



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/057793

PROPOSAL: Dwelling

LOCATION: 3 Dora Lane, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 17 February 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 17 February 2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 17 February 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.



Clarence City Council

APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New residential dwelling

Location:

Address

Suburb/Town

Postcode

Current
Owners/s:

Personal Information Removed

Applicant:

Does the proposal involve land administered or owned
by the Crown or Council?

Yes

No

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION DECLARATION



Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**



Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.

May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.

- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

(please refer to <http://www.ccc.tas.gov.au/fees> or phone (03) 6217 9550 to determine applicable fees).

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan, including where relevant:

- Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
186347	138
EDITION	DATE OF ISSUE
1	12-Mar-2024

SEARCH DATE : 03-Oct-2025

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 138 on Sealed Plan [186347](#)Derivation : Part of Lot 37617, 56.81ha Gtd. to The
Director-General of Housing & ConstructionPrior CT [185339/504](#)**SCHEDULE 1**[M535627](#) TRANSFER to DAESUNGTAS PTY LTD Registered
03-Nov-2015 at noon**SCHEDULE 2**

Reservations and conditions in the Crown Grant if any

[SP186347](#) EASEMENTS in Schedule of Easements[SP186347](#) COVENANTS in Schedule of Easements[SP186347](#) FENCING PROVISION in Schedule of Easements[SP142549](#) & [SP184319](#) COVENANTS in Schedule of Easements[SP184319](#) FENCING PROVISION in Schedule of Easements[SP142549](#) FENCING COVENANT in Schedule of Easements[SP142549](#) WATER SUPPLY RESTRICTION[SP142549](#) SEWERAGE AND/OR DRAINAGE RESTRICTION[N111707](#) MORTGAGE to Butler McIntyre Investments Ltd
Registered 06-Apr-2023 at 12.05 PM**UNREGISTERED DEALINGS AND NOTATIONS**[N277369](#) PRIORITY NOTICE reserving priority for 90 days
D/MORTGAGE BUTLER MCINTYRE INVESTMENTS LTD to
DAESUNGTAS PTY LTD
TRANSFER DAESUNGTAS PTY LTD to HOMES TASMANIA
TRANSFER DAESUNGTAS PTY LTD to ALEXANDER NEIL BEECHEY
MORTGAGE ALEXANDER NEIL BEECHEY and HOMES TASMANIA to
B&E LTD Lodged by EB CONVEYANCING on 21-Jul-2025 BP:
N277369

SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.

Registered Number

SP 186347

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

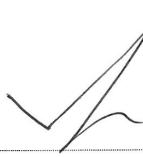
EASEMENTS

Lots 10 to 16 (inclusive) ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP.184319)** shown on the Plan ("the Easement Land").

Lots 10 to 16 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP.184319)** on the Plan.

Lots 17, 18, 19, 137 – 140 (inclusive) and 117-125 (inclusive) ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE** shown on the Plan ("the Easement Land").

Lots 17, 18, 19, 137 – 140 (inclusive) and 117-125 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE** on the Plan.


Director
Director/Secretary

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: DAESUNGTAZ PTY LTD
FOLIO REF: 185339/504
SOLICITOR
& REFERENCE: Page Seager (DAS 221111)

PLAN SEALED BY: Clarence City Council
DATE: 3rd January 2024
Stage 7-10
REF NO. SD-2016/31
.....O'neal.....
.....Clare.....
Council Delegate Shear

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 6 PAGES	Registered Number. SP 186347
SUBDIVIDER: DAESUNGTAZ PTY LTD FOLIO REFERENCE: 185339/504	

Lots 20 – 22 (inclusive) (“the Lots”) are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH** shown on the Plan (“the Easement Land”).

Lots 20 – 22 (inclusive) (“the Lots”) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH** on the Plan.

Lots 120 and 164 to 168 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT 2.50 WIDE** on the Plan.

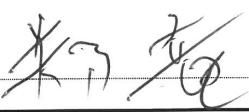
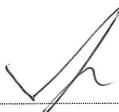
Each lot on the Plan is together with a right of way created by and fully described in the Schedule of Easements to SP 142549 over the land marked **RIGHT OF WAY (PRIVATE) 10.06 WIDE (SP.142549)** on the Plan.

Each lot on the Plan is together with a right of carriageway and service easement created by and fully described in C849483 over the land marked **RIGHT OF WAY (PRIVATE) & SERVICE EASEMENT 20.00 WIDE (P.154357) (created by C849483)** on the Plan.

COVENANTS

The owner of each Lot on the Plan covenants with the Vendor (Daesungtas Pty Ltd) and the Owner or Owners for the time being of every other Lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the plan to observe the following stipulations:

1. Not to subdivide that Lot at any time without the prior consent in writing of the Corporation.


Director
Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 6 PAGES	Registered Number SP 186347
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 185339/504	

2. Not to erect on that Lot more than a single residence, which may include an ancillary apartment together with usual outbuildings as may be permitted by the Corporation, without the consent of the Corporation.
3. Not to use the land for any purpose except as a residence or the for the purpose of house occupation without the prior consent of the Corporation in writing.
4. Not to use any engine or machinery in any trade of business, nor erect or use or permit to be used on any part of any lot shown on the Plan nor to conduct or permit to be conducted any trade or business on or from any part of the same, including but not limited to mining, quarrying, or market gardening. The leasing of the property for private residential purposes is not deemed to be a breach of this covenant.
5. Not to keep any animals other than domestic pets on any lot shown on the Plan and not to make any application for a kennel licence in respect of any lot shown on the Plan nor to keep or establish or permit to be kept or established any licensed kennel upon any lot or any part of any lot shown on the Plan nor to keep at one time more than two adult canines on any lot shown on the Plan.
6. The Vendor may, at the Vendor's absolute discretion, waive the burden of any covenant contained in this Schedule of Easements in favour of any lot by notice in writing to the registered proprietor of that lot.

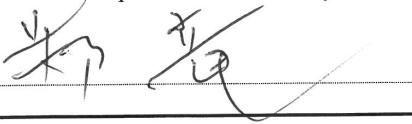
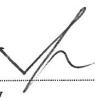
FENCING PROVISION

In respect of the Lots shown on the Plan, the Vendor (Daesungtas Pty Ltd) shall not be required to fence.

DEFINITIONS

“Corporation” means the Warden Councillors and Electors of the City of Clarence.

“Drainage Easement” means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over


Director
Director/Secretary

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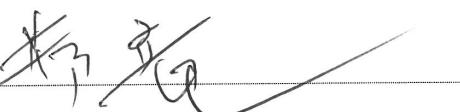
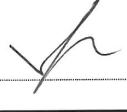
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 6 PAGES	Registered Number SP 186347
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which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

“Pipeline and Services Easement” is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and


Director
Director/Secretary

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 6 PAGES	Registered Number SP 186347
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- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“TasWater” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

Director



Director/Secretary

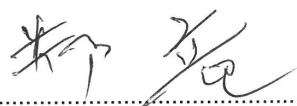


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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 6 PAGES	Registered Number SP 186347
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 185339/504	

EXECUTED by **DAESUNGTAS PTY LTD (ACN 607)**
472 131) as registered proprietor of the land comprised in)
Folio of the Register Volume 185339 Folio 504 in)
accordance with section 127 of the *Corporations Act 2001*)
(Cth) by:)



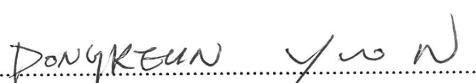
Director Signature



Director Full Name (print)



*Director/*Secretary Signature



*Director/Secretary Full Name (print)

(*please strike out inapplicable)


Director

Director/Secretary

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UNREGISTERED DEALINGS REPORT

SEARCH DATE : 09-Dec-2025

SEARCH TIME : 04:14 pm

CT: 186347/138

N297754 PRIORITY NOTICE reserving priority for 90 days

D/MORTGAGE BUTLER MCINTYRE INVESTMENTS PTY LTD TO

DAESUNGTAS PTY LTD

TRANSFER DAESUNGTAS PTY LTD TO JUNISA BANGURA

MORTGAGE JUNISA BANGURA TO AUSTRALIA AND NEW ZEALAND

BANKING GROUP LIMITED Lodged by PAULA SUTHERLAND on

06-Nov-2025 BP: N297754

9 December 2025

Att: Planning Department
Clarence City Council

Dear Sir/Madam,

**3 Dora Lane, Rokeby
New residential dwelling development**

Please find enclosed application for development for a single residential dwelling development at 3 Dora Lane, Rokeby. In support of this application the following documents are provided:

- Title documents
- DA plans

8.0 General Residential Zone

8.1 Zone Purpose

- 8.1.1 The proposal is for the construction of a single residential dwelling located on a lot with full infrastructure and services available.
- 8.1.2 The proposed development is located in close proximity to public transport and other services and complies.

8.2 Use Table

A single residential dwelling is a no permit required, permitted or discretionary use. Our assessment of the development, as below, assess this proposed development as a “discretionary” application.

8.4 Development Standards for Dwellings

- 8.4.1 Residential density for multiple dwellings

A1 NA

- 8.4.2 Setbacks and building envelope for all dwellings

A1 The proposed dwelling is set back >4500mm from the front boundary and complies with A1.

A2 The proposed dwelling includes a garage with >5500 from the frontage and complies.

- A3(a) The proposed dwelling does not contain within the building envelope from the eastern boundary, as demonstrated on elevations and therefore, it has been assessed as P3(a).
- P3(a) The proposed dwelling's overshadowing impacts are minimal and there is no unreasonable loss of sunlight to habitable rooms or private open space on adjoining properties. The adjoining eastern property is currently vacant, further reducing any potential impact. The proposed dwelling will not create an unreasonable visual impact when viewed from neighbouring lots and can meet the requirements to comply with P3(a).
- A3(b) The proposed dwelling is located >1500mm from the rear boundary, however it is located within 1500mm from the southern boundary and does not comply with A3(b) and so has been assessed against P3.
- P3(b) The proposed dwelling provides separation between adjoining properties that is consistent with established patterns in the area. The adjoining eastern property is currently vacant and any future development will maintain a reasonable combined separation. It can meet the requirement to comply with P3(b).

8.4.3 Site coverage and private open space for all dwellings

- A1(a) The proposed dwelling has a site coverage of 33.11% and complies.
- A1(b) NA
- A2(a) The proposed dwelling has a POS of 24m² and complies.
- A2(b) The proposed dwelling has a POS with minimum width of 4000mm and complies with A2(b).
- A2(c) The POS is located to the rear side of the property and complies with A2 (c).
- A2(d) The POS for the proposed dwelling has a gradient of not more than 1 in 10 and complies with A2(d).

8.4.4 Sunlight to private open space of multiple dwellings

- A1(a) NA

8.4.5 Width of openings for garages and carports for all dwellings

- A1 The proposed dwelling's garage has the width opening <6000mm from the frontage and complies with A1.

8.4.6 Privacy for all dwellings

- A1 (a) The proposed dwelling has a landing on the northern boundary with a FFL >1000mm and added the privacy screen to 1700mm high with 25% transparency and complies with A1(a).
- A1(b) The proposed dwelling has a landing on the eastern boundary with a FFL >1000mm and it is located >4000mm from the rear boundary and complies with A1(b).
- A1(c) NA
- A2 (a) The proposed dwelling has windows (W2 & W3) within 3000mm on the southern side with a FFL >1000mm and will be screened as an opaque window as demonstrated on the elevations and complies with A2(a).

8.4.7 Frontage fences for all dwellings

- A1 NA

8.4.8 Waste storage for multiple dwellings

A1(a) NA

C2.0 Parking and Access Code

C2.5 Use Standards

C2.5.1 Car parking numbers

A1 The proposed development is for a 4-bedroom dwelling with single garage and in accordance with Table C2.1, 2 car parking spaces are required. The proposed development provides for two car parking spaces and complies with A1.

C2.5.2 Bicycle parking numbers

A1 NA

C2.5.3 Motorcycle parking numbers

A1 NA

C2.5.4 Loading Bays

A1 NA

C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone

A1 NA

C2.6 Development Standards for Buildings and Works

C2.6.1 Construction of parking areas

A1(a) & The parking and driveway for the proposed dwelling will be constructed (c) from concrete and complies with A1(a) & (c).

A1(b) The driveway is designed to be drained to the Council stormwater system and complies with A1(b).

C2.6.2 Design and layout of parking areas

A1.1 The driveway and parking areas have been designed to comply with AS2890- *Parking facilities Parts 1-6* and complies.

A1.2 NA

C2.6.3 Number of accesses for vehicles

A1 One access has been designed for this proposal and complies with A1.

A2 NA

C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone

A1 NA

C2.6.5 Pedestrian access

A1.1 NA

C2.6.6 Loading bays

A1 NA

A2 NA

C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone

A1 NA

A2 NA
C2.6.8 Siting of parking and turning areas
A1 NA

C13.0 Bushfire-Prone Areas Code

The proposed dwelling is located within the Bushfire-Prone Areas Code and will be constructed to the assessed BAL.

C16.0 Safeguarding of Airports Code

The proposed dwelling is located within safeguarding of airports (obstacle limitation area). The proposal complies with the height restriction requirements of this code.

Please contact me via email should you require any additional information to assist Council's assessment of the application

PROPOSED NEW RESIDENCE

H908

3 DORA LANE,
ROKEBY
DAESUNGTAS PTY LTD

PD25371



BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	CUT/FILL PLAN
05	FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN
10	FLOOR FINISHES PLAN
11	ELECTRICAL/REFLECTED CEILING PLAN
12	PERSPECTIVES
13	SHADOW DIAGRAMS



FLOOR AREA	146.14	m ²	(15.73	SQUARES)
GARAGE AREA	37.94	m ²	(4.08	SQUARES)
TOTAL AREA	184.08		19.81	

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 138/186347
SITE AREA: 556m²
DESIGN WIND SPEED: N3
SOIL CLASSIFICATION: M
CLIMATE ZONE: 7
ALPINE AREA: N/A
CORROSIVE ENVIRONMENT: N/A
BAL RATING: TBC
OTHER KNOWN HAZARDS: BUSHFIRE-PRONE AREA,
AIRPORT OBSTACLE LIMITATION AREA

REV. DATE DESCRIPTION

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Accredited Building Practitioner:
Frank Geskus -No CC246A



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

JANUARY 2026
PLANNING

SETBACKS

REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

GARAGE IS LOCATED WITHIN 12m OF THE PRIMARY FRONTAGE, OPENING WIDTH IS 5.1m

SITE COVERAGE

BUILDING FOOTPRINT 184.08 / SITE AREA 556m2 = 0.331
FOOTPRINT SITE 184.08 / 556m2 = 33.1%

TOTAL SITE COVERAGE 33.11%

PRIVATE OPEN SPACE

24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10

DECK:

REFER TO SITE PLAN FOR SETBACK, DECK IS 1m ABOVE ESL DOES REQUIRE A SCREEN TO 1.7m

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
 - CONFIRM ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
 - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
 - CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
 - DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

SITE DATA

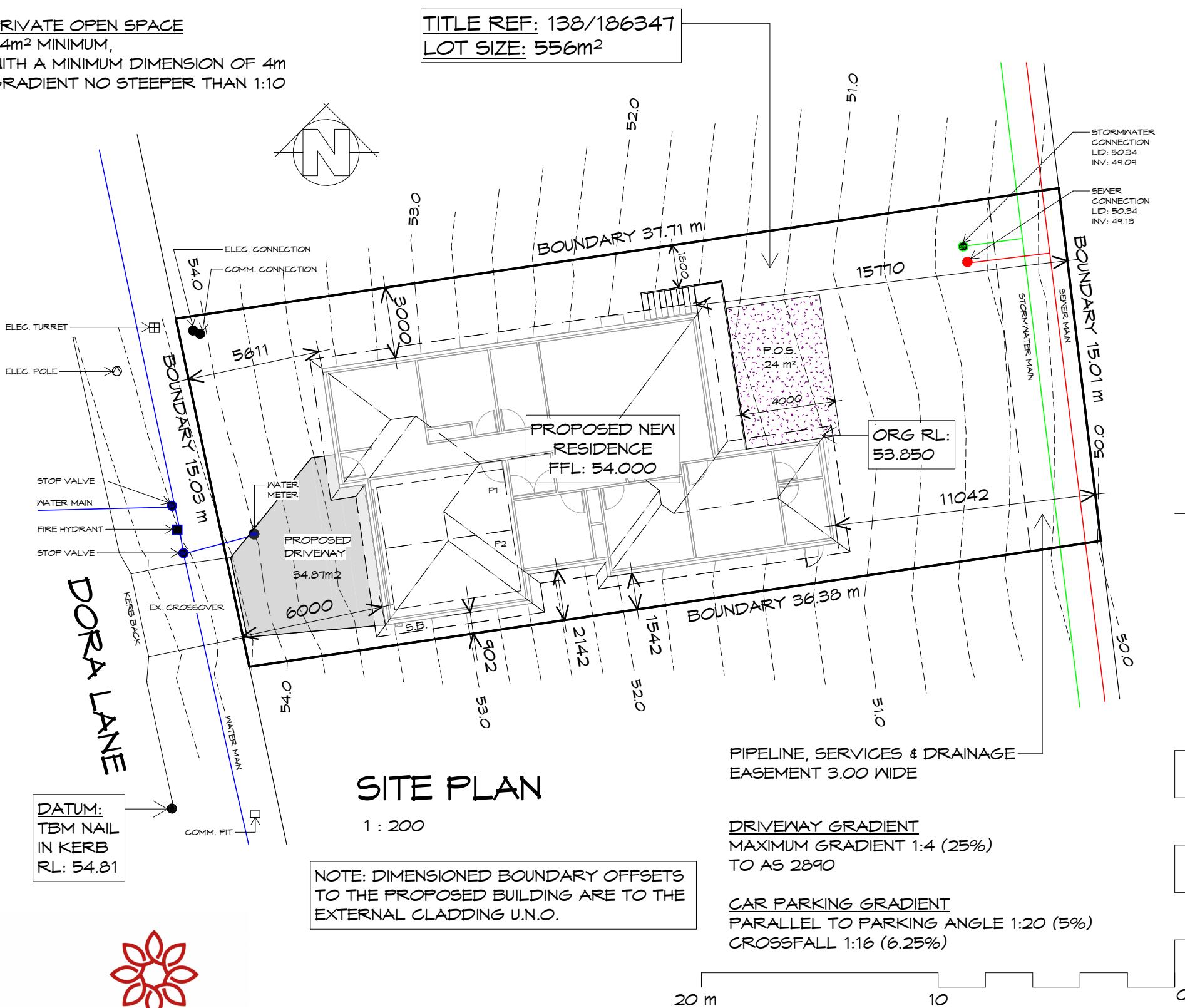
THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.

SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY.
SERVICES DENOTED AS BEING "PER BYDA ONLY" ARE APPROXIMATE AND FOR
ILLUSTRATIVE PURPOSES ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR
CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED
FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED
LOCATIONS OF ALL SERVICES

THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.

CONTOUR INTERVAL 2 m



NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS
TO THE PROPOSED BUILDING ARE TO THE
EXTERNAL CLADDING U.N.O.

REV. DATE **DESCRIPTION**

Client name:

PLANN

Project:
**PROPOSED NEW RESIDENCE
3 DORA LANE,
ROKERY**

Drawing:

Prime Design

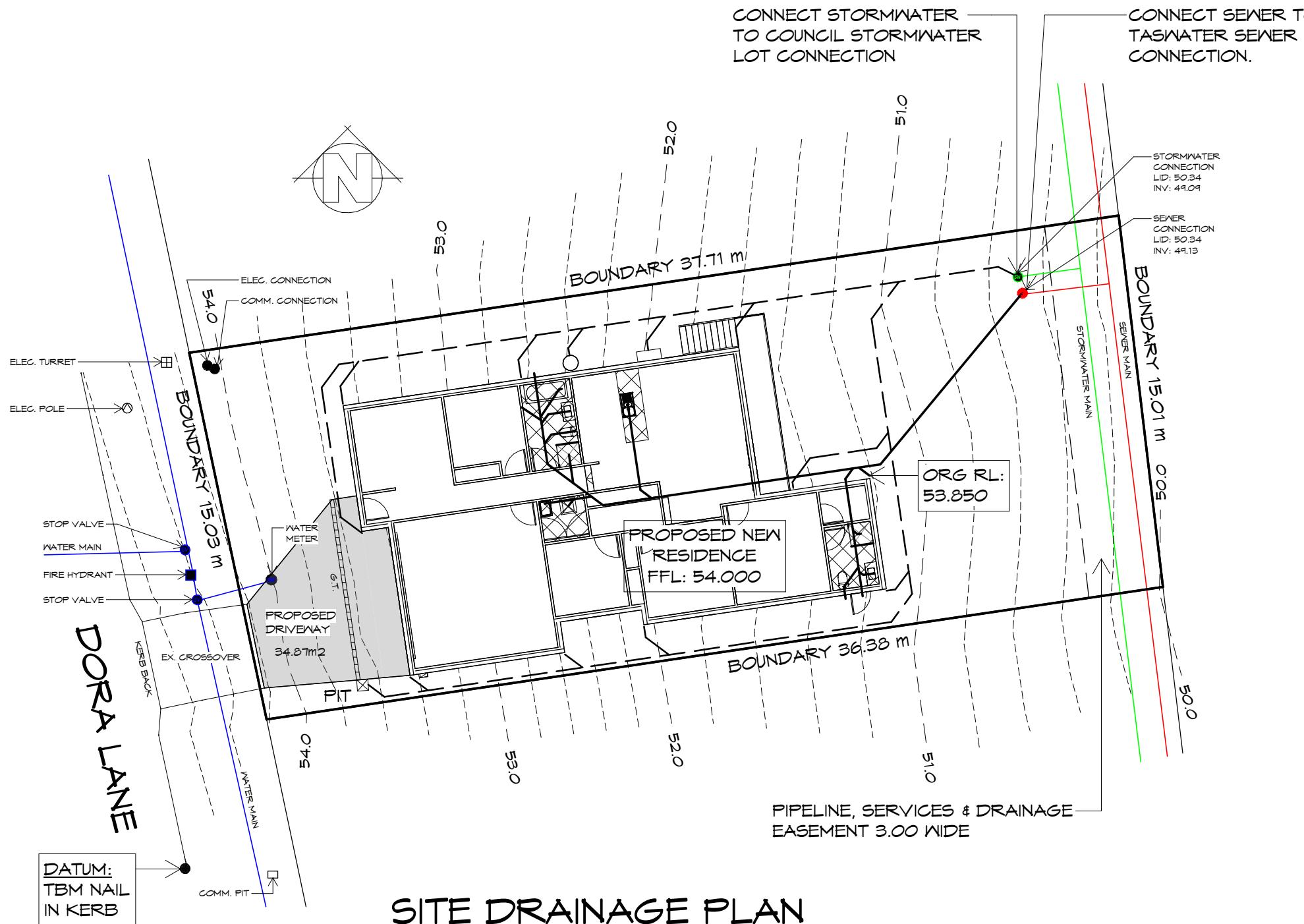
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23.01.2020 J.B A.J.C
Project/Drawing no: Scale: Revision:
PD25371-01 1 : 200 03

Accredited building practitioner: Frank Geskus -No CC246A
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LEGEND

PIT	450X 450 SURFACE DRAINAGE PIT
XX	WET AREAS
—	SEWER LINE
— —	STORMWATER LINE
— - -	100Φ AG DRAIN
G.T.	GRATED TRENCH; 150mm WIDE





LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED GENERAL RESIDENTIAL AND DOES FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE DOES REQUIRE A BUSHFIRE ASSESSMENT.



REV. DATE DESCRIPTION

Client name:
DAESUNGTA S PTY LTD

Project:
PROPOSED NEW RESIDENCE
3 DORA LANE,
ROKEBY

Drawing:
LOCALITY PLAN

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

**Prime
Design**

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info@primedesigntas.com.au primedesigntas.com.au

Date: 23.01.2026 Drafted by: J.B Approved by: A.J.C

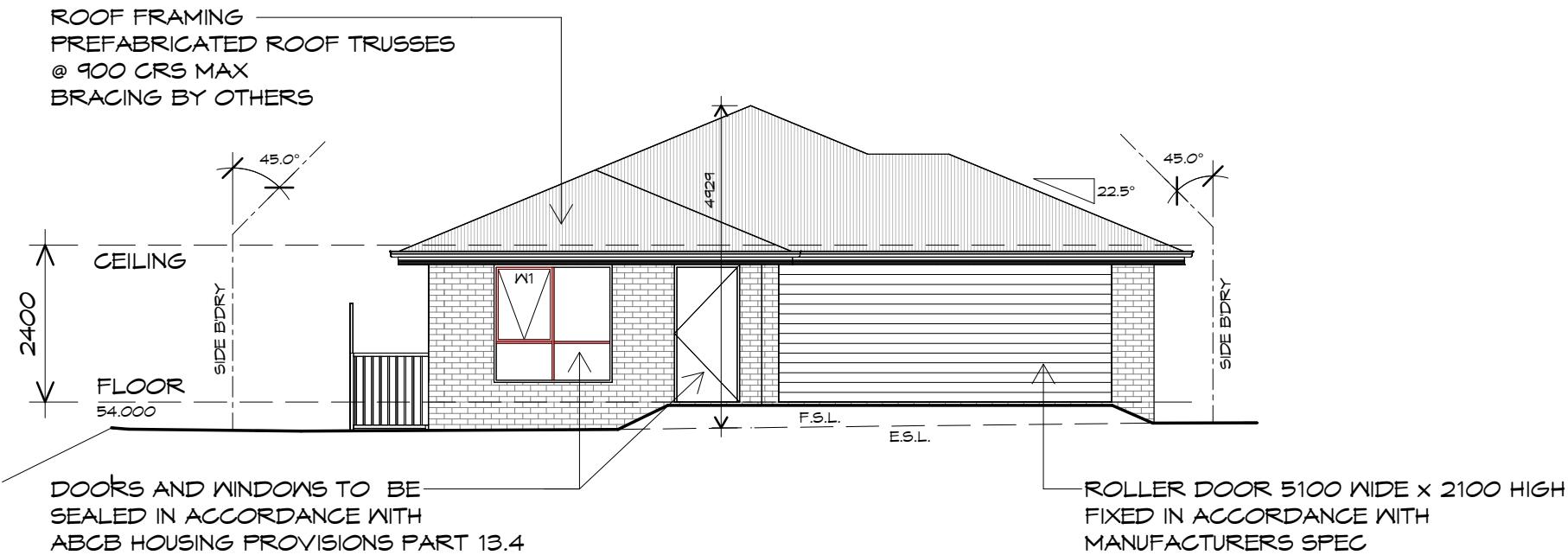
Project/Drawing no: PD25371 - 03 Scale: 1 : 2000 Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A
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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	INTERNAL TIMBER DOOR	
6	920	INTERNAL TIMBER DOOR	
7	920	INTERNAL TIMBER DOOR	
8	920	INTERNAL TIMBER DOOR	
9	920	INTERNAL TIMBER DOOR	
10	820	INTERNAL TIMBER DOOR	
11	820	INTERNAL TIMBER DOOR	
12	820	EXTERNAL SOLID DOOR	SUB-FLOOR ACCESS DOOR 1800 HIGH - TO BE CONFIRMED ON SITE

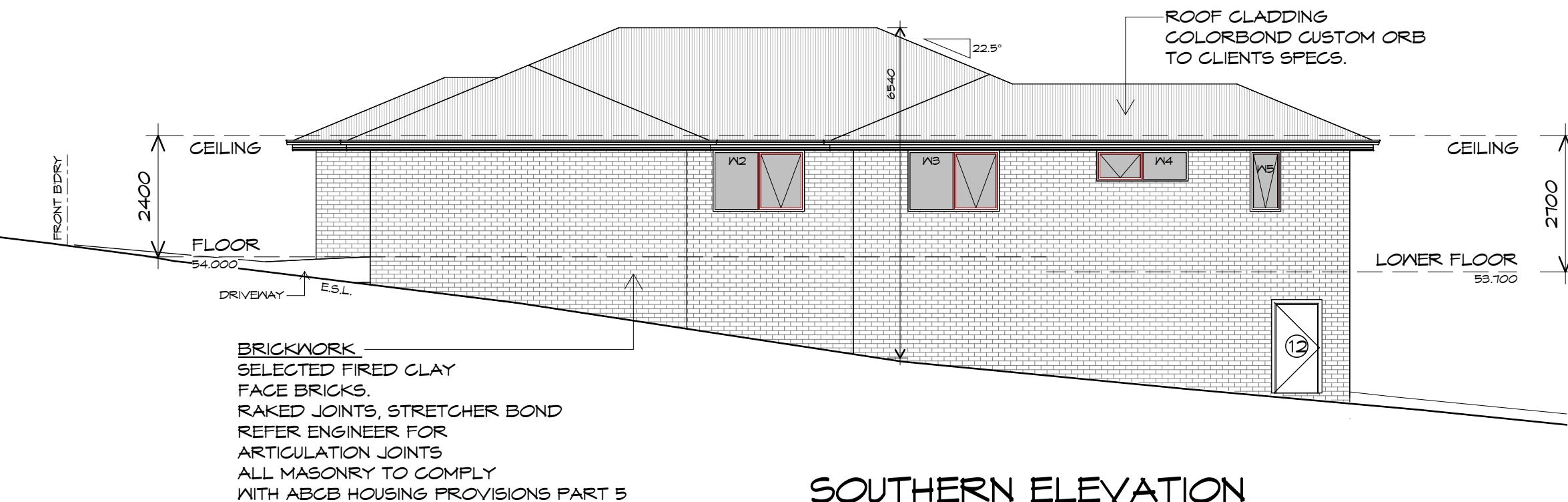
WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1200	1810	AWNING WINDOW	OPAQUE TO 1.7m ABOVE FFL
W3	1200	1810	AWNING WINDOW	OPAQUE TO 1.7m ABOVE FFL
W4	600	1810	AWNING WINDOW	OPAQUE TO 1.7m ABOVE FFL
W5	1200	610	AWNING WINDOW	OPAQUE
W6	2100	910	AWNING WINDOW	
W7	2400	2110	SLIDING DOOR	
W8	2100	1810	AWNING WINDOW	
W9	2100	910	AWNING WINDOW	
W10	900	1510	AWNING WINDOW	OPAQUE
W11	1200	1810	AWNING WINDOW	
W12	1800	1810	AWNING WINDOW	

ALUMINUM WINDOWS DOUBLE GLAZING LOW-REFLECTIVE GREY TINT
COMPLETE WITH FLY SCREENS TO SUIT TBC BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



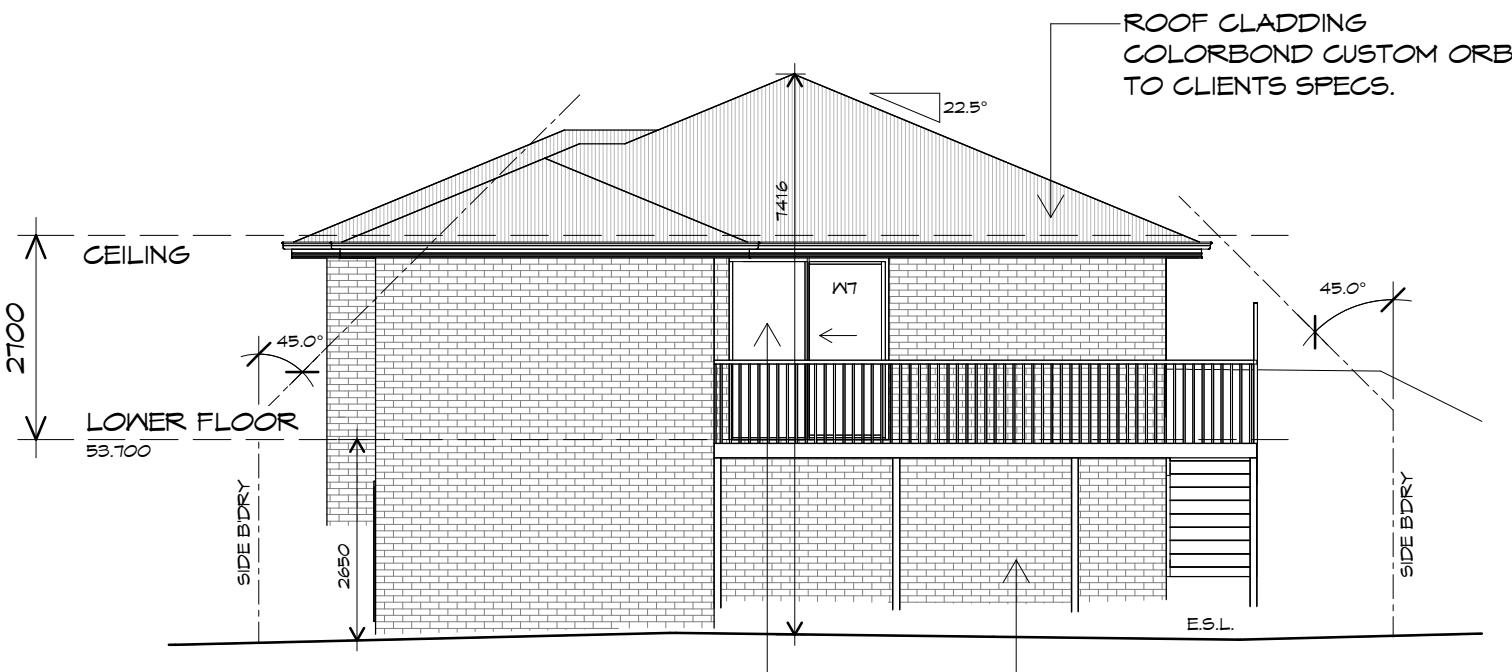
WESTERN ELEVATION

1 : 100



SOUTHERN ELEVATION

1 : 100



EASTERN ELEVATION

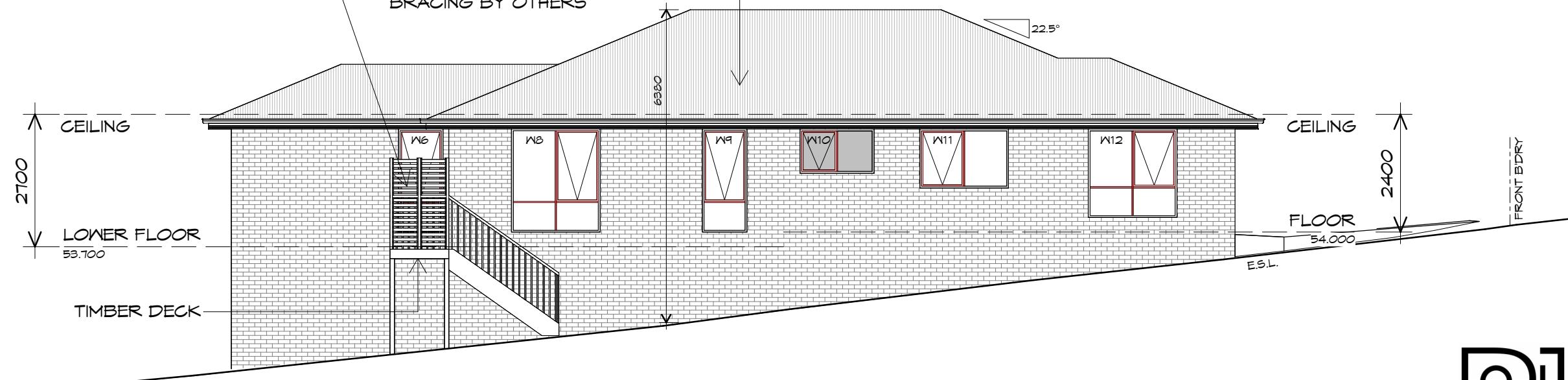
1 : 100

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5

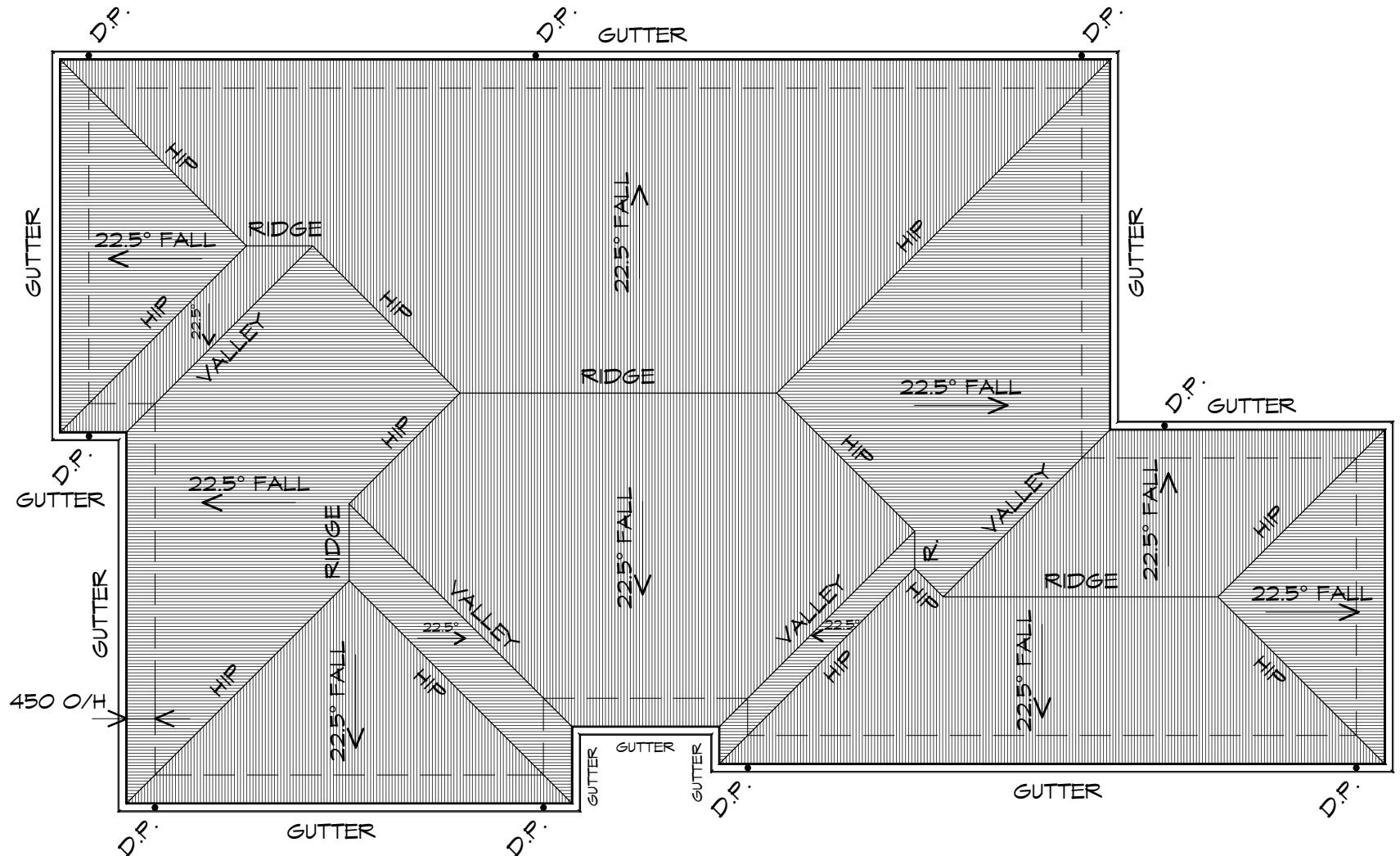
DECK:
REFER TO SITE PLAN FOR SETBACK, DECK
IS 1m ABOVE ESL DOES REQUIRE A SCREEN
TO 1.7m

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS



NORTHERN ELEVATION

1 : 100



ROOF PLAN

1 : 100

OVERFLOW MEASURES
INSTALL FRONT FACE SLOTTED GUTTER OR
10mm CONTROLLED BACK GAP, STAND OFF
BRACKET WITH SPACER.
BACK OF GUTTER INSTALLED A MINIMUM OF
10mm BELOW THE TOP OF FASCIA
INSTALL IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 7.4.6

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
AS33500.3:2021

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

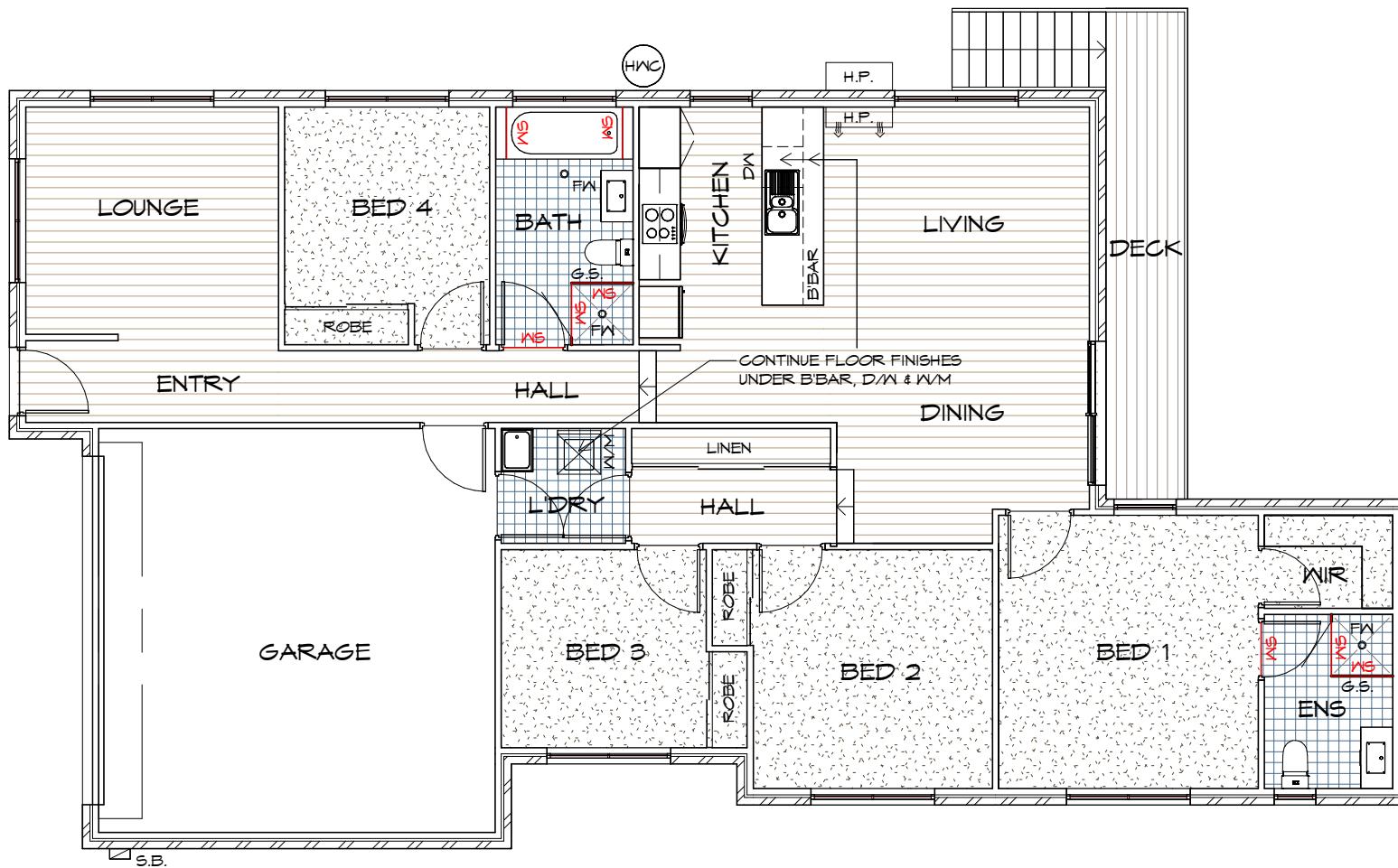
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

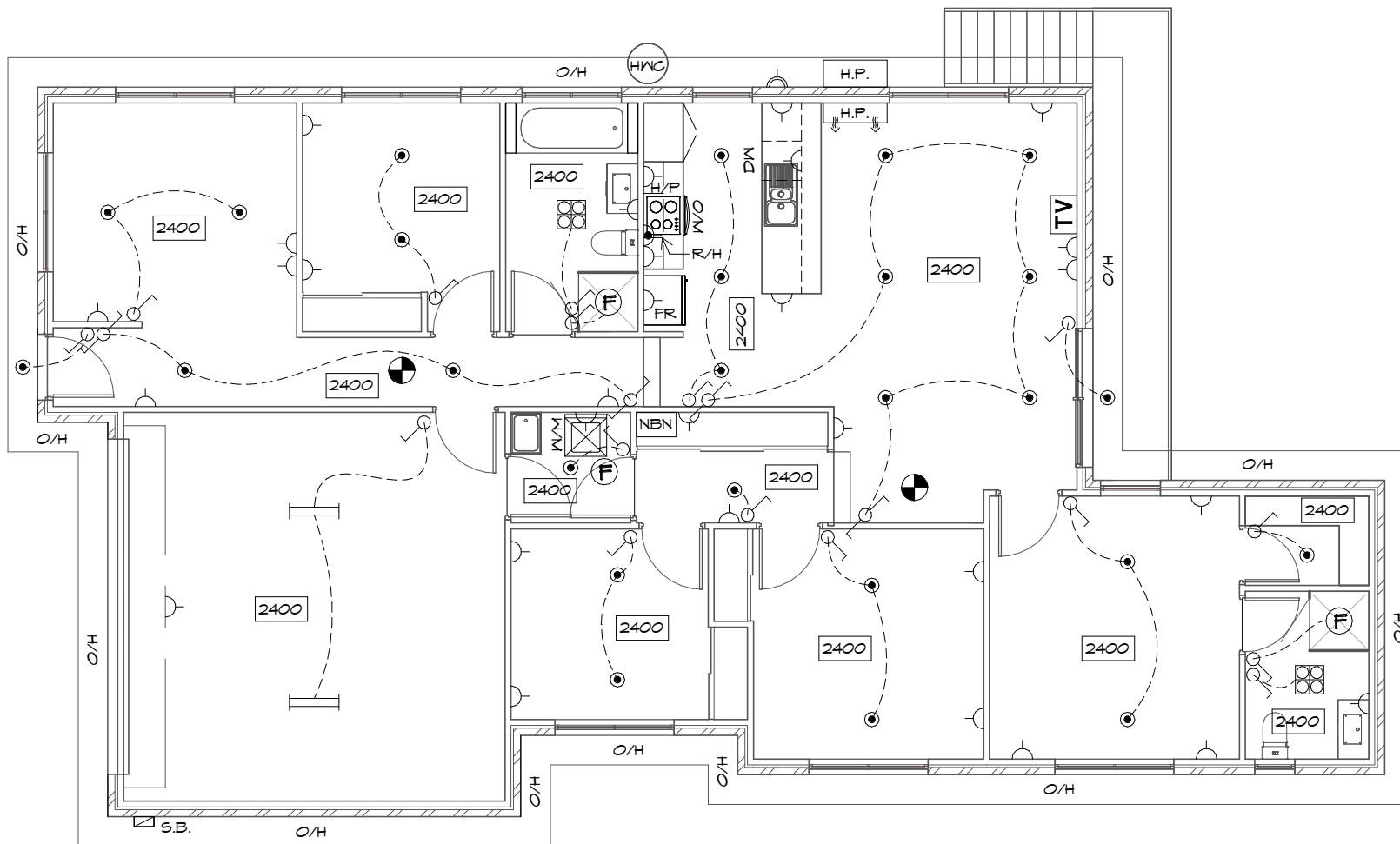


LEGEND

	CARPET
	TILES
	TIMBER OVERLAY
	TIMBER DECK
	WATERSTOP
	FLOOR WASTE

FLOOR FINISHES PLAN

1 : 100



ELECTRICAL/REFLECTED CEILING PLAN

1 : 100

IMPORTANT:

PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.
ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT.
IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

ARTIFICIAL LIGHTING

RESIDENCES TO BE IN COMPLIANCE WITH NCC 2019 PART 3.12.5.5.

ARTIFICIAL LIGHTING MUST NOT EXCEED:

- 5W/m² FOR CLASS 1 BUILDING
- 4W/m² FOR VERANDAHS & BALCONIES
- 3W/m² FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.



REV. DATE DESCRIPTION

ELECTRICAL

ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000.

EXHAUST FANS

EXHAUST FANS TO ACHIEVE FLOW RATE TO COMPLY WITH HOUSING PROVISIONS 10.8.2

DOWNLIGHTS

ALL DOWNLIGHTS TO BE IC-F RATED AND INSULATED OVER.

Client name:
DAESUNGTA S PTY LTD

Project:
PROPOSED NEW RESIDENCE
3 DORA LANE,
ROKEBY

Drawing:
ELECTRICAL/REFLECTED CEILING PLAN

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

ELECTRICAL INDEX

LIGHTING

- FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE*
 - L.E.D. - SEALED DOWN LIGHT *
 - TWIN TUBE FLUORESCENT LIGHT
- *INSTALL AS PER MANUFACTURERS SPECIFICATION

OTHER

- 240V SMOKE ALARM
- SWITCH BOX
- F EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- R/H RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER
- O/H OVERHEAD CUPBOARDS

SWITCH TYPE

- ONE-WAY SWITCH
- TWO-WAY SWITCH

WALL OUTLETS

- GENERAL PURPOSE OUTLET (DOUBLE)
- WEATHER PROOF OUTLET
- HOTPLATE SAFETY CUT-OFF

TV T.V. OUTLET

NOTE:
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

CEILING

- XXXX DENOTES CEILING HEIGHT
- /H ROOF OVERHANG/EAVES
- B.H. BULK HEAD

HEATING

- H.P. HEAT PUMP
- H.P. HEAT PUMP, OUTDOOR UNIT

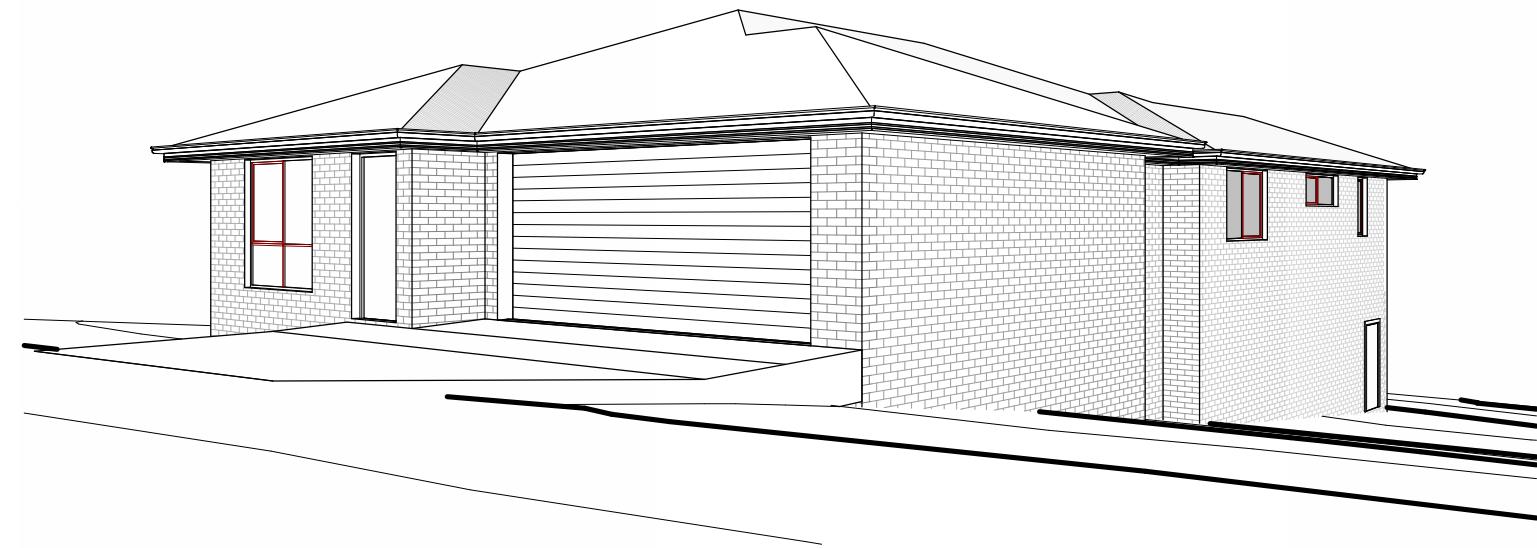
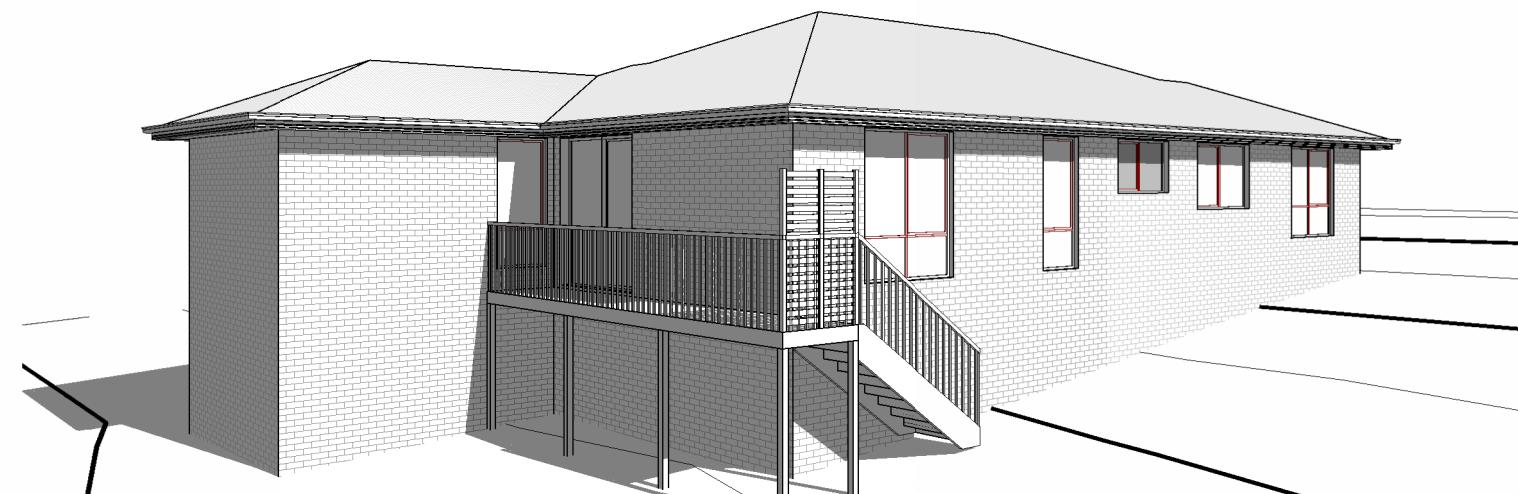


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Date: 23.01.2026 Drafted by: J.B Approved by: A.J.C

Project/Drawing no: PD25371 - 11 Scale: 1 : 100 Revision: 03

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REV. DATE DESCRIPTION

Client name:
DAESUNGTA S PTY LTD

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
3 DORA LANE,
ROKEBY

Drawing:
PERSPECTIVES

**Prime
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ASSOCIATION OF AUSTRALIA

Date: 23.01.2026 Drafted by: J.B Approved by: A.J.C

Project/Drawing no: PD25371 - 12 Scale: 03 Revision: 03

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DORA LANE

SHADOW DIAGRAM @ 9AM

1 : 250

DORA LANE

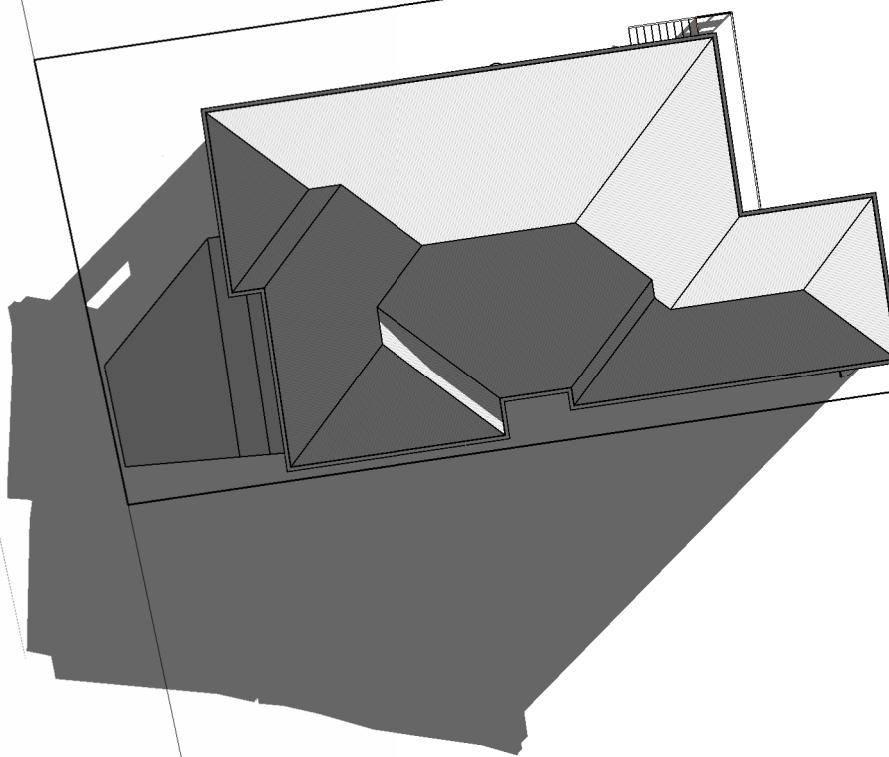
SHADOW DIAGRAM @ 12PM

1 : 250

CUNIC
homes
Built for you



Built for you

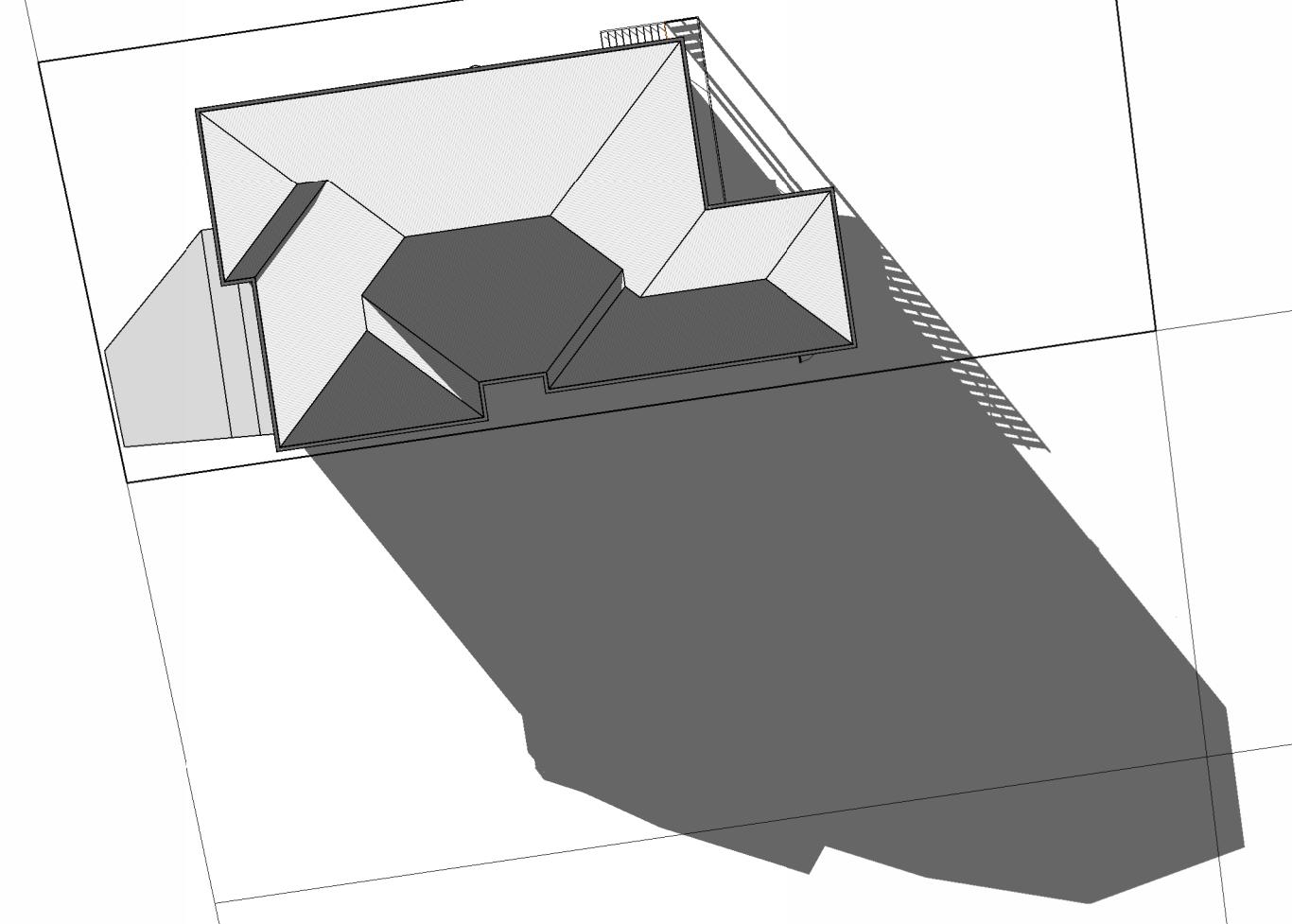


DORA LANE

SHADOW DIAGRAM @ 3PM

1 : 250

GENERAL INFORMATION
NORTH: TRUE NORTH
DAY LIGHT SAVINGS: OFF
DATE: JUNE 21st



REV. DATE DESCRIPTION

Client name:
DAESUNGTA S PTY LTD

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
3 DORA LANE,
ROKEBY

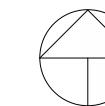
Drawing:
SHADOW DIAGRAMS

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date: 23.01.2026 Drafted by: Author Approved by: Approver

Project/Drawing no: PD25371 - 13 Scale: As indicated Revision: 03



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