



## DEVELOPMENT APPLICATION

**PDPLANPMTD-2025/058060**

**PROPOSAL:** Sauna Pavillion (Single Dwelling)

**LOCATION:** 52 Mannata Street, Lauderdale

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 03 February 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 03 February 2026. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 03 February 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

## **Application for Development / Use or Subdivision**

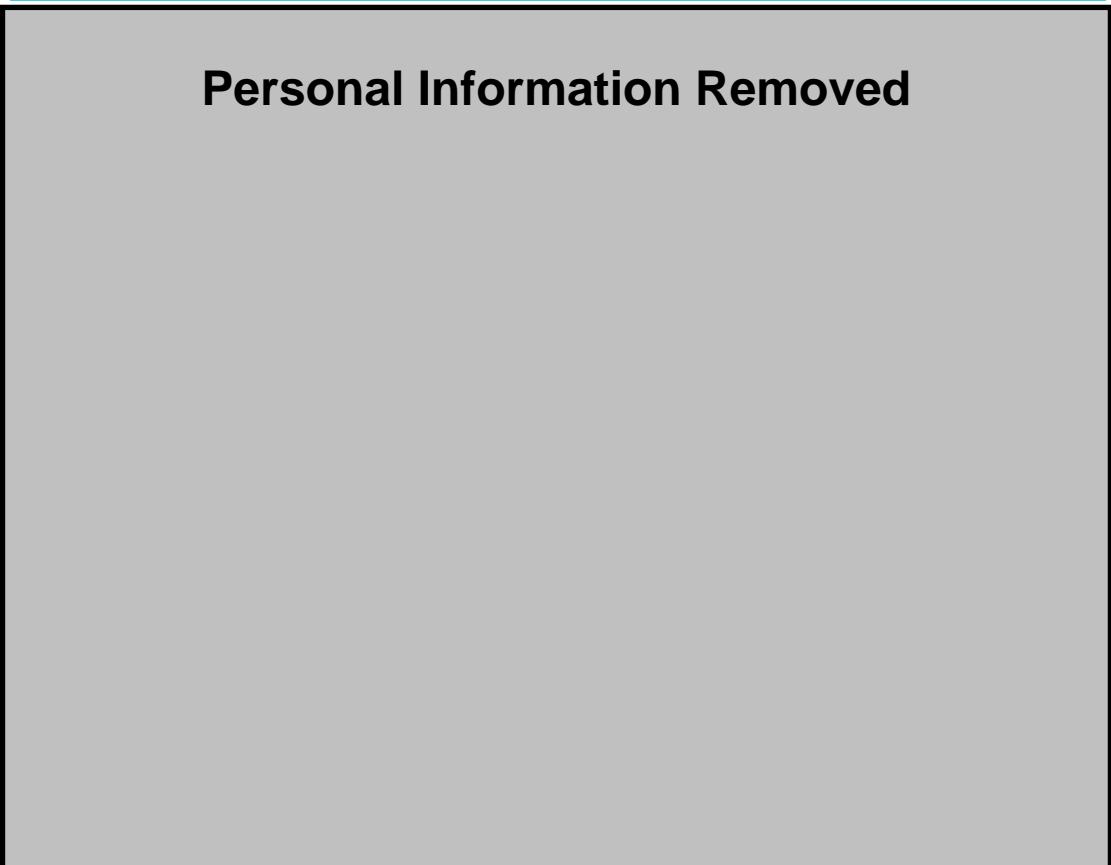
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Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **New Domestic Sauna Pavillion**

Location: **52 Mannata Street, Lauderdale TAS**

**Personal Information Removed**



Is the property on the Tasmanian Heritage Register?

Yes  No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

**no**

Current use of site: **Dwelling**

Does the proposal involve land administered or owned by the Crown or Council? Yes  No

**Declaration**

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

**Acknowledgement**

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

## Personal Information Removed

Date: 18.12.2025

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



## **Development/use or subdivision checklist**

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### **Mandatory Documents**

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

### **Additional Documents**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

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- Site analysis and site plan, including where relevant:
  - Existing and proposed use(s) on site.
  - Boundaries and dimensions of the site.
  - Topography, including contours showing AHD levels and major site features.
  - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
  - Soil type.
  - Vegetation types and distribution, and trees and vegetation to be removed.



- Location and capacity of any existing services or easements on/to the site.
- Existing pedestrian and vehicle access to the site.
- Location of existing and proposed buildings on the site.
- Location of existing adjoining properties, adjacent buildings and their uses.
- Any natural hazards that may affect use or development on the site.
- Proposed roads, driveways, car parking areas and footpaths within the site.
- Any proposed open space, communal space, or facilities on the site.
- Main utility service connection points and easements.
- Proposed subdivision lot boundaries.

Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:

- Internal layout of each building on the site.
- Private open space for each dwelling.
- External storage spaces.
- Car parking space location and layout.
- Major elevations of every building to be erected.
- Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
- Relationship of the elevations to natural ground level, showing any proposed cut or fill.
- Materials and colours to be used on rooves and external walls.

Where it is proposed to erect buildings, a plan of the proposed landscaping showing:

- Planting concepts.
- Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
- Plantings proposed for screening from adjacent sites or public places.

Any additional reports, plans or other information required by the relevant zone or code.

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This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



**SEARCH OF TORRENS TITLE**

VOLUME	FOLIO
178696	4
EDITION	DATE OF ISSUE
5	16-Jan-2024

SEARCH DATE : 18-Dec-2025

SEARCH TIME : 12.23 pm

**DESCRIPTION OF LAND**

City of CLARENCE

Lot 4 on Sealed Plan [178696](#)Derivation : Part of 700 Acres Located to E S P Bedford & Part  
of 225 Acres Gtd. to Daniel StanfieldPrior CT [23315/24](#)**SCHEDULE 1**[N158093](#) & [N169971](#) MACIEJ JAN SAMBORSKI and KYLIE MARIE  
SAMBORSKI Registered 16-Jan-2024 at noon**SCHEDULE 2**

Reservations and conditions in the Crown Grant if any

[SP178696](#) COVENANTS in Schedule of Easements[SP178696](#) FENCING PROVISION in Schedule of Easements[SP178696](#) SEWERAGE AND/OR DRAINAGE RESTRICTIONSPD [131](#) FENCING COVENANT in Schedule of Easements**UNREGISTERED DEALINGS AND NOTATIONS**

No unregistered dealings or other notations

OWNER: DOUGLAS ERIC BREADEN	NEW PLAN OF SURVEY		Registered Number <b>SP 178696</b>
FOLIO REFERENCE: C.T. 23315/24	BY SURVEYOR D.G.J. POTTER:		APPROVED EFFECTIVE FROM ..... 6 APR 2020 <i>Renee</i> Recorder of Titles
GRANTEE PARTS OF 700.0.0 LOC TO E.S.P. BEDFORD, 225.0.0 DANIEL STANFIELD	LOCATION: CITY OF CLARENCE		
SCALE 1:500		LENGTHS IN METRES	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
<p>(P23315)</p> <p>(SPD131)</p> <p>(P15614)</p> <p>(SPD131)</p> <p>(P15614)</p> <p>(P23315)</p>		<p>(P 178697) BAL.</p> <p>(S0162885)</p>	
<p>FOR SIGNATURE &amp; DATE SEE PLAN RELATED DOCUMENTS ..... Registered Land Surveyor Date</p>		<p>FOR SIGNATURE &amp; DATE SEE PLAN RELATED DOCUMENTS ..... Council Delegate Date</p>	

**SCHEDULE OF EASEMENTS**

**NOTE:** THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED.  
SIGNATURES MUST BE ATTESTED.

Registered Number

SP 178696

PAGE 1 OF 1 PAGE/S

**EASEMENTS AND PROFITS**

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**Easements and Profits a Prendre**

No easements or profits a prendre are created by the Plan.

**Restrictive Covenants***Vendor*

The owner or owners of each Lot on the Plan covenants with the *Subdivider* (Douglas Eric Breaden), the Clarence City Council and the owner or owners for the time being of each and every other Lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantor's Lot, and each and every part thereof, and that the benefit thereof may be annexed to and devolve with each and every part of every other Lot shown on the Plan and the *Subdivider* and the Clarence City Council to observe the following stipulation:

*Vendor*

Not to erect on such Lot any dwelling or any other habitable building or structure that has a finished floor level of less than +3.2m AHD (Australian Height Datum).

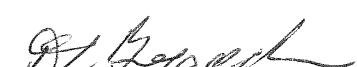
**Fencing Provision**

In respect of the Lots on the Plan, the Vendor Douglas Eric Breaden shall not be required to fence.

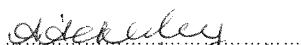
Signed by Douglas Eric Breaden

in the presence of:

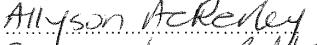
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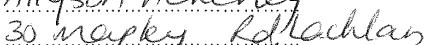
Witness Signature:



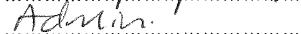
Witness Name:



Witness Address:



Witness Occupation:



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Douglas Eric Breaden

PLAN SEALED BY: Clarence City Council

FOLIO REF: Volume 23315 Folio 24

DATE: 13.02.2020

SOLICITOR

SD-2018/13

&amp; REFERENCE: Simmons Wolfhagen – Ref: 192067

REF NO.

CMea

Council Delegate

**NOTE:** The Council Delegate must sign the Certificate for the purposes of identification.



DATE      REVISION      NO.

PLANNING PERMIT APPLICATION  
NOT FOR CONSTRUCTION

**SITE PLAN 1:500**

DRAWING TITLE

**25-02      Private Sauna and Spa outbuilding**  
PROJECT NO.      PROJECT

Maciej and Kylie Samborski      **52 Mannata Street, Lauderdale TAS 7021**  
CLIENT      SITE ADDRESS



**MAGUIRE + DEVINE**  
ARCHITECTS

Maguire + Devine Architects Pty Ltd  
(03) 6292 0911  
mail@maguiredevine.com.au  
271 Elizabeth Street, North Hobart TAS  
7000 ABN 13 606 322 089

**DA 1.00**  
DRAWING NO.      REVISION      STATUS

**1:500 @ A3**  
SCALE      DATE

**Erin Jenkins**      **Hugh Maguire**      **CC 5941 D**  
DRAWN      CHECKED      ACCREDITATION NO.

56  
MANNATA  
ST

MANNATA ST

54  
MANNATA  
ST

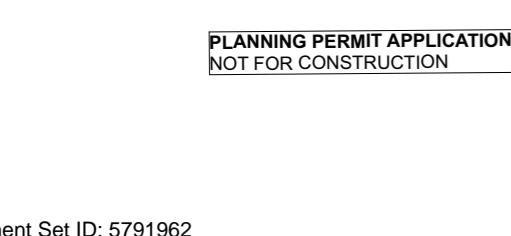
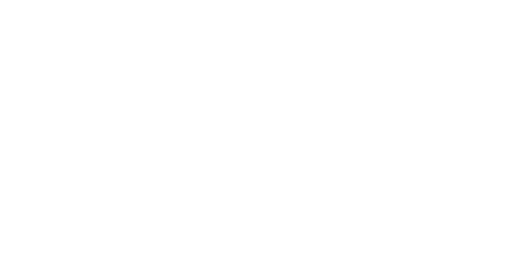
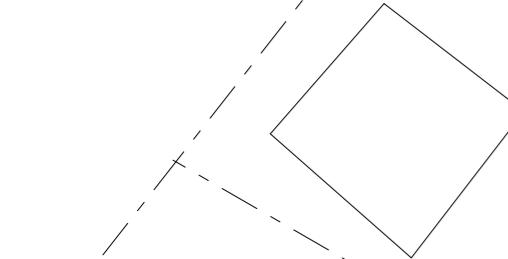
54 MANNATA ST  
- NEIGHBOUR -

52 MANNATA  
ST

52 MANNATA ST  
EXISTING  
CLASS 1  
DWELLING  
FFL AHD 3.2

50 MANNATA ST  
- NEIGHBOUR -

50 MAN  
ST



DATE REVISION NO.

SITE PLAN 1:200

DRAWING TITLE

25-02 Private Sauna and Spa outbuilding

PROJECT NO. PROJECT

Maciej and Kylie Samborski

52 Mannata Street, Lauderdale TAS 7021

CLIENT

SITE ADDRESS



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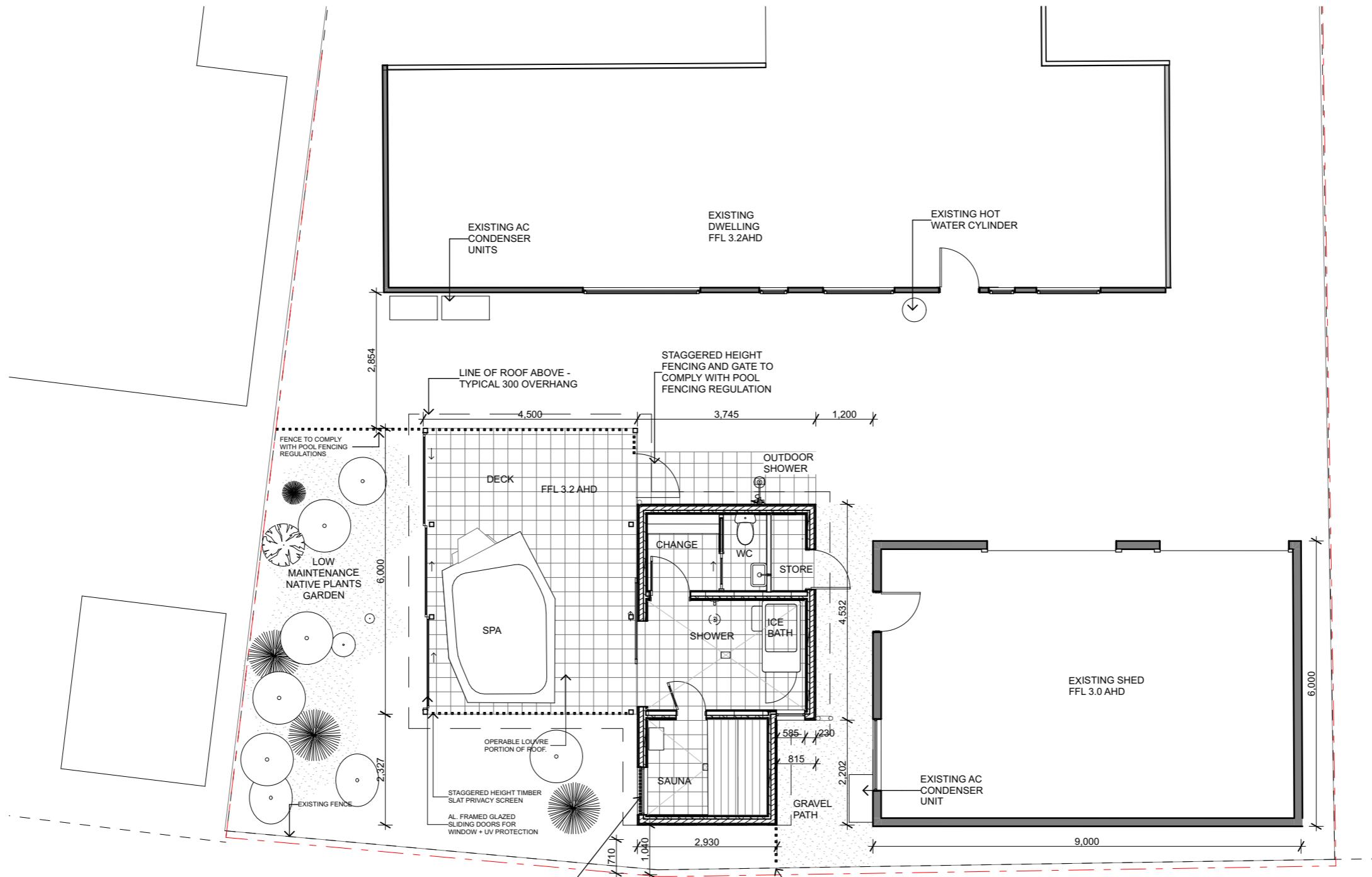
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SCALE DATE

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Jenkins Maguire CC 5941 D

DRAWN CHECKED ACCREDITATION NO.



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**GROUND FLOOR PLAN**

DRAWING TITLE

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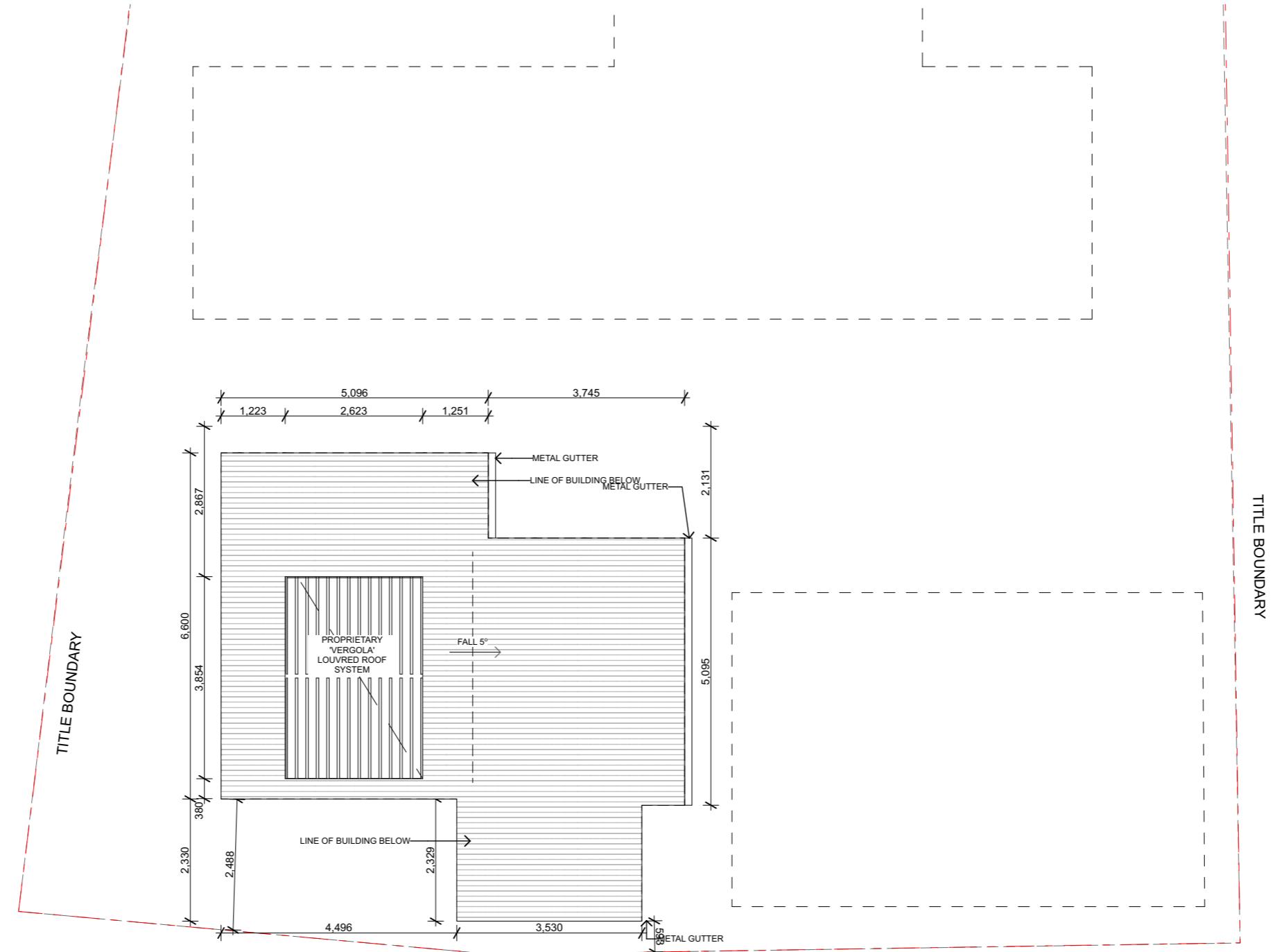
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271 Elizabeth Street, North Hobart TAS  
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**DA 1.02**  
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SCALE      DATE

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**ROOF PLAN**

DRAWING TITLE

**25-02      Private Sauna and Spa outbuilding**

PROJECT NO.      PROJECT

Maciej and Kylie Samborski

**52 Mannata Street, Lauderdale TAS 7021**

CLIENT

SITE ADDRESS



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DRAWING NO.      REVISION      STATUS

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Jenkins      Maguire      CC 5941 D

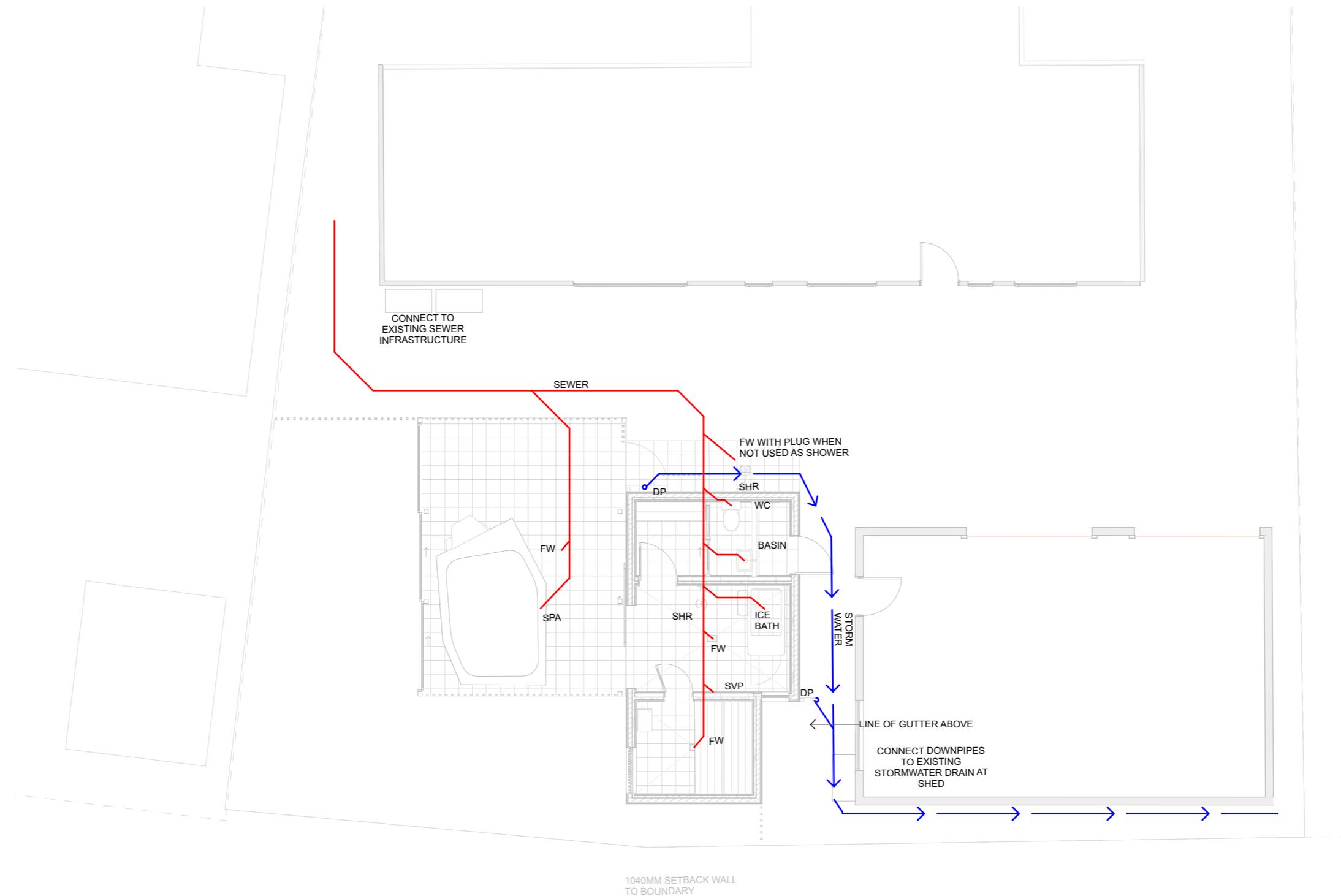
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STORMWATER



SEWER



**PLANNING PERMIT APPLICATION**  
NOT FOR CONSTRUCTION

DATE      REVISION      NO.

**HYDRAULIC PLAN**

DRAWING TITLE

25-02      **Private Sauna and Spa outbuilding**

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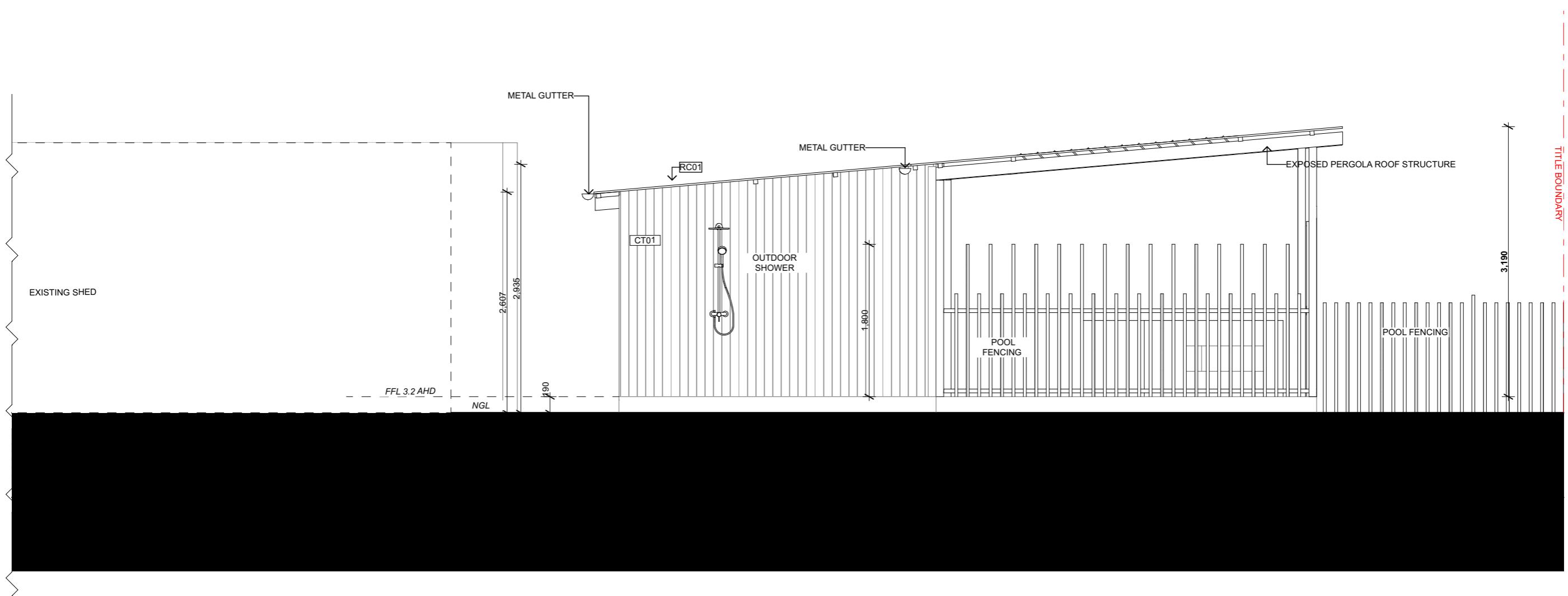
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Jenkins      Maguire

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ACCREDITATION NO.



DATE      REVISION      NO.

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**NORTH ELEVATION 1:50**

DRAWING TITLE

**25-02      Private Sauna and Spa outbuilding**

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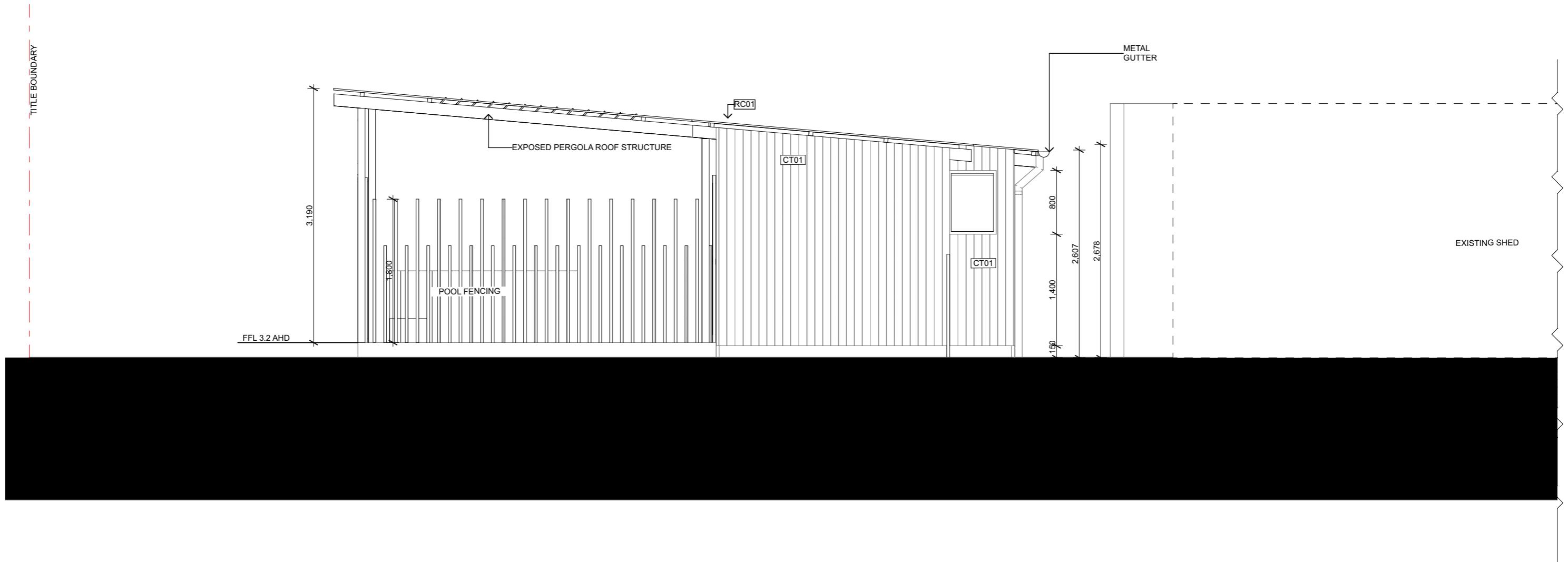
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SCALE      DATE

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Jenkins      Maguire      CC 5941 D

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DATE      REVISION      NO.

**PLANNING PERMIT APPLICATION**  
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**SOUTH ELEVATION 1:50**

DRAWING TITLE

**25-02      Private Sauna and Spa outbuilding**  
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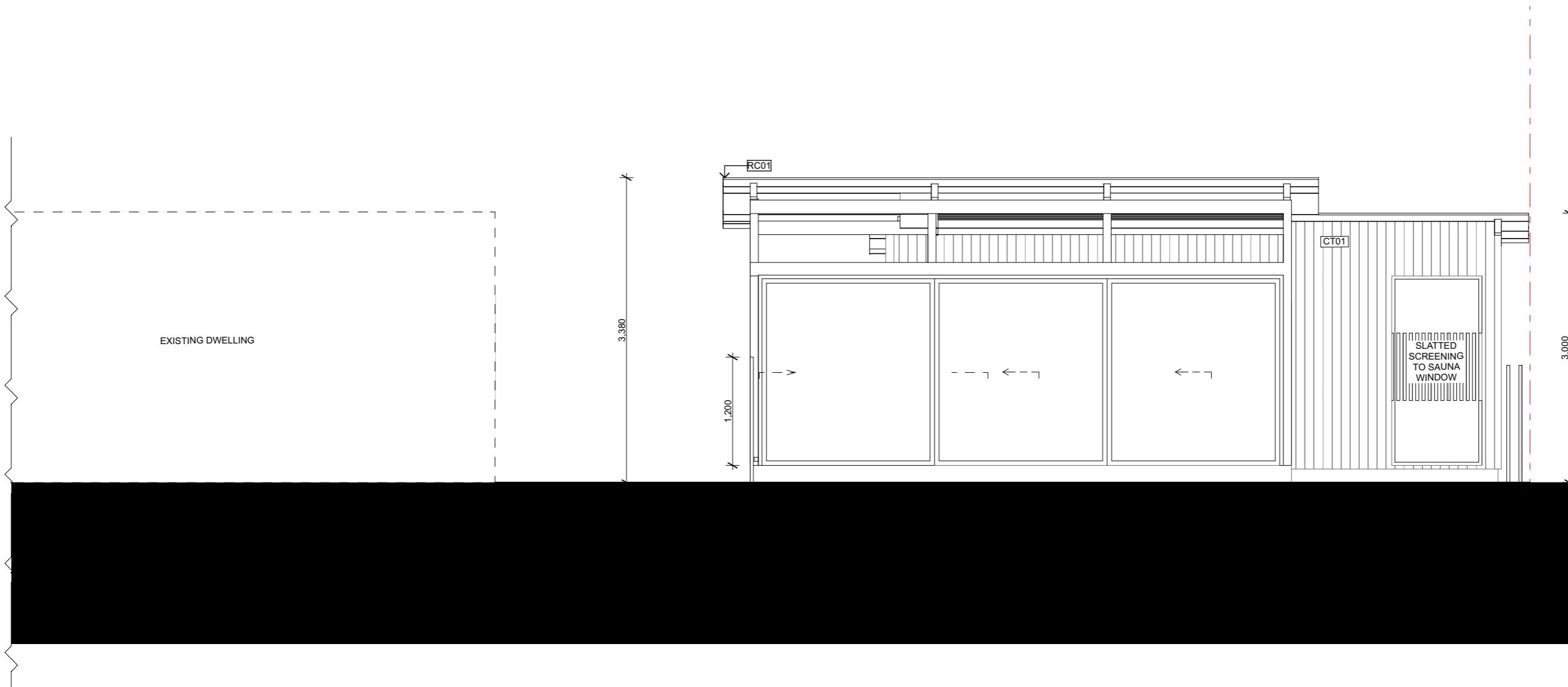
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**DATE**

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DATE REVISION NO.

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**EAST ELEVATION 1:50**

DRAWING TITLE

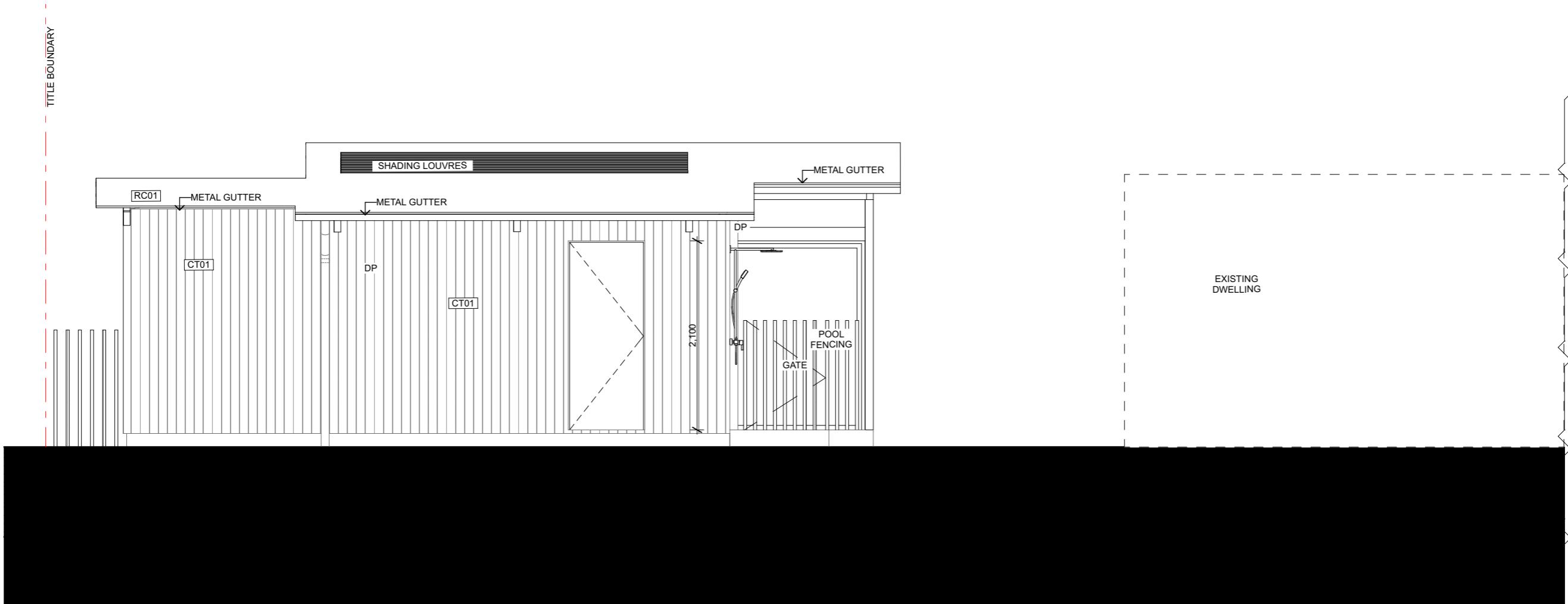
**25-02 Private Sauna and Spa outbuilding**  
PROJECT NO. PROJECT

Maciej and Kylie Samborski  
CLIENT 52 Mannata Street, Lauderdale TAS 7021  
SITE ADDRESS

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**DA 3.03**  
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**1:50, 1:100 @ A3 14/1/2026**  
SCALE DATE  
Erin Hugh  
Jenkins Maguire CC 5941 D  
DRAWN CHECKED ACCREDITATION NO.



DATE      REVISION      NO.

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**WEST ELEVATION 1:50**

DRAWING TITLE

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ARCHITECTS

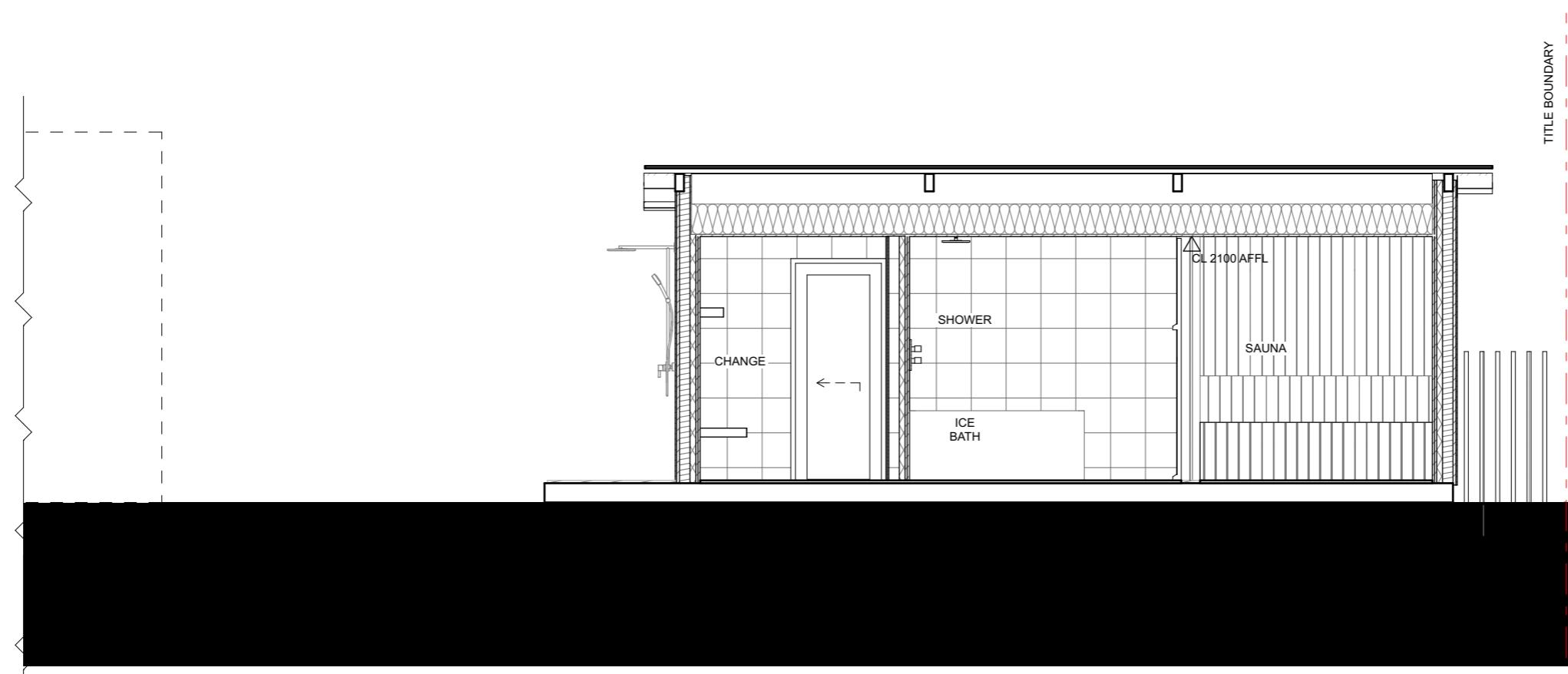
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**DA 3.04**  
DRAWING NO.      REVISION      STATUS

1:50, 1:100 @ A3      14/1/2026

SCALE      DATE

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Jenkins      Maguire      CC 5941 D  
DRAWN      CHECKED      ACCREDITATION NO.



DATE REVISION NO.

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**SECTION A**

DRAWING TITLE

**25-02 Private Sauna and Spa outbuilding**

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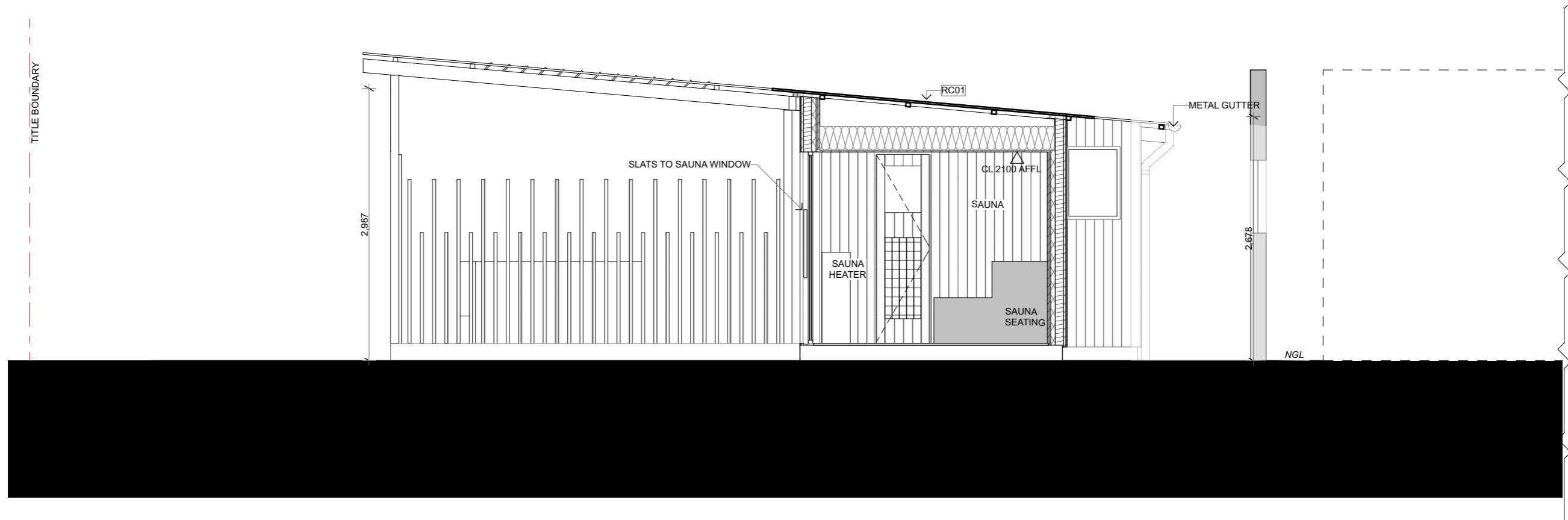
Maguire + Devine Architects Pty Ltd  
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**DA 2.01**  
DRAWING NO. REVISION STATUS

**1:50, 1:100 @ A3 14/1/2026**

SCALE DATE

Erin Hugh  
Jenkins Maguire CC 5941 D  
DRAWN CHECKED ACCREDITATION NO.



DATE      REVISION      NO.

PLANNING PERMIT APPLICATION  
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**SECTION B**

DRAWING TITLE

**25-02      Private Sauna and Spa outbuilding**

PROJECT NO.      PROJECT

Maciej and Kylie Samborski      52 Mannata Street, Lauderdale TAS 7021  
CLIENT      SITE ADDRESS



**MAGUIRE + DEVINE**  
ARCHITECTS

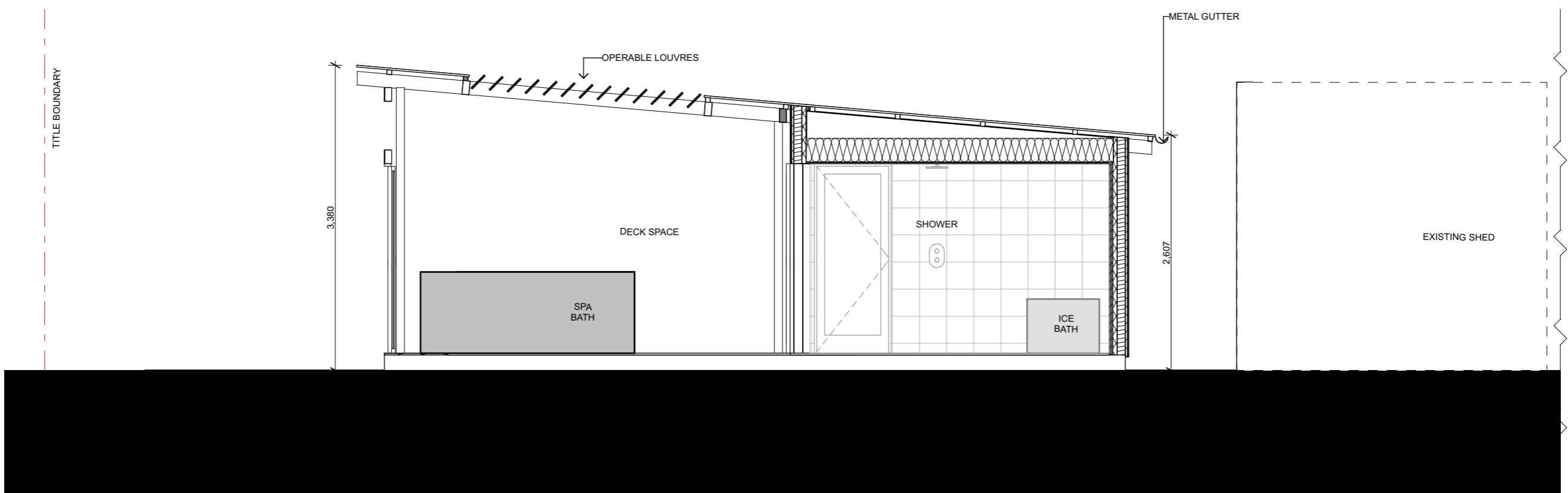
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271 Elizabeth Street, North Hobart TAS  
7000 ABN 13 606 322 089

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DRAWING NO.      REVISION      STATUS

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Jenkins      Maguire      CC 5941 D  
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DATE      REVISION      NO.

PLANNING PERMIT APPLICATION  
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**SECTION C**

DRAWING TITLE

**25-02      Private Sauna and Spa outbuilding**  
PROJECT NO.      PROJECT

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CLIENT      SITE ADDRESS



**MAGUIRE + DEVINE**  
ARCHITECTS

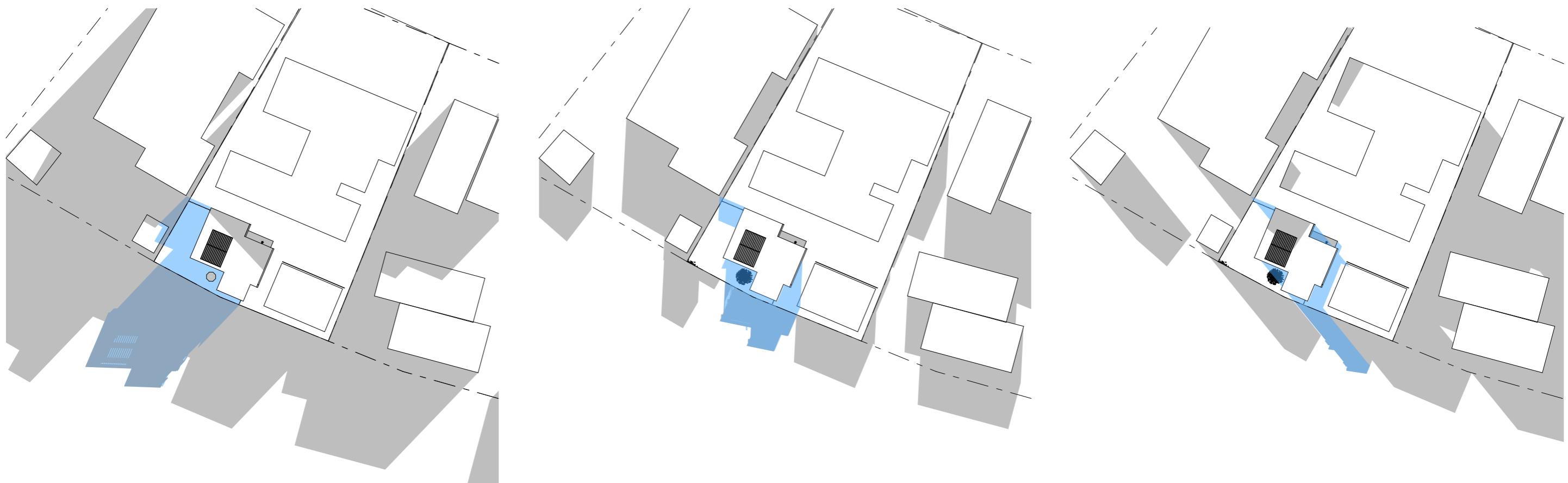
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271 Elizabeth Street, North Hobart TAS  
7000 ABN 13 606 322 089

**DA 2.03**  
DRAWING NO.      REVISION      STATUS

1:50, 1:100 @ A3      14/1/2026

SCALE      DATE

Erin      Hugh  
Jenkins      Maguire      CC 5941 D  
DRAWN      CHECKED      ACCREDITATION NO.



1

9am Winter Solstice

1:500

3

12pm winter solstice

1:500

15

3pm winter solstice

1:500

DATE	REVISION	NO.
<b>PLANNING PERMIT APPLICATION NOT FOR CONSTRUCTION</b>		

SHADOW STUDY	
DRAWING TITLE	
25-02	Private Sauna and Spa outbuilding
PROJECT NO.	PROJECT
Maciej and Kylie Samborski	52 Mannata Street, Lauderdale TAS 7021
CLIENT	SITE ADDRESS



**MAGUIRE + DEVINE**  
ARCHITECTS

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 (03) 6292 0911  
 mail@maguiredevine.com.au  
 271 Elizabeth Street, North Hobart TAS  
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DA	DA		
DA 5.01	DRAWING NO.	REVISION	STATUS
1:500 @ A3	14/1/2026		
SCALE			
Erin Jenkins	Hugh Maguire	CC 5941 D	
DRAWN	CHECKED		ACCREDITATION NO.



DATE      REVISION      NO.

PLANNING PERMIT APPLICATION  
NOT FOR CONSTRUCTION

3D1

DRAWING TITLE

25-02      Private Sauna and Spa outbuilding

PROJECT NO.      PROJECT

Maciej and Kylie Samborski      52 Mannata Street, Lauderdale TAS 7021  
CLIENT      SITE ADDRESS



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DA 5.02      DA

DRAWING NO.      REVISION      STATUS

1:125 @ A3

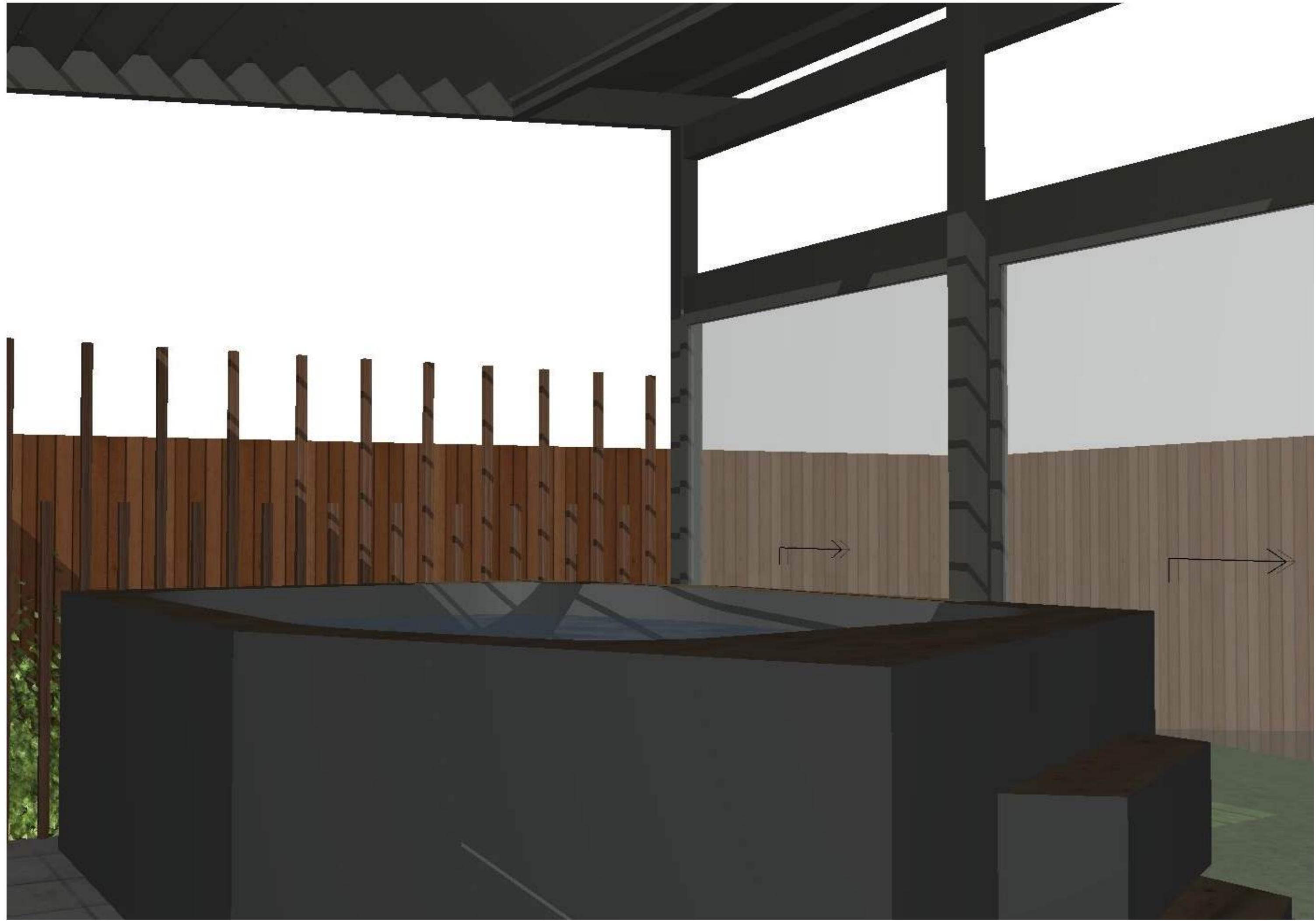
14/1/2026

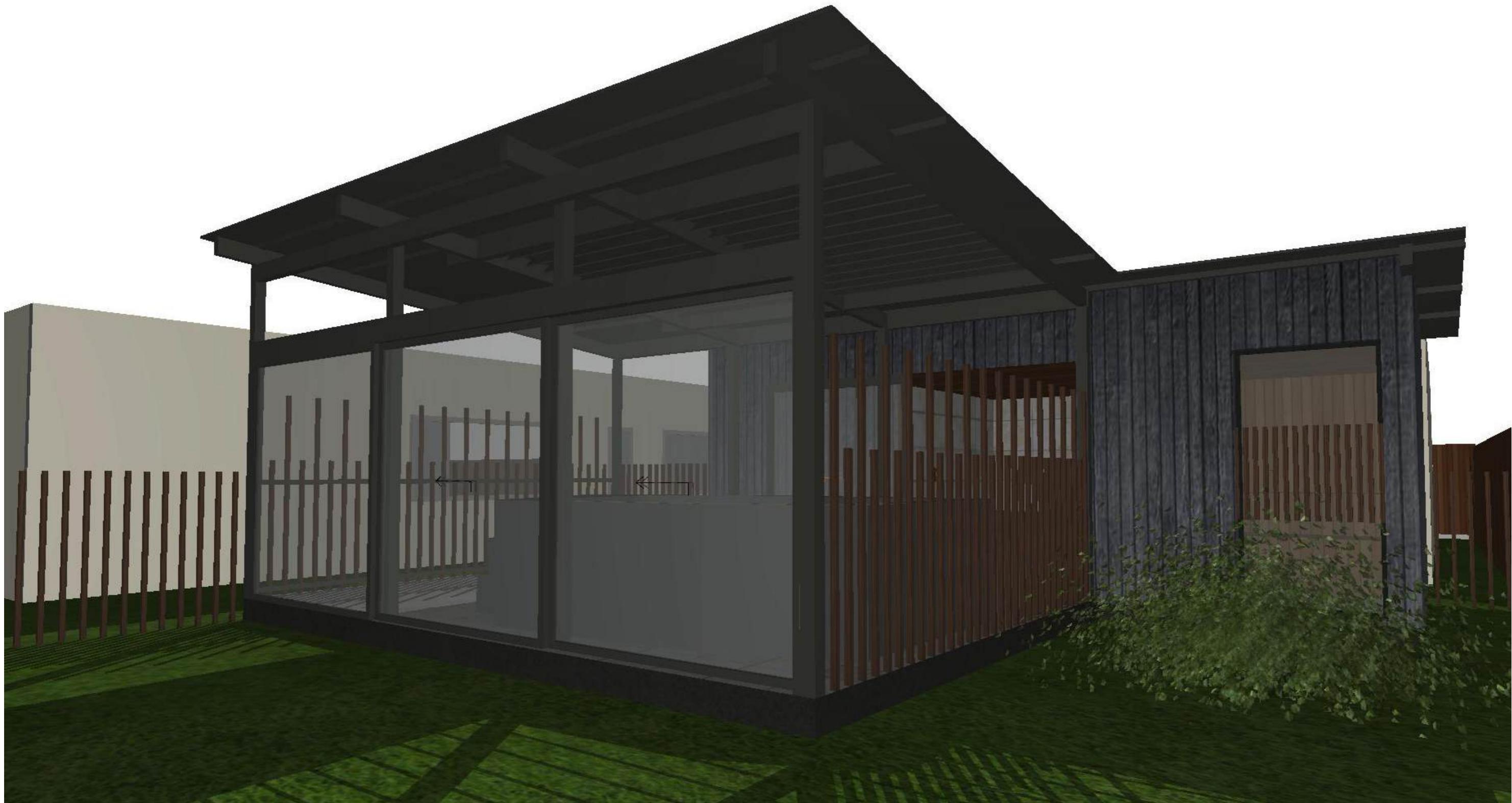
SCALE

DATE

Erin Jenkins      Hugh Maguire      CC 5941 D

DRAWN      CHECKED      ACCREDITATION NO.





DATE      REVISION      NO.

PLANNING PERMIT APPLICATION  
NOT FOR CONSTRUCTION

3D3

DRAWING TITLE

25-02      Private Sauna and Spa outbuilding  
PROJECT NO.      PROJECT

Maciej and Kylie Samborski      52 Mannata Street, Lauderdale TAS 7021  
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DA 5.04  
DRAWING NO.      REVISION      STATUS

1:166.67 @ A3      14/1/2026

SCALE      DATE

Erin      Hugh  
Jenkins      Maguire      CC 5941 D  
DRAWN      CHECKED      ACCREDITATION NO.



PLANNING PERMIT APPLICATION  
NOT FOR CONSTRUCTION

DATE REVISION NO.

3D4

DRAWING TITLE

25-02 Private Sauna and Spa outbuilding  
PROJECT NO. PROJECT

Maciej and Kylie Samborski 52 Mannata Street, Lauderdale TAS 7021  
CLIENT SITE ADDRESS

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DA 5.05 DA  
DRAWING NO. REVISION STATUS

1:125 @ A3 14/1/2026

SCALE DATE

Erin Hugh  
Jenkins Maguire CC 5941 D  
DRAWN CHECKED ACCREDITATION NO.



DATE      REVISION      NO.

PLANNING PERMIT APPLICATION  
NOT FOR CONSTRUCTION

3D8

DRAWING TITLE

25-02      Private Sauna and Spa outbuilding  
PROJECT NO.      PROJECT

Maciej and Kylie Samborski      52 Mannata Street, Lauderdale TAS 7021  
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DA 5.06      DA  
DRAWING NO.      REVISION      STATUS

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SCALE      DATE

Erin      Hugh  
Jenkins      Maguire      CC 5941 D  
DRAWN      CHECKED      ACCREDITATION NO.