



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/057907

PROPOSAL: Two Multiple Dwellings (One New & One Existing)

LOCATION: 22 Mannata Street, Lauderdale

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 17 February 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 17 February 2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 17 February 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Multiple Dwellings - One existing, One New

Location: 22 Mannata Street, Lauderdale

Personal Information Removed



Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

Existing residential dwelling

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

| | |
|------------------|------------------------------|
| VOLUME 181743 | FOLIO 6 |
| EDITION 2 | DATE OF ISSUE 30-May-2022 |

SEARCH DATE : 14-Dec-2025

SEARCH TIME : 04.09 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 6 on Sealed Plan 181743

Derivation : Part of 33 Acres Acres Gtd. to Daniel Stanfield

Prior CT 23315/25

SCHEDULE 1

M950903 TRANSFER to JAMES REGINALD PHILLIP DAVIES and TENILLE
ELIZA-BETH DAFT Registered 30-May-2022 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP181743 COVENANTS in Schedule of Easements

SP181743 FENCING COVENANT in Schedule of Easements

SPD 131 FENCING COVENANT in Schedule of Easements

E304006 MORTGAGE to National Australia Bank Limited

Registered 30-May-2022 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: DOURIAS MGH PTY LTD

FOLIO REFERENCE: C.T.23315/25

GRANTEE:
PARTS OF 700.0.0 LOC TO E.S.P. BEDFORD,
33.0.0 DANIEL STANFIELD & 225.0.0
DANIEL STANFIELD

PLAN OF SURVEY

BY SURVEYOR: ROD BRUMBY
9 WARWICK STREET
HOBART 7000

LOCATION: CITY OF CLARENCE

SCALE: 1:1000

LENGTHS IN METRES

REGISTERED NUMBER
SP181743

APPROVED EFFECTIVE FROM 28 SEP 2021

Recorder of Titles

INDEX PLAN

(SP.171546) (SP.180398) (SP.176471) (SP.139785) (P.239300) (P.239301) (P.14621) (D. 20413) (SP.18164)

MANNATA STREET

BANGALEE STREET

Pipeline & Services Easement 4.00 wide

Drainage Easement 4.00 wide

Drainage Easement 3.078 Wide (P23315)

100. 302m² Drainage Reserve

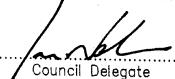
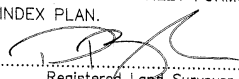
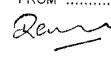
8. 1.653Ha

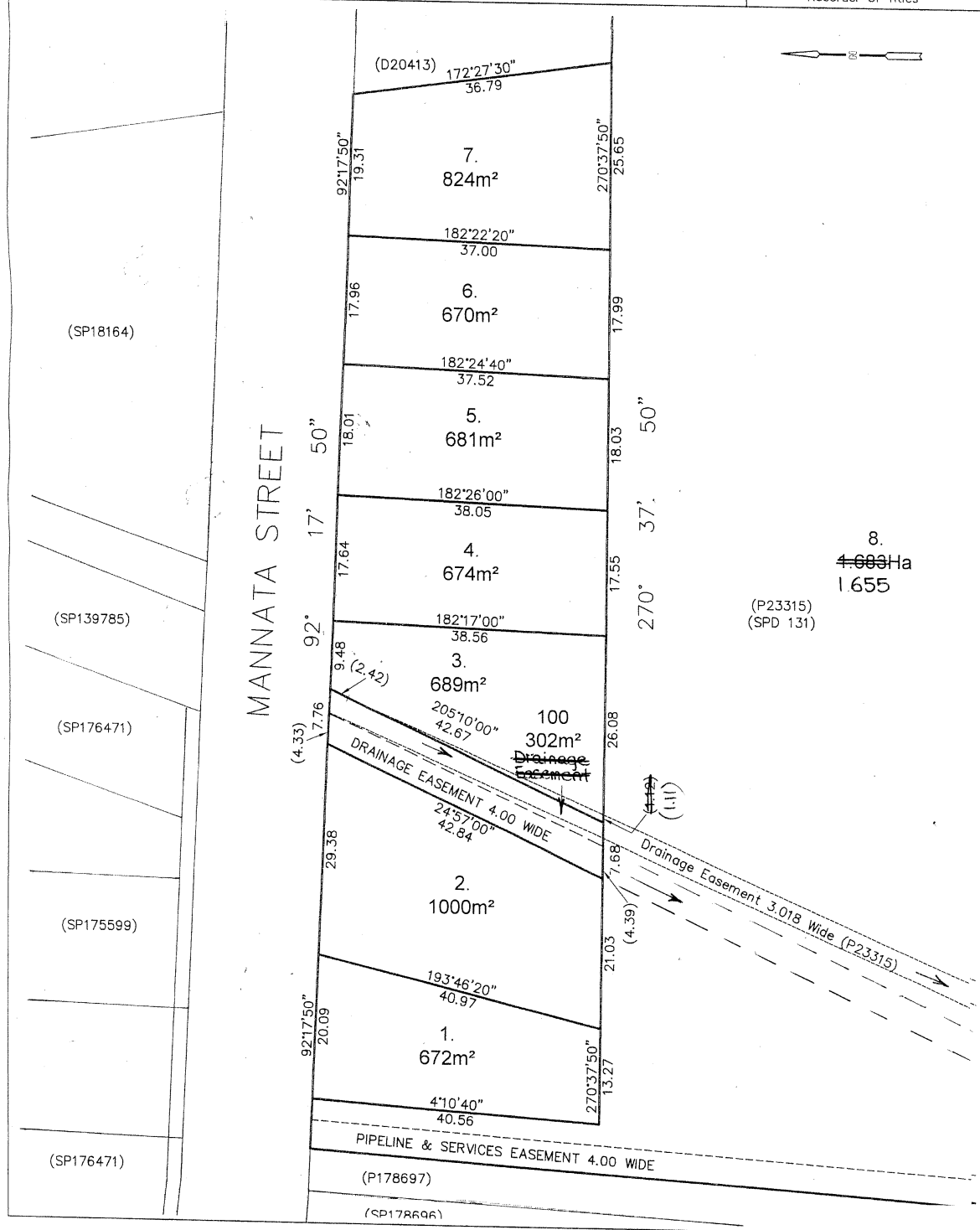
1. 2. 3. 4. 5. 6. 7.

(SP 178696) (P178697) (P23315) (SP45138) (P56453) (SP32399) (D.32758) (SP 32399)

Registered Land Surveyor Date 4-8-21

Council Delegate Date 14/9/21

| | | | |
|---|--|--|---------------------------------------|
| PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 1 SHEETS | | OWNER: DOURIAS MGH PTY LTD FOLIO REFERENCE: C.T.23315/25 SCALE 1:500 LENGTH IN METRES | Registered Number SP.181743 |
| SIGNED FOR IDENTIFICATION PURPOSES  14/9/21 Council Delegate Date | | THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  4-9-21 Registered Land Surveyor Date | |
| APPROVED EFFECTIVE FROM 28 SEP 2021  Recorder of Titles | | | |



MANNATA STREET

Parcels and Areas:

- Parcel 1: 672m²
- Parcel 2: 1000m²
- Parcel 3: 689m²
- Parcel 4: 674m²
- Parcel 5: 681m²
- Parcel 6: 670m²
- Parcel 7: 824m²
- Parcel 8: 4.003 Ha (1.655)

Easements:

- Drainage Easement 4.00 Wide
- Drainage Easement 3.018 Wide (P23315)
- PIPELINE & SERVICES EASEMENT 4.00 WIDE

Other Labels:

- (SP18164)
- (SP139785)
- (SP176471)
- (SP175599)
- (SP176471)
- (P23315) (SPD 131)
- (P178697)
- (SP178696)

| | |
|--|---------------------------------------|
| SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED. | Registered Number SP 181743 |
|--|---------------------------------------|

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

DRAINAGE EASEMENTS

'Lot 8 on the plan is ~~each~~ subject to right of drainage (appurtenant to the Municipality of Clarence) over the land marked "Drainage Easement 4.00 wide passing through such lot on the plan" X

Lots 3, 8 & 100 on the plan are each together with a right of drainage over the drainage easement shown passing through lots 26 and 39 and over the strip of land marked 'MNOFG' on Plan No. 23315.

Lots 3, 8 & 100 on the plan are each subject to a right of drainage (appurtenant to the Municipality of Clarence) over the land marked "Drainage Easement 3.018 Wide" passing through such lots on the plan ~~as created in Plan No. 23315.~~

Lot 8 on the plan is together with a right of drainage over that portion of Lot 100 on the plan marked "Drainage Easement 4.00 Wide".

Lot 100 on the plan is subject to a right of drainage appurtenant to Lot 8 on the plan over that portion of Lot 100 on the plan marked "Drainage Easement 4.00 Wide".

PIPELINE & SERVICES EASEMENT

Lot 8 on the plan is subject to a Pipeline and Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the land marked "Pipeline & Services Easement 4.00 wide" passing through lot 8 on the plan ("Easement Land").

The Pipeline and Services Easement is defined as follows:-

THE FULL RIGHT AND LIBERTY for the TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;

(USE ANNEXURE PAGES FOR CONTINUATION)

| | |
|---|---|
| SUBDIVIDER: DOURIAS MGH PTY LTD FOLIO REF: C/T 23315 FOLIO 25 SOLICITOR & REFERENCE: PK 203286 | PLAN SEALED BY: Clarence City Council DATE: 14/9/21 SD-2014/33 REF NO. Ian Nelson Council Delegate |
| NOTE: The Council Delegate must sign the Certificate for the purposes of identification. | |

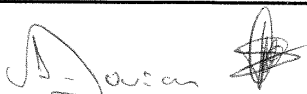
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| ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES | Registered Number SP 181743 |
| SUBDIVIDER: DOURIAS MGH PTY LTD FOLIO REFERENCE CT Volume 23315 folio 25 | |

- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



| | |
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| ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES | Registered Number SP 181743 |
| SUBDIVIDER: DOURIAS MGH PTY LTD FOLIO REFERENCE CT Volume 23315 folio 25 | |

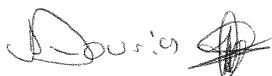
- (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



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|---|---------------------------------------|
| ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES | Registered Number SP 181743 |
| SUBDIVIDER: DOURIAS MGH PTY LTD FOLIO REFERENCE CT Volume 23315 folio 25 | |

- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

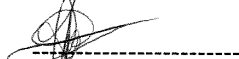
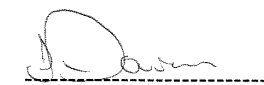
COVENANTS

The owner of each lot on the plan covenants with the Vendor DOURIAS MGH PTY LTD that the Vendor shall not be required to fence.

The owner of each lot on the plan covenants with the Vendor DOURIAS MGH PTY LTD and the owner for the time being of every other lot on the plan to the intent that the burden of this covenant shall run with and bind the covenantors lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot on the plan ~~not~~

- not to erect on any such lot any dwelling or other habitable building or structure that has a finished floor level of less than +3.2 AHD (Australian Height Datum)
- without the prior written consent of the Clarence City Council.

Signed by
DOURIAS MGH PTY LTD pursuant to
Section 127 of the Corporations law
The registered proprietor of the
Land described in Certificate
Of Title Volume 23315 Folio 25


Director
Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

25.01.2025

Dear Sir/Madam,

**Development Application – Multiple Dwellings - One existing, one proposed
22 Mannata Street, Lauderdale - Updated**

We write in support of the accompanying Development Application for the construction of a new dwelling to the rear of the existing dwelling at 22 Mannata Street, Lauderdale, which is zoned General Residential under the Tasmanian Planning Scheme.

The proposal comprises a modest three-bedroom, single-storey dwelling located behind the existing residence and represents a well-considered infill development that responds appropriately to the site context, surrounding development pattern, and relevant planning provisions.

Use, Density and Local Context

The proposal provides a total of two dwellings on a 670 m² allotment, achieving a density of approximately 335 m² per dwelling, which is consistent with and exceeds the minimum site area requirements of 325 m² per dwelling under the Scheme.

A landscaping plan has been added to the drawing set indicating waste storage and clothes drying areas throughout the site. While the site is slightly over 50% site coverage, it is in keeping with the density and coverage of surrounding properties and the neighbouring area.

Importantly, the development reflects the established residential pattern along Mannata Street, which already accommodates several approved and constructed multi-dwelling developments, including properties at 24, 28, 30, 50 and 60 Mannata Street. These developments demonstrate that residential intensification is an anticipated and accepted outcome within this street and zoning context. The proposal at No. 22 is comparable in scale and form and will not represent an overdevelopment of the site or streetscape.

Siting and Setbacks

While the rear setback of the new dwelling has been reduced, the dwelling backs onto undeveloped land that is zoned as *Rural Living* and benefits from an existing earth mound

buffer. As a result, there are no adverse amenity impacts on adjoining properties, including no unreasonable loss of sunlight or privacy.

Parking, Access and Traffic

The development provides four on-site car parking spaces in total, comprising:

- Two spaces retained within the existing carport servicing the front dwelling;
- One new covered car parking space within a carport for the proposed rear dwelling; and one additional uncovered space associated with the rear dwelling.
- No dedicated on-site visitor parking space is proposed. Visitor parking demand associated with the development is limited and infrequent and can be reasonably accommodated within the existing on-street parking environment along Mannata Street and surrounding streets, which demonstrate sufficient capacity to accommodate residential visitor parking without adverse impacts.
- A turning area has been provided between the two units to allow all vehicles to enter and exit the site in a forward direction.

All parking spaces and manoeuvring areas meet the minimum aisle widths and dimension requirements of the Tasmanian Planning Scheme.

Vehicle access utilises the existing crossover to Mannata Street. Sight lines for vehicle entry and exit comply with AS 2890, ensuring safe and efficient vehicle movements to and from the site. The driveway length is less than 30m in length and provide sufficient passing bays within that distance.

Residential Amenity and Privacy

All existing and proposed windows located within 2.5 m of the driveway are set a minimum of 1.7 m above finished ground or driveway level, effectively mitigating potential privacy and overlooking impacts. The development has been designed to ensure appropriate separation between habitable room windows, driveways, and parking areas.

Private Open Space and Solar Access

Both dwellings are provided with compliant areas of private open space that are functional, accessible, and appropriately located. As demonstrated in the accompanying winter solstice shadow diagrams, each dwelling receives sufficient sunlight in accordance with the Tasmanian

PINNACLE

Planning Scheme requirements, with no unreasonable overshadowing of adjoining properties. The shadow diagrams have been updated to clearly indicate the time and date, 3D shadow diagrams demonstrate that the allocated 24m² of POS receives at least 3 hours. In addition to this, while this indicates the winter solstice, the remainder of the year and all seasons are provided with lots of sunlight.

Coastal Inundation and Finished Floor Levels

The site is located within a coastal environment, and the proposal has been designed to ensure compliance with minimum coastal inundation and flood resilience requirements. The finished floor levels of both dwellings exceed the relevant minimum levels, with:

- The existing dwelling constructed at RL 3.20 m AHD; and
- The proposed new dwelling set at RL 3.35 m AHD.

These levels ensure the development is appropriately elevated and resilient to coastal inundation risk, consistent with the intent of the Tasmanian Planning Scheme.

Location and Services

The site is located within close proximity to public transport routes, local shops, and community services within Lauderdale. The proposal represents an efficient use of existing urban land and infrastructure without placing undue demand on surrounding services.

Staging

The applicant intends to pursue a staged development scheme under the Strata Titles Act 1998 to enable creation of separate titles for staged construction. The planning approval sought is intended to support that staged delivery consistent with the master plan/site layout.

Conclusion

Overall, the proposed development:

- Is consistent with the intent and outcomes of the General Residential Zone;
- Reflects the existing multi-dwelling character of Mannata Street;
- Provides compliant density, parking, access, and private open space;
- Meets minimum coastal inundation finished floor levels; and
- Avoids adverse amenity impacts on adjoining properties.
- Already has services that will accommodate an additional unit, two existing water meters, a 900L pressurised sewer unit capable of handling loads of two units as confirmed by TasWater

P I N N A C L E

We trust the attached plans and documentation adequately demonstrate compliance with the relevant provisions of the Tasmanian Planning Scheme.

Should you have any questions in regards to the application, please feel free to contact us on 6248 4218 or by email at jdavies@pinnacledrafting.com.au.

Kind Regards,

James Davies

Director

Pinnacle Drafting & Design Pty Ltd

25.01.2025

Dear Sir/Madam,

**Development Application – Multiple Dwellings - One existing, one proposed
PDPLANPMTD-2025/057907 - 22 Mannata Street, Lauderdale**

C2.5.1 Car Parking Numbers

Performance Criterion P1.2 states:

The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:

- (a) the nature and intensity of the use and car parking required;*
- (b) the size of the dwelling and the number of bedrooms; and*
- (c) the pattern of parking in the surrounding area.*

The proposal satisfies Performance Criterion P1.2 for the following reasons.

(a) Nature and intensity of the use and car parking required

The proposed development comprises two dwellings, one existing dwelling and one additional dwelling on a single residential allotment which represents a low-intensity residential use. The nature of the use does not generate a level of visitor demand typically associated with larger multi-dwelling developments. Visitor trips are expected to be infrequent and short-term, consistent with normal residential visitation patterns.

The proposal provides four on-site car parking spaces, fully accommodating resident parking demand of two parking spaces per dwelling as outlined in Table C2.1. As a result, visitor parking demand is not intensified beyond that which already occurs on residential streets and does not necessitate a dedicated on-site visitor space to meet the reasonable needs of the use.

(b) Size of the dwelling and number of bedrooms

Both the existing and proposed dwellings are modest in scale and consistent with detached dwellings in the General Residential Zone. Each dwelling contains a typical three-bedroom configuration and is not of a size or layout that would reasonably be expected to generate an elevated level of parking demand.

PINNACLE

The provision of two on-site spaces per dwelling meets the minimum parking requirement for dwellings of this size and bedroom number, ensuring that resident vehicle ownership is fully accommodated on-site and reducing reliance on visitor or overflow parking. Accordingly, having regard to the size and bedroom number of the dwellings, the parking provision meets the reasonable needs of the development.

(c) Pattern of parking in the surrounding area

Mannata Street, along with the neighbouring Lauderdale area, demonstrate an established, functioning, and non-constrained pattern of on-street parking associated with residential use, accommodating both resident and visitor vehicles as a normal and accepted component of the streetscape. This pattern is clearly evidenced in the attached satellite imagery, which shows consistent and widespread on-street parking along Mannata Street and neighbouring streets, including Bangalee Street, without congestion, queuing, or obstruction to traffic movement. The imagery confirms that on-street parking is a regular and accommodated outcome of the existing residential parking environment.

Importantly, the satellite imagery also demonstrates that the surrounding streets retain substantial residual on-street parking capacity, with available kerbside space remaining even where on-street parking is already in use. This indicates that the street network is not operating at or near parking capacity and is capable of absorbing any minor, infrequent visitor parking demand associated with the proposal without material change to existing conditions. Mannata Street is characterised by dwellings that generally provide adequate on-site parking while also benefiting from generous street widths and spacing between crossovers, enabling on-street parking to occur without restricting traffic flow or access. Visitor parking already occurs on Mannata Street as part of the established residential parking pattern and does not give rise to congestion, competition for spaces, or amenity impacts.

The submitted plans demonstrate AS 2890-compliant sight distances at the vehicle crossover, confirming that on-street parking along the frontage does not compromise visibility, pedestrian safety, or vehicle movements. This confirms that the existing on-street parking pattern operates safely and efficiently and can reasonably accommodate any visitor parking associated with the development.

In this context, the limited scale of the proposal will not alter the existing parking pattern or result in unreasonable impacts. The on-street parking environment has the capacity,

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functionality, and safety characteristics necessary to meet the reasonable parking needs of the development in accordance with Performance Criterion P1.2(c).

Conclusion – P1.2

Having regard to the nature and low intensity of the residential use, the size and bedroom configuration of the dwellings together with the provision of compliant on-site resident parking, and the established and demonstrated pattern and available capacity for on-street parking in the surrounding area, the number of car parking spaces provided meets the reasonable needs of the use as required by Performance Criterion P1.2.

The proposal accommodates all resident parking demand on-site and relies only on the existing and functioning on-street parking environment to service limited and infrequent visitor parking. In this context, the absence of a dedicated on-site visitor parking space does not result in unreasonable parking demand, traffic impacts, or loss of residential amenity, and the proposal therefore satisfies Performance Criterion P1.2.

Kind regards,

James Davies

Director

Pinnacle Drafting & Design Pty Ltd

03 6248 4218

jdavies@pinnacledrafting.com.au

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P I N N Δ C L E

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22 Mannata Street, Lauderdale

| | | | |
|--|---|-----------------------------|---------------------|
| Owner(s) or Clients | James & Tenille Davies | Title Reference | 181743/6 |
| Building Classification | 1a (1 x Existing, 1 x New) | Zoning | General Residential |
| Designer | Jason Nickerson CC6073Y | Land Size | 670m ² |
| Total Floor Area (Combined) | 114.93m ² Deck 28.70m ² | Design Wind Speed | N2 |
| | | Soil Classification | P |
| Alpine Area | N/A | Climate Zone | 7 |
| Other Hazards | Coastal Inundation | Corrosion Environment | Medium |
| <small>(e.g., High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)</small> | | Bushfire Attack Level (BAL) | Low |

| ID | Sheet Name | Issue |
|-------|----------------------------------|---------|
| A0.01 | Location Plan | DA - 04 |
| A0.02 | Site Plan | DA - 04 |
| A1.01 | U1 - Floor Plan - Existing | DA - 04 |
| A2.01 | U2 - Floor Plan | DA - 04 |
| A2.02 | U2 - Elevations | DA - 04 |
| A2.03 | U2 - Elevations | DA - 04 |
| A2.04 | U2 - Roof Plan | DA - 04 |
| A2.05 | U2 - Electrical Plan | DA - 04 |
| A2.06 | U2 - Door & Window Schedule | DA - 04 |
| A2.07 | Shadow Diagrams 21st June - 0900 | DA - 04 |
| A2.08 | Shadow Diagrams 21st June - 1000 | DA - 04 |
| A2.09 | Shadow Diagrams 21st June - 1100 | DA - 04 |
| A2.10 | Shadow Diagrams 21st June - 1200 | DA - 04 |
| A2.11 | Shadow Diagrams 21st June - 1300 | DA - 04 |
| A2.12 | Shadow Diagrams 21st June - 1400 | DA - 04 |
| A2.13 | Shadow Diagrams 21st June - 1500 | DA - 04 |
| A2.14 | Landscaping Plan | DA - 04 |
| C.01 | Civil Plan | DA - 04 |

Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant












Site Areas

| | |
|---------------------|-----------------------|
| Site Area | 670 m ² |
| Building Footprint | 352.97 m ² |
| Total Site Coverage | 52.68% |

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| | | | | | | | | |

Legend

-  - Electrical Connection
-  - Electrical Turret
-  - Sewer Connection
-  - Stormwater Connection
-  - Telstra Connection
-  - Telstra Pit
-  - Water Meter
-  - Water Stop Valve
-  - Fire Hydrant

Surface Water Drainage

Ground to fall away from building in all directions
in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
 - (i) 25mm over the first 1m from the building
 - (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or
 - (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4) (c) of the ABCB Standard for Livable Housing Design; or
 - (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than
 - (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
 - (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or
 - (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022
3.3.4.

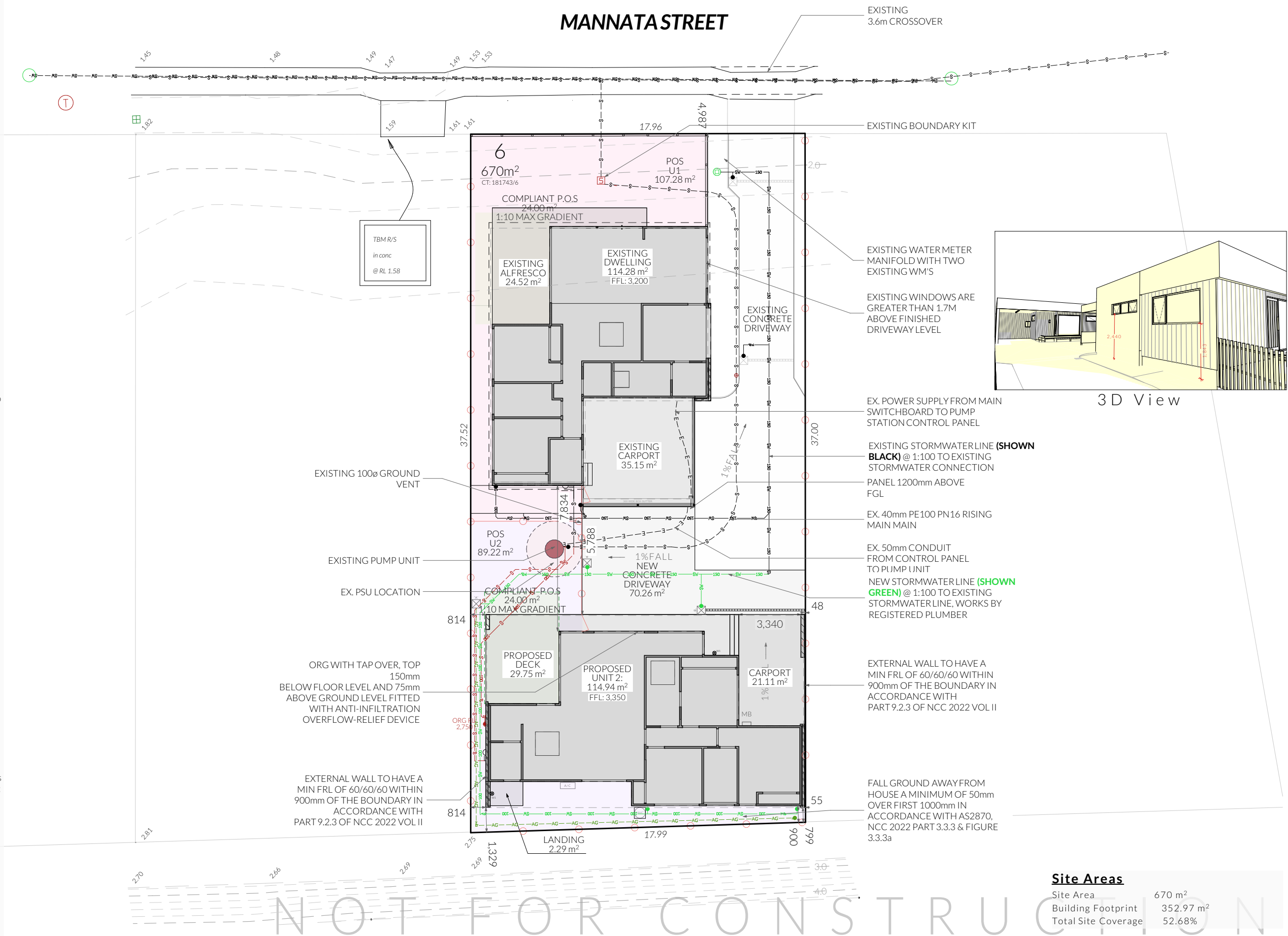
Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with—
 - (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and
 - (ii) provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.



| | |
|--------------------------|-----------------------|
| <u>Site Areas</u> | |
| Site Area | 670 m ² |
| Building Footprint | 352.97 m ² |
| Total Site Coverage | 52.68% |

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Site Plan

Revision:
Approved by:

DA - 04
JD

Scale:
1:200 @ A3

Pg. No:
A0.02

Proposal: New Dwelling
Client: James & Tenille Davies
Address: 22 Mannata Street, Lauderdale

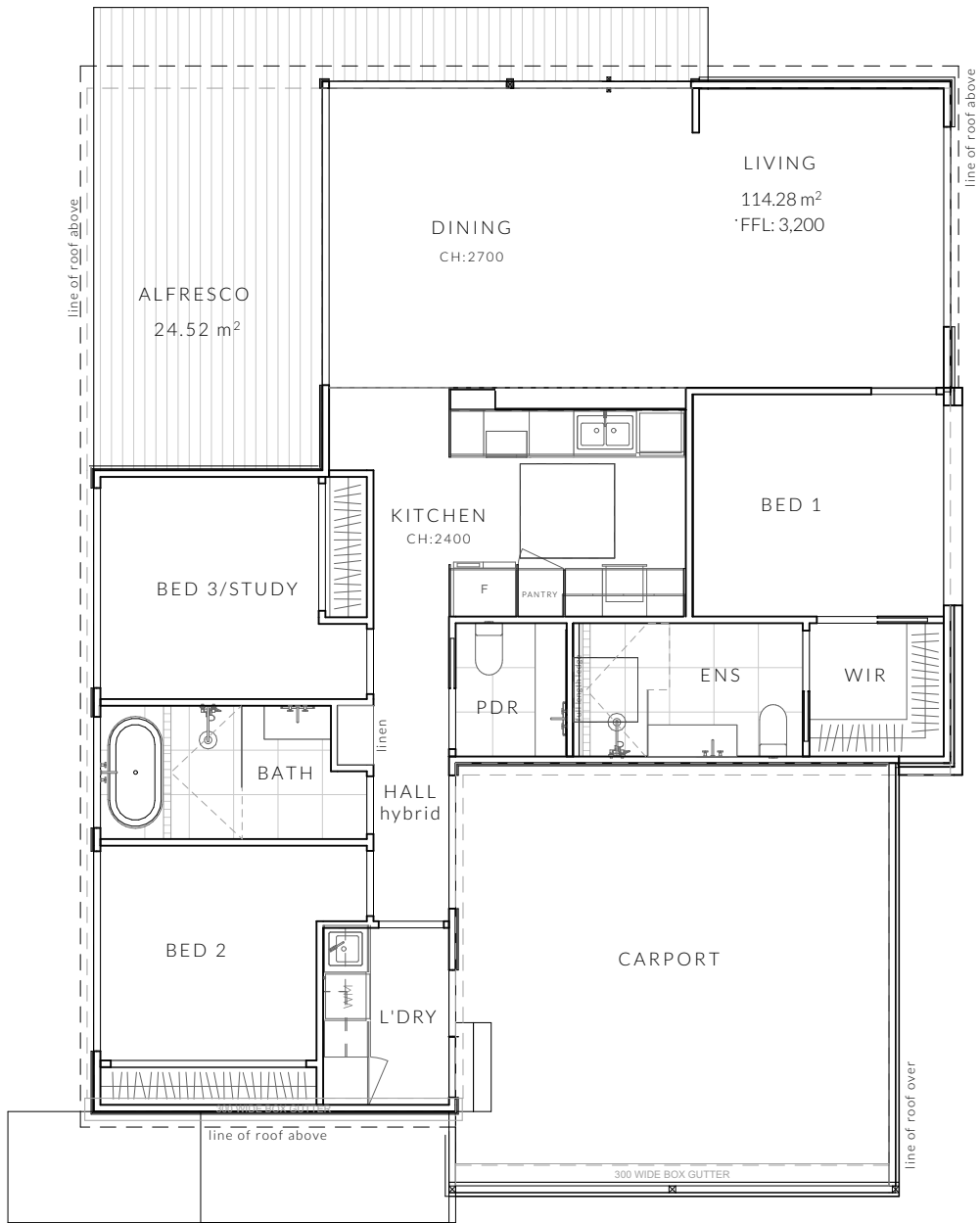
Date: 06.10.2023
 Drawn by: JD
 Job No: 001 - 2022
 Engineer: S & E
 Building Surveyor: LTBS

| Issue | Date | Description |
|-------|------|-------------|
|-------|------|-------------|



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| | Revision: DA - 04 Approved by: JD | | | | | | | | | | |

A

P

Access Panel

AJ

Articulation Joint

SA

Smoke Alarm

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:
Riser: Min 115mm - Max 190mm
Going: Min 240mm - Max 355mm
Slope (2R+G): Max 550 - Min 700
For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces

10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;

(a) in a *habitable room* excluding a kitchen - 2.4 m; and

(b) in a kitchen - 2.1 m; and

(c) in a corridor, passageway or the like - 2.1 m; and

(d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and

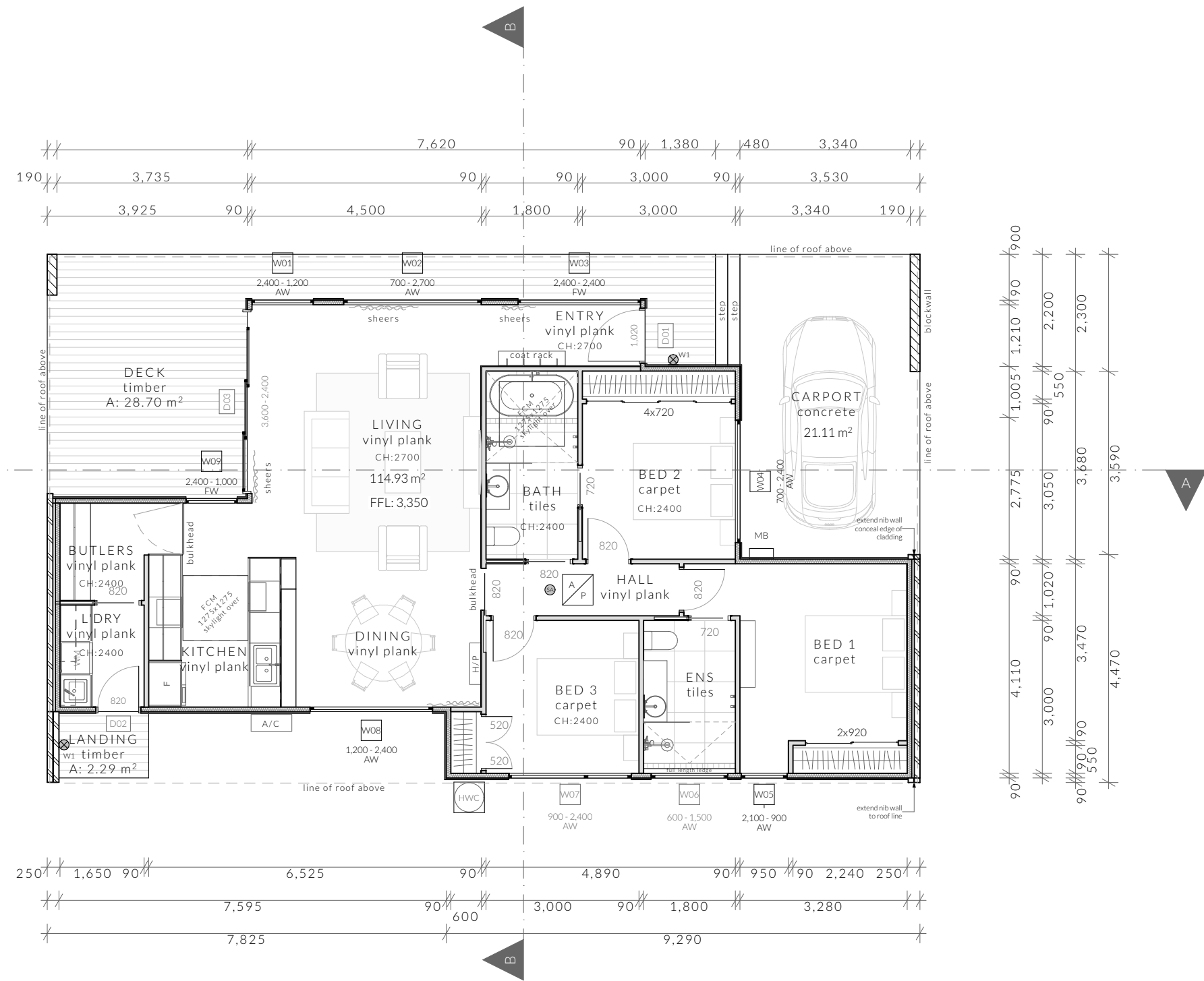
(e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items

(f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

Floor Areas

| | |
|------------------|----------------------|
| Total Floor Area | 114.93m ² |
| Carport | 21.11m ² |
| Deck | 28.70m ² |



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Licence: CC6073Y

U2 - Floor Plan

Revision: DA - 04

Approved by: JD

Scale: 1:100 @ A3

Pg. No: A2.01

Proposal: New Dwelling

Client: James & Tenille Davies

Address: 22 Mannata Street, Lauderdale

Date: 06.10.2023

Drawn by: JD

Job No: 001 - 2022

Engineer: S & E

Building Surveyor: LTBS

Issue

Date

Description

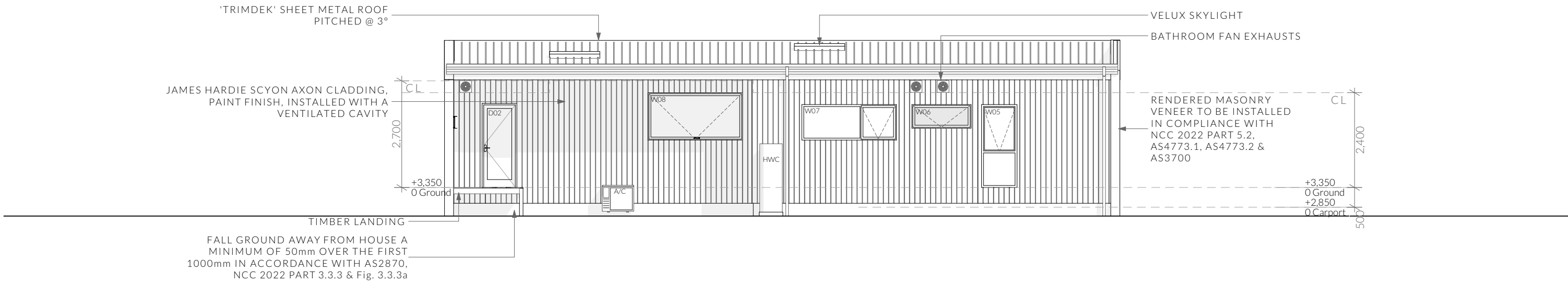
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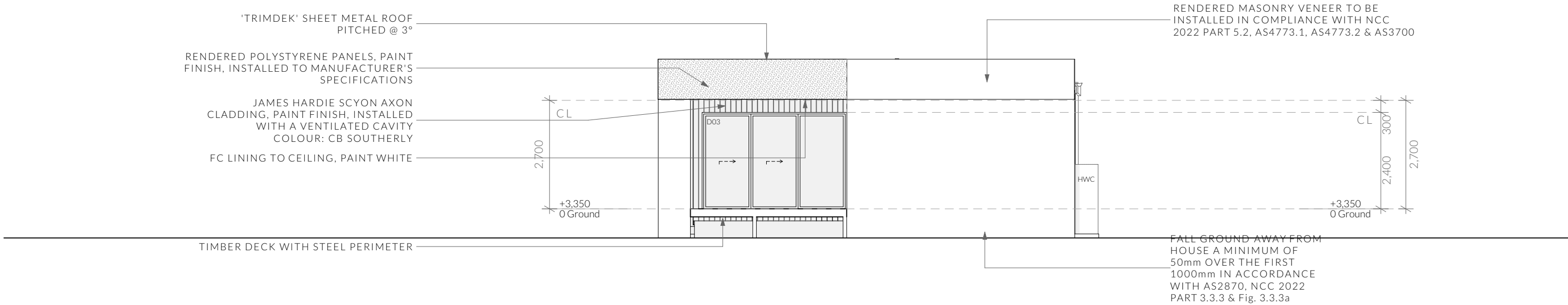
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Document Set ID: 5787967
Version: 1, Version Date: 09/01/2026



South Elevation

1:100



West Elevation

1:100

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

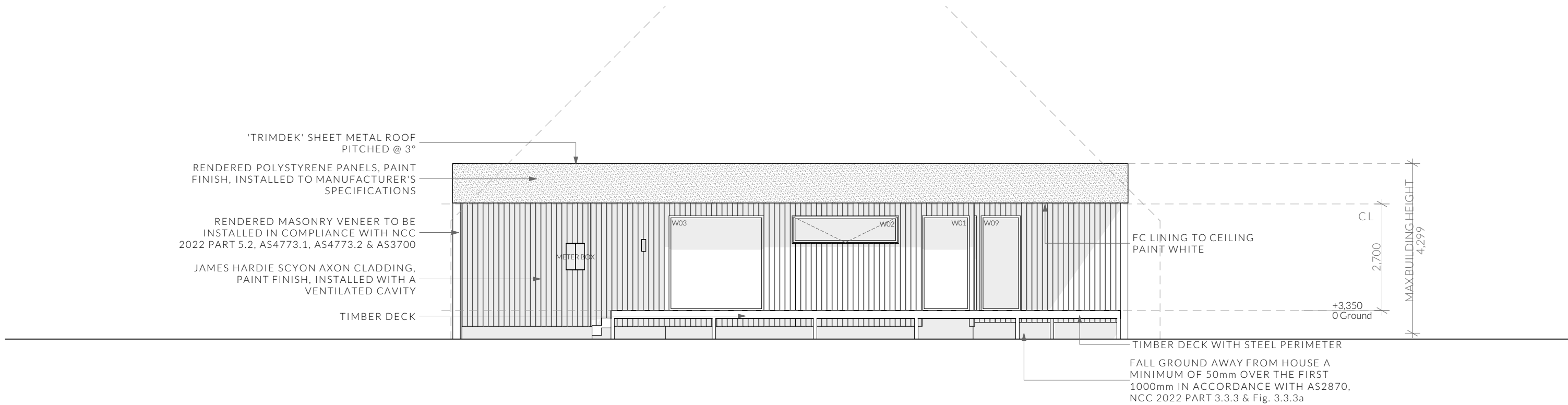
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

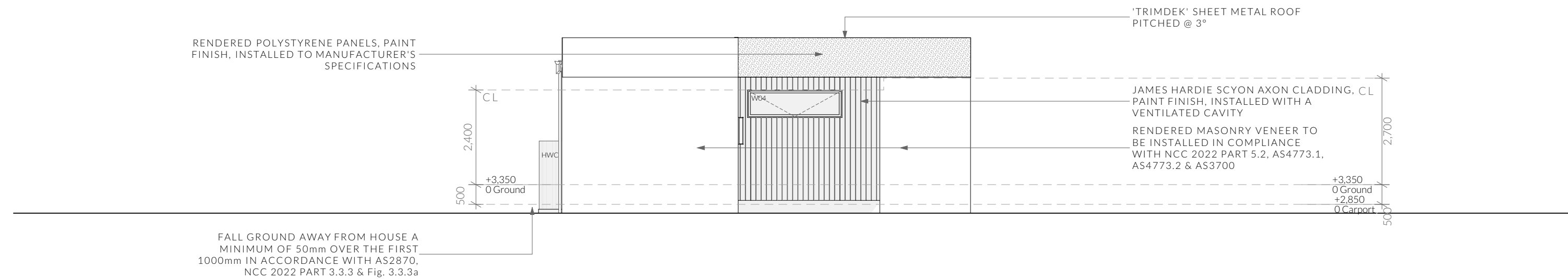
All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

| | | | | | | | | |
|----------|--|---|--|--|--|------------------------|--|--|
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| | | | | | | | | |



North Elevation

1:100



East Elevation

1:100

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8, Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

| | | | | | | | | |
|----------|--|---|--|--|--|------------------------------|--|--|
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Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a)is located-
 - (i)immediately above the primary insulation layer; or
 - (ii)immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii)immediately above ceiling insulation; and
- (b)has a height of not less than 20 mm; and
- (c)is either-
 - (i)ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii)located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a)comply with AS/NZS 2908.2 or ISO 8336; and
- (b)be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 × 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

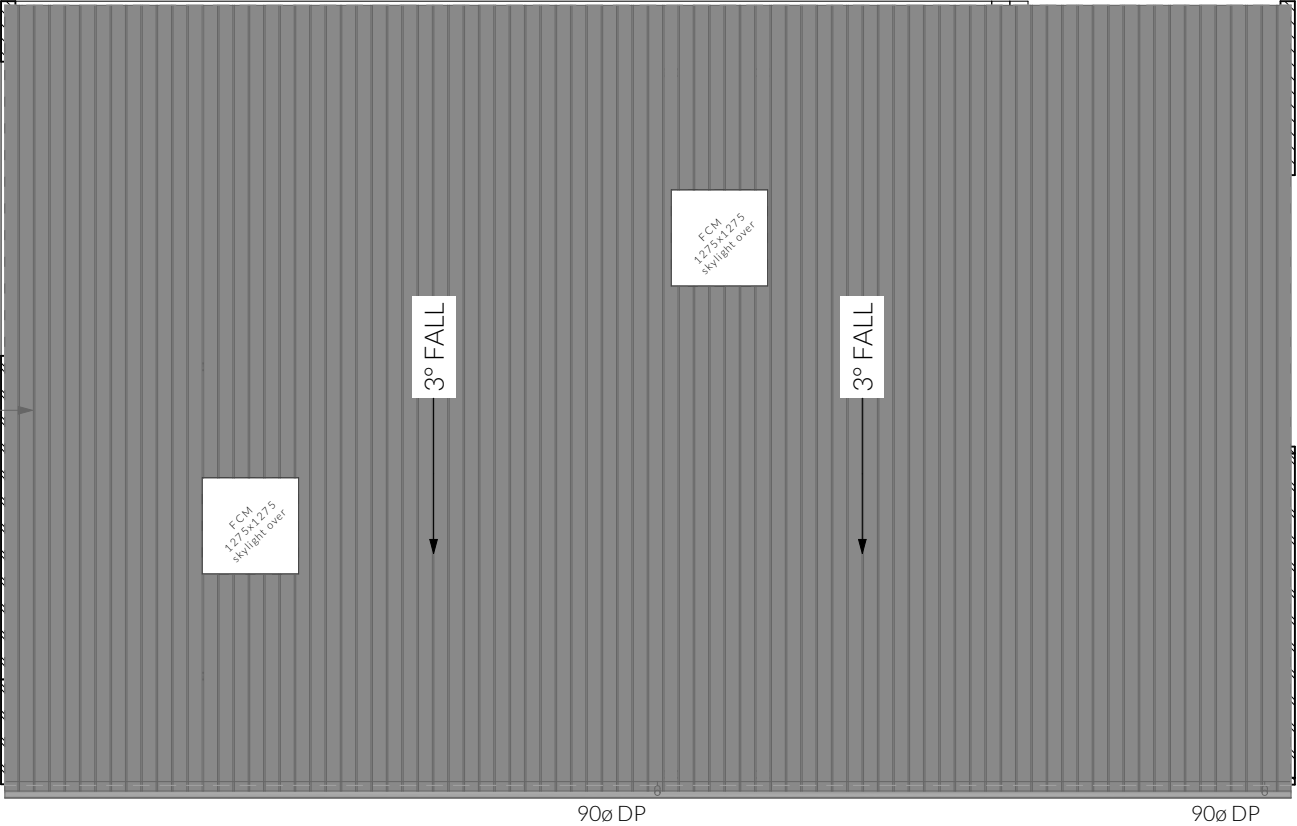
Parapet cappings

Where a wall cladding is used to form a parapet wall, the cladding must be attached to a supporting frame and have a capping installed that complies with the following:

- (a)Cappings must-
 - (i)be purpose made, machine-folded sheet metal or equivalent sections of a material compatible with all up and downstream metal roof covering materials in accordance with 7.2.2(2); and
 - (ii)extend not less than 50 mm down the sides of the parapet; and
 - (iii)be separated from the supporting framing by a vapour permeable sarking installed in accordance with (f); and
 - (iv)be fixed with either self drilling screws or rivets with rubber washers at intervals of not more than 500 mm that do not penetrate the top of cappings, except at joints and corners.
- (b)The top of the capping must slope a minimum of 5 degrees.
- (c)Joints in cappings must-
 - (i)overlap by not less than 50 mm in the direction of flow; and
 - (ii)be securely fastened at intervals of not more than 40 mm; and
 - (iii)have sealant installed between laps.
- (d)Fixing for cappings must be compatible with the capping material in accordance with 7.2.2.
- (e)Lead cappings must not be used with prepainted steel or zinc/aluminium steel or on any roof if the roof is part of a drinking water catchment area.
- (f)Sarking must comply with AS 4200.1 and be installed behind all wall cladding where parapets are installed, with-
 - (i)each adjoining sheet or roll being-
 - (A)overlapped not less than 150 mm; or
 - (B)taped together; and
 - sarking fixed to supporting members at not more than 300 mm centres.

| ROOF PITCH | VENTILATION OF OPENINGS (TABLE 10.8.3) |
|---|--|
| <10° | 25,000 mm2/m provided at each of two opposing ends |
| (1)Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2)For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically. | |

SHEET METAL 'TRIMDEK' ROOF PITCHED @ 3° OVER TRUSSES WITH 70x35 MGP12 ROOF BATTENS @ MAX 1300ctr's(END SPAN) 1900ctr's(INTERNAL SPAN), BUGLE FIX W/No14 TYPE17 BATTEN SCREWS. OVER 100L



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| ELECTRICAL LEGEND | | | |
|-------------------|---|-------------|----------|
| Symbol | Description | Allowance | Quantity |
| | DATA- CAT 6 (RJ45) - 1 GANG | | 1 |
| | DATA- TV CONNECTION | | 2 |
| | FAN - 3 IN 1 (2 LAMP) | 10W (LIGHT) | 1 |
| | FAN - 3 IN 1 (4 LAMP) | 10W (LIGHT) | 1 |
| | FAN - CEILING - EXHAUST | | 3 |
| | GPO - (1) SINGLE | | 4 |
| | GPO - (2) DOUBLE | | 20 |
| | GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH) | | 1 |
| | GPO - WEATHER PROOF DOUBLE | | 1 |
| | LIGHT - CEILING - DOWNLIGHT RECESSED | 10W | 21 |
| | LIGHT - CEILING - LED BATTEN | 20W | 2 |
| | SERVICE - SMOKE ALARM | | 1 |
| | SWITCH - LIGHT 1 GANG | | 11 |

Smoke Alarms Part 9.5 of NCC 2022

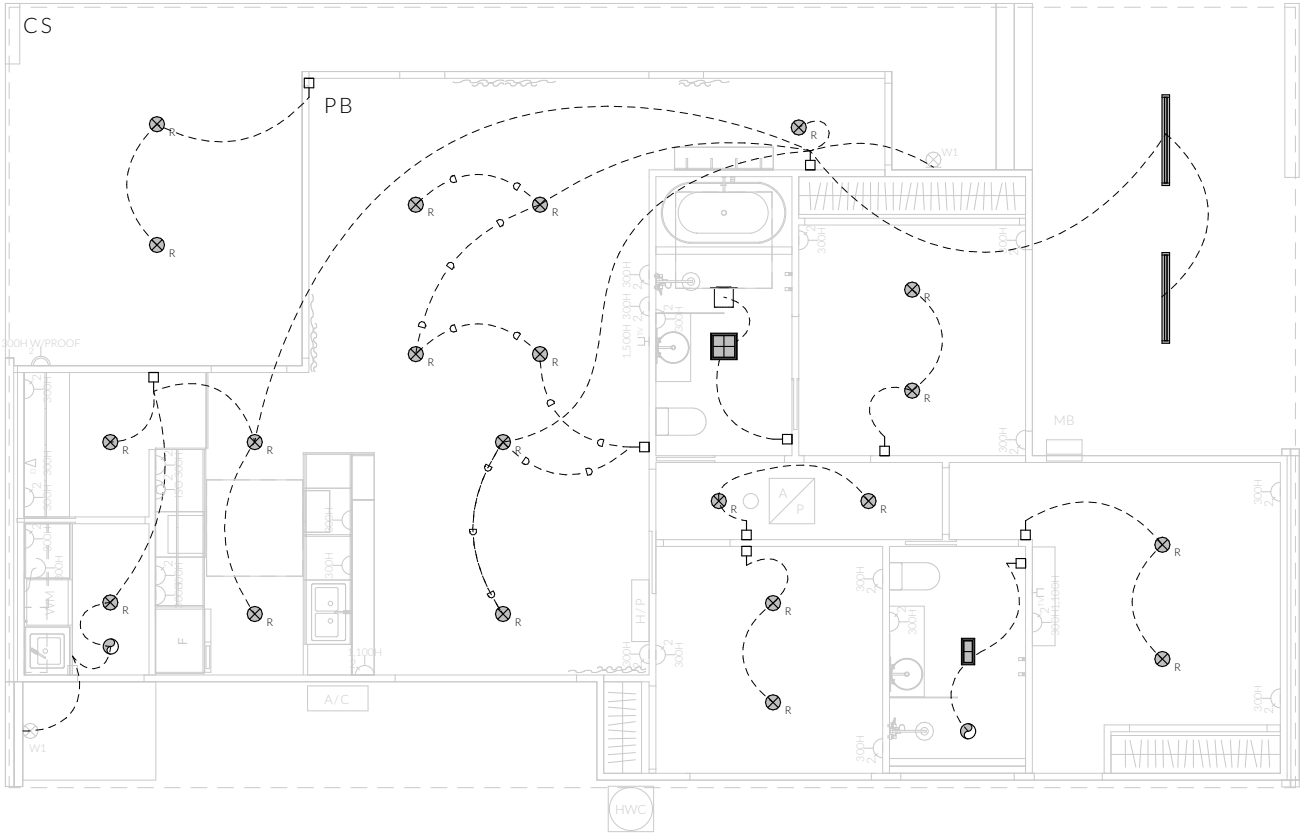
- Smoke alarms must-
- (a)be located in-
 - (i)a Class 1a building in accordance with 9.5.2 and 9.5.4; and
 - (ii)a Class 1b building in accordance with 9.5.3 and 9.5.4; and
 - (b)comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
 - (c)be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

- In a Class 1a building, smoke alarms must be located in-
- (a)any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
 - (b)each other storey not containing bedrooms.

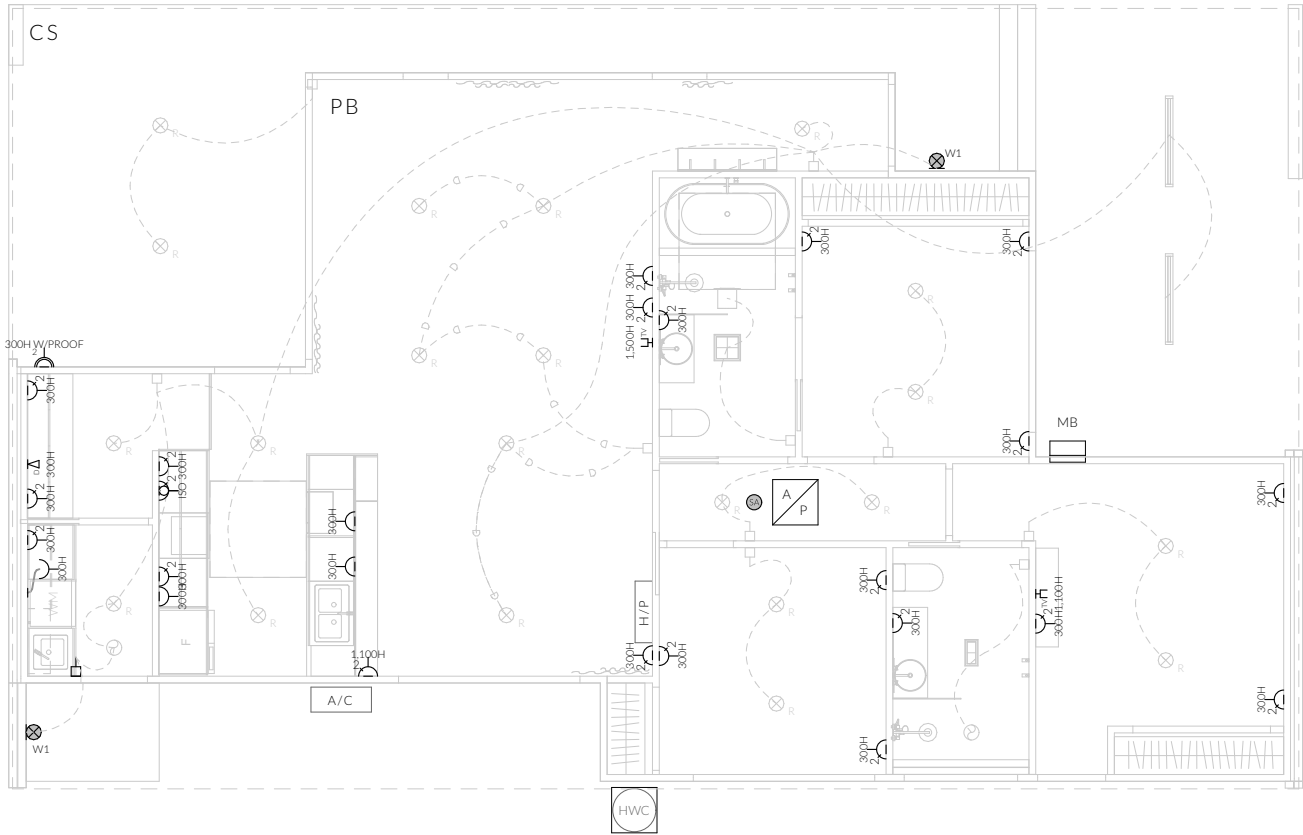
- Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:
- (a)Where a smoke alarm is located on the ceiling it must be-
 - (i)a minimum of 300 mm away from the corner junction of the wall and ceiling; and
 - (ii)between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
 - (b)Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Note: Exhaust Fans

- Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have;
- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-
 - (a)25 L/s for a bathroom or sanitary compartment; and
 - (b)40 L/s for a kitchen or laundry.
 - Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
 - Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
 - An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-
 - (a)be interlocked with the room's light switch; and
 - (b)include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.



Lighting Plan



Power Plan

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

- 5W/m² in class 1a dwellings
- 4W/m² to veranda, balcony or the like
- 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space.

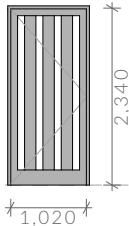
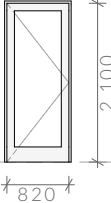
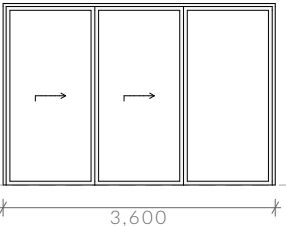

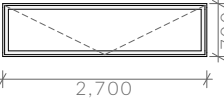
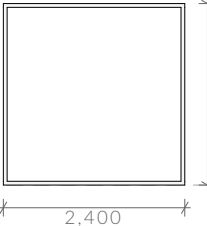
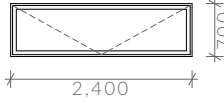
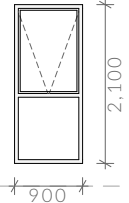
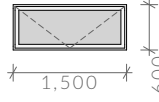
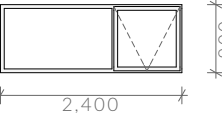
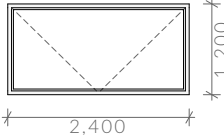

Notes

- U.N.O ceilings are to be plasterboard.
- D-----D Dimmable Circuit
- T-----T Timer Circuit(as fan note)
- PB - Plasterboard
- CS - Cement Sheet Eaves

| | | | | | | | | | | |
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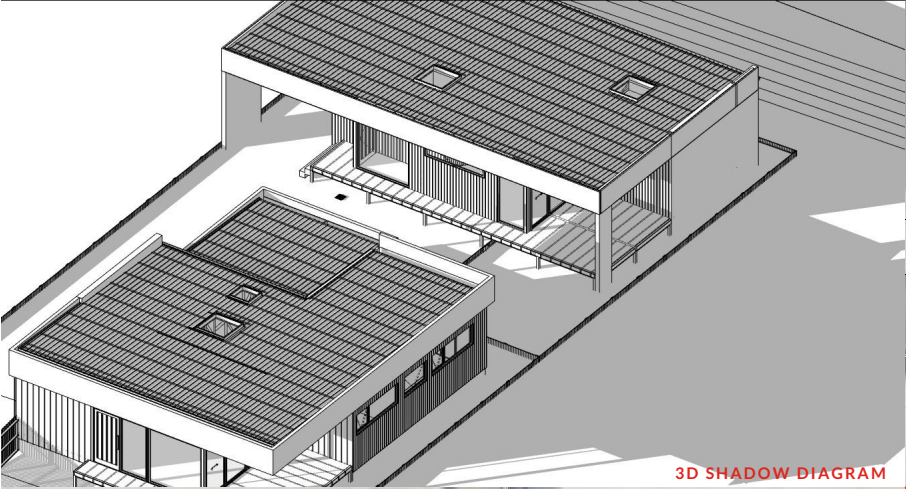
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| | | | | | | | |
|---------------|---|---|---|---|---|---|---|
| ID | D01 | D02 | D03 | W01 | W02 | W03 | W04 |
| External View |  |  |  |  |  |  |  |
| Notes | | Dover White, Architrave | Dover White, Square set, flyscreen, sheer curtain | Dover White, Square set, flyscreen, sheer curtain | Dover White, Square set, flyscreen, sheer curtain | Dover White, Square set, sheer curtain | Dover White, Square set, Blind |
| ID | W05 | W06 | W07 | W08 | W09 | | |
| External View |  |  |  |  |  | | |
| Notes | Dover White, Architrave, flyscreen, Blind | Dover White, Square set, Obscure | Dover White, Architrave, Blind | Dover White, Square set, flyscreen, Sheer Curtain | Dover White, Square set | | |

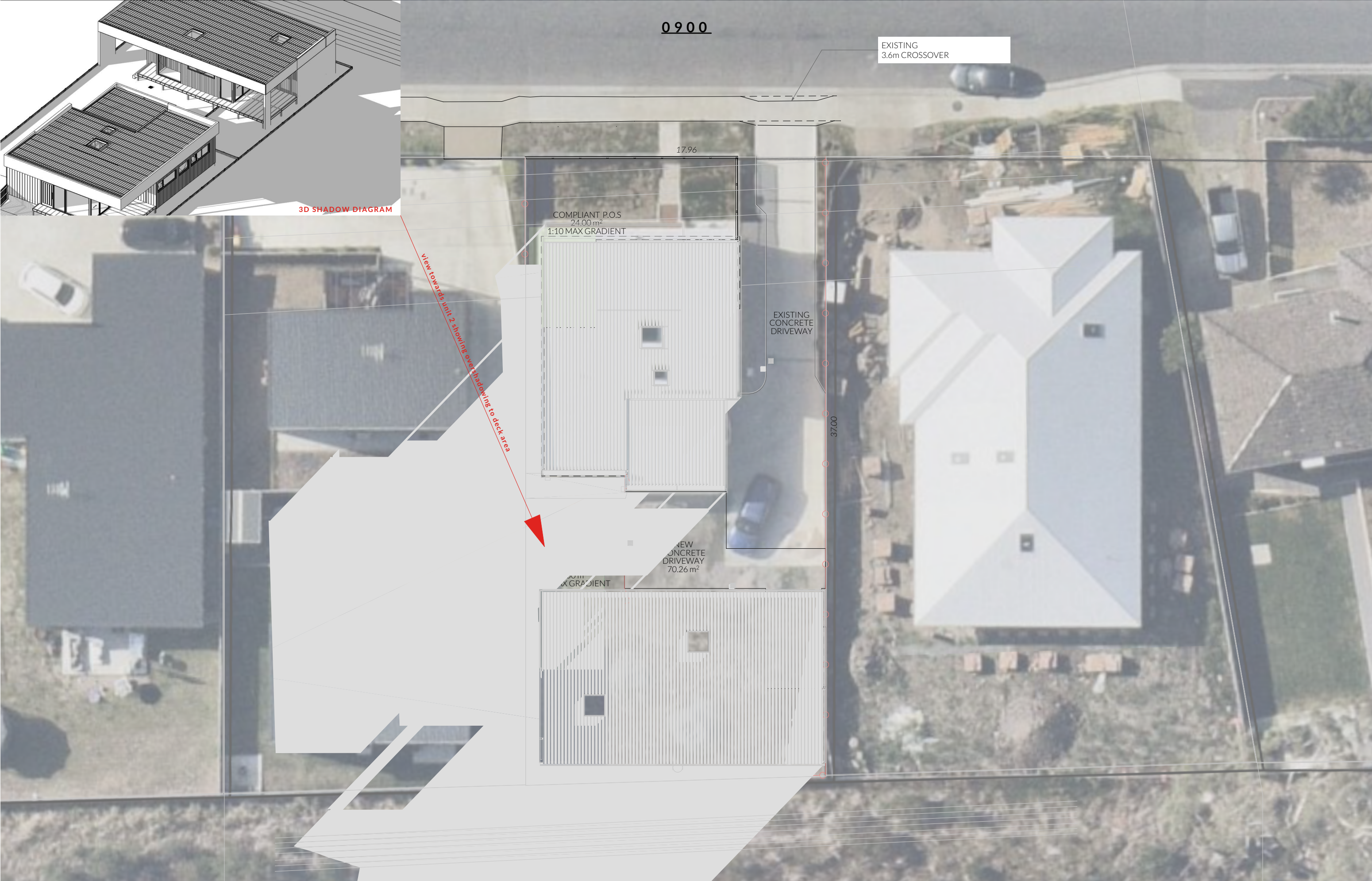
Glazing - 52mm Double Glazed (clear)
All windows & doors to be glazed with the minimum following values:


| Window Type | U-Value | SHGC |
|-------------|---------|------|
| Awning | 4.1 | 0.57 |
| Fixed | 3.2 | 0.67 |

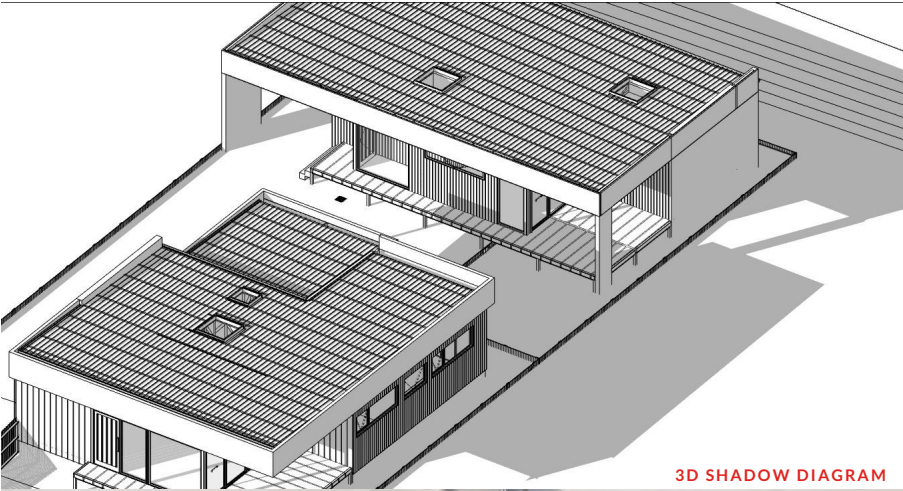
Values based on products from Clark Windows. Where Argon Gas is specified the U-Value is reduced by 0.1 across all products.



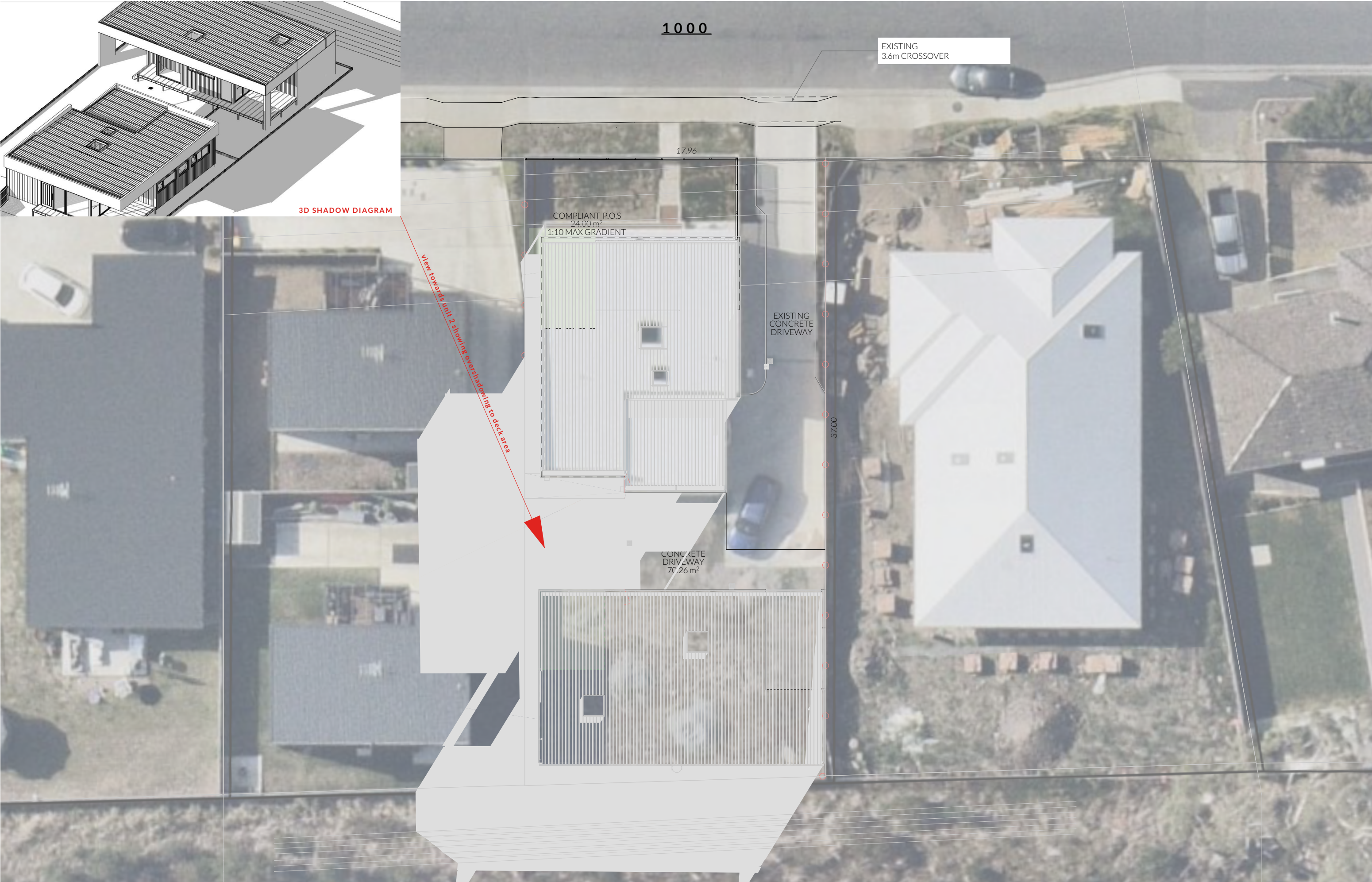
3D SHADOW DIAGRAM




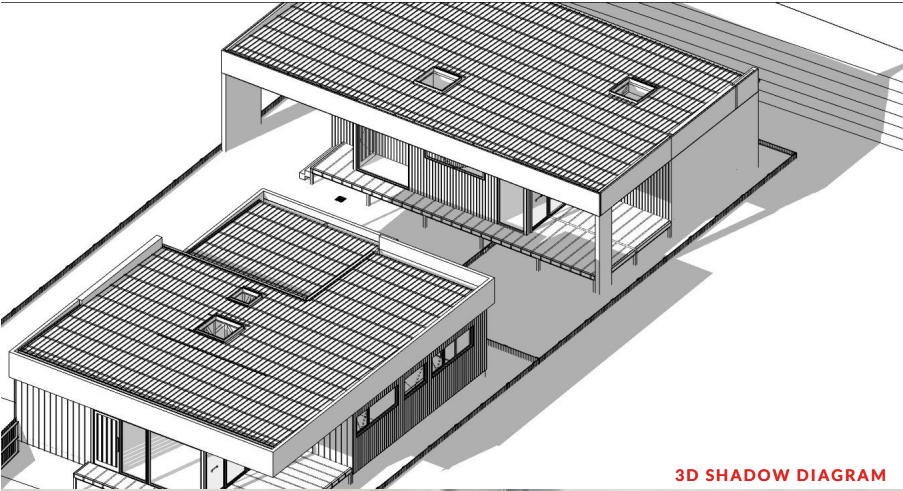
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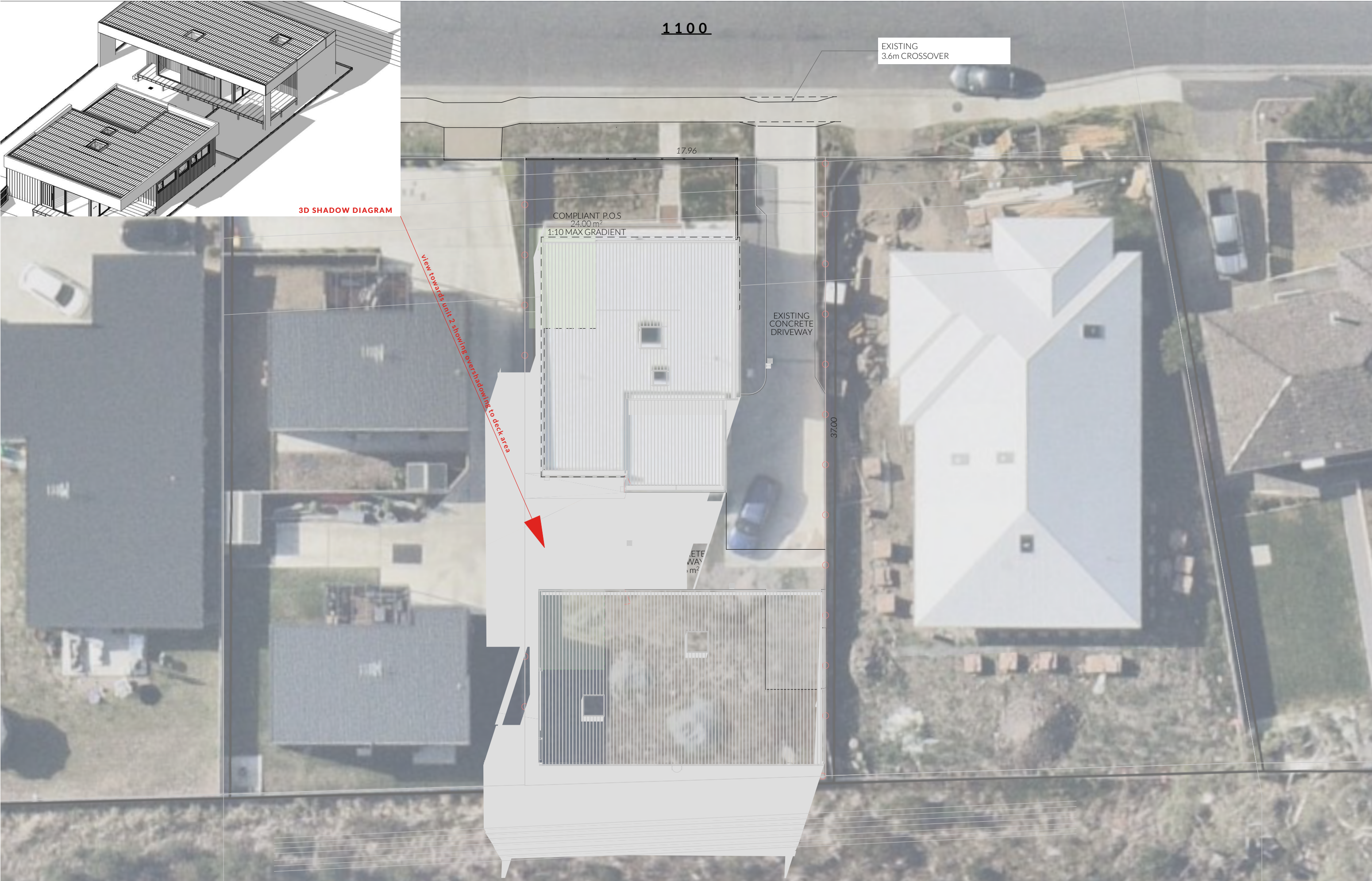
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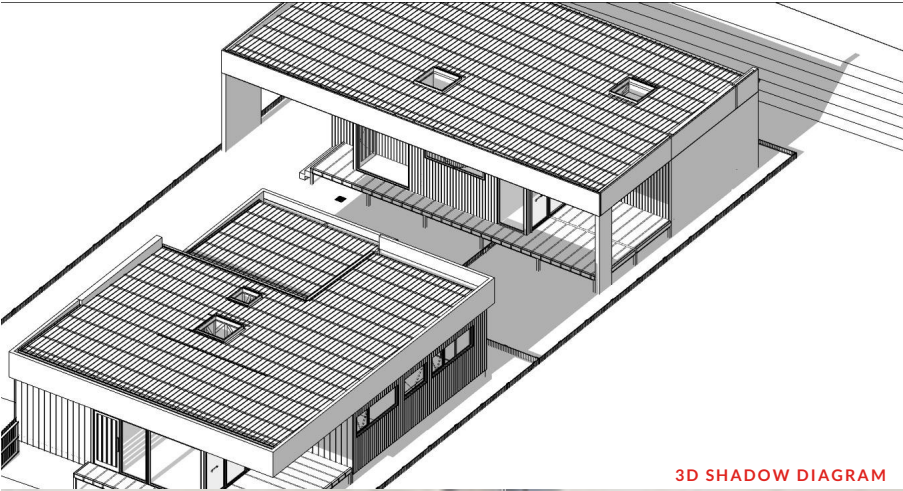
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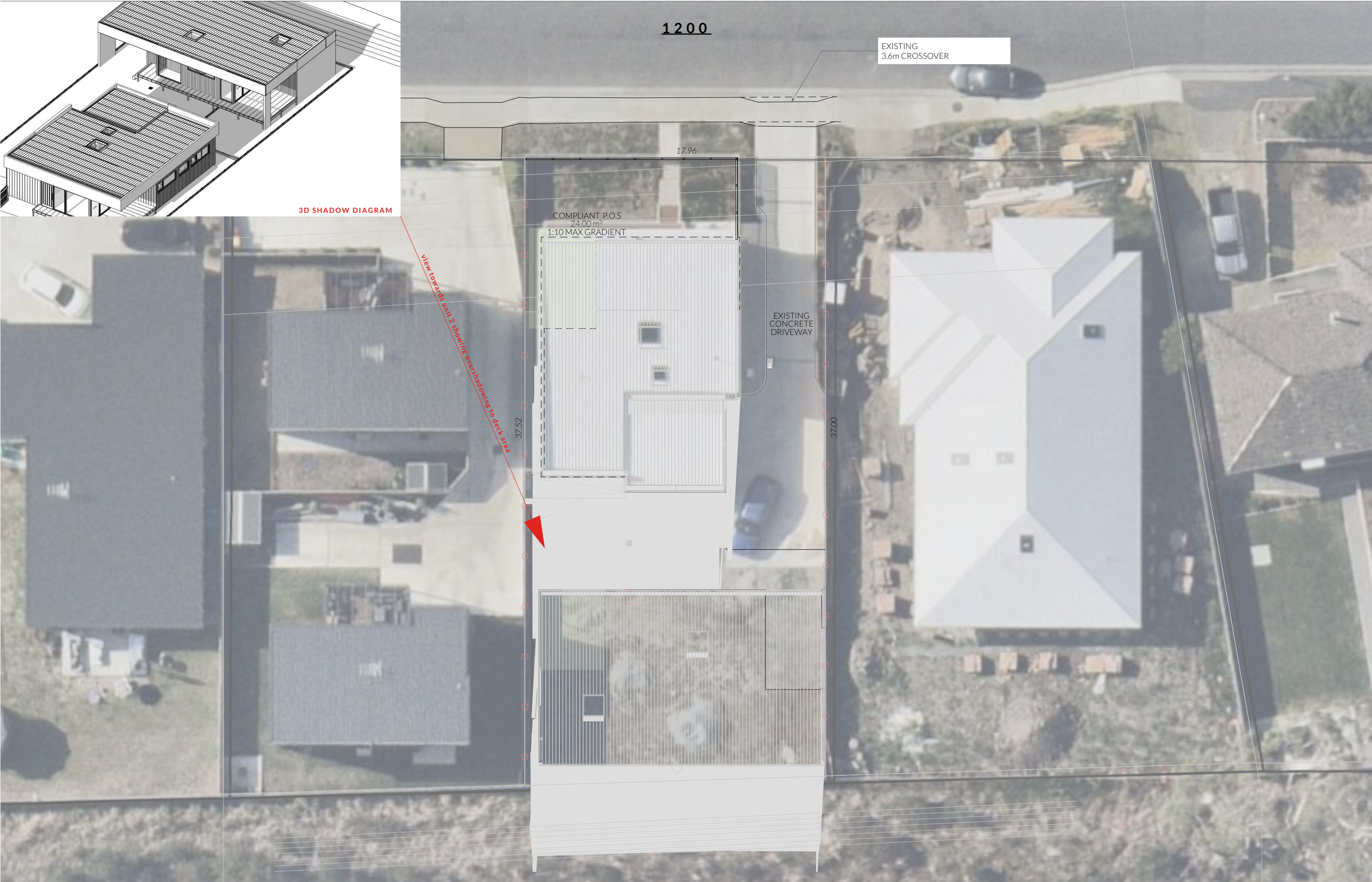
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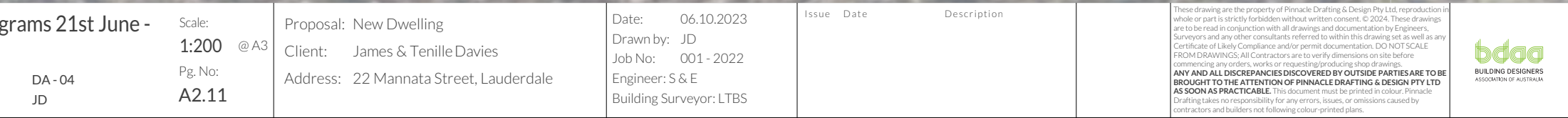
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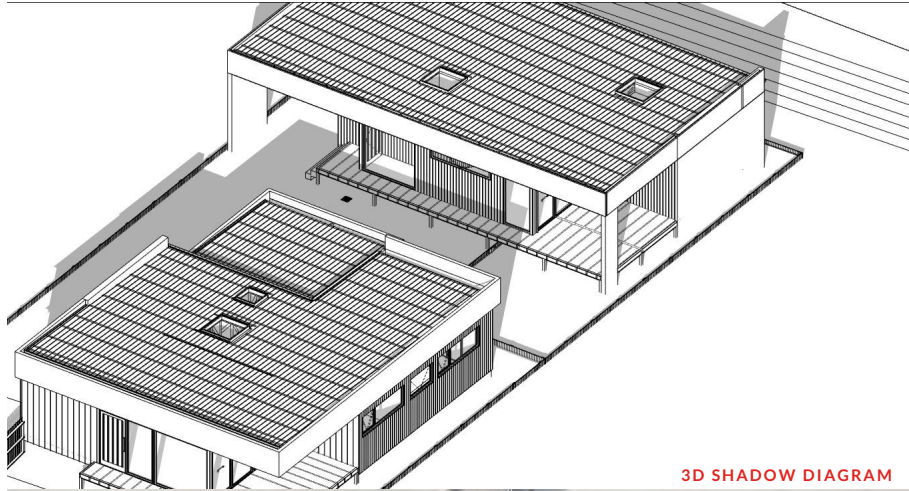


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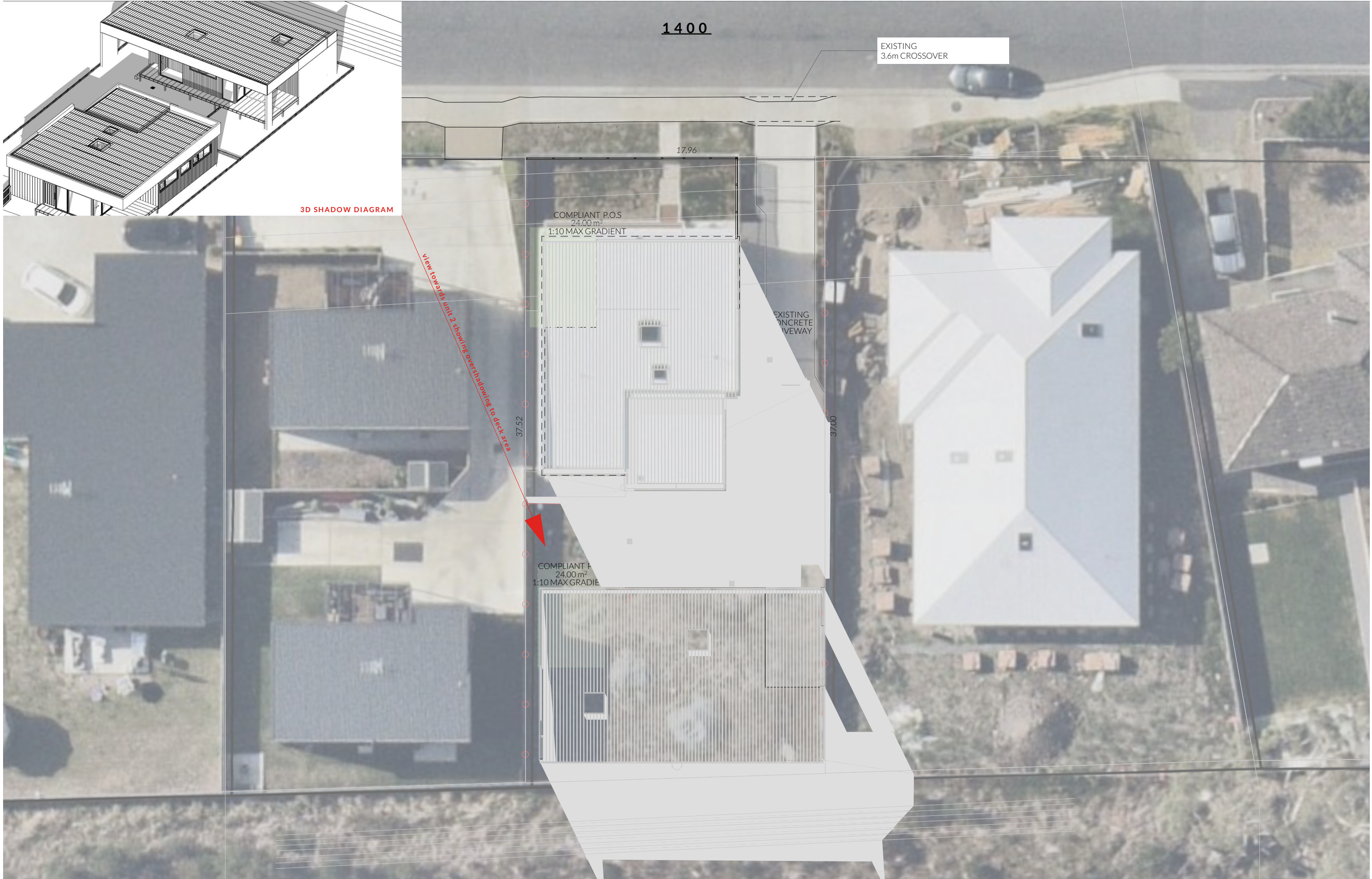



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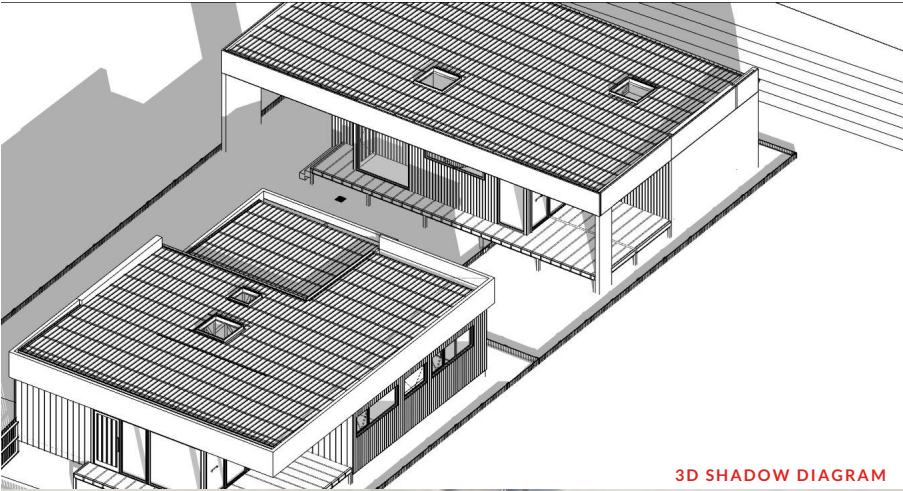




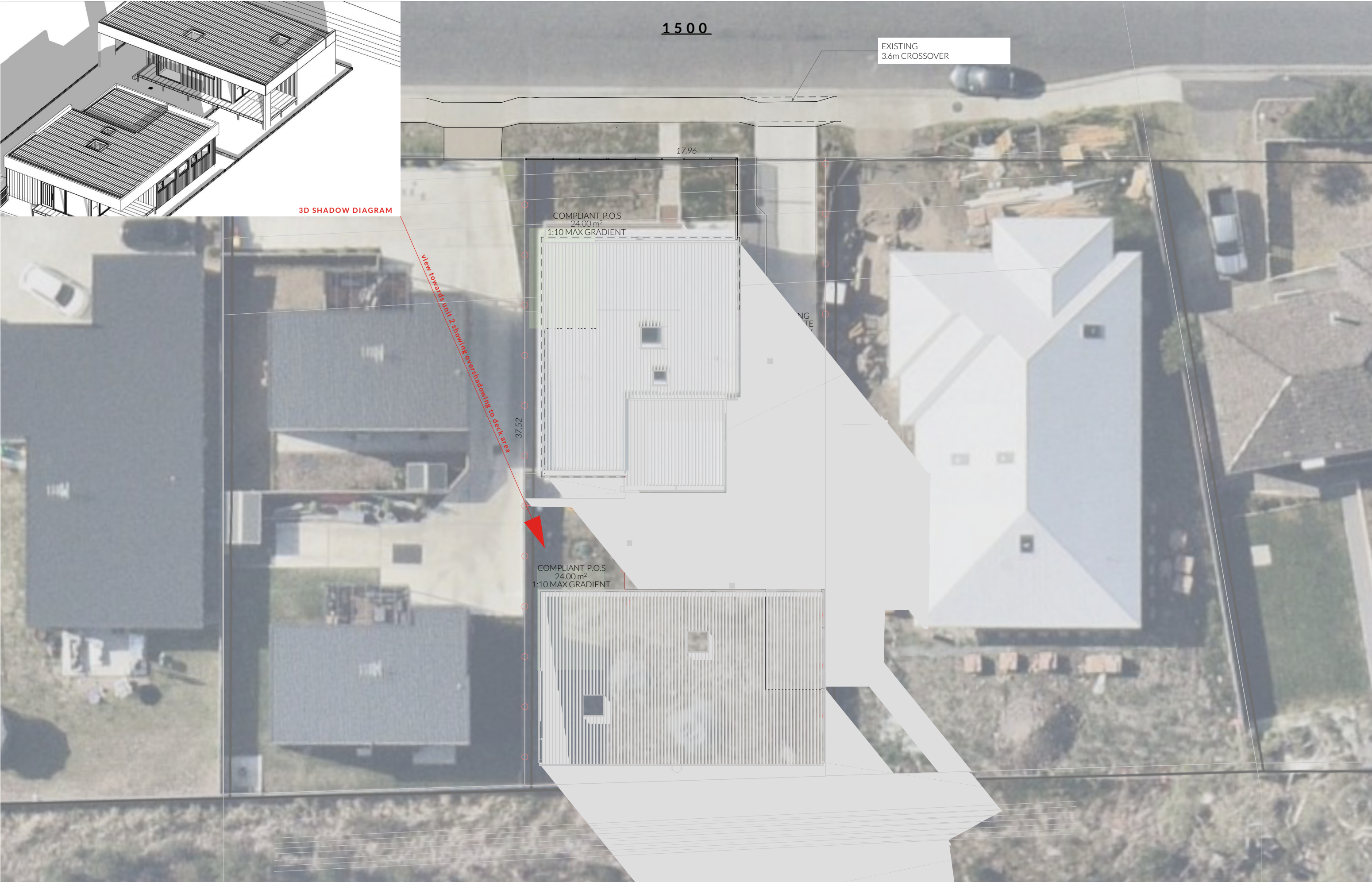
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





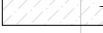



3D SHADOW DIAGRAM











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Legend

-  - General Waste Bin
-  - Recycling Bin
-  - Green Waste Bin
-  - Clothesline
-  - Air Conditioner unit
-  - Meter Box
-  - Hot Water Cylinder
-  - 1.8m Paling Fence
-  - Lawn
-  - Mulched Garden Bed
-  - Decorative Pebble

Planting Schedule

| Symbol | Name | Qty | Pot Size | Size |
|--|------------------------|-----|-----------|--|
|  | Atriplex sp. | 3 | 140mm | 1-2m(S), 2-3 (H) |
|  | Helichrysum sp | 2 | 140mm | 1.5m(S), 0.5 (H) |
|  | Leucaphyta Brownii sp. | 6 | 140mm | 0.5-1.5m(S)&(H) |
|  | Lomandra sp. | 8 | 140mm | 0.5-1.5m(S)&(H) |
|  | Myoporum sp. | 3 | tubestock | 3m(S), 0.3 (H) |
|  | Olea europaea sp. | 3 | 200mm | 1-2m(S)&(H) |
|  | Viburnum sp. | 28 | 300mm | 2m(S), 4m (H) - to be clipped into hedge |
|  | Westringia sp. | 1 | 140mm | 1-2m(S)&(H) |

Note

Plants have been selected to be drought tolerant and low maintenance once established, plants are to be hand watered with deep soak until established. Plant locations where not already planted are indicative and may be altered where suitable growing conditions cannot be met. Garden areas to be mulched with 100mm cover of selected mulch and plants are to be fertilised 6 monthly or where required until established. Garden edges are to be timber. Plantings that are unsuccessful will be replaced where required.

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Landscaping Plan

Revision:
Approved by:

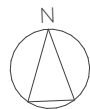
DA - 04
JD

Scale:
1:200 @ A3
Pg. No:
A2.14

Proposal: New Dwelling
Client: James & Tenille Davies
Address: 22 Mannata Street, Lauderdale

Date: 06.10.2023
Drawn by: JD
Job No: 001 - 2022
Engineer: S & E
Building Surveyor: LTBS

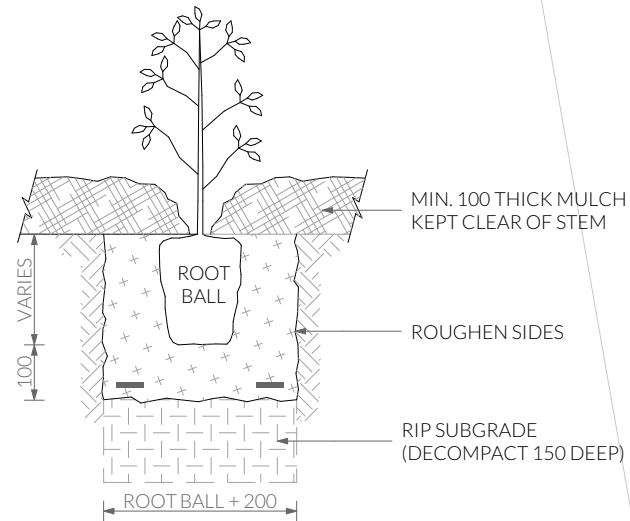
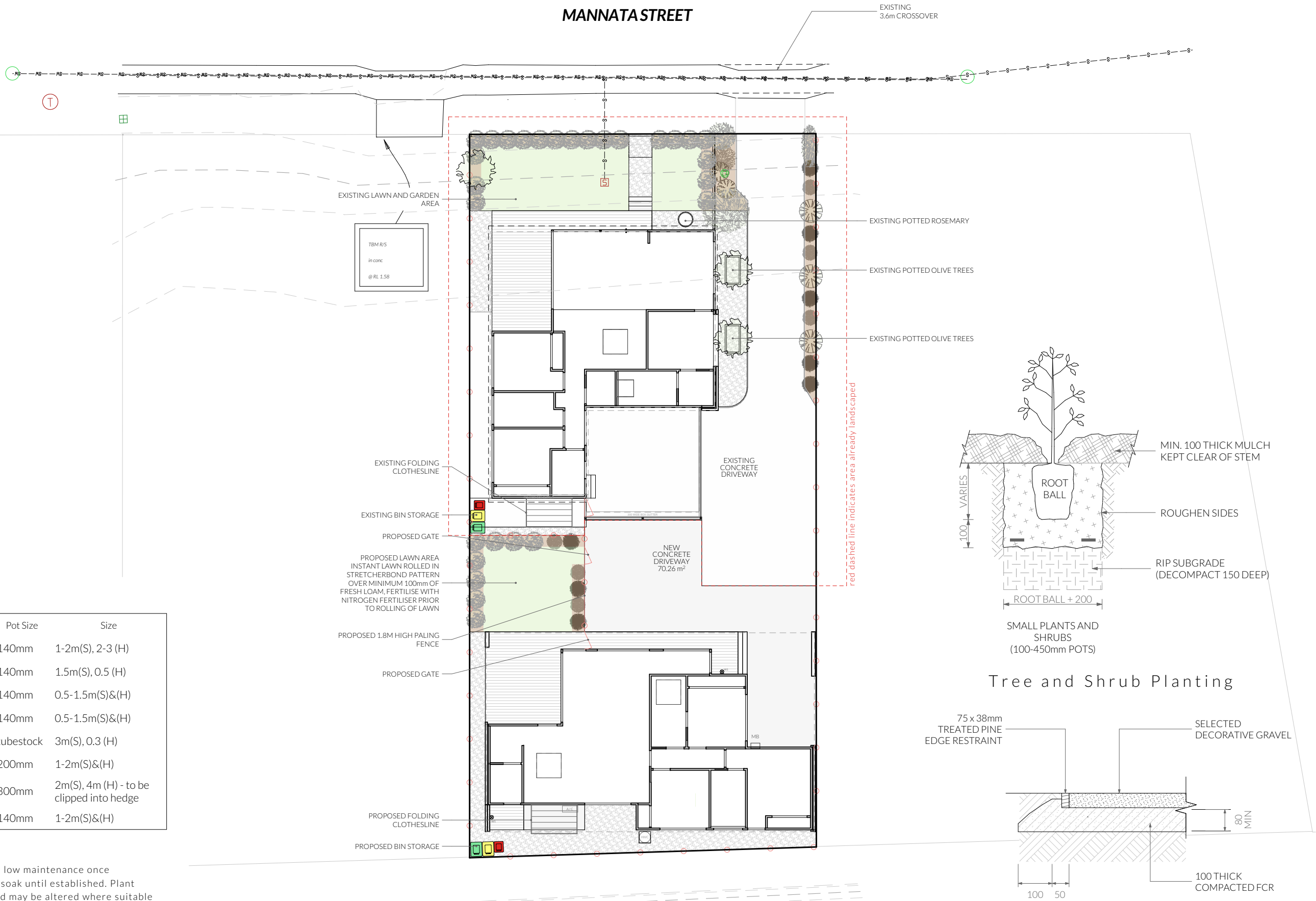
Issue Date Description



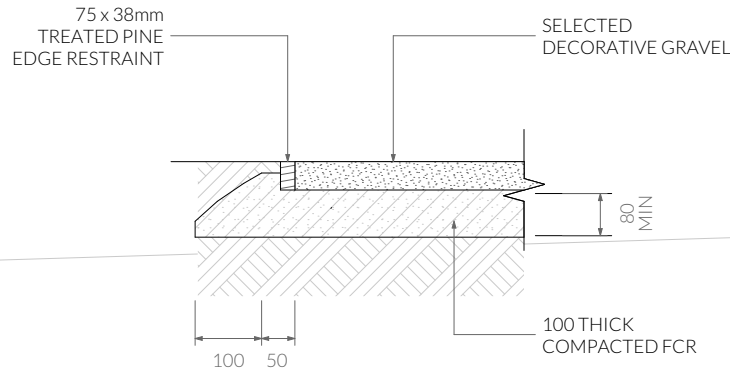
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MANNATA STREET



Tree and Shrub Planting



GRAVEL DETAIL
Pavement Details 1:20

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a)Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
- (i)25mm over the first 1m from the building
- (A)in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or
- (B)for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
- (ii)50 mm over the first 1 m from the building in any other case.
- (b)Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces mustbe not less than
- (i)100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
- (ii)50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or
- (iii)150 mm in any other case.
- (c)The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with-
- (i)the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

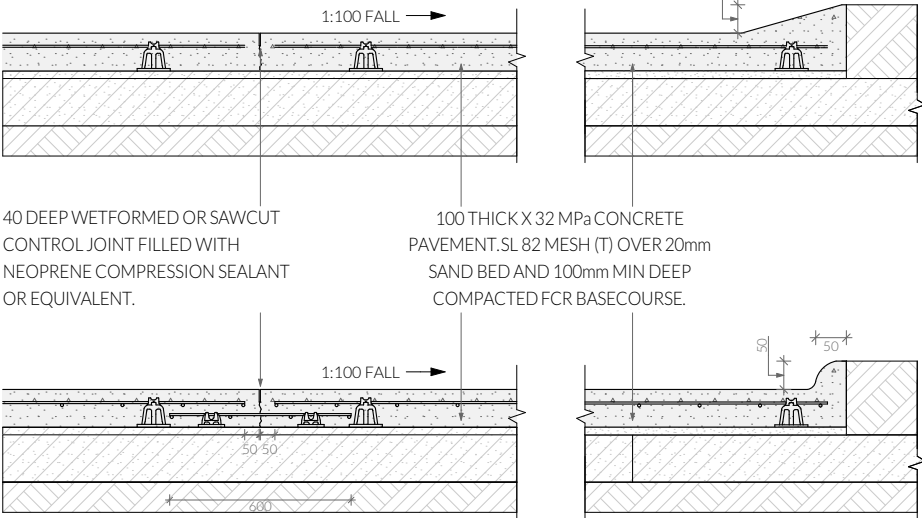
Legend

- SW Stormwater Line
- AG Ag Drain
- Stormwater Connection
- Class A 300mm Stormwater Pit
- Class B 450mm Stormwater Pit
- 100mm wide trafficable grate drain

General Notes

- Remove all topsoil and organic matter from beneath concrete driveway areas and provide 100m deep compacted FCR basecourse layer.
- Concrete strength shall be 32 mpa min.
- Provide control joints at 6.0 m centres- refer detail.
- Compact concrete using mechanical vibrators.
- Cure all exposed concrete surfaces by keeping moist for 7 days. i.e cover with plastic sheets.
- Connect new service connections into existing. Liaise with council's plumbing surveyor for location of existing connections.
- All new and/or altered service connections shall be undertaken by council at the developer's expense.
- Provide 100ø agricultural drains at base of cut and connect to stormwater at lowest point
- Driveway to be min 100mm thick 32mpa concrete with sl82 @ 40mm cover over 100mm compacted FCR. Provide deep tooled joints or sawcut joints @ max. 4m crs.
- Driveway to be sloped to integrated kerb and gutter system on low side of driveway
- Rainwater pipes to be PVC or Colorbond finish metal.
- Driveway sawcuts to be installed at approx. 4m centres with expansion joints at 8-12m centres.

TYPICAL PAVEMENT DETAIL



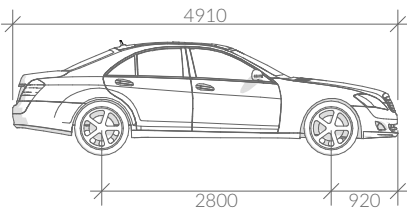
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Vehicle Movement Notes

- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.

- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.



B85 Vehicle Dimensions

| | |
|-----------------|------|
| Width: | 1870 |
| Track: | 1770 |
| L-L Time: | 6.0 |
| Turning Radius: | 5800 |

Parking Space requirements
As defined by the Parking and Sustainable Transport Code
- Table C2.3

Parking Dimensions - 90°

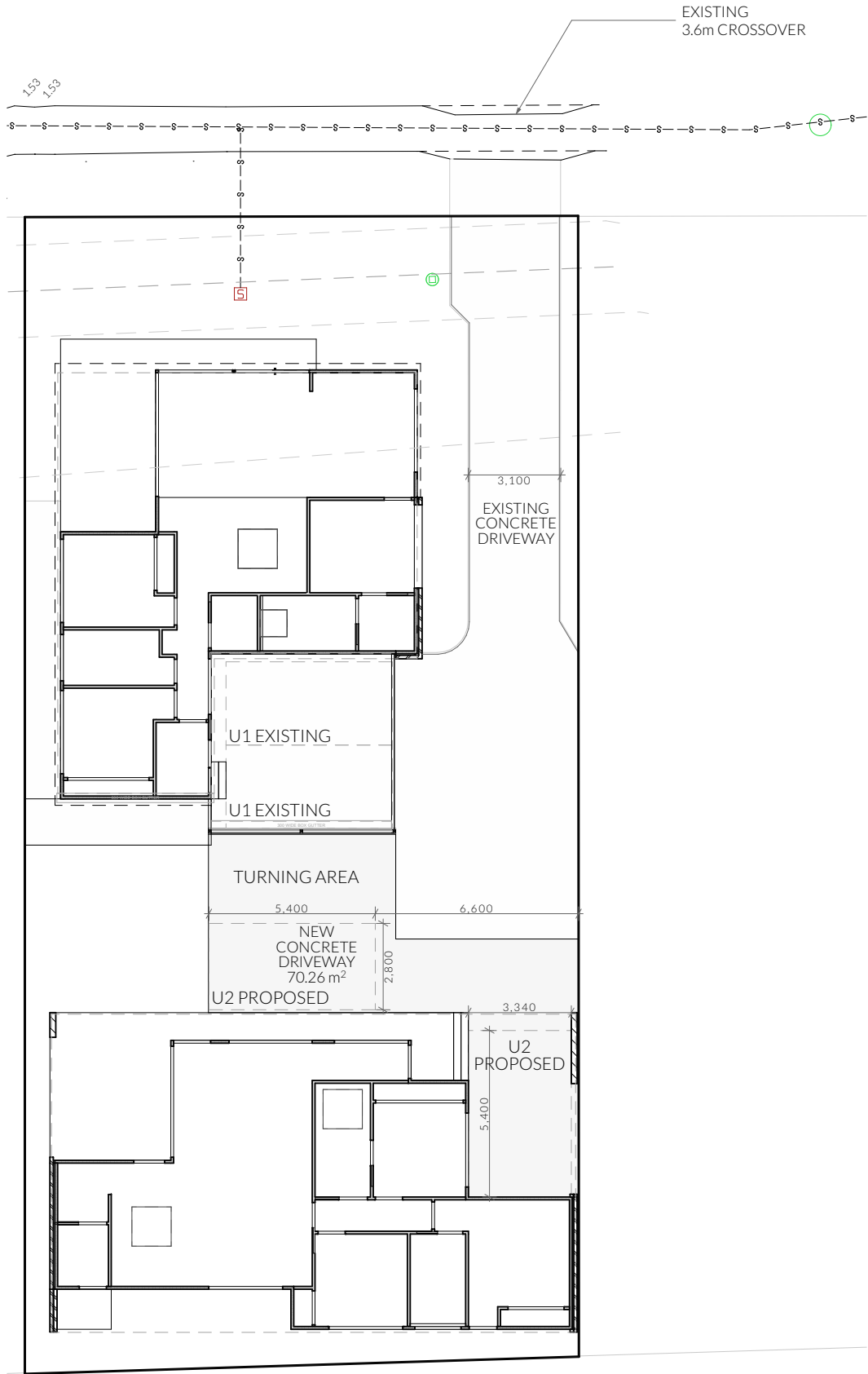
| | | | | |
|--------------|------|------|------|------|
| Width: | 2600 | 2800 | 3000 | 3200 |
| Length: | 5400 | 5400 | 5400 | 5400 |
| Aisle Width: | 6400 | 5800 | 5200 | 4800 |

Parking Dimensions - 45°

| | |
|--------------|------|
| Width: | 2600 |
| Length: | 5400 |
| Aisle Width: | 3500 |

Parking Dimensions - Parallel

| | |
|--------------|------|
| Width: | 2300 |
| Length: | 6700 |
| Aisle Width: | 3600 |



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