



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2025/057793**

**PROPOSAL:** Dwelling

**LOCATION:** 3 Dora Lane, Rokeby

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 17 February 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 17 February 2026. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 17 February 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

# Clarence City Council



## APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

*The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at Council offices.*

Proposal:

New residential dwelling

Location:

Address 3 Dora Lane

Suburb/Town Rokeby

Postcode 7019

Current  
Owners/s:

Applicant:

**Personal Information Removed**

Does the proposal involve land administered or owned  
by the Crown or Council?

Yes

☐

No

☒



Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's  
Signature:

**Personal Information Removed**

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST  
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST  
BE SUBMITTED WITH YOUR APPLICATION.**

### Documentation required:

#### 1. **MANDATORY DOCUMENTATION**

*This information is required for the application to be valid. An application lodged without these items is unable to proceed.*

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.  
*May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.*
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

*(please refer to <http://www.ccc.tas.gov.au/fees> or phone (03) 6217 9550 to determine applicable fees).*

#### 2. **ADDITIONAL DOCUMENTATION**

*In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.*

- ☐ **Site analysis plan and site plan**, including where relevant:
  - *Existing and proposed use(s) on site.*
  - *Boundaries and dimensions of the site.*
  - *Topography, including contours showing AHD levels and major site features.*
  - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
  - *Soil type.*
  - *Vegetation types and distribution, and trees and vegetation to be removed.*
  - *Location and capacity of any existing services or easements on/to the site.*
  - *Existing pedestrian and vehicle access to the site.*
  - *Location of existing and proposed buildings on the site.*
  - *Location of existing adjoining properties, adjacent buildings and their uses.*
  - *Any natural hazards that may affect use or development on the site.*
  - *Proposed roads, driveways, car parking areas and footpaths within the site.*
  - *Any proposed open space, communal space, or facilities on the site.*
  - *Main utility service connection points and easements.*
  - *Proposed subdivision lot boundaries.*



# Clarence City Council

## DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
  - *Internal layout of each building on the site.*
  - *Private open space for each dwelling.*
  - *External storage spaces.*
  - *Car parking space location and layout.*
  - *Major elevations of every building to be erected.*
  - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
  - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
  - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
  - *Planting concepts.*
  - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
  - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

*This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.*

## SEARCH OF TORRENS TITLE

VOLUME 186347	FOLIO 138
EDITION 1	DATE OF ISSUE 12-Mar-2024

SEARCH DATE : 03-Oct-2025

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 138 on Sealed Plan [186347](#)Derivation : Part of Lot 37617, 56.81ha Gtd. to The  
Director-General of Housing & ConstructionPrior CT [185339/504](#)SCHEDULE 1[M535627](#) TRANSFER to DAESUNGTAS PTY LTD Registered  
03-Nov-2015 at noonSCHEDULE 2

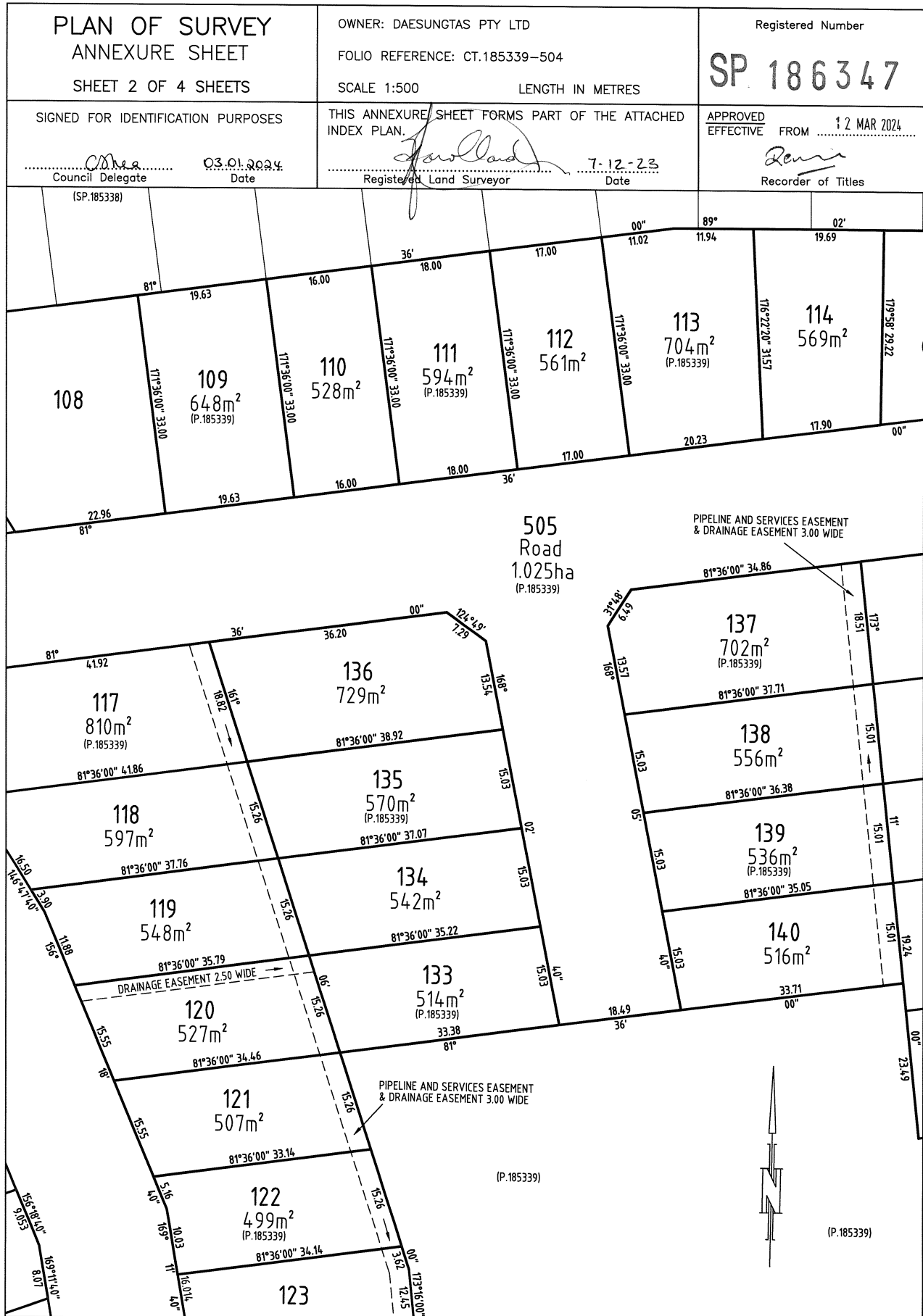
Reservations and conditions in the Crown Grant if any  
[SP186347](#) EASEMENTS in Schedule of Easements  
[SP186347](#) COVENANTS in Schedule of Easements  
[SP186347](#) FENCING PROVISION in Schedule of Easements  
[SP142549](#) & [SP184319](#) COVENANTS in Schedule of Easements  
[SP184319](#) FENCING PROVISION in Schedule of Easements  
[SP142549](#) FENCING COVENANT in Schedule of Easements  
[SP142549](#) WATER SUPPLY RESTRICTION  
[SP142549](#) SEWERAGE AND/OR DRAINAGE RESTRICTION  
[N111707](#) MORTGAGE to Butler McIntyre Investments Ltd  
Registered 06-Apr-2023 at 12.05 PM

UNREGISTERED DEALINGS AND NOTATIONS

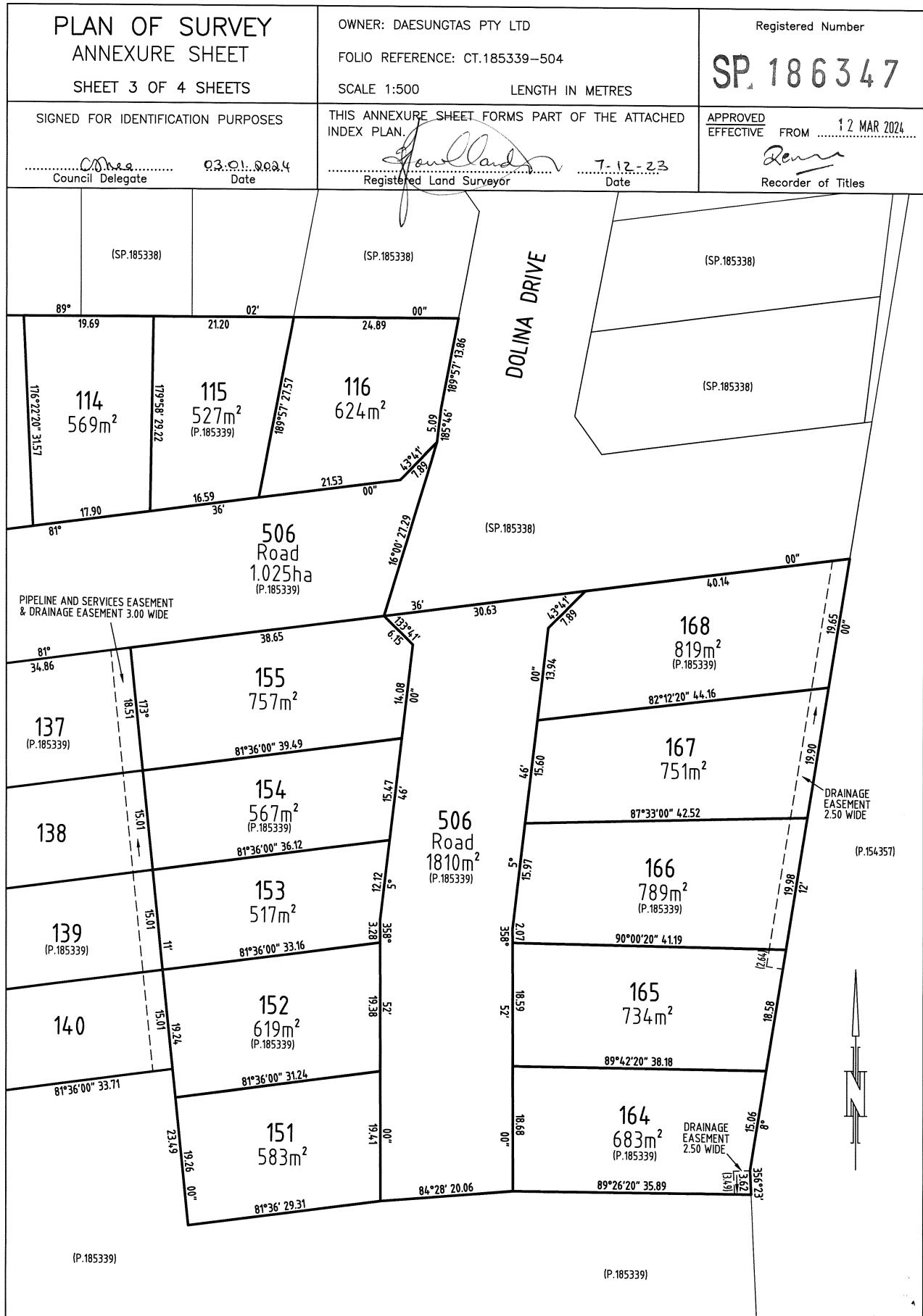
[N277369](#) PRIORITY NOTICE reserving priority for 90 days  
D/MORTGAGE BUTLER MCINTYRE INVESTMENTS LTD to  
DAESUNGTAS PTY LTD  
TRANSFER DAESUNGTAS PTY LTD to HOMES TASMANIA  
TRANSFER DAESUNGTAS PTY LTD to ALEXANDER NEIL BEECHEY  
MORTGAGE ALEXANDER NEIL BEECHEY and HOMES TASMANIA to  
B&E LTD Lodged by EB CONVEYANCING on 21-Jul-2025 BP:  
[N277369](#)

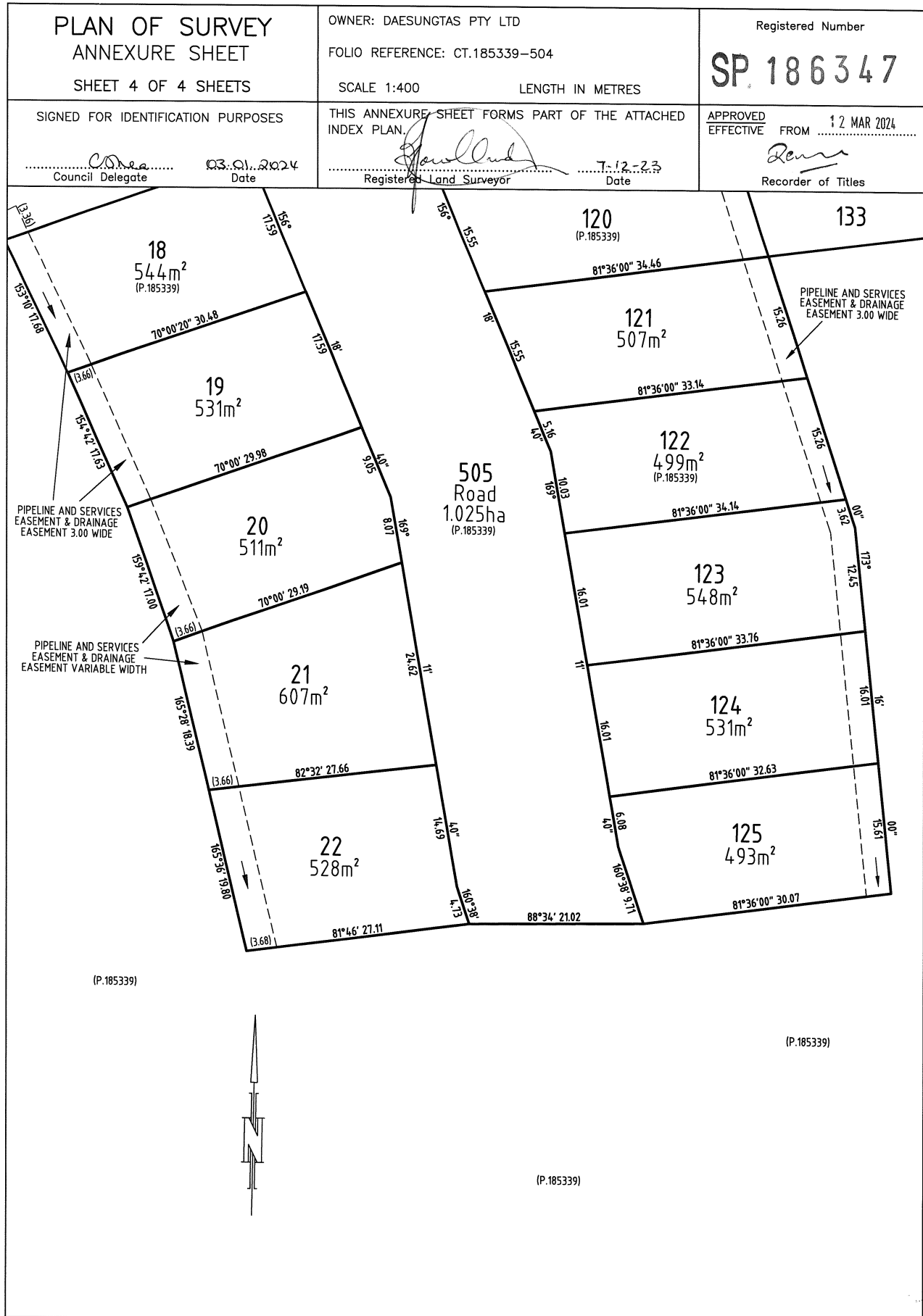












<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	<b>SP 186347</b>

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**EASEMENTS**

Lots 10 to 16 (inclusive) ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP-184319)** shown on the Plan ("the Easement Land").

Lots 10 to 16 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP-184319)** on the Plan.

Lots 17, 18, 19, 137 – 140 (inclusive) and 117-125 (inclusive) ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE** shown on the Plan ("the Easement Land").

Lots 17, 18, 19, 137 – 140 (inclusive) and 117-125 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE** on the Plan.

Director

Director/Secretary

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: DAESUNGTAS PTY LTD	PLAN SEALED BY: Clarence City Council
FOLIO REF: 185339/504	DATE: 3 <sup>rd</sup> January 2024
SOLICITOR	Stage 7-10
& REFERENCE: Page Seager (DAS 221111)	REF NO. SD-2016/31
	Council Delegate <i>C. Shea</i>

**NOTE:** The Council Delegate must sign the Certificate for the purposes of identification.



<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 6 PAGES	Registered Number <b>SP 186347</b>
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 185339/504	

Lots 20 – 22 (inclusive) (“the Lots”) are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH** shown on the Plan (“the Easement Land”).

Lots 20 – 22 (inclusive) (“the Lots”) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH** on the Plan.

Lots 120 and 164 to 168 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT 2.50 WIDE** on the Plan.

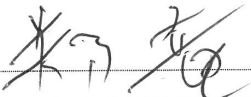
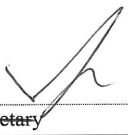
Each lot on the Plan is together with a right of way created by and fully described in the Schedule of Easements to SP 142549 over the land marked **RIGHT OF WAY (PRIVATE) 10.06 WIDE (SP.142549)** on the Plan.

Each lot on the Plan is together with a right of carriageway and service easement created by and fully described in C849483 over the land marked **RIGHT OF WAY (PRIVATE) & SERVICE EASEMENT 20.00 WIDE (P.154357) (created by C849483)** on the Plan.

#### COVENANTS

The owner of each Lot on the Plan covenants with the Vendor (Daesungtas Pty Ltd) and the Owner or Owners for the time being of every other Lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantor’s Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the plan to observe the following stipulations:

1. Not to subdivide that Lot at any time without the prior consent in writing of the Corporation.

 Director	 Director/Secretary
<b>NOTE:</b> Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.	

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 3 OF 6 PAGES	Registered Number <b>SP 186347</b>
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 185339/504	

2. Not to erect on that Lot more than a single residence, which may include an ancillary apartment together with usual outbuildings as may be permitted by the Corporation, without the consent of the Corporation.
3. Not to use the land for any purpose except as a residence or the for the purpose of house occupation without the prior consent of the Corporation in writing.
4. Not to use any engine or machinery in any trade of business, nor erect or use or permit to be used on any part of any lot shown on the Plan nor to conduct or permit to be conducted any trade or business on or from any part of the same, including but not limited to mining, quarrying, or market gardening. The leasing of the property for private residential purposes is not deemed to be a breach of this covenant.
5. Not to keep any animals other than domestic pets on any lot shown on the Plan and not to make any application for a kennel licence in respect of any lot shown on the Plan nor to keep or establish or permit to be kept or established any licensed kennel upon any lot or any part of any lot shown on the Plan nor to keep at one time more than two adult canines on any lot shown on the Plan.
6. The Vendor may, at the Vendor's absolute discretion, waive the burden of any covenant contained in this Schedule of Easements in favour of any lot by notice in writing to the registered proprietor of that lot.

**FENCING PROVISION**

In respect of the Lots shown on the Plan, the Vendor (Daesungtas Pty Ltd) shall not be required to fence.

**DEFINITIONS**

“**Corporation**” means the Warden Councillors and Electors of the City of Clarence.

“**Drainage Easement**” means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over

Director

Director/Secretary

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 4 OF 6 PAGES	Registered Number <b>SP 186347</b>
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 185339/504	

which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

“Pipeline and Services Easement” is defined as follows:-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and

Director

Director/Secretary

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 5 OF 6 PAGES	Registered Number <b>SP 186347</b>
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 185339/504	

- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

**“Infrastructure”** means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

**“TasWater”** means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

\_\_\_\_\_  
Director

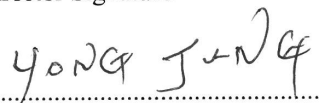
\_\_\_\_\_  
Director/Secretary

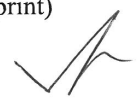
**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

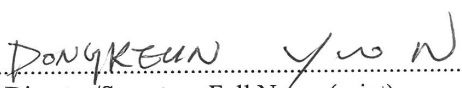
<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 6 OF 6 PAGES	Registered Number <b>SP 186347</b>
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 185339/504	

**EXECUTED** by **DAESUNGTAS PTY LTD (ACN 607 472 131)** as registered proprietor of the land comprised in Folio of the Register Volume 185339 Folio 504 in accordance with section 127 of the *Corporations Act 2001* (Cth) by: )


  
.....  
Director Signature


  
.....  
Director Full Name (print)

  
.....  
\*Director/\*Secretary Signature

  
.....  
\*Director/Secretary Full Name (print)

(\*please strike out inapplicable)

 Director

 Director/Secretary

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

UNREGISTERED DEALINGS REPORT

SEARCH DATE : 09-Dec-2025

SEARCH TIME : 04:14 pm

CT: 186347/138

N297754      PRIORITY NOTICE reserving priority for 90 days  
D/MORTGAGE BUTLER MCINTYRE INVESTMENTS PTY LTD TO  
DAESUNGTAS PTY LTD  
TRANSFER DAESUNGTAS PTY LTD TO JUNISA BANGURA  
MORTGAGE JUNISA BANGURA TO AUSTRALIA AND NEW ZEALAND  
BANKING GROUP LIMITED    Lodged by PAULA SUTHERLAND on  
06-Nov-2025    BP: N297754

9 December 2025

Att: Planning Department  
Clarence City Council

Dear Sir/Madam,

**3 Dora Lane, Rokeby**  
**New residential dwelling development**

Please find enclosed application for development for a single residential dwelling development at 3 Dora Lane, Rokeby. In support of this application the following documents are provided:

- Title documents
- DA plans

**8.0 General Residential Zone**

**8.1 Zone Purpose**

- 8.1.1 The proposal is for the construction of a single residential dwelling located on a lot with full infrastructure and services available.
- 8.1.2 The proposed development is located in close proximity to public transport and other services and complies.

**8.2 Use Table**

A single residential dwelling is a no permit required, permitted or discretionary use. Our assessment of the development, as below, assess this proposed development as a “discretionary” application.

**8.4 Development Standards for Dwellings**

- 8.4.1 Residential density for multiple dwellings
  - A1 NA
- 8.4.2 Setbacks and building envelope for all dwellings
  - A1 The proposed dwelling is set back >4500mm from the front boundary and complies with A1.
  - A2 The proposed dwelling includes a garage with >5500 from the frontage and complies.

- A3(a) The proposed dwelling does not contain within the building envelope from the eastern boundary, as demonstrated on elevations and therefore, it has been assessed as P3(a).
  - P3(a) The proposed dwelling's overshadowing impacts are minimal and there is no unreasonable loss of sunlight to habitable rooms or private open space on adjoining properties. The adjoining eastern property is currently vacant, further reducing any potential impact. The proposed dwelling will not create an unreasonable visual impact when viewed from neighbouring lots and can meet the requirements to comply with P3(a).
  - A3(b) The proposed dwelling is located >1500mm from the rear boundary, however it is located within 1500mm from the southern boundary and does not comply with A3(b) and so has been assessed against P3.
  - P3(b) The proposed dwelling provides separation between adjoining properties that is consistent with established patterns in the area. The adjoining eastern property is currently vacant and any future development will maintain a reasonable combined separation. It can meet the requirement to comply with P3(b).
- 8.4.3 Site coverage and private open space for all dwellings
- A1(a) The proposed dwelling has a site coverage of 33.11% and complies.
  - A1(b) NA
  - A2(a) The proposed dwelling has a POS of 24m<sup>2</sup> and complies.
  - A2(b) The proposed dwelling has a POS with minimum width of 4000mm and complies with A2(b).
  - A2(c) The POS is located to the rear side of the property and complies with A2 (c).
  - A2(d) The POS for the proposed dwelling has a gradient of not more than 1 in 10 and complies with A2(d).
- 8.4.4 Sunlight to private open space of multiple dwellings
- A1(a) NA
- 8.4.5 Width of openings for garages and carports for all dwellings
- A1 The proposed dwelling's garage has the width opening <6000mm from the frontage and complies with A1.
- 8.4.6 Privacy for all dwellings
- A1 (a) The proposed dwelling has a landing on the northern boundary with a FFL >1000mm and added the privacy screen to 1700mm high with 25% transparency and complies with A1(a).
  - A1(b) The proposed dwelling has a landing on the eastern boundary with a FFL>1000mm and it is located >4000mm from the rear boundary and complies with A1(b).
  - A1(c) NA
  - A2 (a) The proposed dwelling has windows (W2 & W3) within 3000mm on the southern side with a FFL >1000mm and will be screened as an opaque window as demonstrated on the elevations and complies with A2(a).
- 8.4.7 Frontage fences for all dwellings
- A1 NA



- 8.4.8 Waste storage for multiple dwellings  
A1(a) NA

## **C2.0 Parking and Access Code**

### **C2.5 Use Standards**

- C2.5.1 Car parking numbers  
A1 The proposed development is for a 4-bedroom dwelling with single garage and in accordance with Table C2.1, 2 car parking spaces are required. The proposed development provides for two car parking spaces and complies with A1.
- C2.5.2 Bicycle parking numbers  
A1 NA
- C2.5.3 Motorcycle parking numbers  
A1 NA
- C2.5.4 Loading Bays  
A1 NA
- C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone  
A1 NA

### **C2.6 Development Standards for Buildings and Works**

- C2.6.1 Construction of parking areas  
A1(a) & (c) The parking and driveway for the proposed dwelling will be constructed from concrete and complies with A1(a) & (c).  
A1(b) The driveway is designed to be drained to the Council stormwater system and complies with A1(b).
- C2.6.2 Design and layout of parking areas  
A1.1 The driveway and parking areas have been designed to comply with *AS2890- Parking facilities Parts 1-6* and complies.  
A1.2 NA
- C2.6.3 Number of accesses for vehicles  
A1 One access has been designed for this proposal and complies with A1.  
A2 NA
- C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone  
A1 NA
- C2.6.5 Pedestrian access  
A1.1 NA
- C2.6.6 Loading bays  
A1 NA  
A2 NA
- C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone  
A1 NA

	A2	NA
C2.6.8	Siting of parking and turning areas	
	A1	NA

**C13.0 Bushfire-Prone Areas Code**

The proposed dwelling is located within the Bushfire-Prone Areas Code and will be constructed to the assessed BAL.

**C16.0 Safeguarding of Airports Code**

The proposed dwelling is located within safeguarding of airports (obstacle limitation area). The proposal complies with the height restriction requirements of this code.

Please contact me via email should you require any additional information to assist Council's assessment of the application

PROPOSED NEW RESIDENCE

3 DORA LANE,

ROKEBY

DAESUNG TAS PTY LTD

PD25371

H908



BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	CUT/FILL PLAN
05	FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN
10	FLOOR FINISHES PLAN
11	ELECTRICAL/REFLECTED CEILING PLAN
12	PERSPECTIVES
13	SHADOW DIAGRAMS

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 138/186347  
SITE AREA: 556m<sup>2</sup>  
DESIGN WIND SPEED: N3  
SOIL CLASSIFICATION: M  
CLIMATE ZONE: 7  
ALPINE AREA: N/A  
CORROSIVE ENVIRONMENT: N/A  
BAL RATING: TBC  
OTHER KNOWN HAZARDS: BUSHFIRE-PRONE AREA,  
AIRPORT OBSTACLE LIMITATION AREA



FLOOR AREA	146.14	m2	(15.73 SQUARES )
GARAGE AREA	37.94	m2	(4.08 SQUARES )
TOTAL AREA	184.08		19.81



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H: Shop 9, 105-111 Main Road, Moonah, 7009  
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info@primedesigntas.com.au  
Accredited Building Practitioner:

bdag  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

primedesigntas.com.au  
Frank Geskus -No CC246A

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REV. DATE DESCRIPTION

JANUARY 2026  
PLANNING

SETBACKS  
REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

GARAGE IS LOCATED WITHIN 12m OF THE PRIMARY FRONTAGE, OPENING WIDTH IS 5.1m

SITE COVERAGE  
BUILDING FOOTPRINT 184.08 /SITE AREA 556m2 = 0.331  
TOTAL SITE COVERAGE 33.11%

PRIVATE OPEN SPACE  
24m<sup>2</sup> MINIMUM,  
WITH A MINIMUM DIMENSION OF 4m  
GRADIENT NO STEEPER THAN 1:10

DECK:  
REFER TO SITE PLAN FOR SETBACK, DECK IS 1m ABOVE ESL DOES REQUIRE A SCREEN TO 1.7m

- GENERAL NOTES
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
  - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
  - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
  - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
  - CONFIRM ALL FLOOR AREAS
  - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
  - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
  - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
  - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
  - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
  - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
  - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
  - CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
  - DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

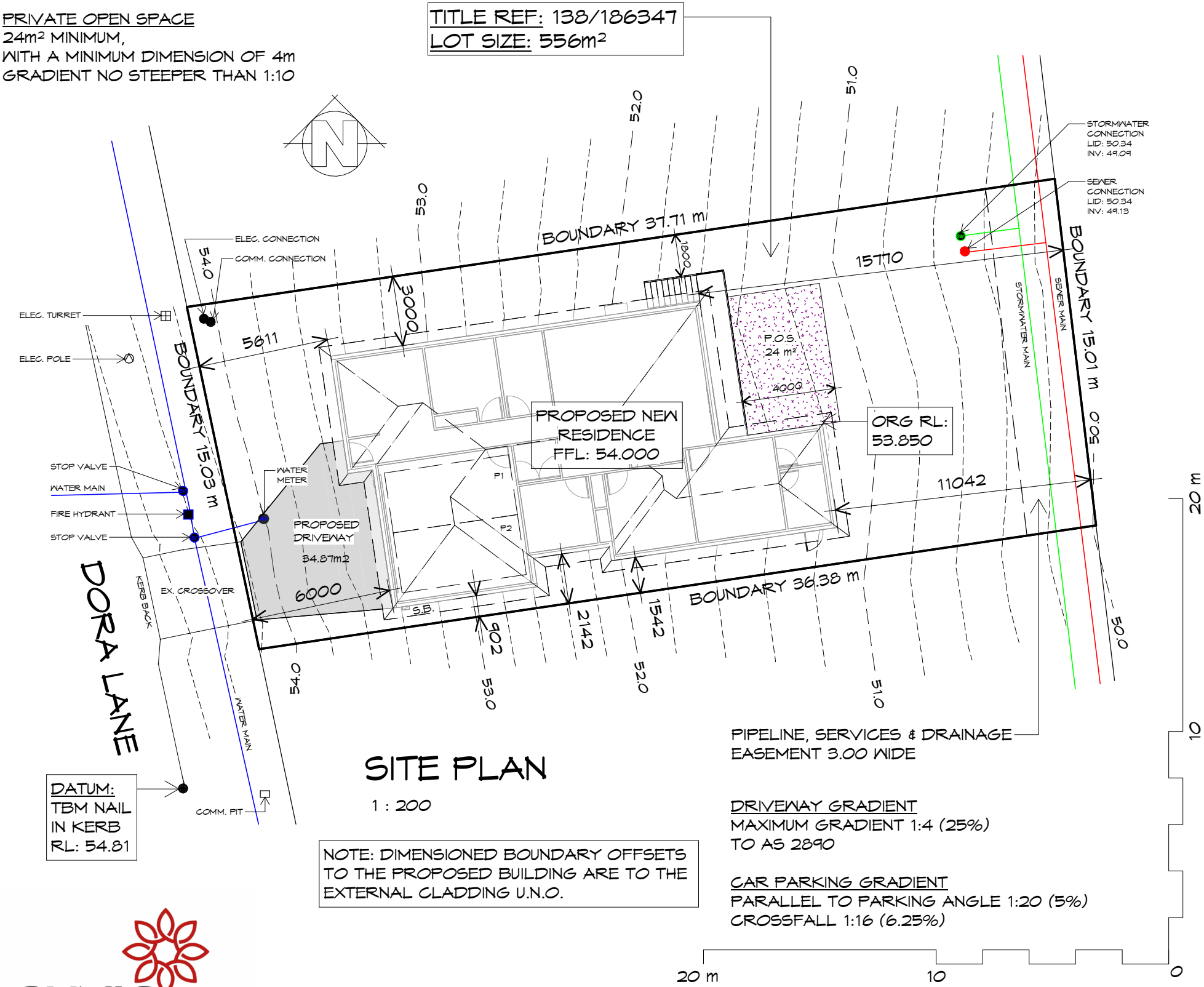
SITE DETAIL  
THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.

SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER BYDA ONLY" ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.

CONTOUR INTERVAL 0.2m



REV. DATE DESCRIPTION

Client name:  
DAESUNG TAS PTY LTD

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
3 DORA LANE,  
ROKEBY

Drawing:  
SITE PLAN

Prime Design

L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790  
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Date: 23.01.2026  
Drafted by: J.B  
Approved by: A.J.C

Project/Drawing no: PD25371 - 01  
Scale: 1 : 200  
Revision: 03

Accredited building practitioner: Frank Gekus - No CC246A  
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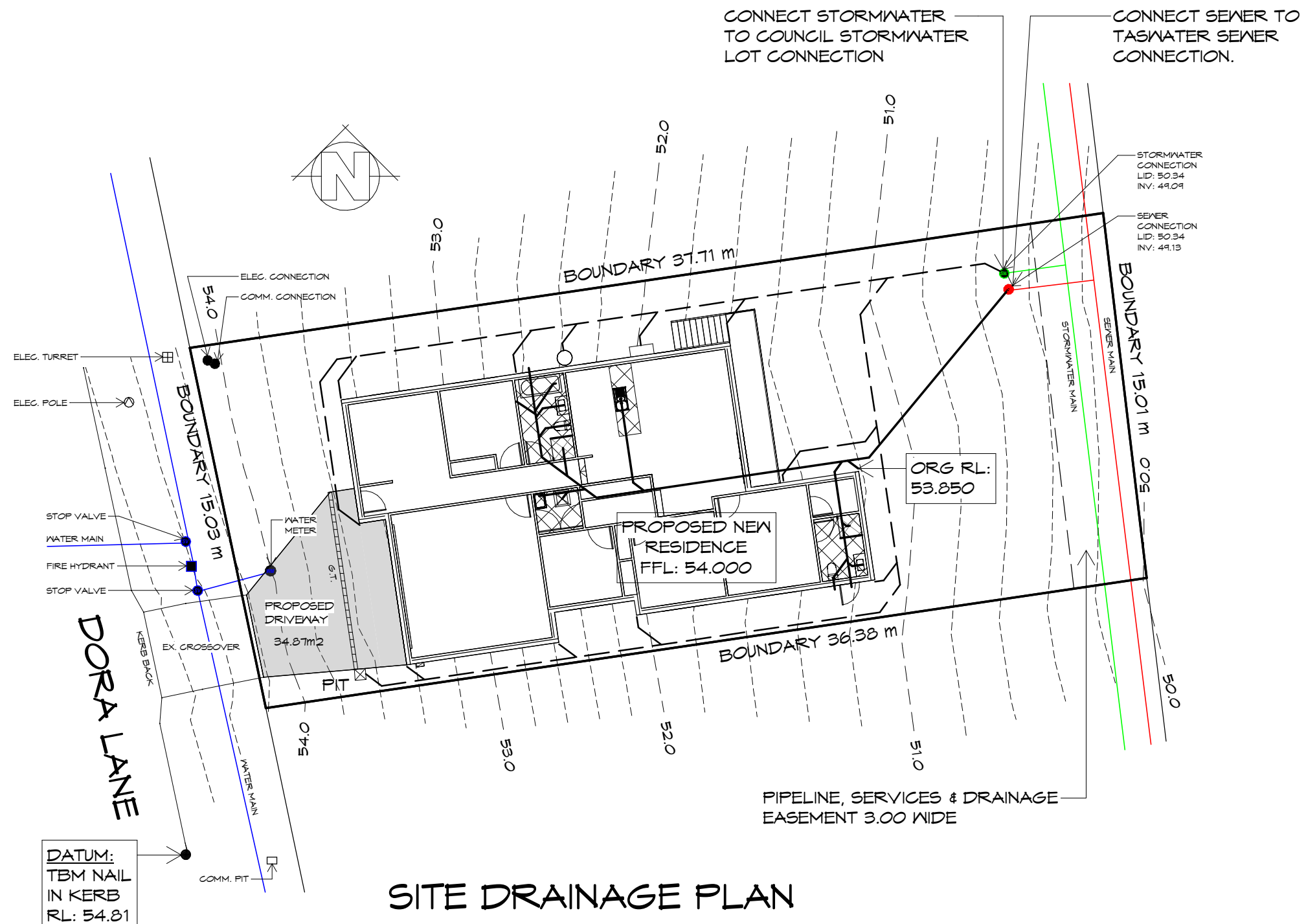
LEGEND

- 450X 450 SURFACE DRAINAGE PIT
- NET AREAS
- SEWER LINE
- STORMWATER LINE
- 100φ AG DRAIN
- GRATED TRENCH; 150mm WIDE

**PLUMBING NOTES:**  
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.  
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER ASNZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

- SEWER AND WATER SERVICES**
- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
  - WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST



REV.	DATE	DESCRIPTION
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Client name:  
DAESUNG TAS PTY LTD

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
3 DORA LANE,  
ROKEBY  
Drawing:  
SITE DRAINAGE PLAN



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Date: 23.01.2026  
Drafted by: J.B  
Approved by: A.J.C

Project/Drawing no: PD25371 - 02  
Scale: As indicated  
Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A  
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PROPOSED NEW RESIDENCE  
3 DORA LANE,  
ROKEBY

## LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **DOES** FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE **DOES** REQUIRE A BUSHFIRE ASSESSMENT.



REV.	DATE	DESCRIPTION

Client name:  
DAESUNG TAS PTY LTD

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
3 DORA LANE,  
ROKEBY

Drawing:  
LOCALITY PLAN



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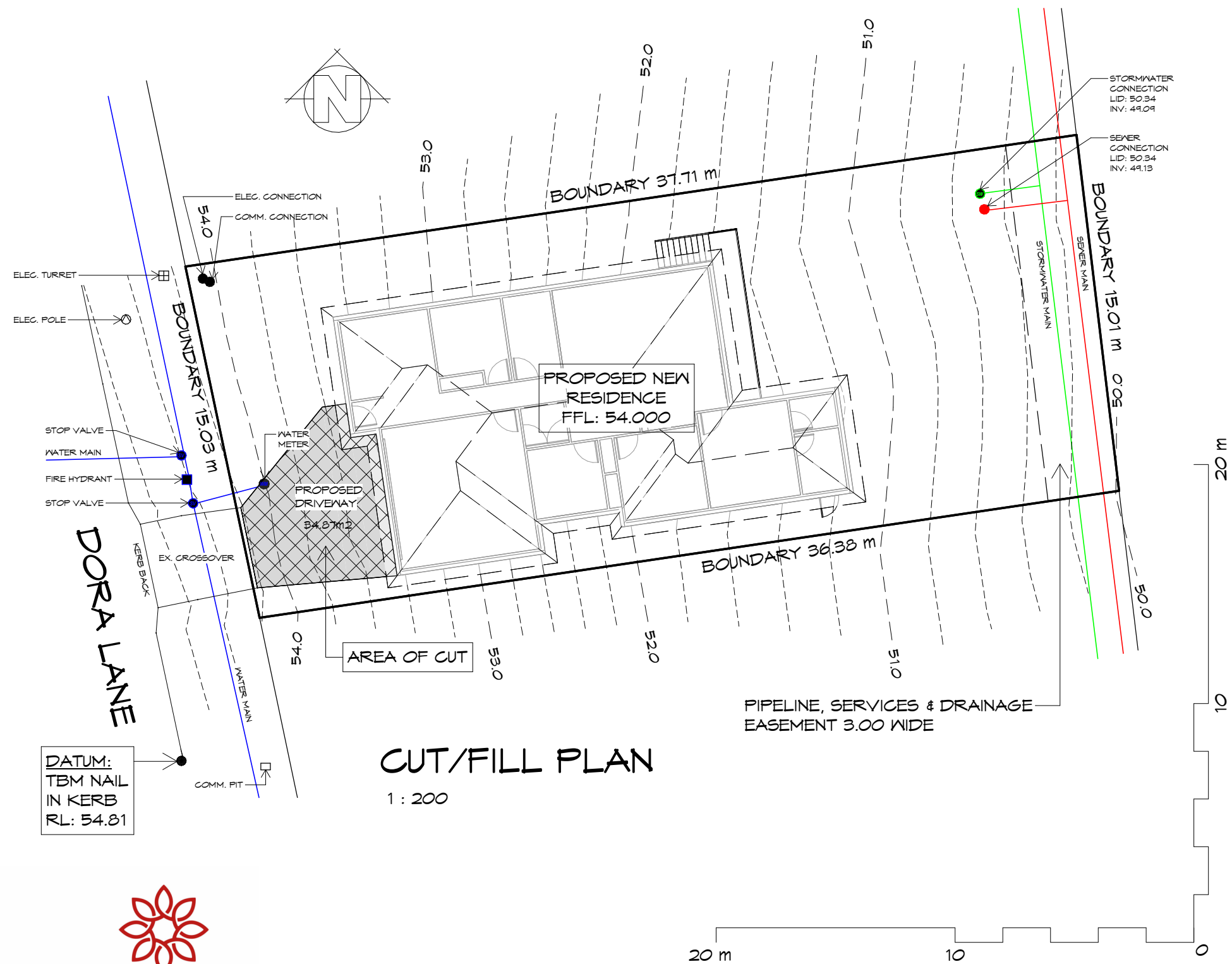


Date: 23.01.2026	Drafted by: J.B	Approved by: A.J.C
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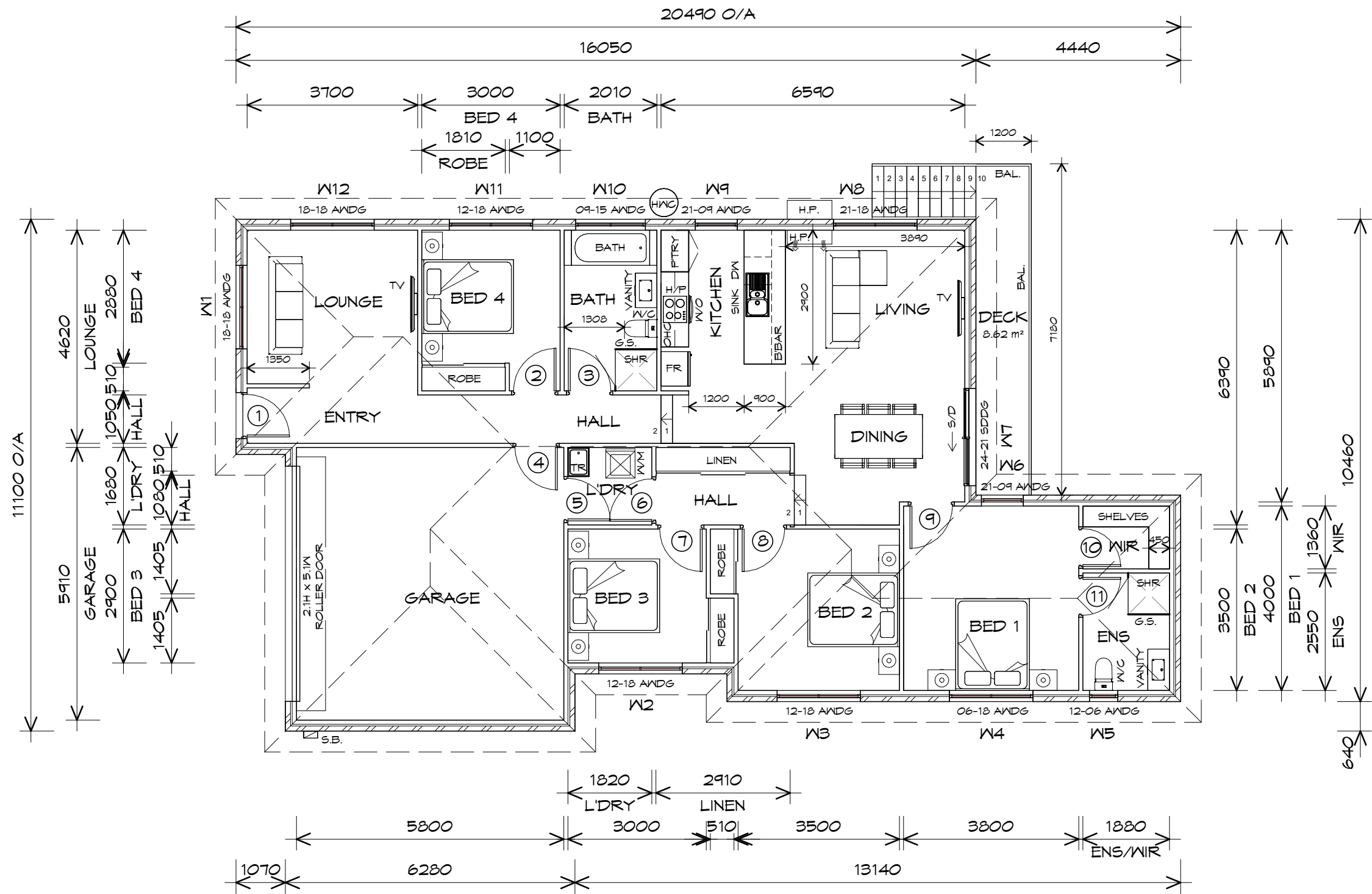


CUT/FILL SCHEDULE	
CUT VOLUME (m3)	FILL VOLUME (m3)
8.02	0.00

NOTE:  
THE CUT AND FILL VOLUMES CALCULATED BY  
REVIT ARE APPROXIMATE, GENERALLY  
PROVIDING RESULTS WITH +/- 1% TO 2%  
ACCURACY

LEGEND

- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- OHC OVERHEAD CUPBOARD
- BAL. BALUSTRADE
- HWC HOT WATER CYLINDER
- S.B. SWITCH BOX



FLOOR PLAN

1 : 100

FLOOR AREA	146.14	m <sup>2</sup>	(15.73 SQUARES)
GARAGE AREA	37.94	m <sup>2</sup>	(4.08 SQUARES)
TOTAL AREA	184.08		19.81

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.



REV. DATE DESCRIPTION

Client name:  
DAESUNG TAS PTY LTD

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
3 DORA LANE,  
ROKEBY  
Drawing:  
FLOOR PLAN



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Date: 23.01.2026 Drafted by: J.B. Approved by: A.J.C.

Project/Drawing no: PD25371 - 05 Scale: 1 : 100 Revision: 03

Accredited building practitioner: Frank Gekus - No CC246A  
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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	INTERNAL TIMBER DOOR	
6	920	INTERNAL TIMBER DOOR	
7	920	INTERNAL TIMBER DOOR	
8	920	INTERNAL TIMBER DOOR	
9	920	INTERNAL TIMBER DOOR	
10	820	INTERNAL TIMBER DOOR	
11	820	INTERNAL TIMBER DOOR	
12	820	EXTERNAL SOLID DOOR	SUB-FLOOR ACCESS DOOR 1800 HIGH - TO BE CONFIRMED ON SITE

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1200	1810	AWNING WINDOW	OPAQUE TO 1.7m ABOVE FFL
W3	1200	1810	AWNING WINDOW	OPAQUE TO 1.7m ABOVE FFL
W4	600	1810	AWNING WINDOW	OPAQUE TO 1.7m ABOVE FFL
W5	1200	610	AWNING WINDOW	OPAQUE
W6	2100	910	AWNING WINDOW	
W7	2400	2110	SLIDING DOOR	
W8	2100	1810	AWNING WINDOW	
W9	2100	910	AWNING WINDOW	
W10	900	1510	AWNING WINDOW	OPAQUE
W11	1200	1810	AWNING WINDOW	
W12	1800	1810	AWNING WINDOW	

ALUMINUM WINDOWS **DOUBLE GLAZING** LOW-REFLECTIVE GREY TINT  
COMPLETE WITH FLY SCREENS TO SUIT **TBC BAL** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:  
DAESUNGTAS PTY LTD

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
3 DORA LANE,  
ROKEBY

Drawing:  
DOOR AND WINDOW SCHEDULES



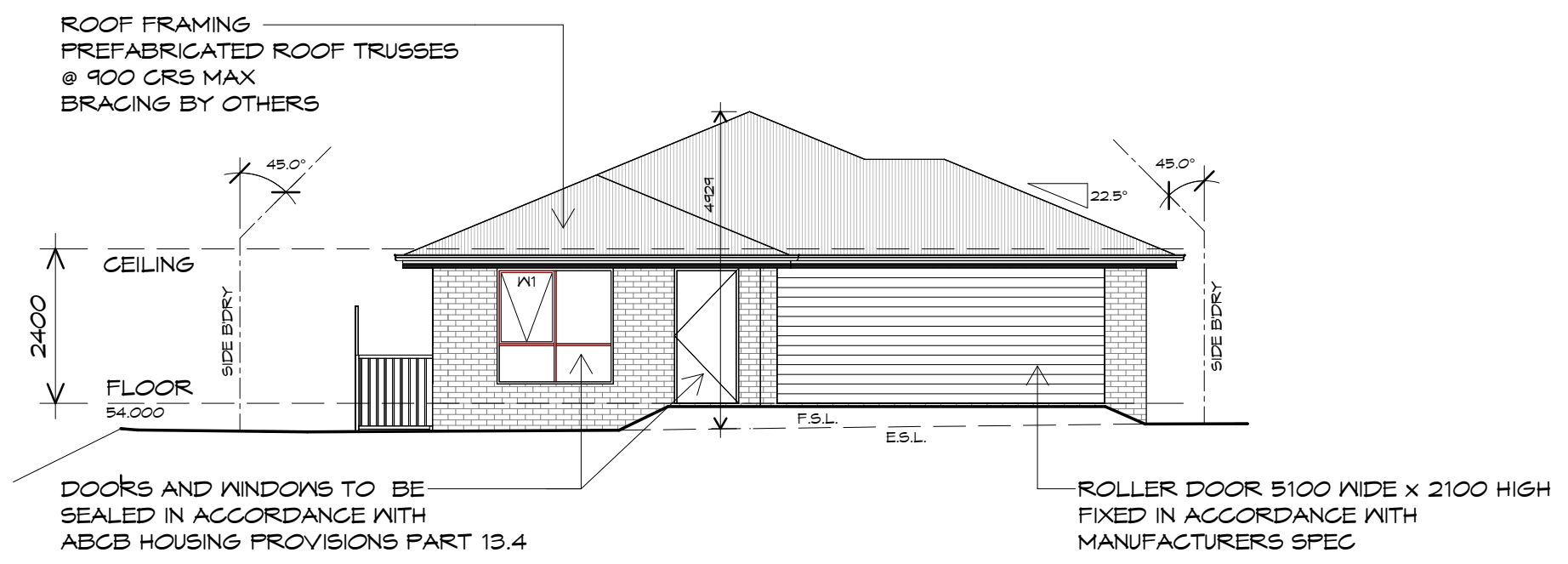
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Date:	Drafted by:	Approved by:
23.01.2026	J.B	A.J.C

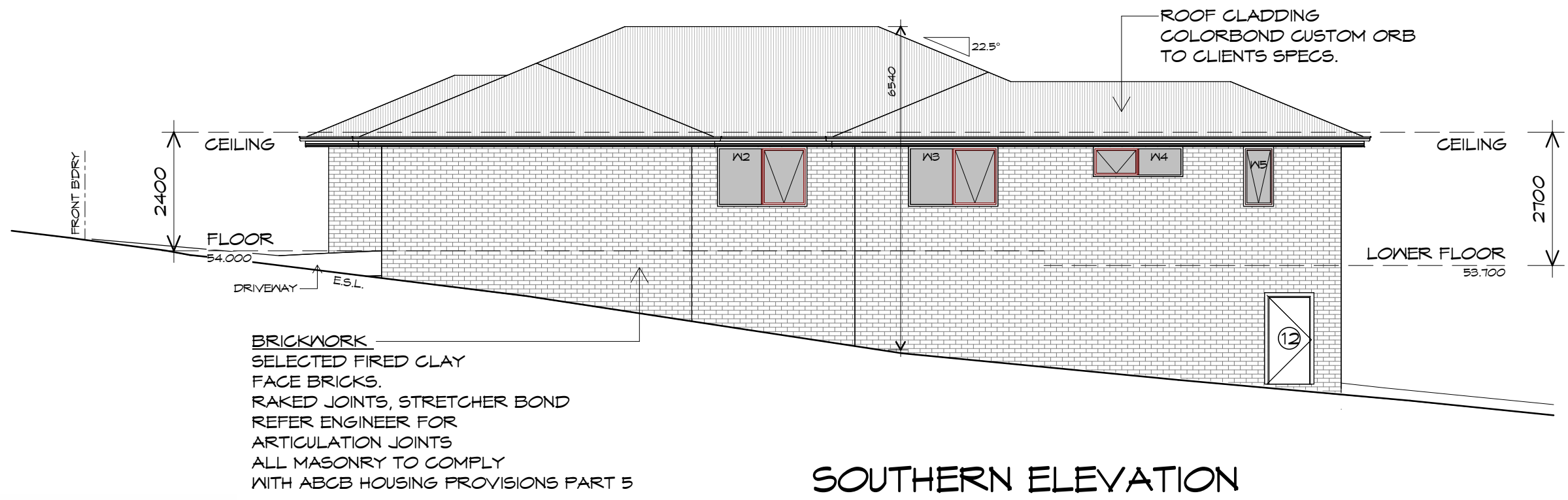
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PD25371 - 06		03

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## WESTERN ELEVATION

1 : 100



## SOUTHERN ELEVATION

1 : 100



REV.	DATE	DESCRIPTION
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Client name:  
 DAESUNG TAS PTY LTD

**PLANNING**  
 NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
 PROPOSED NEW RESIDENCE  
 3 DORA LANE,  
 ROKEBY

Drawing:  
 ELEVATIONS



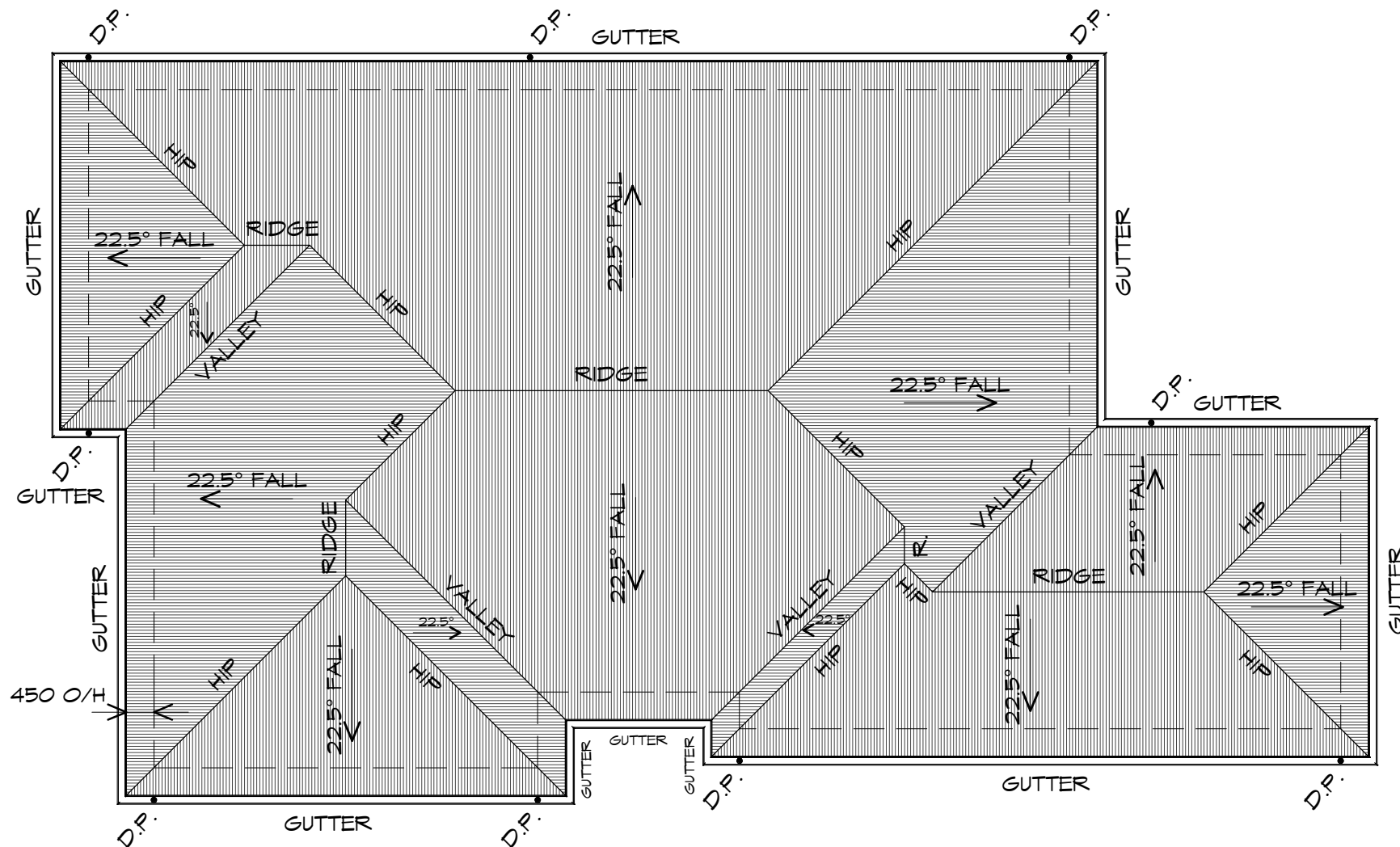
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**bdoo**  
 BUILDING DESIGNERS  
 ASSOCIATION OF AUSTRALIA

Date: 23.01.2026	Drafted by: J.B	Approved by: A.J.C
Project/Drawing no: PD25371 - 07	Scale: 1 : 100	Revision: 03

Accredited building practitioner: Frank Gekus - No CC246A  
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## ROOF PLAN

1 : 100

### OVERFLOW MEASURES

INSTALL FRONT FACE SLOTTED GUTTER OR 10mm CONTROLLED BACK GAP, STAND OFF BRACKET WITH SPACER.

BACK OF GUTTER INSTALLED A MINIMUM OF 10mm BELOW THE TOP OF FASCIA

INSTALL IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.6

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

### ROOF PLUMBING NOTES:

#### GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:500 FOR EAVES GUTTER  
BOX GUTTERS IN ACCORDANCE WITH  
AS33500.3:2021

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

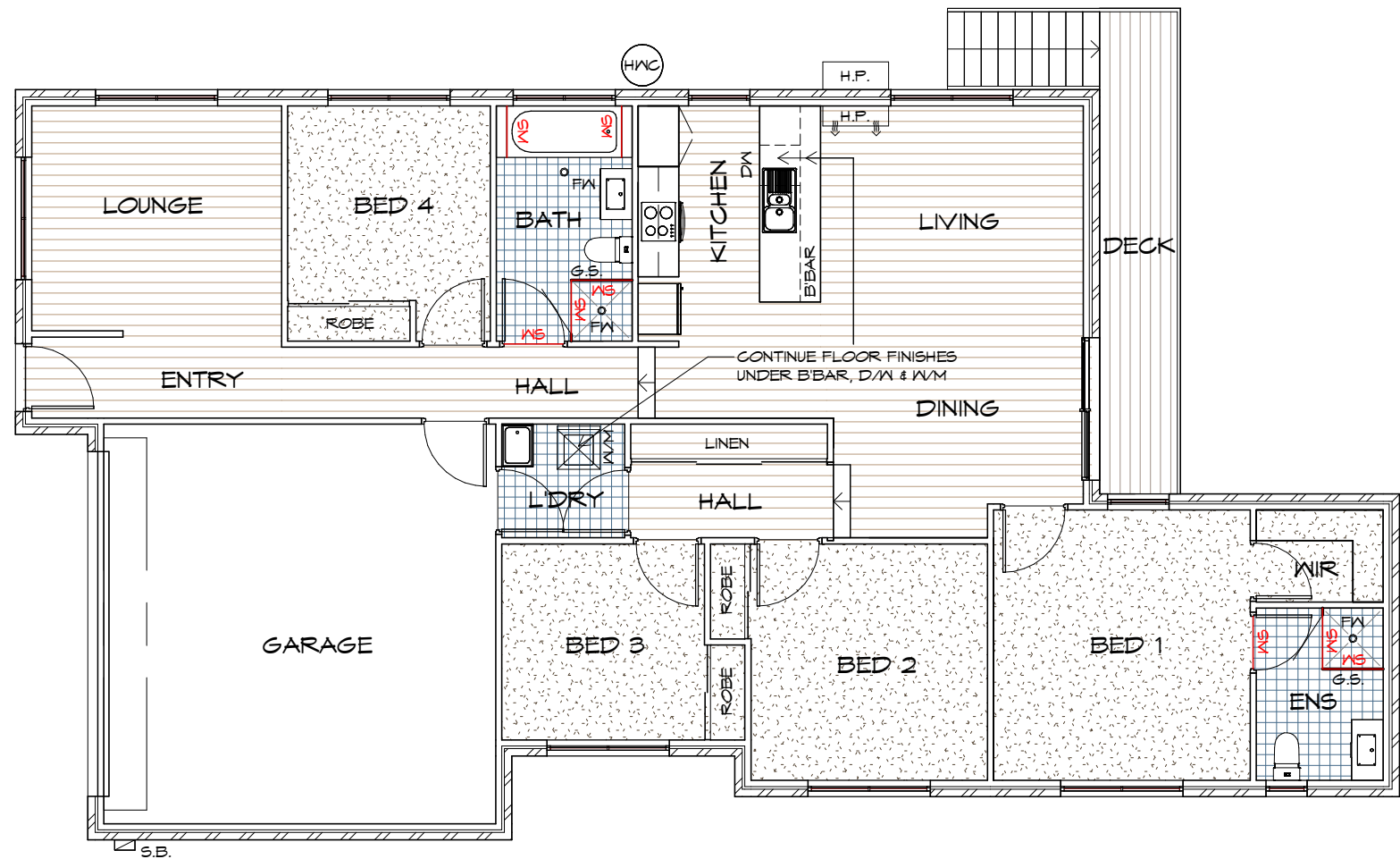
DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS  
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



## FLOOR FINISHES PLAN

1 : 100



REV.	DATE	DESCRIPTION

Client name:  
DAESUNG TAS PTY LTD

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
3 DORA LANE,  
ROKEBY

Drawing:  
FLOOR FINISHES PLAN

**Prime Design**

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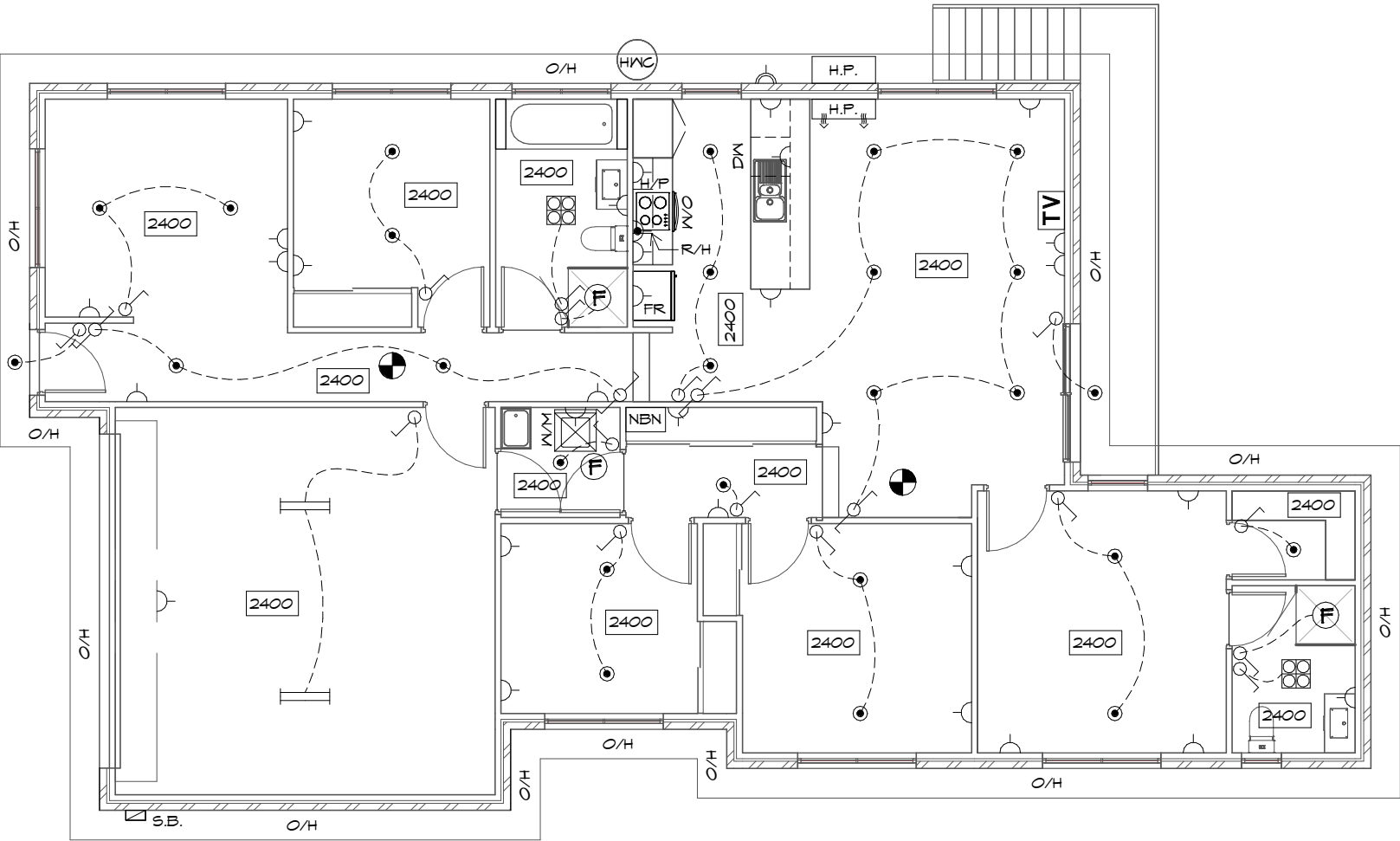
**bdoo**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

Date: 23.01.2026	Drafted by: J.B	Approved by: A.J.C
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Project/Drawing no: PD25371 - 10	Scale: 1 : 100	Revision: 03
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Accredited building practitioner: Frank Gekus - No CC246A  
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ELECTRICAL/REFLECTED CEILING PLAN

1 : 100

**IMPORTANT:**  
PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.  
ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT.  
IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

**ARTIFICIAL LIGHTING**  
RESIDENCES TO BE IN COMPLIANCE WITH  
NCC 2019 PART 3.12.5.5.

ARTIFICIAL LIGHTING MUST NOT EXCEED:

- 5W/m2 FOR CLASS 1 BUILDING
- 4W/m2 FOR VERANDAHS & BALCONIES
- 3W/m2 FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.



**SMOKE ALARMS**

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

**ELECTRICAL**  
ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000.

**EXHAUST FANS**  
EXHAUST FANS TO ACHIEVE FLOW RATE TO COMPLY WITH HOUSING PROVISIONS 10.8.2

**DOWNLIGHTS**  
ALL DOWNLIGHTS TO BE IC-F RATED AND INSULATED OVER.

ELECTRICAL INDEX

LIGHTING

- ☒ FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE\*
- L.E.D. - SEALED DOWN LIGHT \*
- ▬ TWIN TUBE FLUORESCENT LIGHT
- \*INSTALL AS PER MANUFACTURERS SPECIFICATION

OTHER

- ⦿ 240V SMOKE ALARM
- ☑ SWITCH BOX
- ⓕ EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- R/H RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER
- OHC OVERHEAD CUPBOARDS

SWITCH TYPE

- ⏻ ONE-WAY SWITCH
- ⏻ TWO-WAY SWITCH

WALL OUTLETS

- ⌋ GENERAL PURPOSE OUTLET (DOUBLE)
- ⌋ WEATHER PROOF OUTLET
- ⌋ HOTPLATE SAFETY CUT-OFF

TV T.V. OUTLET

NOTE:  
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

CEILING

- xxxx DENOTES CEILING HEIGHT
- O/H ROOF OVERHANG/EAVES
- B.H. BULK HEAD

HEATING

- H.P. ⏻ HEAT PUMP
- H.P. ☐ HEAT PUMP, OUTDOOR UNIT



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REV. DATE DESCRIPTION

Client name:  
DAESUNG TAS PTY LTD

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS

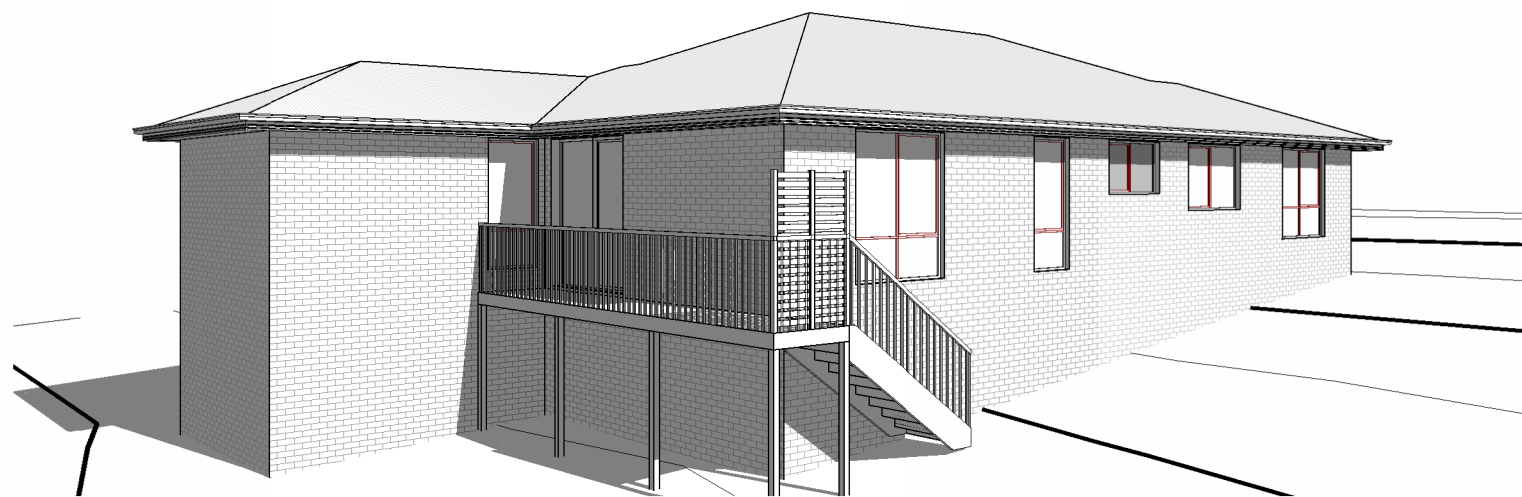
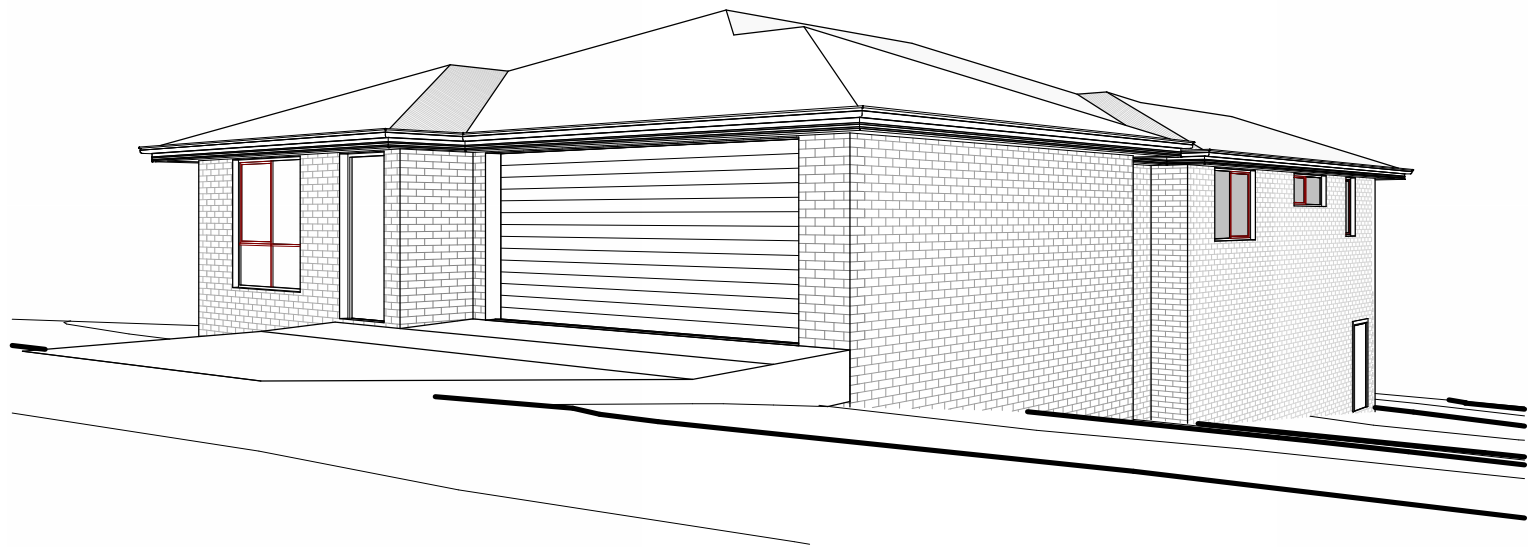
Project:  
PROPOSED NEW RESIDENCE  
3 DORA LANE,  
ROKEBY

Drawing:  
ELECTRICAL/REFLECTED CEILING PLAN

Date: 23.01.2026  
Drafted by: J.B  
Approved by: A.J.C

Project/Drawing no: PD25371 - 11  
Scale: 1 : 100  
Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A  
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REV.	DATE	DESCRIPTION

Client name:  
DAESUNG TAS PTY LTD

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
3 DORA LANE,  
ROKEBY

Drawing:  
PERSPECTIVES

**Prime Design**

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H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

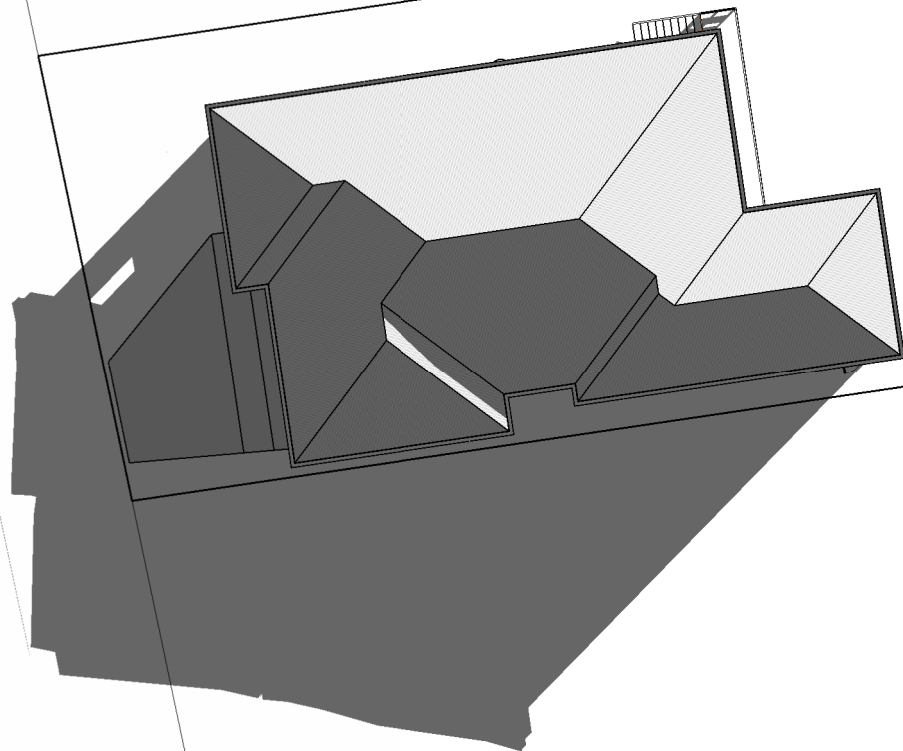


Date: 23.01.2026	Drafted by: J.B	Approved by: A.J.C
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Project/Drawing no: PD25371 - 12	Scale:	Revision: 03
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Accredited building practitioner: Frank Gekus - No CC246A  
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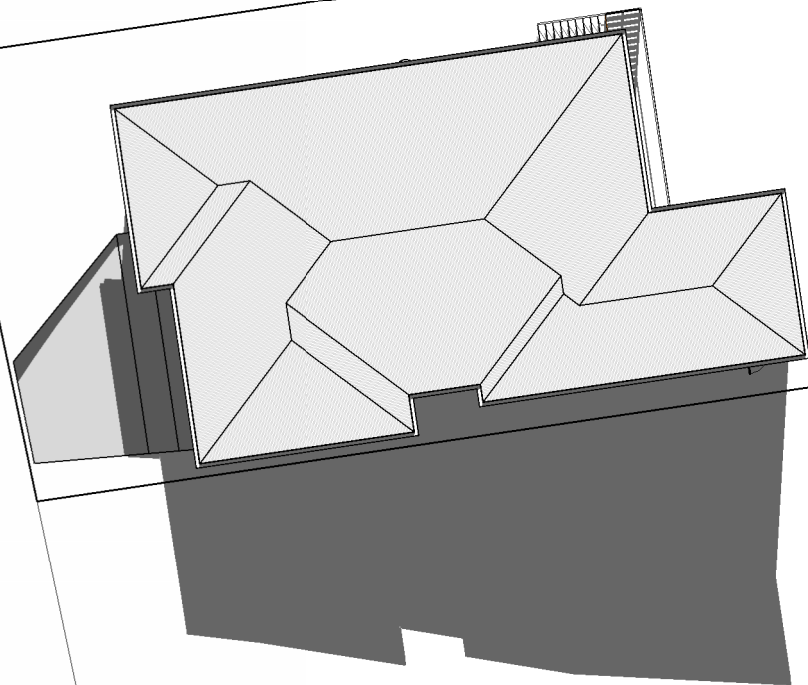
DORA LANE



SHADOW DIAGRAM @ 9AM

1 : 250

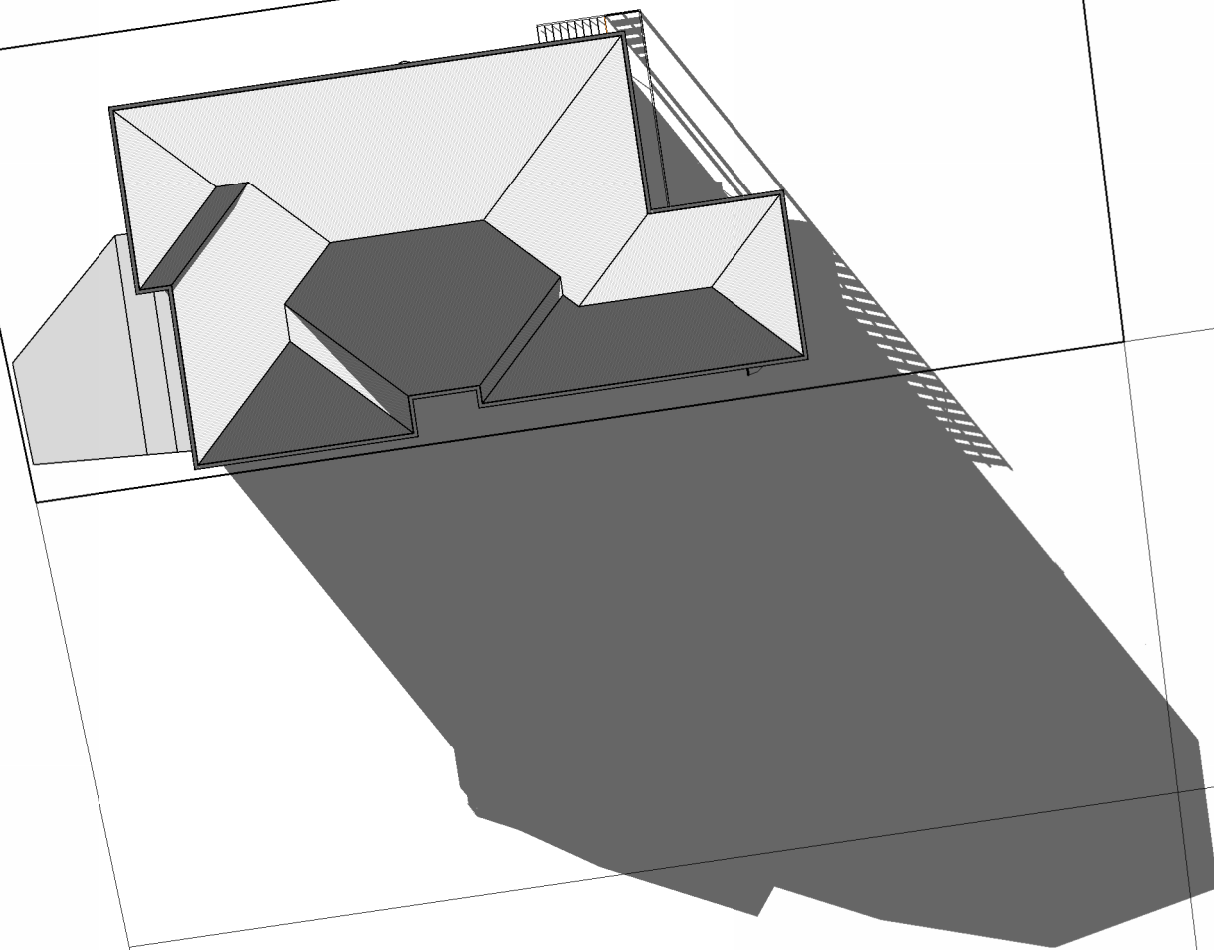
DORA LANE



SHADOW DIAGRAM @ 12PM

1 : 250

DORA LANE



SHADOW DIAGRAM @ 3PM

1 : 250

GENERAL INFORMATION  
NORTH: TRUE NORTH  
DAY LIGHT SAVINGS: OFF  
DATE: JUNE 21st

 Prime Design

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H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575  
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 bdoo  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

Date: 23.01.2026  
Drafted by: Author  
Approved by: Approver

Project/Drawing no: PD25371 - 13  
Scale: As indicated  
Revision: 03

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REV.	DATE	DESCRIPTION
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Client name:  
DAESUNG TAS PTY LTD

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
3 DORA LANE,  
ROKEBY  
  
Drawing:  
SHADOW DIAGRAMS

