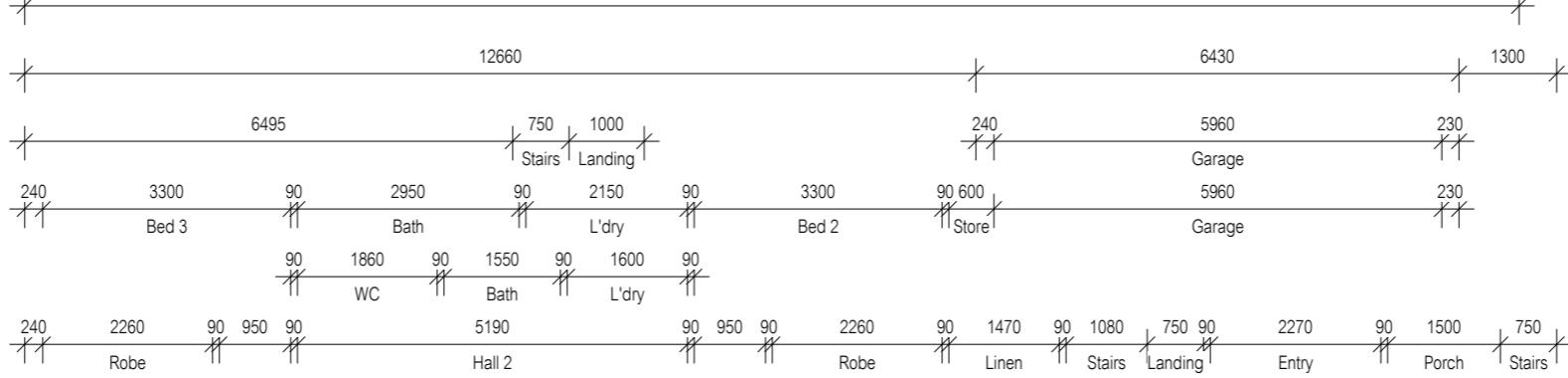
All works are to in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to these codes.

0 2 4 6 8m
1:200

DRAINAGE PLAN		
Drawn	SW	AP2025-2511
Date	18 November 2025	Sheet
Scale	1:200	01a/03
		
Soil classification: M		
Refer to Soil Report for nominated founding depth and description of founding material.		
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3		
B 09 Jan. 2026 RJ		
No. Date Int.		
Amendment changes as per cover sheet		



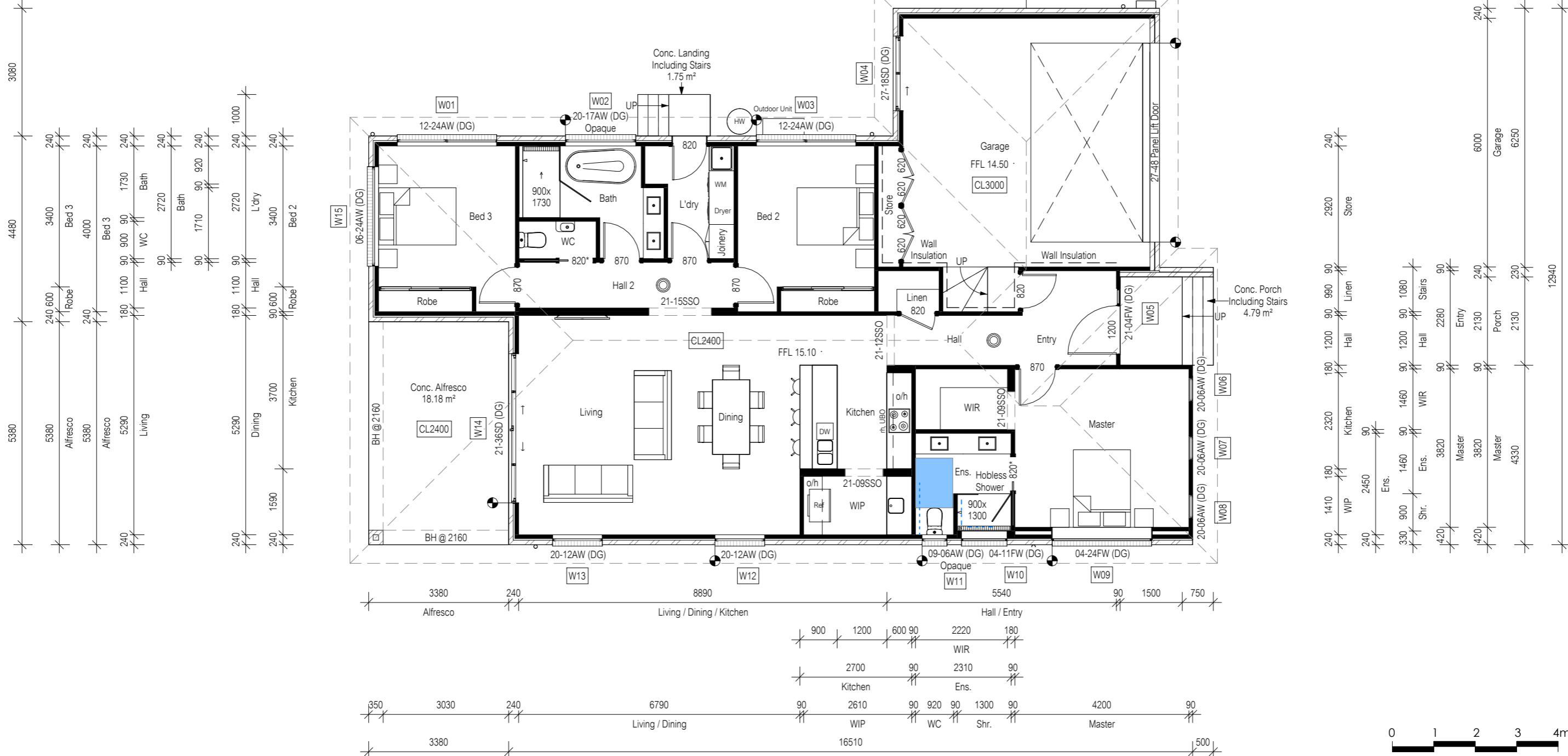
19890



LEGEND:	
BH -	BULKHEAD @ 2160 UNO
SSN -	SINGLE STUD NICHE
DSN -	DOUBLE STUD NICHE
TSN -	TRIPLE STUD NICHE
SSO -	SQUARE SET OPENING
O/H -	OVERHEAD
O/T -	OVEN TOWER
TR -	TOWEL RAIL
TRH -	TOILET ROLL HOLDER
RH -	ROBE HOOK
820* -	FLUSH MOUNT CAVITY SLIDING DOOR
----- LOCATION OF WALL REINFORCEMENT (TO COMPLY WITH PART 6 OF THE LIVABLE HOUSING DESIGN STANDARD.)	
NOTES:	

NOTES:

- ALL WINDOW & DOOR HEAD HEIGHTS @ 2160 UNO
- NICHES AS PER JOSCON BA SPEC DOCUMENT
- JOINERY AS PER JOSCON BA SPEC DOCUMENT
- WATERSTOPS AT SHOWER DOORS



Floor Area = 191.59m²

—● Articulation joint

 Smoke Alarm (interconnected where more than 1)

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

- Circulation space to comply with Part 4.2 of the *Livable Housing Design Standard*.

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- All materials to be installed according to manufacturers specifications.
- Do not scale from these drawings.
- No changes permitted without consultation with designer.

Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Survey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

PROPOSED NEWMAN RESIDENCE (2021)

23 Creese Drive,
RICHMOND

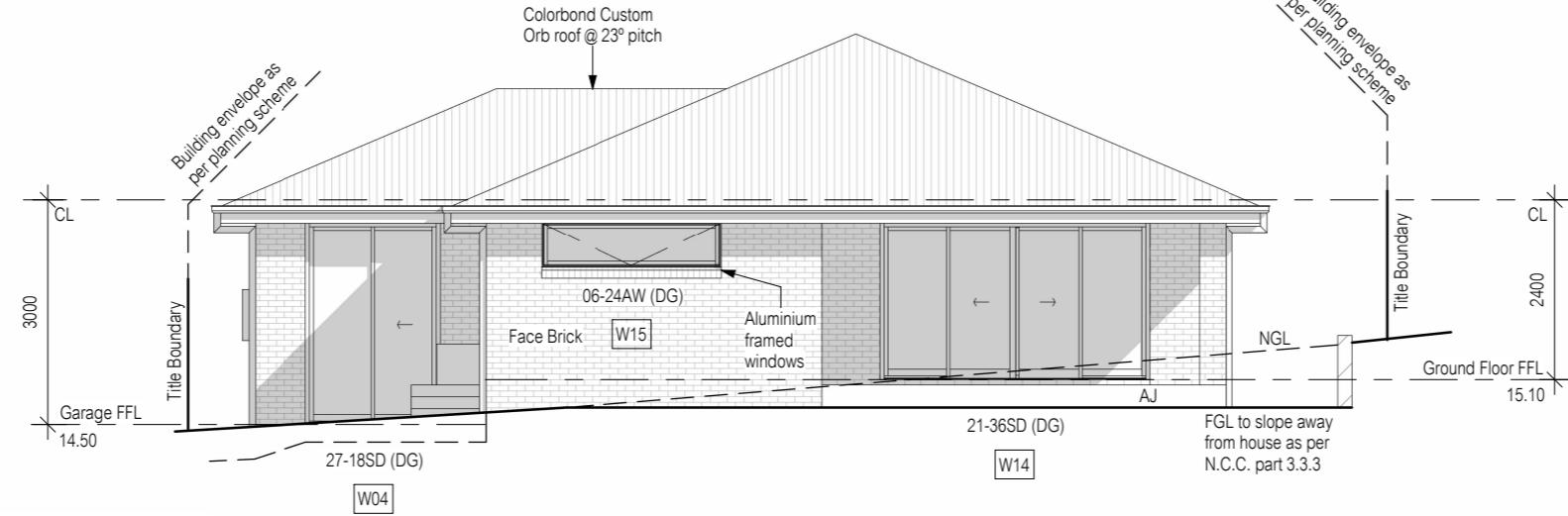


FLOOR PLAN

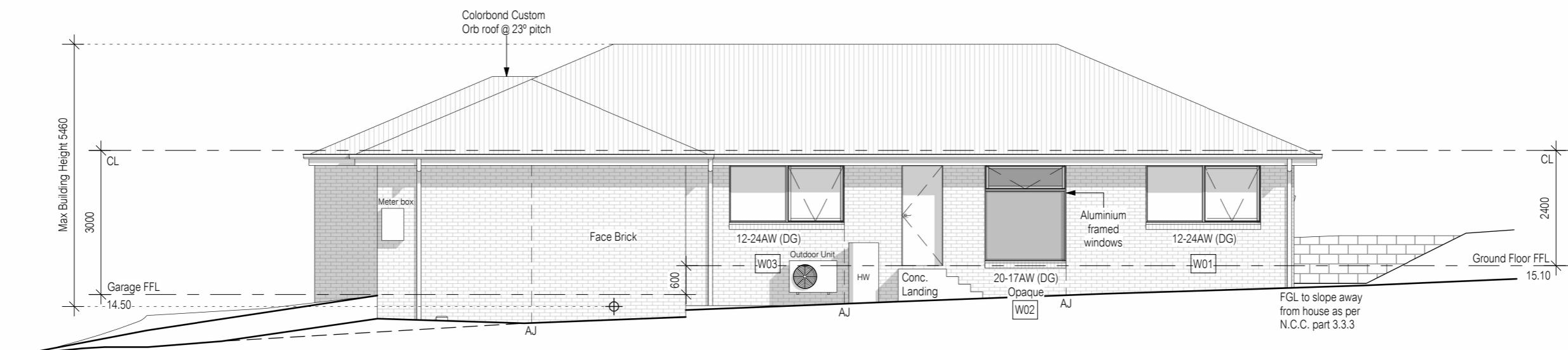
wn	SW	AP2025-2511
e	29 September 2025	Sheet
e	1:100	
	Copyright ©	02/03

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



North Elevation

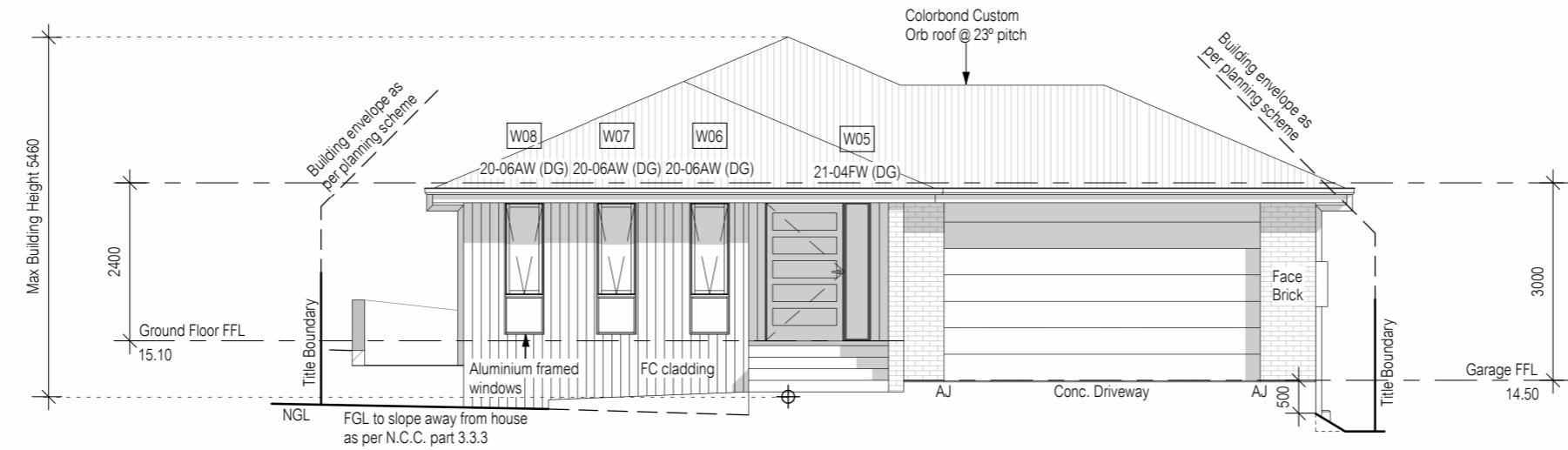


East Elevation

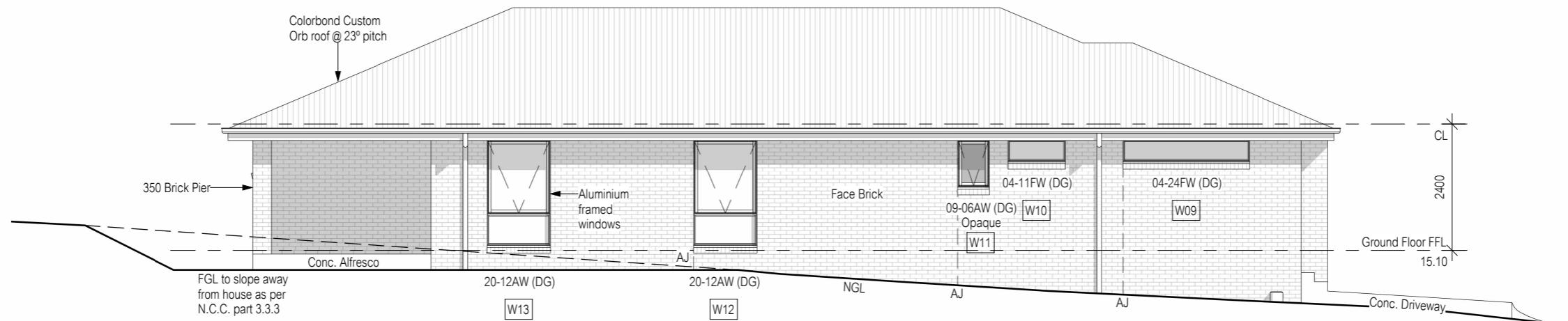
			ELEVATIONS SHEET 1	
A	13 Nov. 2025	SW	Drawn	SW AP2025-2511
No.	Date	Int.	Date	18 November 2025
Amendment changes as per cover sheet			Scale	1:100
Shadows shown for stylisation purposes only			Copyright ©	03/03
<p>Notes</p> <ul style="list-style-type: none"> Builder to verify all dimensions and levels on site prior to commencement of work All work to be carried out in accordance with the current National Construction Code. All materials to be installed according to manufacturers specifications. Do not scale from these drawings. No changes permitted without consultation with designer. 			 JOSCON TASMANIA	
<p>LEGEND:</p> <p>AJ - Articulation Joint BV - Brick Vent</p> <p>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</p> <p>Shadows shown for stylisation purposes only</p>			ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Survey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	
Client / Project info PROPOSED NEWMAN RESIDENCE (2024) 23 Creese Drive, RICHMOND				

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.

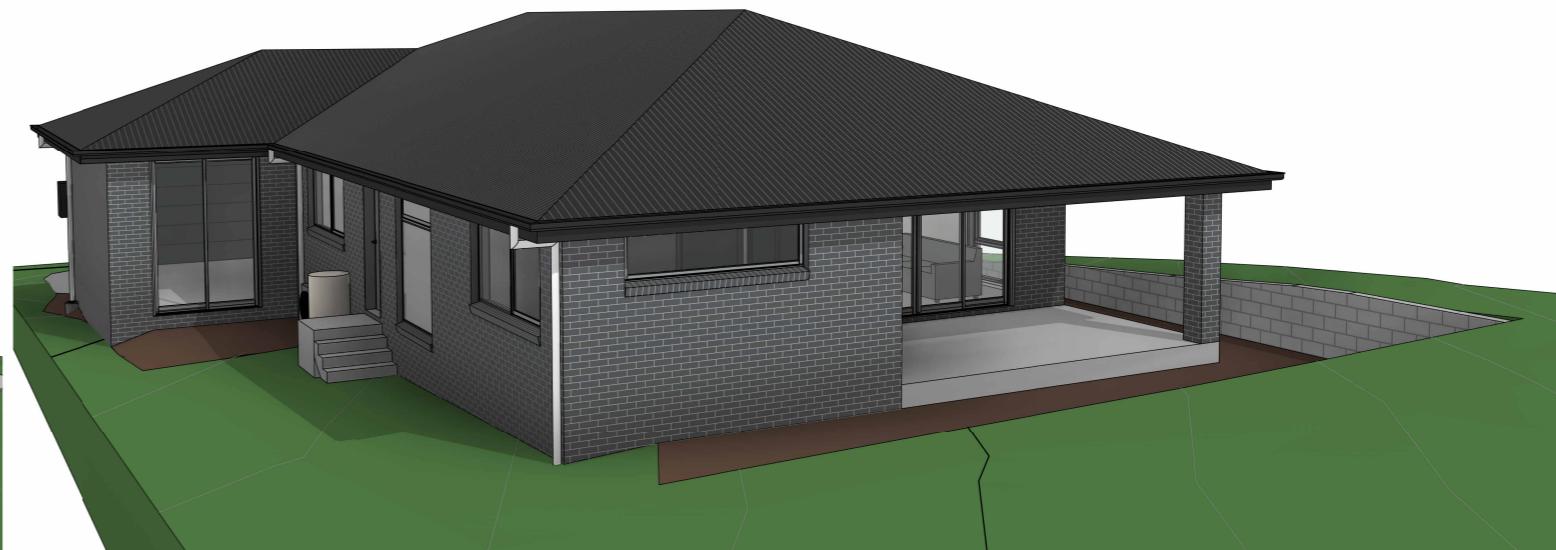
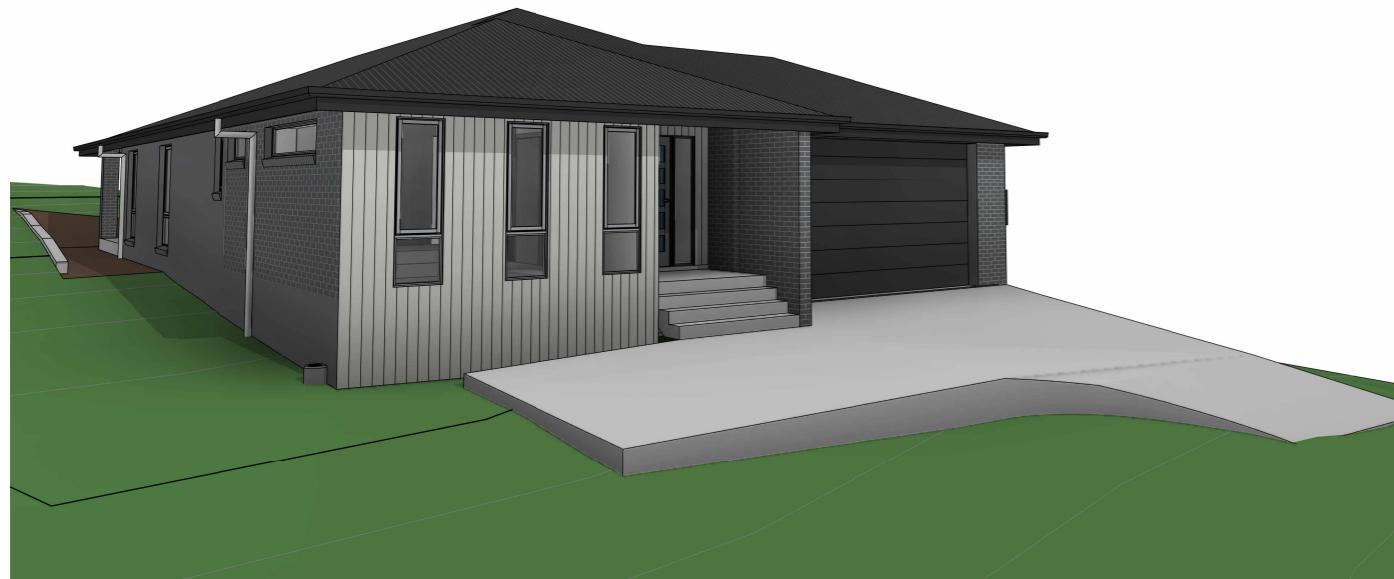


South Elevation



West Elevation

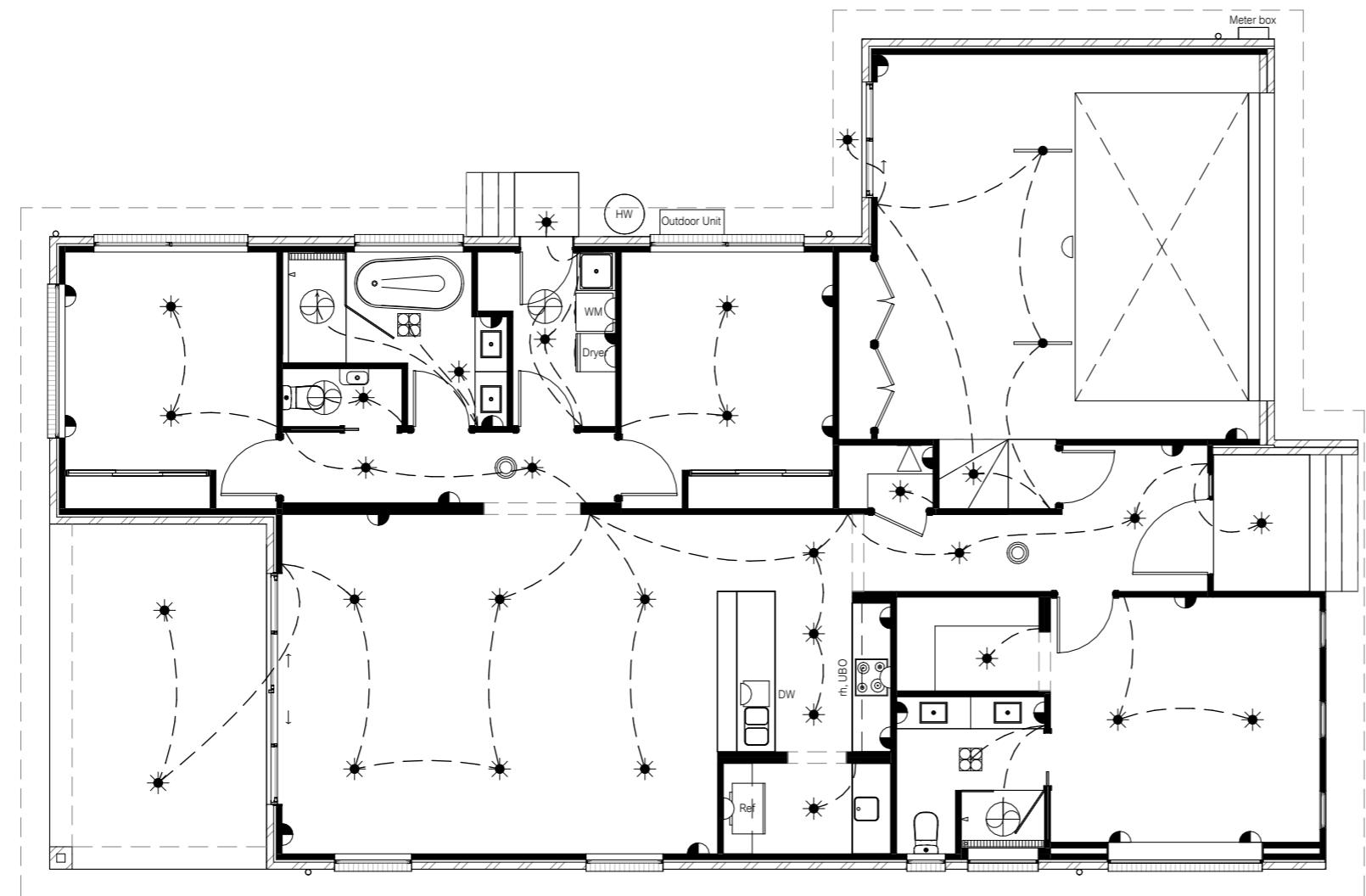
			ELEVATIONS SHEET 2	
A	13 Nov. 2025	SW	Drawn	SW AP2025-2511
No.	Date	Int.	Date	18 November 2025
Amendment changes as per cover sheet			Sheet	03a/03
<p>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</p> <p>LEGEND: AJ - Articulation Joint BV - Brick Vent</p> <p>Shadows shown for stylisation purposes only</p>			Scale	1:100
<p>Notes</p> <ul style="list-style-type: none"> Builder to verify all dimensions and levels on site prior to commencement of work All work to be carried out in accordance with the current National Construction Code. All materials to be installed according to manufacturers specifications. Do not scale from these drawings. No changes permitted without consultation with designer. 			Copyright ©	
<p>Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Survey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</p> <p>Client / Project info PROPOSED NEWMAN RESIDENCE (2024) 23 Creese Drive, RICHMOND</p>			 JOSCON TASMANIA	



			PERSPECTIVE VIEWS		
A	13 Nov. 2025	SW	Drawn	SW	AP2025-2511
No.	Date	Int.	Date	18 November 2025	Sheet
Amendment changes as per cover sheet Shadows shown for stylisations purpose only			Scale		
			Copyright ©		03b/03

- STANDARD CEILING LIGHT POINT (30W)
- DOWNLIGHT POINT (UNVENTED) (35W)
- ★ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
- PENDANT LIGHT (30W)
- WALL LIGHT POINT (30W)
- 2 x 900mm FLUORESCENT LIGHT POINT (36W)
- 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
- △ SINGLE POWER POINT
- △ DOUBLE POWER POINT
- △ DOUBLE POWER POINT WITH USB
- WATER PROOF POWER POINT
- MAINS POWERED SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
- FAN / HEATER / LIGHT (8W) (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
- TV CONNECTION POINT
- ▽ NBN/TELEPHONE CONNECTION POINT
- SENSOR LIGHT
- EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
- FLOOD LIGHT
- CAT 6 CONNECTION POINT
- ◀ TREAD LIGHTS (2W)
- DUCTED VACUUM POINT
- SECURITY SYSTEM KEYPAD
- ↗ SECURITY SYSTEM SENSOR

ALL EXHAUST FANS:
25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air.



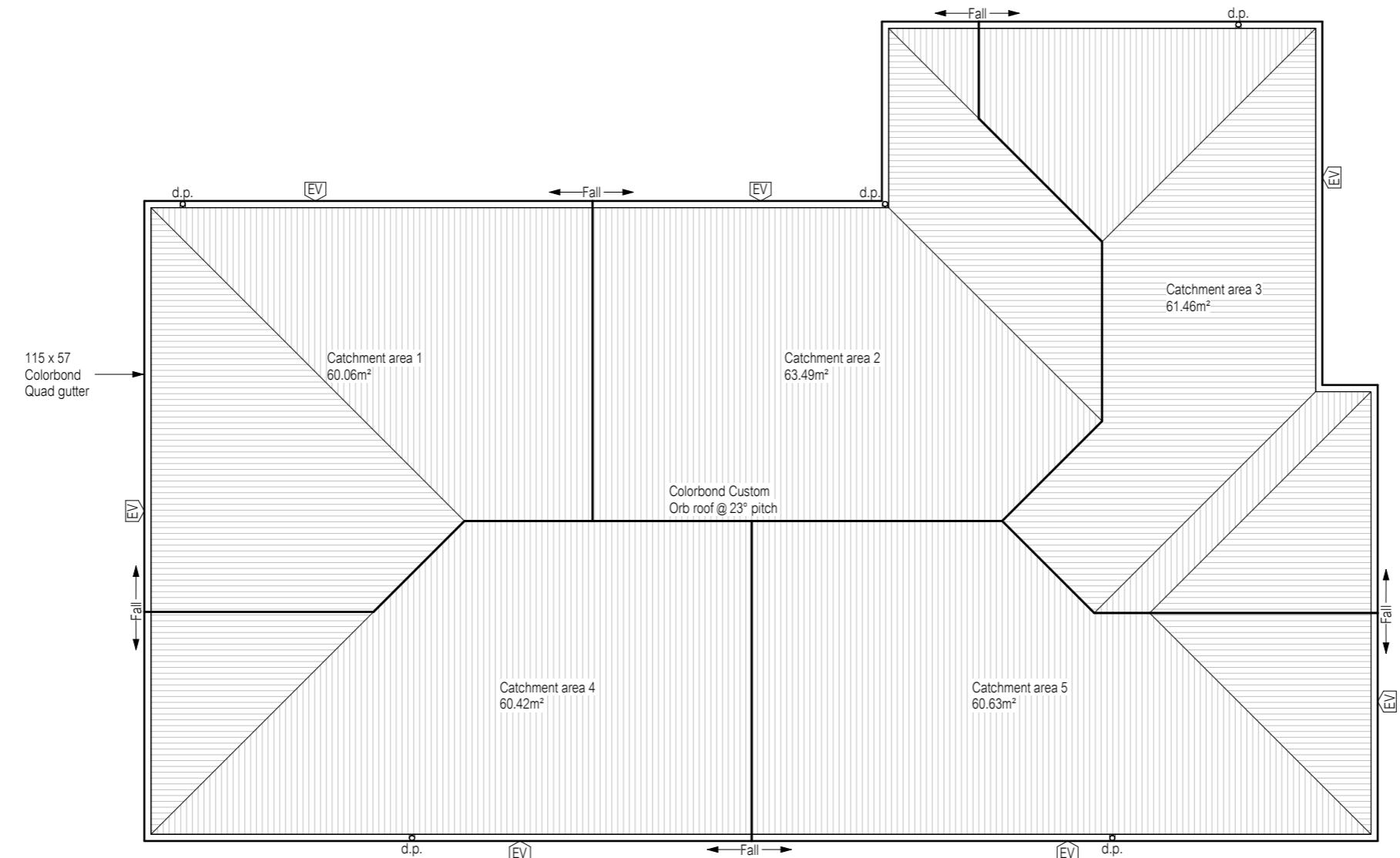
		ELECTRICAL PLAN	
No.	Date	Drawn	SW AP2025-2511
Int.	Amendment changes as per cover sheet	Date	18 November 2025
		Scale	1:100
			09/03

GUTTER OVERFLOW REQUIREMENTS as per N.C.C. Figure 7.4.6a:
Minimum slot opening area of 1200 mm² per metre of gutter and the lower edge of the slots installed a minimum of 25 mm below the top of the fascia. The acceptable overflow capacity must be 0.5 L/s/m.

Batten fixings:
100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

Batten spacing:
75 x 38 F8 @ 900 Centre

Colorbond fixings:
50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.



Position and quantity of downpipes are not to be altered without consultation with designer

Area's shown are surface areas / catchment areas, not plan areas.

DNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)

Ah ¹	244.89	Area of Roof (excluding 115mm Quad gutter) (m ²)
Ah ²	252.94	Area of Roof (including 115mm Quad gutter) (m ²)
Ac	306.06	Ah ² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m ²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm ²)
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	76	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m ²)
Required Downpipes	4.03	Ac ÷ Acdp
Downpipes Provided	5	

Sarking to be cut / discontinuous along ridge line. Custom orb profile to provide N.C.C. required ventilation between ridge capping and roofing sheet.

EAVES VENT NOTE:
BRADFORD CSR POLY EAVE VENT (23,700mm²). 7 VENTS EVENLY SPACED

No. Date Int.

Amendment changes as per cover sheet

Notes

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- All materials to be installed according to manufacturers specifications.
- Do not scale from these drawings.
- No changes permitted without consultation with designer.

Designer:

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PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Survey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email: info@anotherperspective.com.au

Client / Project info

PROPOSED NEWMAN RESIDENCE (2024)
23 Creese Drive,
RICHMOND

 JOSCON
TASMANIA

ROOF PLAN

Drawn	SW	AP2025-2511
Date	18 November 2025	Sheet
Scale	1:100	11/03