



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/058129

PROPOSAL: Single Dwelling

LOCATION: 11 Emmaline Court, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 17 February 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 17 February 2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 17 February 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **Proposed new dwelling**

Location: **11 Emmaline Ct, Rokeby, TAS 7019**

Personal Information Removed



Is the property on the Tasmanian Heritage Register?

Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Unoccupied residential**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.



- Location and capacity of any existing services or easements on/to the site.
- Existing pedestrian and vehicle access to the site.
- Location of existing and proposed buildings on the site.
- Location of existing adjoining properties, adjacent buildings and their uses.
- Any natural hazards that may affect use or development on the site.
- Proposed roads, driveways, car parking areas and footpaths within the site.
- Any proposed open space, communal space, or facilities on the site.
- Main utility service connection points and easements.
- Proposed subdivision lot boundaries.

Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:

- Internal layout of each building on the site.
- Private open space for each dwelling.
- External storage spaces.
- Car parking space location and layout.
- Major elevations of every building to be erected.
- Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
- Relationship of the elevations to natural ground level, showing any proposed cut or fill.
- Materials and colours to be used on rooves and external walls.

Where it is proposed to erect buildings, a plan of the proposed landscaping showing:

- Planting concepts.
- Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
- Plantings proposed for screening from adjacent sites or public places.

Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

| VOLUME | FOLIO |
|---------|---------------|
| 186899 | 2 |
| EDITION | DATE OF ISSUE |
| 2 | 19-Sept-2024 |

SEARCH DATE : 19-Dec-2025

SEARCH TIME : 12.33 pm

DESCRIPTION OF LAND

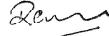
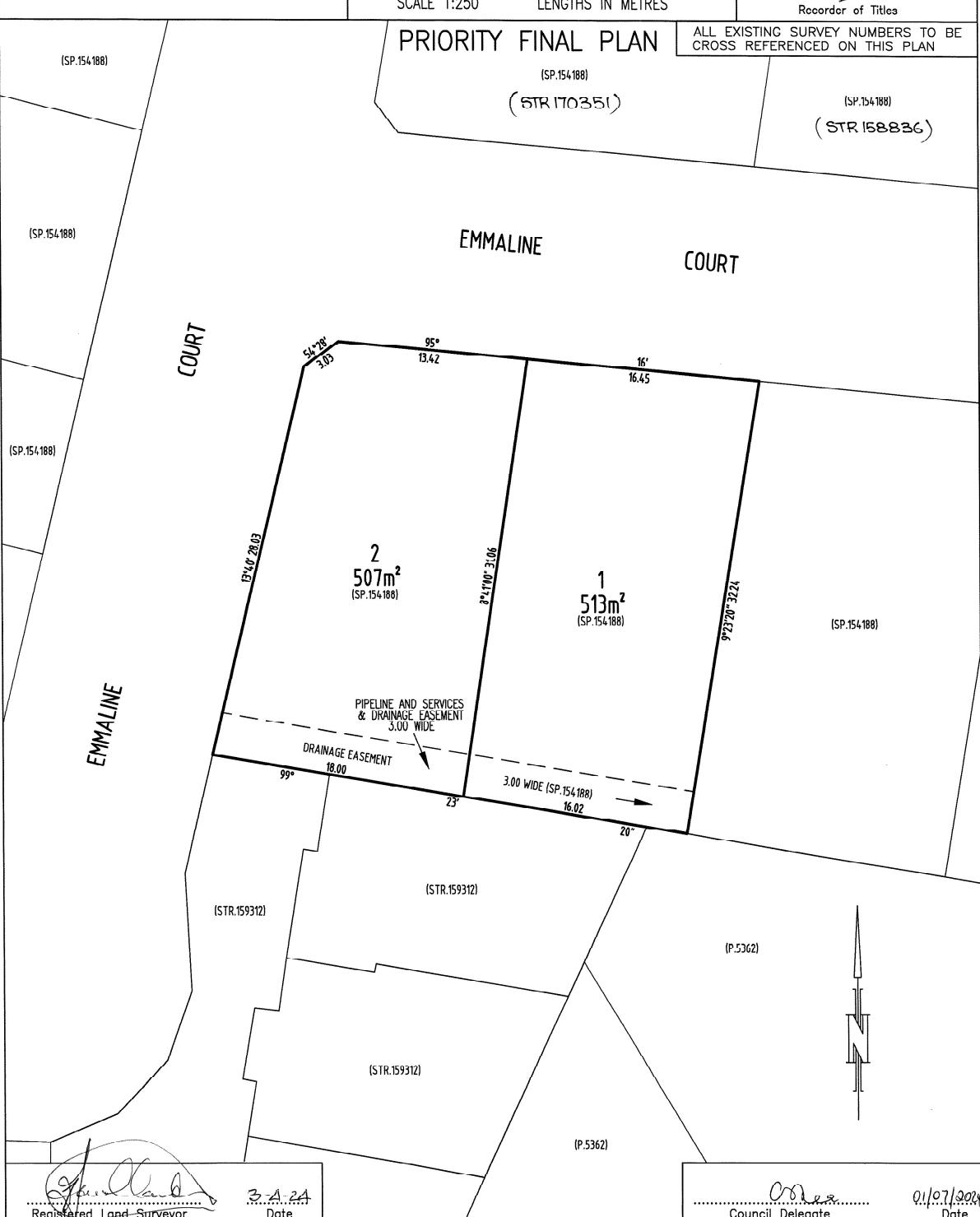
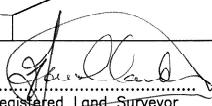
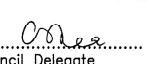
City of CLARENCE

Lot 2 on Sealed Plan [186899](#)Derivation : Part of Lot 36312, 87.56ha Gtd. to The Director
of HousingPrior CT [154188/28](#)**SCHEDULE 1**[M485039](#) TRANSFER to ALEJANDRO GONZALEZ PATINO Registered
06-Oct-2014 at 12.01 pm**SCHEDULE 2**

Reservations and conditions in the Crown Grant if any

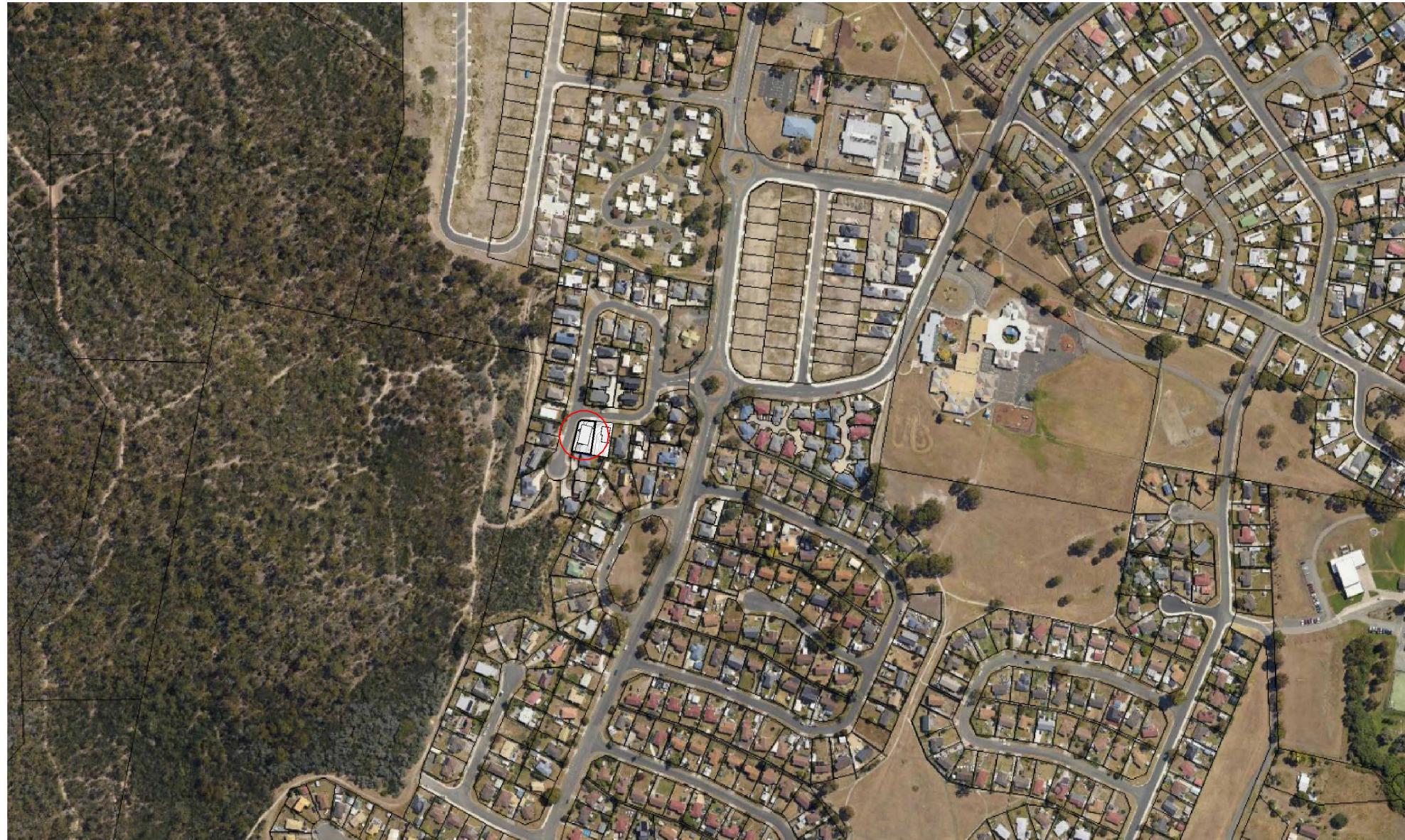
SP[186899](#) EASEMENTS in Schedule of EasementsSP[186899](#) COVENANTS in Schedule of EasementsSP[186899](#) FENCING PROVISION in Schedule of EasementsSP[154188](#) COVENANTS in Schedule of EasementsSP[154188](#) FENCING PROVISION in Schedule of Easements**UNREGISTERED DEALINGS AND NOTATIONS**

No unregistered dealings or other notations

| | | |
|---|---|---|
| OWNER: ALEJANDRO CONZALEZ PATINO FOLIO REFERENCE: CT.154188-28 (87.56 ha) GRANTEE: PART OF LOT 36312 GRANTED TO THE DIRECTOR OF HOUSING | PLAN OF SURVEY BY SURVEYOR TIMOTHY LEIGH GOWLAND ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966 | REGISTERED NUMBER SP 186899 APPROVED EFFECTIVE FROM - 5 JUL 2024  Recorder of Titles |
| | CITY OF CLARENCE SCALE 1:250 LENGTHS IN METRES | |
| PRIORITY FINAL PLAN (SP.154188) (STR.170351) (SP.154188) (STR.158836) ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN | | |
|  <div style="border: 1px solid black; padding: 5px; margin-top: 10px;">  Registered Land Surveyor </div> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;">  Council Delegate </div> | | |

11 EMMALINE CT, ROKEBY, TAS 7019

PROPOSED DWELLING



LOCATION PLAN

SCALE: 1:5000

SITE INFORMATION

| | |
|-----------------------|-------------------------------|
| TITLE REFERENCE | CT18689/2 |
| SITE ZONE | GENERAL RESIDENTIAL |
| WIND CLASSIFICATION | TBC |
| SOIL CLASSIFICATION | TBC |
| CLIMATE ZONE | 7 |
| BAL LEVEL | BAL TBC |
| ALPINE AREA | N/A LESS THAN 900M AHD |
| CORROSION ENVIRONMENT | >100m TO CALM MARINE |
| OTHER HAZARDS | SAFEGUARDING OF AIRPORTS CODE |

| AREA SCHEDULE | |
|-----------------------------------|----------------------------|
| SITE AREA: | 507M ² |
| DWELLING GROSS FLOOR AREAS | |
| (ALL FLOOR AREAS EXCLUDE DECKS) | |
| DWELLING (LOWER FLOOR): | 76.04M ² |
| DWELLING (UPPER FLOOR): | 148.19M ² |
| TOTAL | 224.23M² |
| SITE COVERAGE: | |
| ROOF AREA (FOOTPRINT): | 172.65M ² |
| SITE COVERAGE: | 34.1% |

| | | | | |
|---|--------------------------------------|-----|-----|------------|
| B | ATTEND TO COUNCIL RFI | CDP | AGE | 16.01.2026 |
| A | PLANNING APPLICATION - INITIAL ISSUE | CDP | AGE | 05.01.2026 |

Document Issue Date: 03/08/2024

Version: 1, Version Date: 23/01/2026

DRAWING CONTENTS LIST

| SHEET No. | SHEET NAME | SHEET REVISION |
|--------------|-------------------------------------|----------------|
| A000 | COVER SHEET | B |
| A001 | LEGENDS | A |
| A002 | GENERAL NOTES | A |
| A100 | SITE PLAN | B |
| A101 | DRAINAGE PLAN | A |
| A102 | SOIL & WATER MANAGEMENT PLAN | A |
| A200 | LOWER FLOOR PLAN | A |
| A201 | UPPER FLOOR PLAN | A |
| A300 | ELEVATIONS SHEET 1 | A |
| A301 | ELEVATIONS SHEET 2 | B |
| A302 | 3D PERSPECTIVE VIEWS | A |
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| A304 | SHADOW DIAGRAMS JUNE 9am & 12pm | A |
| A305 | SHADOW DIAGRAMS JUNE 3pm | A |
| A306 | SHADOW DIAGRAMS DECEMBER 9am & 12pm | A |
| A307 | SHADOW DIAGRAMS DECEMBER 3pm | A |
| A308 | SHADOW DIAGRAMS JUNE 1pm & 2pm | B |
| A400 | SECTION | A |



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ENGINEER:
AGE

SCALE:
1 : 5000

PROJECT:
11 EMMALINE CT, ROKEBY, TAS 7019

DRAFTER:
CDP

SIZE:
A3

CLIENT NAME:
ROBERT BRENNER

STATUS:
PLANNING APPLICATION

NOTE: THIS SET OF DRAWINGS
SHOULD ALWAYS BE PRINTED IN
COLOUR.

DRAWING TITLE:
COVER SHEET

PROJECT No.
G25115

DWG No.
A000

REVISION:
B

LEGEND - SITE PLAN

SCALE: 1:200

- DRIVEWAY AREA
- PRIVATE OPEN SPACE - 24m² U.N.O.
- GARDEN BED
- CUT BATTER
- FILL BATTER
- 150mm WIDE TRAFFICABLE TRENCH GRATE
- 450mm² TRAFFICABLE PIT CONNECTED TO SW
- 350mm² PIT CONNECTED TO SW
- PROPERTY BOUNDARY
- EASEMENT
- SEWER LINE - DN100 UPVC U.N.O.
- STORMWATER LINE - DN100 UPVC U.N.O.
- WATER MAIN
- WATER METER
- ORG WITH YARD TAP OVER
- ORG
- POWER LINE - OVERHEAD
- POWER LINE - UNDERGROUND
- FENCE

5400

MAJOR CONTOURS

MINOR CONTOURS

PROPERTY COMMUNICATIONS CONNECTION

SEWER LOT CONNECTION POINT

STORM WATER LOT CONNECTION POINT

FIRE PLUG / FIRE HYDRANT

LEGEND - DRAINAGE PLAN

SCALE: 1:200

- AG DRAIN - 100Ø OD U.N.O.
- SEWER LINE - 100Ø OD U.N.O. MIN. 1.65% GRADE
- STORM WATER LINE - 100Ø OD U.N.O. MIN. 1.00% GRADE
- STORM WATER LINE - 150Ø OD U.N.O. MIN. 1.00% GRADE
- CHARGED STORM WATER LINE - 100Ø OD U.N.O.
- YARD TAP
- YARD TAP WITH ORG BELOW
- OVERFLOW RELIEF GULLY - 100Ø U.N.O.
- SW PIT - SIZE AS NOTED
- INSPECTION OPENING - 100Ø U.N.O.
- DOWN PIPE - GENERALLY 90mm OTHERWISE REFER TO ROOF DRAINAGE PLAN FOR SIZING
- WATER MAIN
- WATER METER
- SEWER LOT CONNECTION POINT
- STORM WATER LOT CONNECTION POINT

GENERAL NOTES

NOTE:

ALL WORKS MUST BE IN ACCORDANCE WITH THE CURRENT:

- N.C.C., AS3500.2 & AS3500.3
- WATER SERVICES ASSOCIATION OF AUSTRALIA CODES (WSAA)
- LOCAL COUNCIL REQUIREMENTS
- TASWATER TECHNICAL STANDARDS
- ANY RELEVANT STANDARDS / MANUFACTURERS SPECIFICATIONS REFER TO ROOF PLAN FOR ROOF CATCHMENT AREAS

LEGEND - FLOOR PLAN

SCALE: 1:100

- 110 BRICK VENEER
- 110 BRICK VENEER - RENDER FINISH
- 110 BRICK DOUBLE BRICK
- 110 BRICK DOUBLE BRICK - RENDER FINISH
- 190 CONCRETE BLOCKWORK
- EXTERNAL WALL WITH SELECT LWC
- 90 TIMBER STUD
- # LIFT OFF HINGES TO DOOR
- MECHANICAL EXHAUST FAN - SWITCHED WITH LIGHT
- SMOKE ALARM TO BE CONNECTED TO THE MAINS POWER SUPPLY AND POSSESS A BATTERY BACK-UP AND BE INTERCONNECTED; TO PROVIDE A COMMON ALARM THROUGHOUT THE BUILDING, AND BE TO AS 3786-2014, AND BE INSTALLED TO ABCB HP PART 9.5.4.
- YARD TAP
- VERTICAL ARTICULATION JOINT LOCATIONS SHOWN ARE A GUIDE ONLY. LOCATIONS MAY BE ALTERED ON SITE AS DETERMINED BY BRICK LAYER - TO COMPLY WITH ABCB HP PART 5.6.8

NOTE

KITCHEN APPLIANCES/DESIGN/SIZES/LOCATION ARE INDICATIVE ONLY AND BATHROOM, LAUNDRY AND OTHER JOINERY (OBJECTS SHOWN AS PLACEHOLDERS ONLY). REFER TO SELECTION DOCUMENTATION AND JOINERS PLANS FOR DETAILS.

ALL DIMENSIONS ARE FRAME DIMENSIONS U.N.O.



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ENGINEER:
AGE

SCALE:
As indicated

PROJECT:
11 EMMALINE CT, ROKEBY, TAS 7019

DRAWING TITLE:
LEGENDS

DRAFTER:
CDP

SIZE:
A3:

CLIENT NAME:
ROBERT BRENNER

PROJECT No.
G25115

DWG No.
A001

STATUS:
PLANNING APPLICATION

NOTE: THIS SET OF DRAWINGS
SHOULD ALWAYS BE PRINTED IN
COLOUR.

REVISION:
A

| | | | | |
|----------------|--------------------------------------|-------|-----|------------|
| A | PLANNING APPLICATION - INITIAL ISSUE | CDP | AGE | 05.01.2026 |
| Document Issue | 5/08/2026 | DRAWN | CHK | DATE |

GENERAL

- BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC)
- INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS (U.N.O.)

COMMON ABBREVIATIONS

AW = AWNING WINDOW
BTH = BATH / BATHROOM
BNCH / BENCH = BENCH (KITCHEN BENCH, ISLAND BENCH, ETC)

CL = CEILING LEVEL
CONC. = CONCRETE
EX. = EXISTING
FFL = FINISHED FLOOR LEVEL
FSL = FINISHED SURFACE LEVEL
FW = FIXED WINDOW & / OR FLOOR WASTE
GRND. = GROUND (GROUND FLOOR)
HW = HUNG WINDOW
HWC / HWS = HOT WATER CYLINDER / HOT WATER SYSTEM
SH = SIDE HUNG WINDOW
ISL = ISLAND (ISLAND BENCH)
LDY / LDRY = LAUNDRY
LW = LOUVRE WINDOW
MWS = MICROWAVE SPACE
OBS = OBSCURE (GLASS)
PTY = PANTRY
PWD = POWDER ROOM (TOILET ROOM WITH BASIN)
RET. = RETAINING
SD = SLIDING / STACKING DOOR
SW = SLIDING WINDOW
TYP = TYPICAL
U.N.O. = UNLESS NOTED OTHERWISE
WC = WASH CLOSET (TOILET)
WMS = WASHING MACHINE SPACE

SITE WORKS

- CUT AND FILL BATTERS SHOWN ON THESE PLANS ARE INDICATIVE ONLY. BATTERS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 3.2.1 AND TABLE 3.2.1
- ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED
- ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION
- EMBANKMENTS CANNOT EXCEED 2.0M IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS
- ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE HP

| SOIL CLASS | SITE CUT (EXCAVATION MAX. EMBANKMENT SLOPE RATIO, ANGLE OF SITE CUT H:L) | COMPACTED FILL (MAX. EMBANKMENT SLOPE RATIO, ANGLE OF BATTER H:L) |
|-----------------------|--|---|
| STABLE ROCK (CLASS A) | 8:1 | 3:3 |
| SAND (CLASS A) | 1:2 | 1:2 |
| FIRM CLAY (CLASS M-E) | 1:1 | 1:2 |
| SOFT CLAY (CLASS M-E) | 2:3 | NOT SUITABLE |

MASONRY

- ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700
- EXTERNAL WALLS TO BE 110MM BRICKWORK UNLESS NOTED OTHERWISE
- MORTAR MIXED @ 1:1:6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER
- DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904
- VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6M MAX. CTRS FOR UNREINFORCED MASONRY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5M CTRS.
- WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN ACCORDANCE WITH AS4100 AND AS3700A

TIMBER FRAMING

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT N.C.C.
- ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE WITH AS1684
- MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 X 35MM FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS
- GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS

BRACING / LINTELS

- WALL BRACING AS PER AS1684-2 2010 AND AS1170 WIND LOADS
- WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- PLYWOOD BRACING IN ACCORDANCE WITH AS 1684 65 X 19MM HW DIAGONAL TIMBER BRACING CHECKED INTO STUDS AND FIXED IN ACCORDANCE WITH AS1684

TIMBER LINTELS FOR SINGLE (OR UPPER STORY) TO BE F17 HARDWOOD AS FOLLOWS:

| | |
|-------------|----------|
| 0 - 1500 | 120 X 35 |
| 1500 - 2400 | 140 X 35 |
| 2400 - 2700 | 190 X 35 |

TIEDOWN AND FIXING CONNECTIONS TO COMPLY WITH AS1684

STEEL LINTELS FOR SINGLE (OR UPPER STOREY) TO BE AS FOLLOWS:

| | |
|-------------|------------------|
| 0 - 2700 | 90 X 90 X 6 EA |
| 2700 - 3200 | 100 X 100 X 8 EA |
| 3200 - 4000 | 150 X 90 X 8 EA |

*LINTELS REQUIRE 150MM BEARING EITHER SIDE OF OPENING

ALL LINTEL SIZES SHOWN ARE SUBJECT TO ENGINEERS DETAILS

CONCRETE

- CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH AS2870
- CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS3600 AND:
 - HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25MPA (N25 GRADE)
 - HAVE A 20MM NOMINAL AGGREGATE SIZE
 - HAVE A NOMINAL 80MM SLUMP
- CONCRETE SLAB TO BE LAID OVER 0.2MM POLYTHENE MEMBRANE, 50MM WELL BEDDED SAND AND MINIMUM COMPACTED FCR (20MM)
- SLAB THICKNESS AND REINFORCEMENT TO BE AS PER ENGINEERS DESIGN

WINDOWS

- WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED OTHERWISE
- ALL WINDOWS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND SPEED AS PER ENGINEERS REPORT
- ALL OPENING WINDOWS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3.7
- AS PER HP PART 11.3.7 ALL BEDROOM WINDOWS WHERE THE LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7M OF FFL AND THE FFL IS 2M OR MORE ABOVE NGL, REQUIRE A PERMANENTLY FIXED DEVICE RESTRICTING ANY OPENINGS OF THE WINDOW OR SCREEN SO THAT A 125MM SPHERE CANNOT PASS THROUGH; AND RESISTING OUTWARDS HORIZONTAL ACTION OF 250N AGAINST THE WINDOW. WHERE THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVER-RIDDEN, THE DEVICE OR SCREEN MUST HAVE A CHILD RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER BELOW THE WINDOW THAT IS 865MM HIGH ABOVE FFL AND RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A 125MM SPHERE CANNOT PASS THROUGH, AND HAS NO HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150MM AND 760MM FROM FFL.
- GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR HUMAN IMPACT TO COMPLY WITH ABCB HOUSING PROVISIONS PART 8.4

DEMOLITION

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A DIAL BEFORE YOU DIG SEARCH.
- THE CONTRACTOR IS TO LOCATE ALL SERVICES ON SITE PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION, EXCAVATION OR CONSTRUCTION WORKS, THE DESIGNER TAKES NO RESPONSIBILITY FOR DAMAGE TO ANY SERVICES WHETHER THEY BE LOCATED, OR NOT ON THESE PLANS.

WET AREAS

- WALLS TO WET AREAS TO BE FINISHED WITH WET AREA PLASTERBOARD
- BUILDER AND ALL CONTRACTORS TO ENSURE COMPLIANCE WITH ABCB HOUSING PROVISIONS PART 10.2 OR AS3740
- ALL UNENCLOSED SHOWERS ABOVE BATHS TO HAVE MINIMUM 900MM SHOWER SCREEN OR FLOOR WASTE WITHIN 1500MM OF SHOWER CONNECTION

CONDENSATION

- WHERE RAKED CEILINGS EXIST, SUITABLE SPACING BETWEEN SARKING AND BULK INSULATION IS TO EXIST. (NO CONTACT BETWEEN PRODUCTS). THE BUILDER IS TO ENSURE ADEQUATE SIZED TIMBER IS USED TO ENSURE THIS SEPARATION IS PROVIDED.
- IN STANDARD ROOF SPACES, PROVIDE SEPARATION BETWEEN SARKING AND CEILING INSULATION AROUND THE BUILDING PERIMETER, TO ENSURE AIRFLOW FROM EAVE VENTS IS MAINTAINED
- ALL LIGHTWEIGHT CLADDING IS TO BE BATTENED OUT FROM STUDS (METAL / FC SHEET / TIMBER)

WOOD HEATERS

- ALL WOOD HEATERS ARE TO COMPLY WITH MANUFACTURERS SPECIFICATION AND ABCB HOUSING PROVISIONS PART 12.4

FIRE SAFETY

- SMOKE ALARMS TO BE MAINS POWERED AND INSTALLED AS PER ABCB HOUSING PROVISIONS 9.5 AND AS3786. LOCATIONS AS PER HP 9.5.2 & 9.5.3.
- SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
- INSTALLATION OF WOOD HEATERS TO COMPLY WITH AS2918, ABCB HOUSING PROVISIONS PART 12.4 AND MANUFACTURERS SPECIFICATION. INSTALLER TO PROVIDE LOCAL AUTHORITIES WITH INSULATION AND COMPLIANCE CERTIFICATES.

DRAINAGE / WATER

- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY
- STORMWATER PIPES TO BE UPVC CLASS HD
- SEWER PIPES TO BE UPVC CLASS SH
- PROVIDE Ø20MM K2 POLYETHYLENE WATER RETICULATION
- TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY
- BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR
- PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE 150 MIN. BELOW LOWEST SANITARY DRAINAGE POINT.
- CUT AND FILL BATTERS SHOWN ON THESE PLANS ARE INDICATIVE ONLY. BATTERS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 3.2.1 AND TABLE 3.2.1
- AG DRAIN REQUIRED AROUND PERIMETER OF DWELLING FOR ALL CLASS M, H, E SITES. LOCATE AG DRAIN NOT CLOSER THAN 1.5M FROM FOOTINGS IN ACCORDANCE WITH AS2870 SECTION 5.6
- PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3
- PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 SECTION 5.6.4 FOR ALL CLASS H AND E SITES. REFER TO GEOTECH FOR FURTHER INFORMATION
- DOWNPipes AND GUTTERS DESIGNED IN ACCORDANCE WITH AS/NZS 3500.3

STAIRCASES / BALUSTRADES / HANDRAILS

STAIR TREADS 240MM MIN. - 355MM MAX.
STAIR RISERS 115MM MIN. - 190MM MAX.

- HANDRAIL REQUIRED WHERE CHANGE OF LEVEL BETWEEN FLOOR / LANDINGS >1M AS PER ABCB HOUSING PROVISIONS PART 11.3.5
- NO GAPS IN STAIRCASES OR BALUSTRADE TO BE GREATER THAN 125MM
- BALUSTRADE REQUIRED WHERE LEVEL OF LANDING OR DECK IS GREATER THAN 1000MM ABOVE ADJACENT GROUND LEVEL
- BALUSTRADE TO BE MINIMUM 1000MM ABOVE FFL (INCLUDING ANY FLOOR COVERINGS)
- DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A LANDING (MIN. 750MM WIDE) WHERE THE DIFFERENCE IN LEVELS IS GREATER THAN 570MM
- NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.2.4
- WHERE LANDINGS ARE NOT NOMINATED TO EXTERNAL DOORS, OPERATING DOOR LEAF'S ARE TO BE SCREWED FIXED SHUT, OR PROVIDED WITH A FORMED FCR LANDING NOMINALLY 180MM BELOW FLOOR LEVEL.

ROOFING

- ROOF TO BE COLORBOND 'CUSTOM ORB' METALDECK UNLESS NOTED OTHERWISE. PROVIDED AND INSTALLED IN ACCORDANCE WITH AS1562.1 (IF TILED REFER TO AS2050)
- PREFABRICATED ROOF TRUSSES TO BE SUPPLIED AND INSTALLED TO MANUFACTURERS SPECIFICATIONS. TRUSS MANUFACTURER TO CONFIRM LINTEL SIZES.

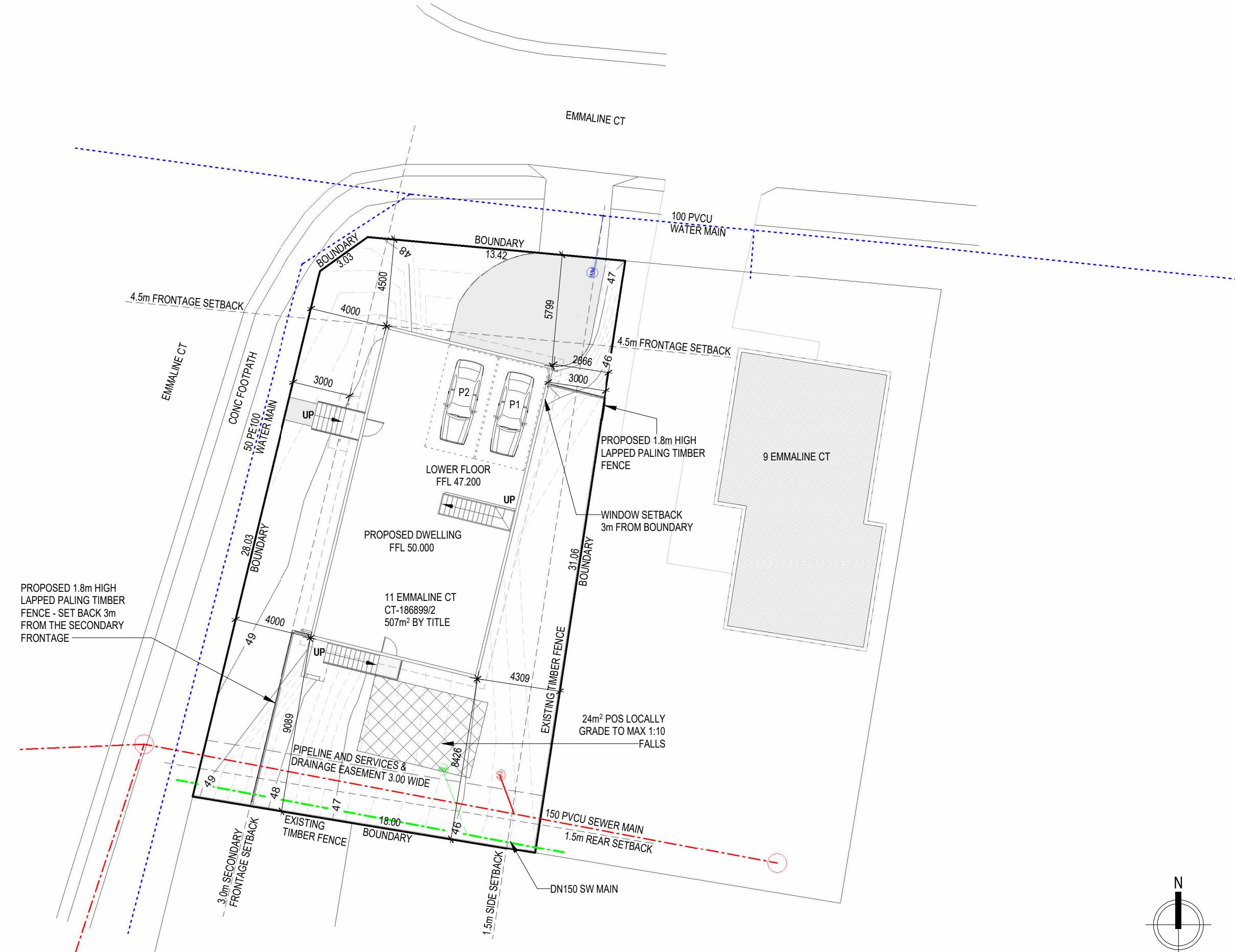
ELECTRICAL

- EXHAUST FAN TO COMPLY WITH CURRENT NCC AND ABCB HOUSING PROVISIONS PART 10.6.2
- EXHAUST FANS TO BE SEALED AND DUCTED TO OUTSIDE OF DWELLING IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.3 AND PART 10.8.4
- IF VENTING OCCURS DIRECTLY THROUGH WALLS/ROOF ADJACENT TO FAN, THEN UNIT REQUIRES SELF CLOSING BAFFLES TO BE CLASSIFIED AS A SEALED UNIT
- ELECTRICIAN IS TO ENSURE THAT ALL GPO'S IN WET AREAS MEET ALL STANDARD AND CODE REQUIREMENTS - ALL GPO'S TO BE 300MM FROM FFL UNLESS NOTED OTHERWISE

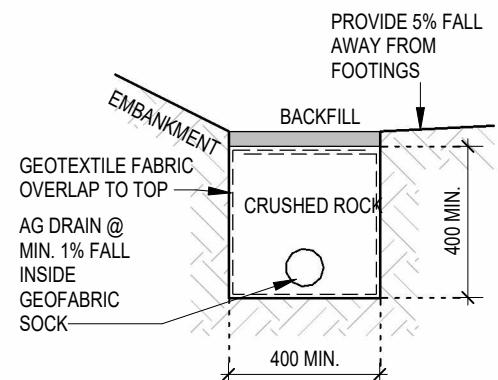
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| | <p>DRAFTER: CDP</p> <p>SIZE: A3:</p> <p>CLIENT NAME: ROBERT BRENNER</p> | | | |
| | <p>STATUS: PLANNING APPLICATION</p> <p>NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.</p> | | | |

LEGEND - SITE PLAN

| | |
|--|--|
| | DRIVEWAY AREA |
| | PRIVATE OPEN SPACE - 24m ² U.N.O. |
| | GARDEN BED |
| | CUT BATTER |
| | FILL BATTER |
| | 150mm WIDE TRAFFICABLE TRENCH GRATE |
| | 450mm ² TRAFFICABLE PIT CONNECTED TO SW |
| | 350mm ² PIT CONNECTED TO SW |
| | PROPERTY BOUNDARY |
| | EASEMENT |
| | SEWER LINE - DN100 UPVC U.N.O. |
| | STORMWATER LINE - DN100 UPVC U.N.O. |
| | WATER MAIN |
| | WATER METER |
| | ORG WITH YARD TAP OVER |
| | ORG |
| | POWER LINE - OVERHEAD |
| | POWER LINE - UNDERGROUND |
| | FENCE |
| | 5400 x 2600 PARKING SPACE |
| | MAJOR CONTOURS |
| | MINOR CONTOURS |
| | PROPERTY COMMUNICATIONS CONNECTION |
| | SEWER LOT CONNECTION POINT |
| | STORM WATER LOT CONNECTION POINT |
| | FIRE PLUG / FIRE HYDRANT |

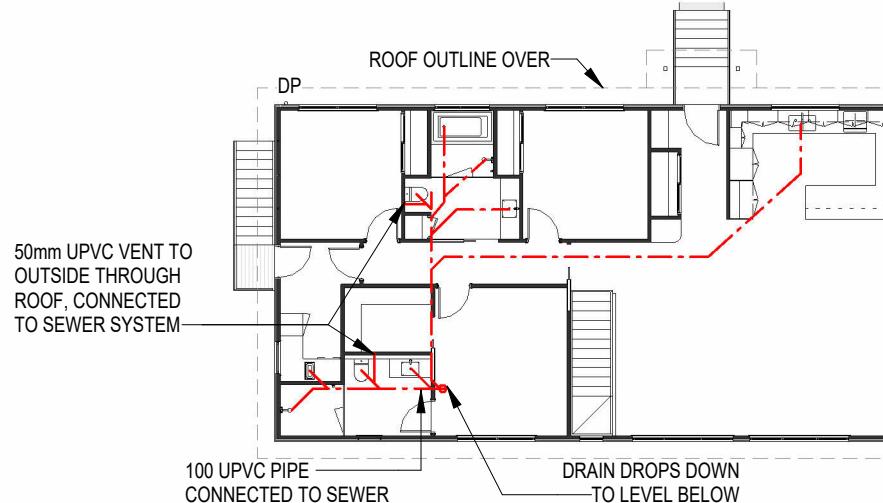


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| A | PLANNING APPLICATION - INITIAL ISSUE | CDP | AGE | 05.01.2026 |
| DRAWN: RE DRAWN DATE: 07/03/2024 | | | | |



AG DRAIN DETAIL TYP.

SCALE: 1:20



UPPER DRAINAGE PLAN

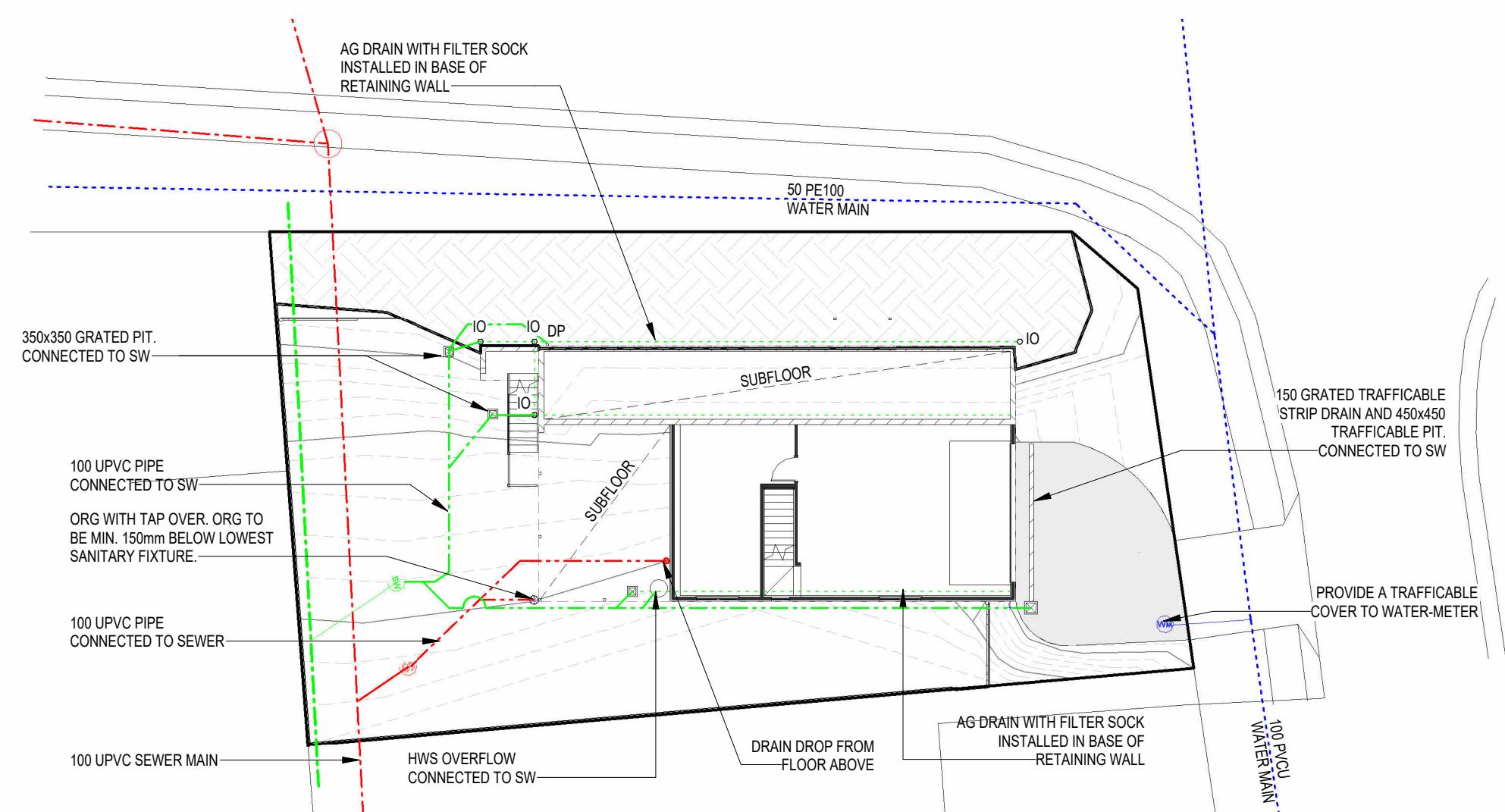
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LEGEND - DRAINAGE PLAN

- AG DRAIN - 100Ø OD U.N.O.
- SEWER LINE - 100Ø OD U.N.O. MIN. 1.65% GRADE
- STORM WATER LINE - 100Ø OD U.N.O. MIN. 1.00% GRADE
- STORM WATER LINE - 150Ø OD U.N.O. MIN. 1.00% GRADE
- CHARGED STORM WATER LINE - 100Ø OD U.N.O.
- ⊕ YARD TAP
- ⊕ YARD TAP WITH ORG BELOW
- ⊕ OVERFLOW RELIEF GULLY - 100Ø U.N.O.
- ☒ SW PIT - SIZE AS NOTED
- IO INSPECTION OPENING - 100Ø U.N.O.
- DP DOWN PIPE - GENERALLY 90mm OTHERWISE REFER TO ROOF DRAINAGE PLAN FOR SIZING
- WATER MAIN
- WM WATER METER
- SEWER LOT CONNECTION POINT
- STORM WATER LOT CONNECTION POINT

GENERAL NOTES

NOTE:
ALL WORKS MUST BE IN ACCORDANCE WITH THE CURRENT:
- N.C.C., AS3500.2 & AS3500.3
- WATER SERVICES ASSOCIATION OF AUSTRALIA CODES (WSAA)
- LOCAL COUNCIL REQUIREMENTS
- TASWATER TECHNICAL STANDARDS
- ANY RELEVANT STANDARDS / MANUFACTURERS SPECIFICATIONS
REFER TO ROOF PLAN FOR ROOF CATCHMENT AREAS



LOWER DRAINAGE PLAN

SCALE: 1:200



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AGE

SCALE:
As indicated

PROJECT:
11 EMMALINE CT, ROKEBY, TAS 7019

DRAWING TITLE:
DRAINAGE PLAN

DRAFTER:
CDP

SIZE:
A3:

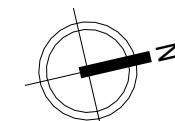
CLIENT NAME:
ROBERT BRENNER

PROJECT No.
G25115

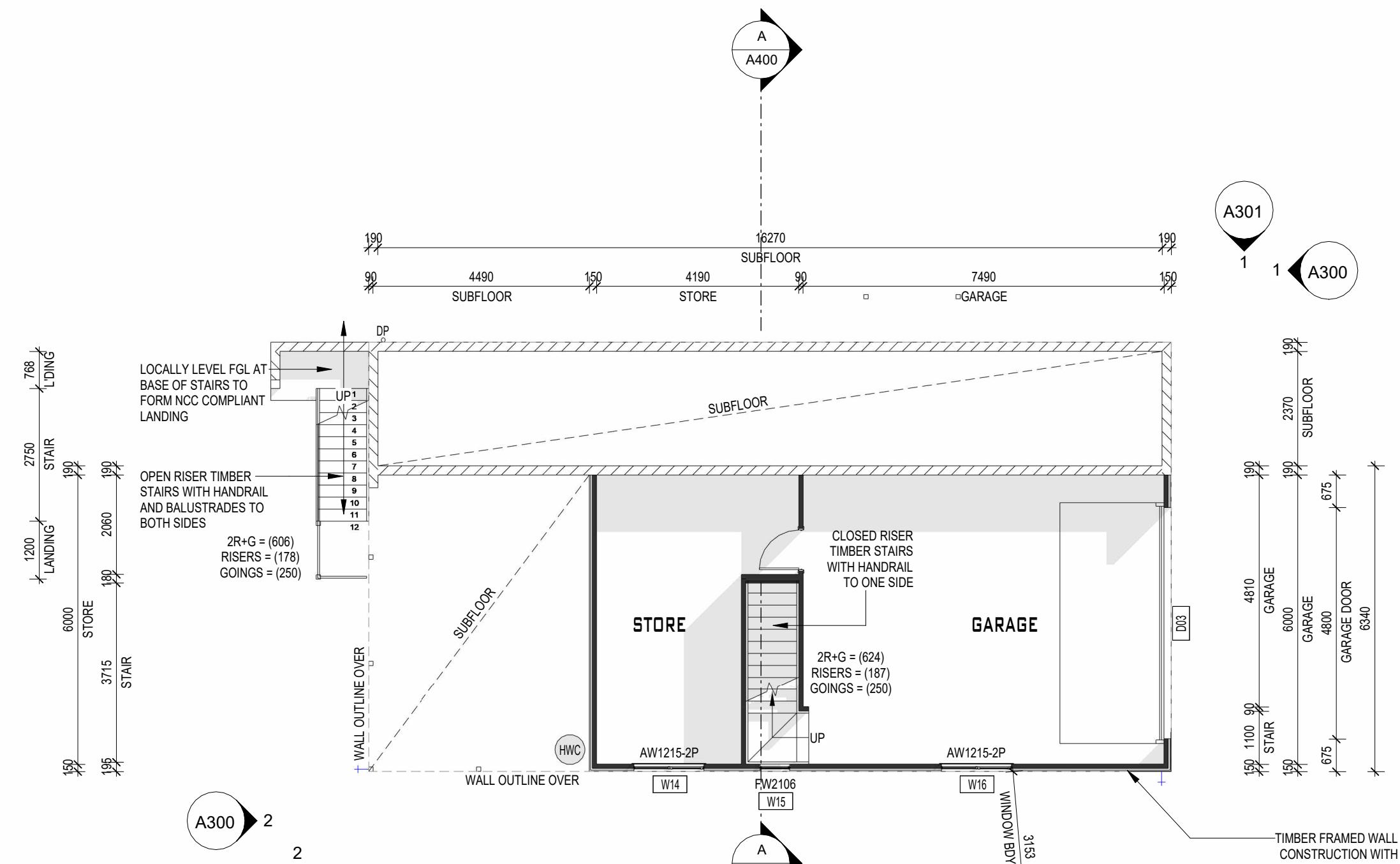
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| | |
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| UPPER FLR CL | 52.400 |
| UPPER FLR FFL | 50.000 |
| LOWER FLR CL | 49.600 |
| LOWER FLR FFL | 47.200 |



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AREA SCHEDULE

507M²

4580 SUBFLOOR

12070



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CDP

STATUS:
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SIZE:
A3:

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PROJECT:
11 EMMALINE CT, ROKEBY, TAS 7019

CLIENT NAME:
ROBERT BRENNER

DRAWING TITLE:
LOWER FLOOR PLAN

PROJECT No.
G25115

DWG No.
A200

REVISION:
A

A PLANNING APPLICATION - INITIAL ISSUE

CDP AGE 05.01.2026

DRAWN CHK DATE

| | |
|---------------|--------|
| UPPER FLR CL | 52.400 |
| UPPER FLR FFL | 50.000 |
| LOWER FLR CL | 49.600 |
| LOWER FLR FFL | 47.200 |

LEGEND - FLOOR PLAN

- 110 BRICK VENEER
- 110 BRICK VENEER - RENDER
FINISH
- 110 BRICK DOUBLE BRICK
- 110 BRICK DOUBLE BRICK - RENDER
FINISH
- 190 CONCRETE BLOCKWORK
- EXTERNAL WALL WITH SELECT LWC
- 90 TIMBER STUD
- # LIFT OFF HINGES TO DOOR
- ⊗ MECHANICAL EXHAUST FAN -
SWITCHED WITH LIGHT
- SMOKE ALARM TO BE CONNECTED TO THE
MAINS POWER SUPPLY AND POSSESS A
BATTERY BACK-UP AND BE
INTERCONNECTED; TO PROVIDE A
COMMON ALARM THROUGHOUT THE
BUILDING, AND
BE TO AS 3786-2014, AND
BE INSTALLED TO ABCB HP PART 9.5.4.

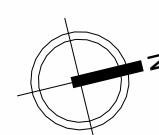
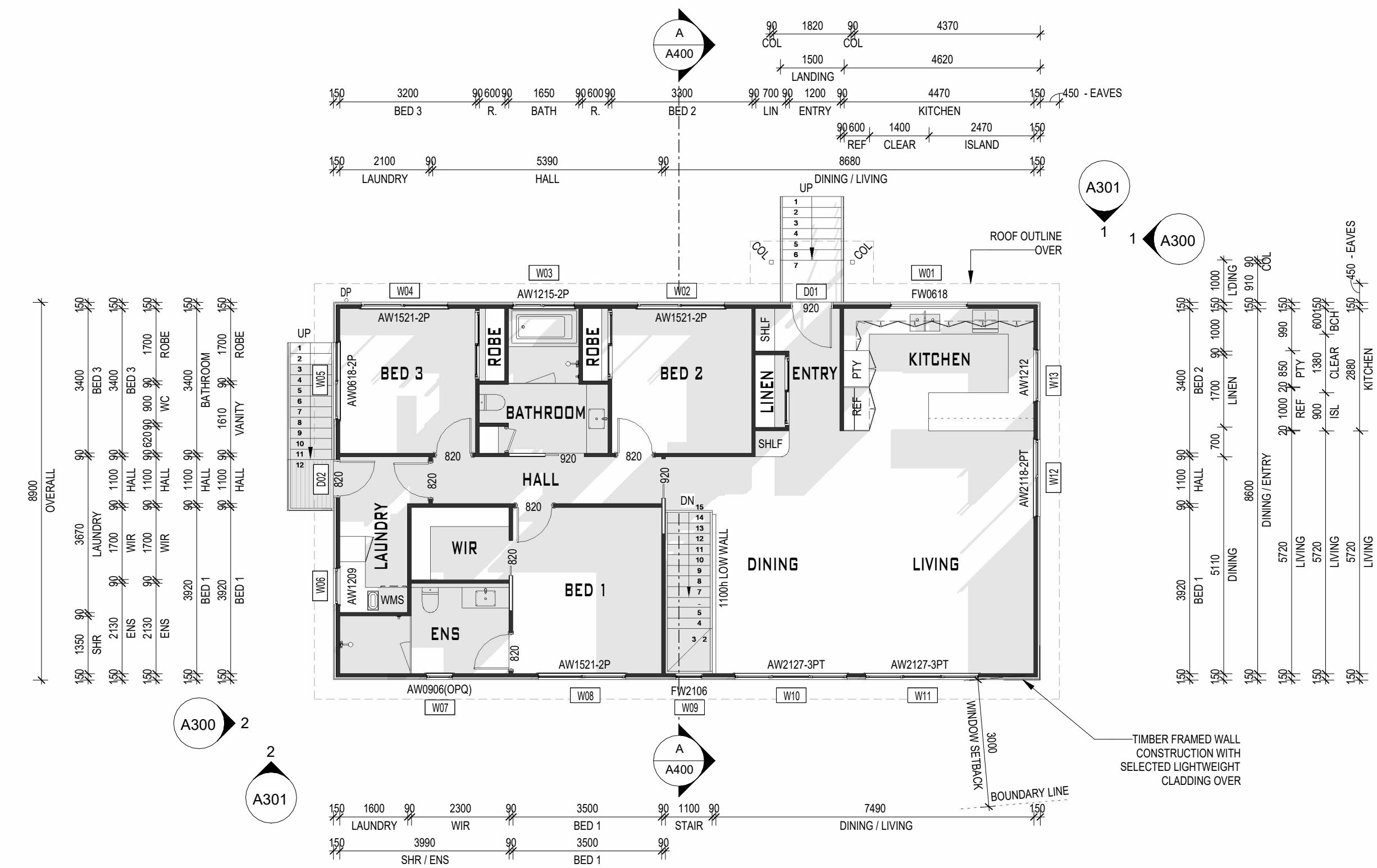
YARD TAP

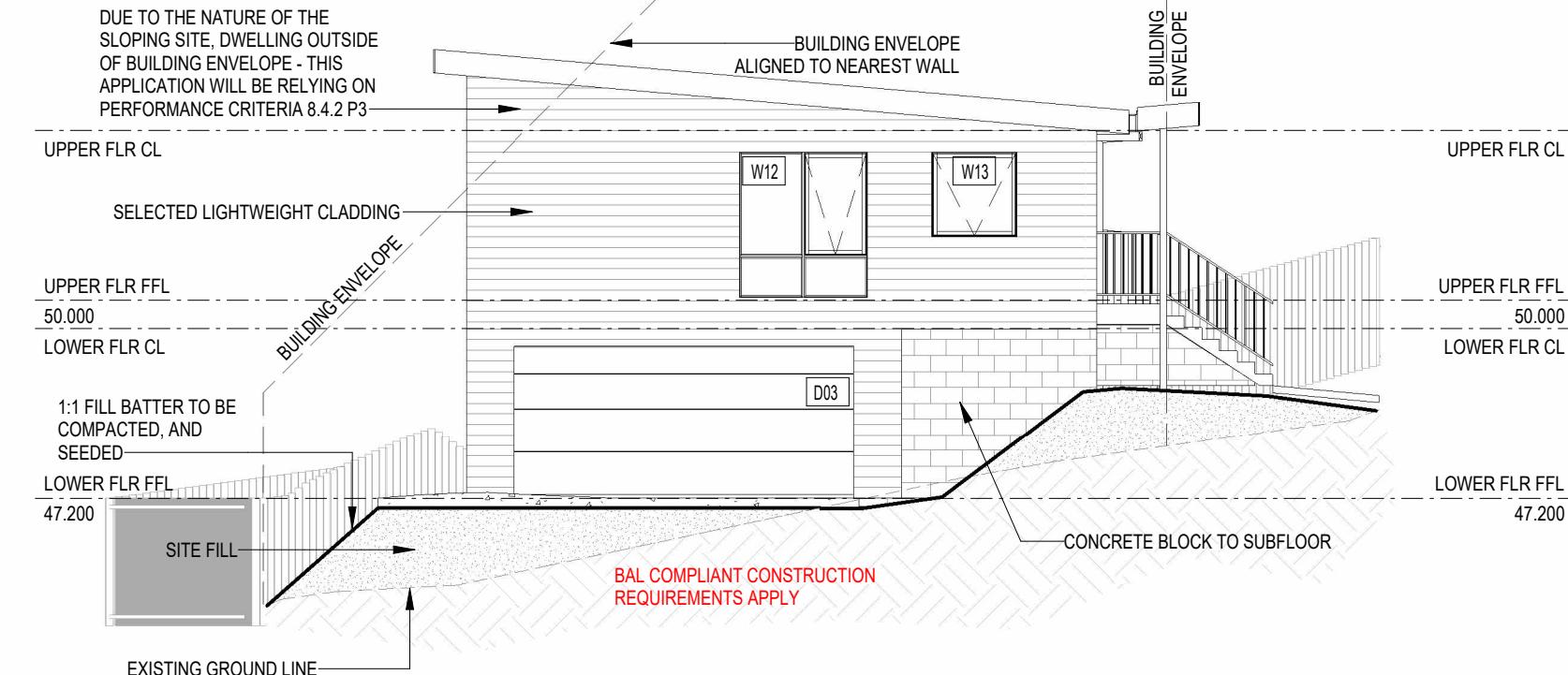
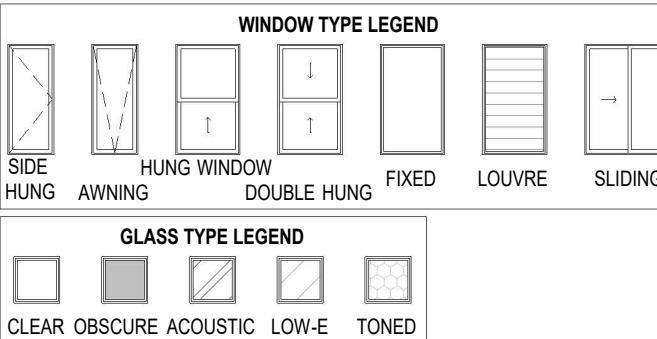
VERTICAL ARTICULATION JOINT
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COMPLY WITH ABCB HP PART 5.6.8

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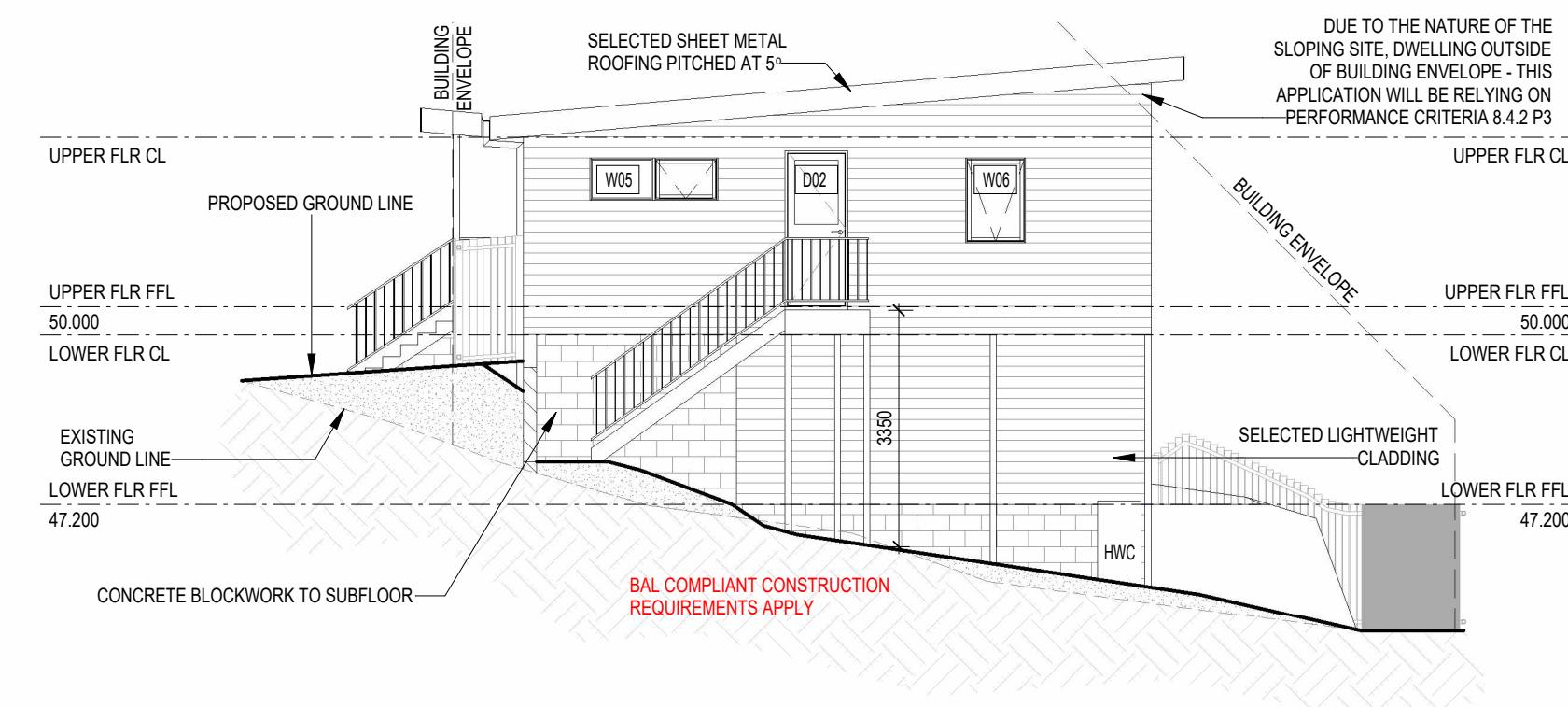
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E1 - FRONT (NORTH) ELEVATION

SCALE: 1:100



E2 - REAR (SOUTH) ELEVATION

SCALE: 1:100

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AGE

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11 EMMALINE CT, ROKEBY, TAS 7019

DRAFTER:
CDP

SIZE:
A3:

CLIENT NAME:
ROBERT BRENNER

STATUS:
PLANNING APPLICATION

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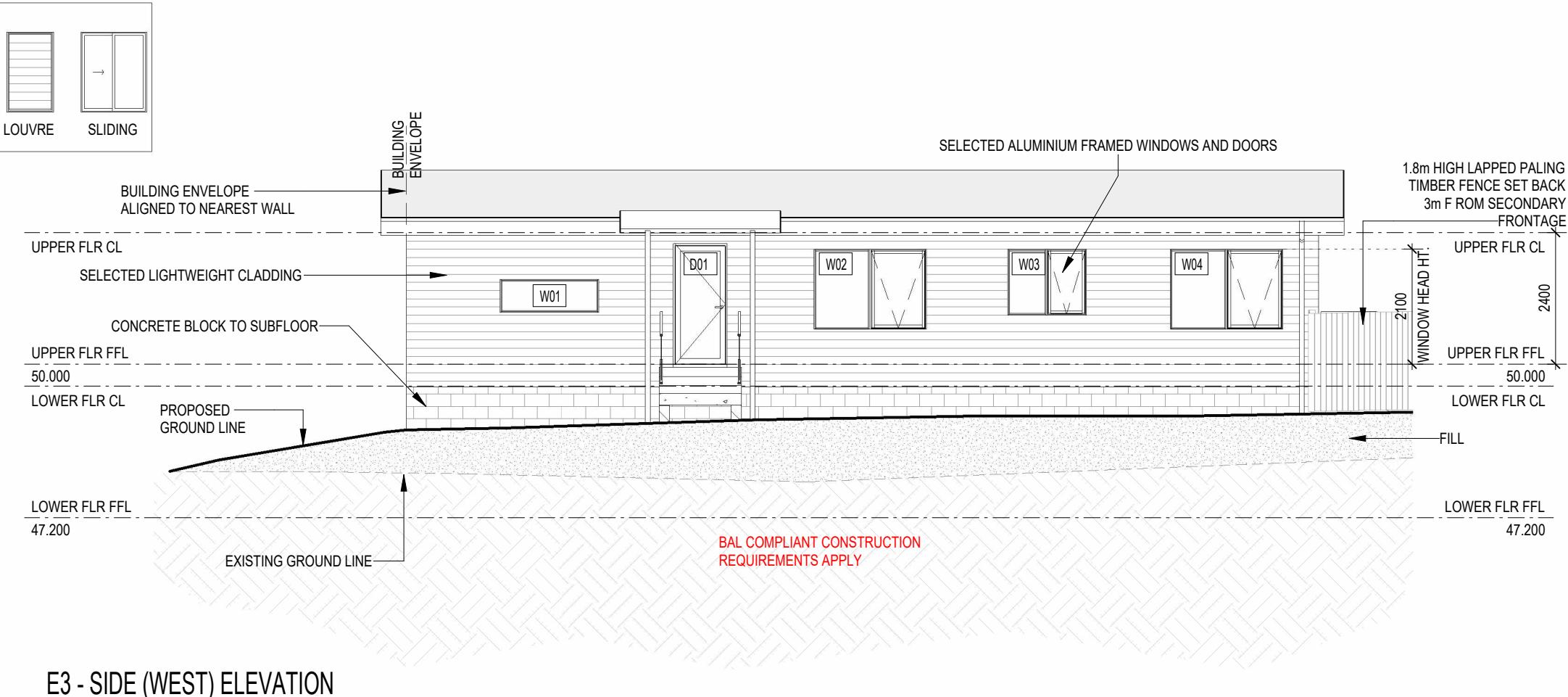
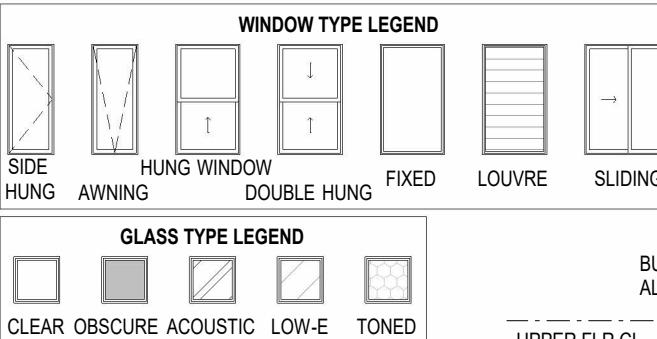
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SUBFLOOR VENTILATION IS TO BE PROVIDED IN ACCORDANCE WITH THE ABCB HP 6.2.1

DRAWING TITLE:
ELEVATIONS SHEET 1

PROJECT No.
G25115

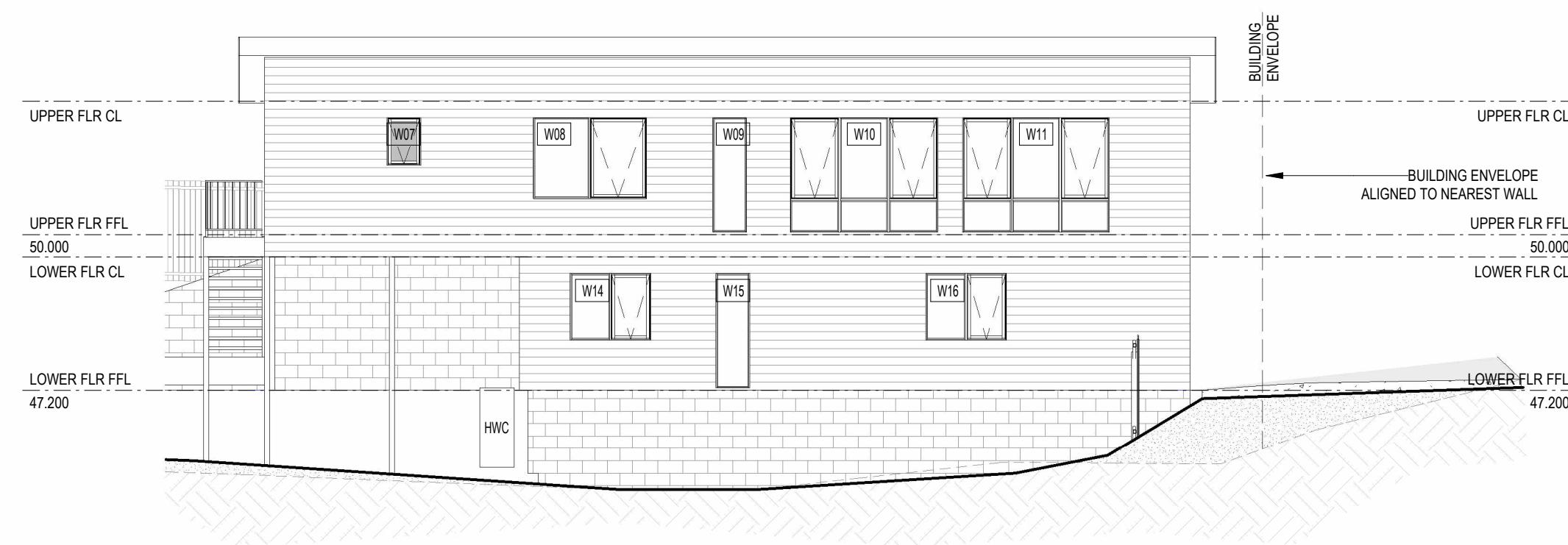
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A300

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E3 - SIDE (WEST) ELEVATION

SCALE: 1:100



E4 - SIDE (EAST) ELEVATION

SCALE: 1:100

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CLIENT NAME:
ROBERT BRENNER

DRAWING TITLE:
ELEVATIONS SHEET 2

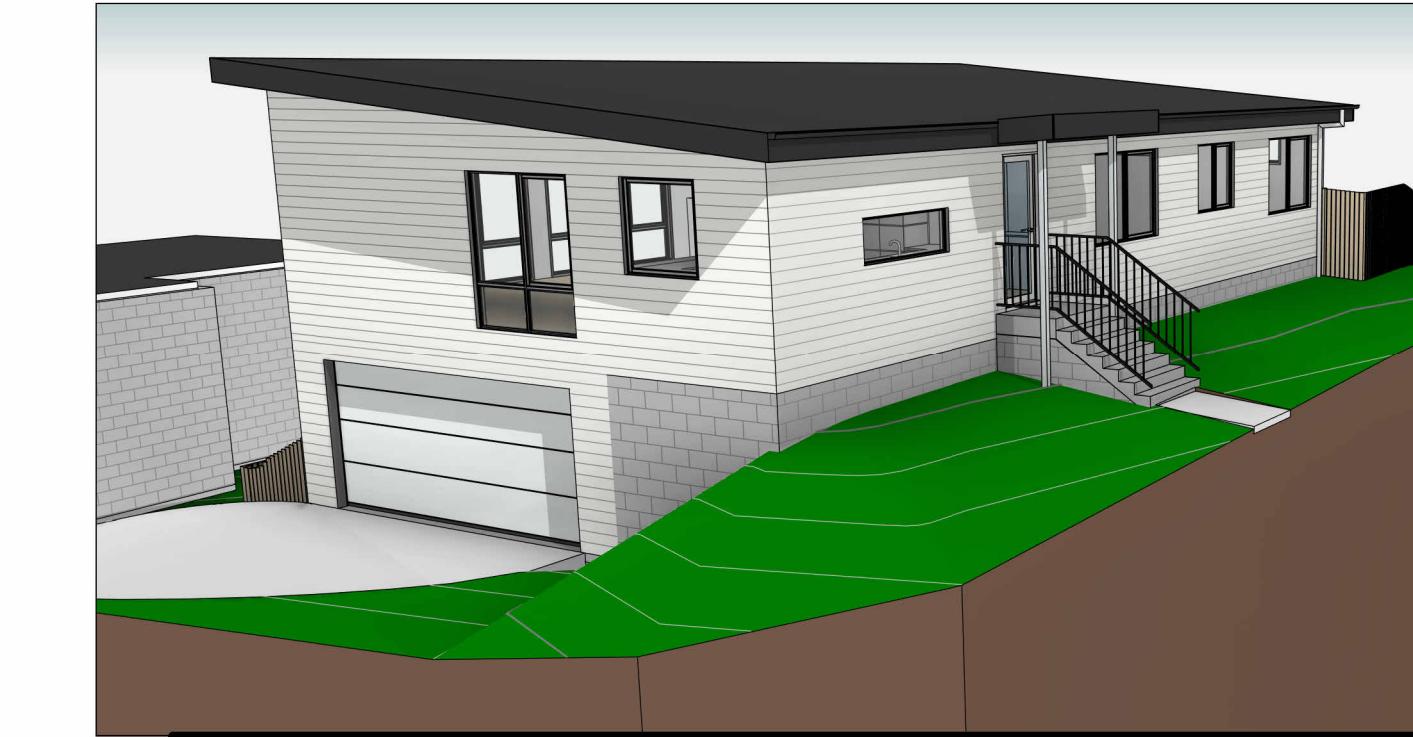
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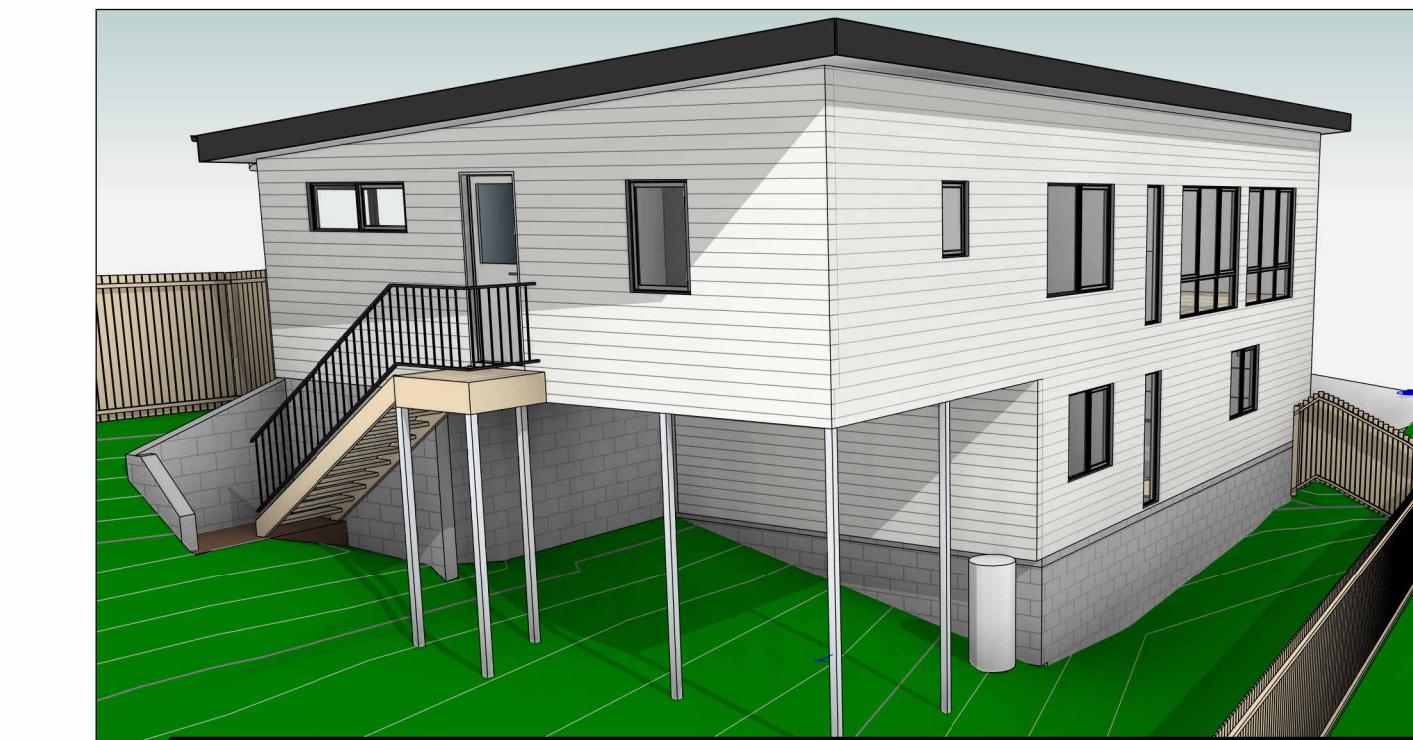
3D PERSPECTIVE 1



3D PERSPECTIVE 2

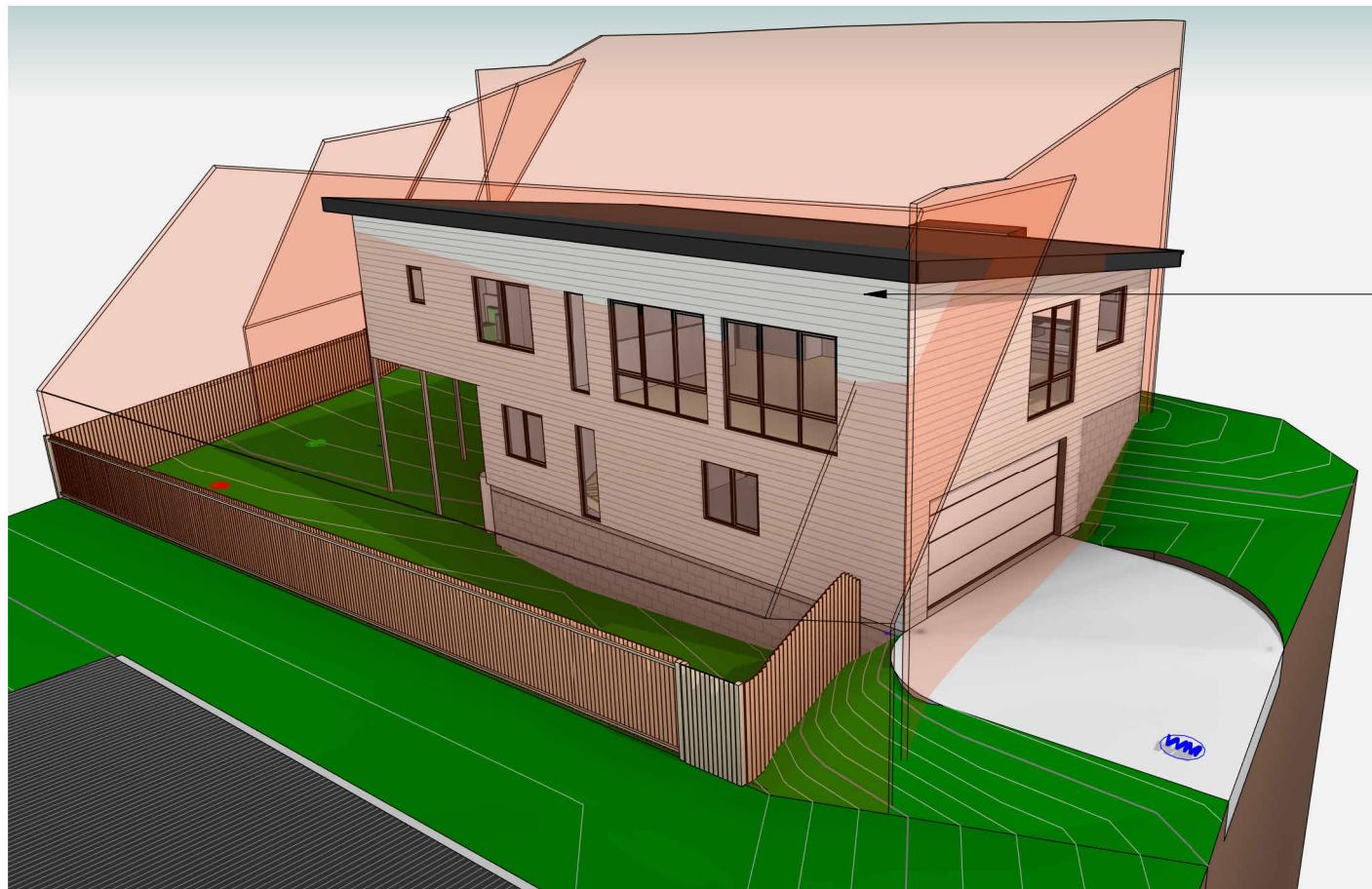


3D PERSPECTIVE 3

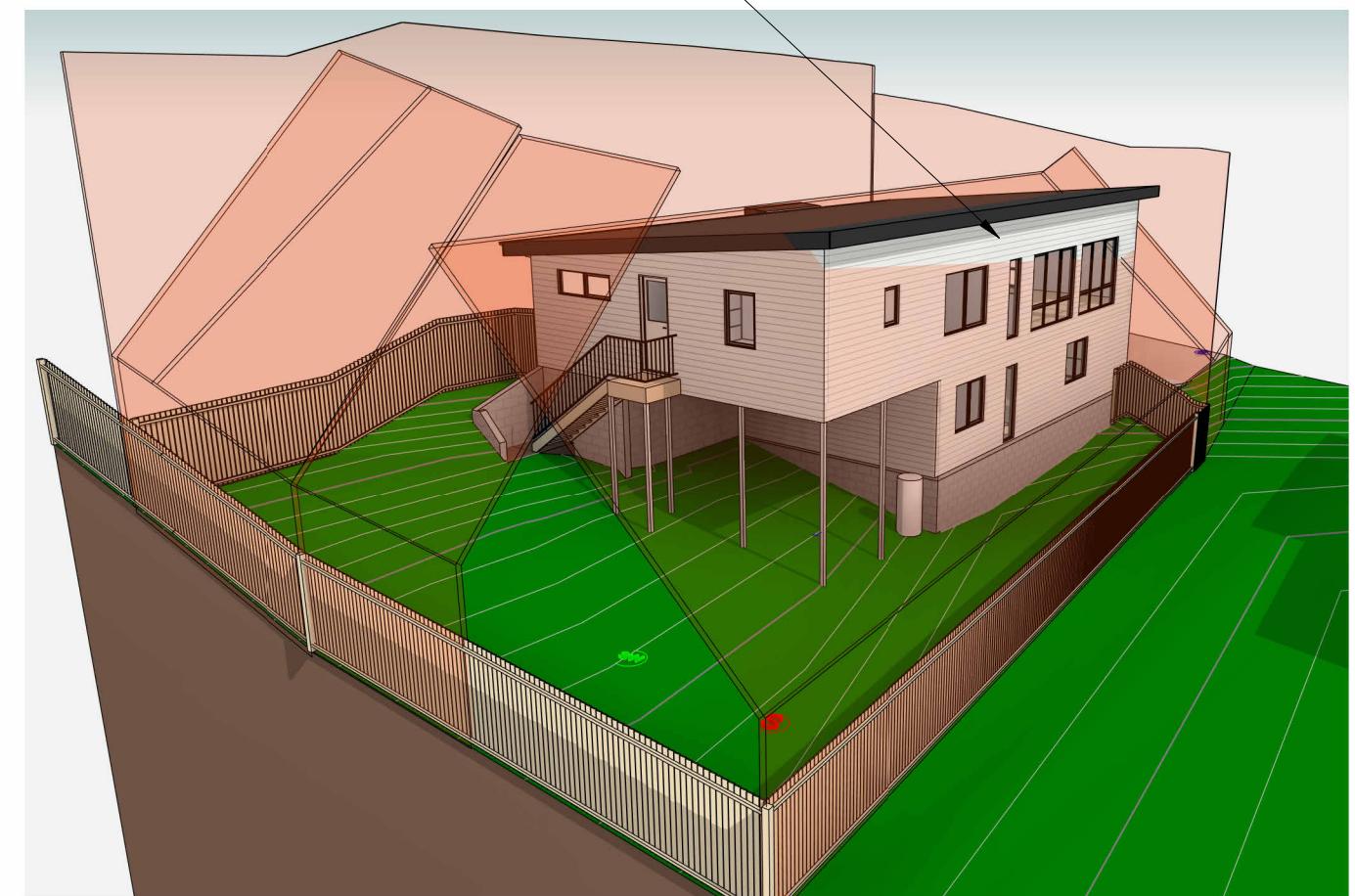


3D PERSPECTIVE 4

| | | | | | | | | |
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3D BUILDING ENVELOPE 1



3D BUILDING ENVELOPE 2

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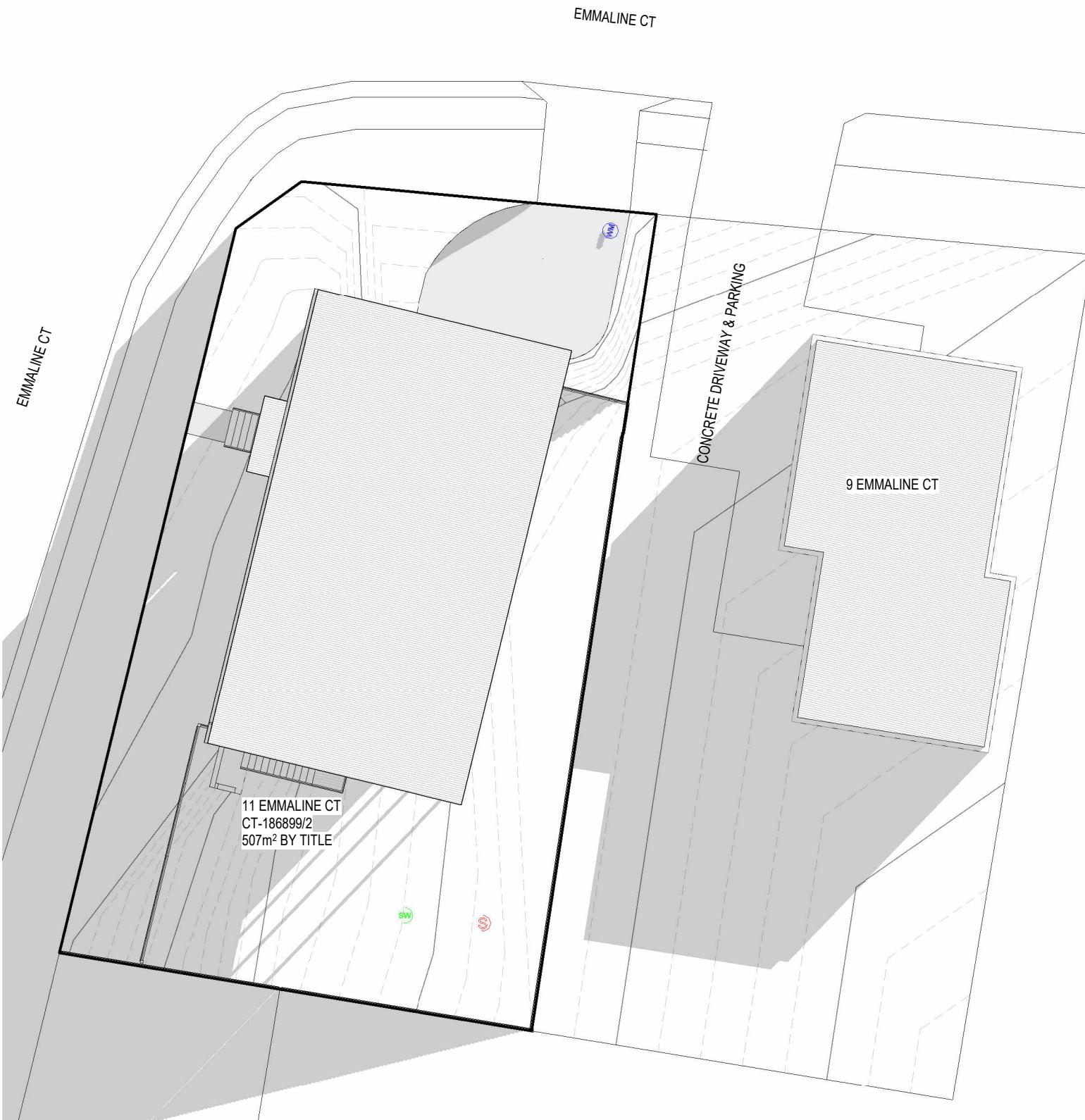
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DRAWING TITLE:
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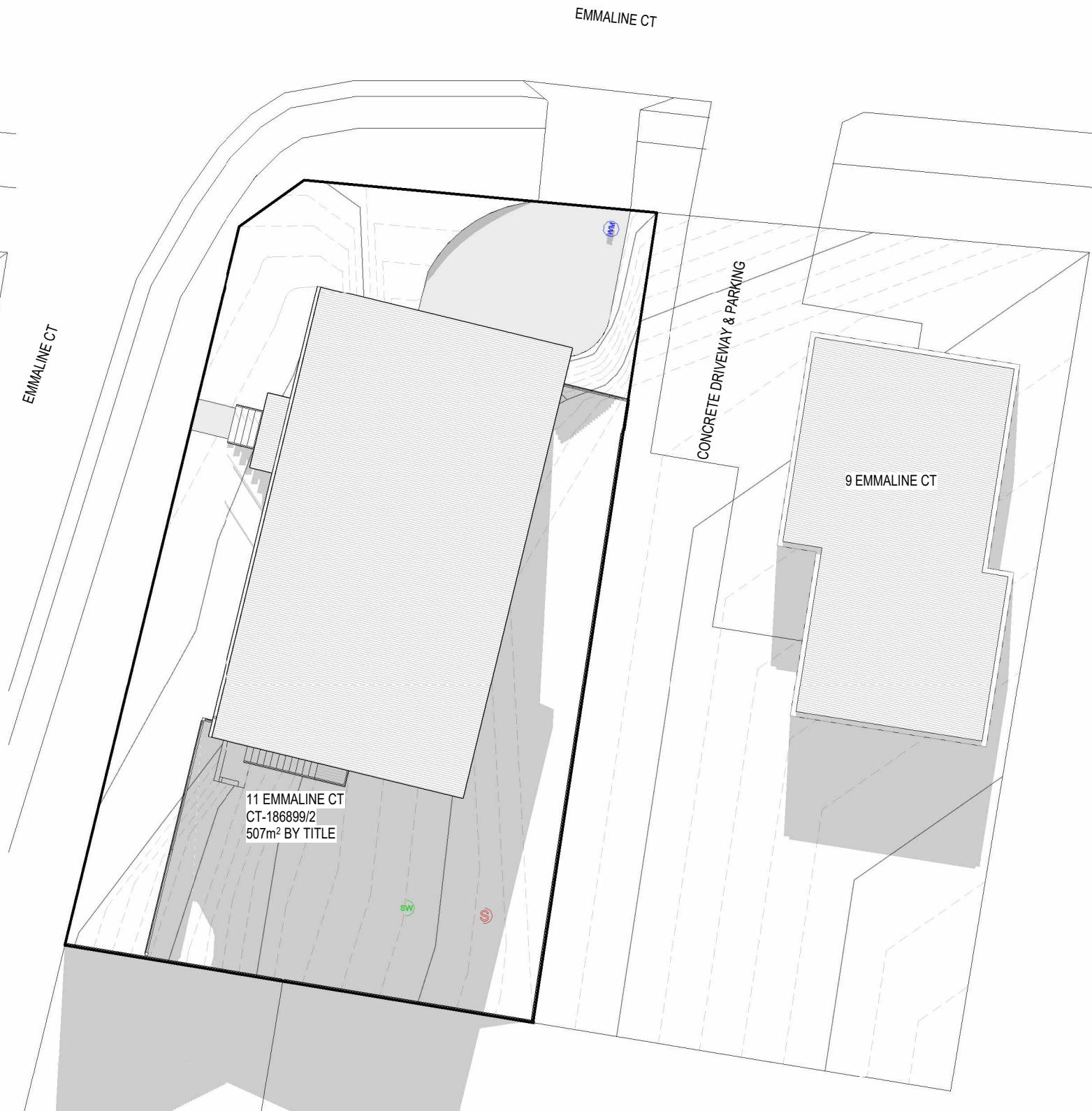
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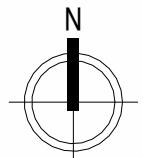
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A



SHADOW DIAGRAM JUNE 21 9am



SHADOW DIAGRAM JUNE 21 12pm



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| A | PLANNING APPLICATION - INITIAL ISSUE | CDP | AGE | 05.01.2026 |
| Document Issue Date | 07/08/2024 | DRAWN | CHK | DATE |



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ENGINEER:
AGE

SCALE:
1 : 200

PROJECT:
11 EMMALINE CT, ROKEBY, TAS 7019

DRAFTER:
CDP

SIZE:
A3:

CLIENT NAME:
ROBERT BRENNER

STATUS:
PLANNING APPLICATION

NOTE: THIS SET OF DRAWINGS
SHOULD ALWAYS BE PRINTED IN
COLOUR.

DRAWING TITLE:
SHADOW DIAGRAMS JUNE 9am & 12pm

PROJECT No.
G25115

DWG No.
A304

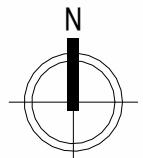
REVISION:
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SHADOW DIAGRAM JUNE 21 1pm



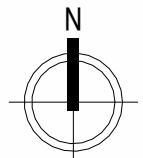
SHADOW DIAGRAM JUNE 21 2pm



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| B ATTEND TO COUNCIL RFI A PLANNING APPLICATION - INITIAL ISSUE | | | | CDP AGE 16.01.2026 | | | | DRAFTED: CDP AGE 05.01.2026 | | | | STATUS: PLANNING APPLICATION | | NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR. | | | |
| DRAWN: CHK DATE | | | | DRAWN: CHK DATE | | | | DRAWN: CHK DATE | | | | PROJECT No. G25115 | | DWG No. A308 | | | |
| DRAWN: CHK DATE | | | | DRAWN: CHK DATE | | | | DRAWN: CHK DATE | | | | REVISION: B | | | | | |



SHADOW DIAGRAM JUNE 21 3pm



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CLIENT NAME:
ROBERT BRENNER

STATUS:
PLANNING APPLICATION

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DRAWING TITLE:
SHADOW DIAGRAMS JUNE 3pm

PROJECT No.
G25115

DWG No.
A305

REVISION:
A

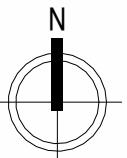
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| A | PLANNING APPLICATION - INITIAL ISSUE | CDP | AGE |
| Document Issue Date | 05.01.2026 | DRAWN | CHK |
| | | | DATE |



SHADOW DIAGRAM DECEMBER 21 9am



SHADOW DIAGRAM DECEMBER 21 12pm



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| A | PLANNING APPLICATION - INITIAL ISSUE | CDP | AGE | 05.01.2026 |
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11 EMMALINE CT, ROKEBY, TAS 7019

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CDP

SIZE:
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CLIENT NAME:
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STATUS:
PLANNING APPLICATION

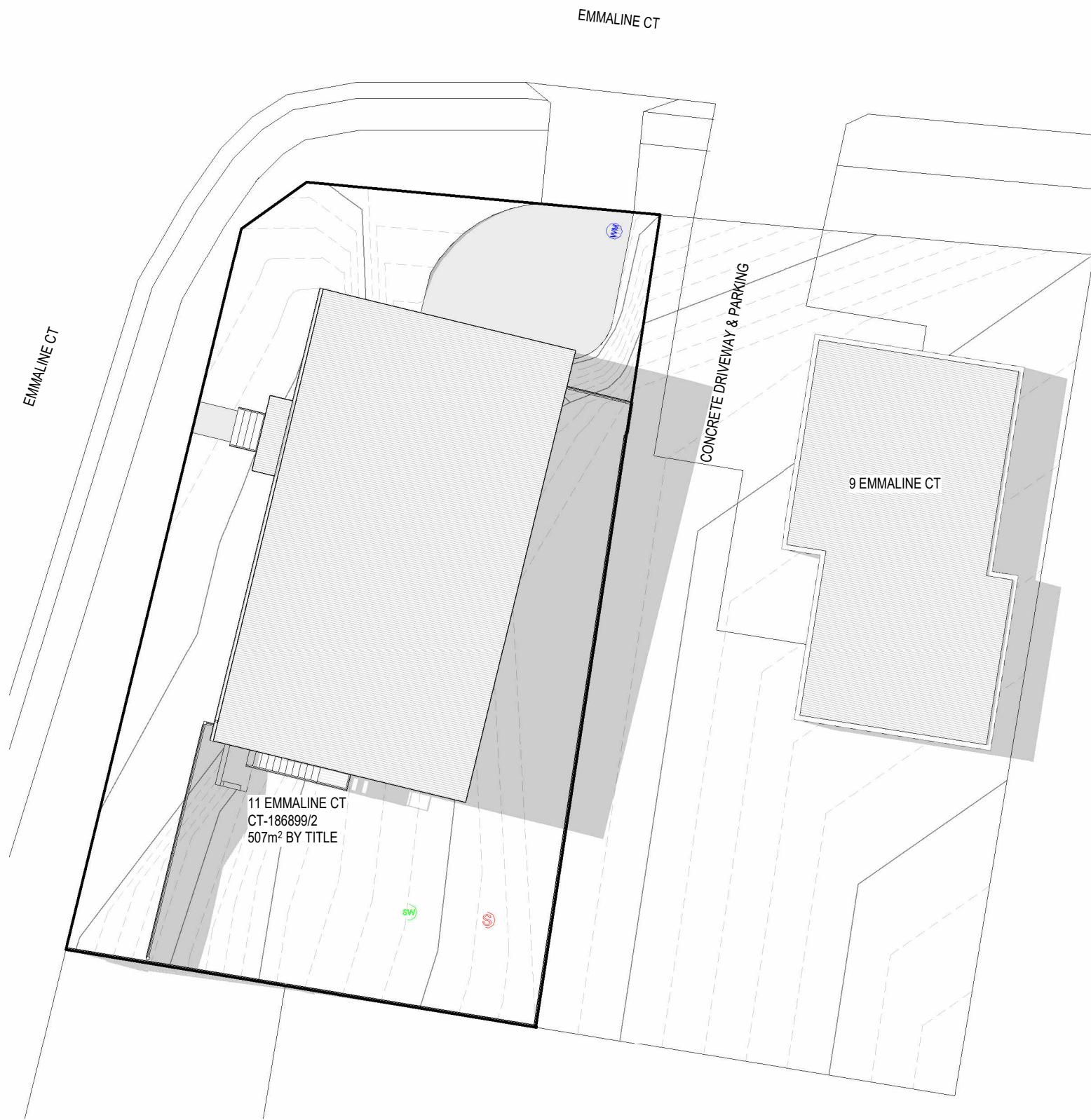
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DRAWING TITLE:
SHADOW DIAGRAMS DECEMBER 9am & 12pm

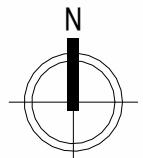
PROJECT No.
G25115

DWG No.
A306

REVISION:
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SHADOW DIAGRAM DECEMBER 21 3pm



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| A | PLANNING APPLICATION - INITIAL ISSUE | CDP | AGE | 05.01.2026 | | DRAFTER: CDP | SIZE: A3: | CLIENT NAME: ROBERT BRENNER | | |
| Document issued under section 38(1) of the Planning and Land Management Act 2013 | | DRAWN | CHK | DATE | STATUS: PLANNING APPLICATION | NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR. | PROJECT No. G25115 | DWG No. A307 | | |
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BATTEN FIXINGS:
100MM TYPE 17, 14G BUNGLE SCREWS. ALL BATTENS MUST COMPLY WITH AS1684, OR REFER TO AS1684 FOR ALTERNATIVES

COLORBOND FIXINGS:
50MM M6 11 X 50 EPDM SEAL MUST COMPLY WITH AS3566 REFER TO AS3566 FOR ALTERNATIVES

LIGHTWEIGHT CLADDINGS FIXINGS:
REFER TO MANUFACTURER'S SPECIFICATIONS FOR FIXINGS, FLASHING AND OTHER INSTALLATION DETAILS

WALL TIES:
MASONRY VENEER WALLS TO HAVE MEDIUM DUTY WALL TIES @ 600g MAX. WALL TIES REFER TO AS4773.1 SECTION 7.3 AND FIGURE 7.1

BULK INSTALLATION SHALL:
BE TO AS/NZS 4859.1 - 2018, AND BE INSTALLED TO ABCB HP PART 13.2.2

WALL INSULATION INSTALLED TO MANUFACTURERS SPECIFICATIONS - REFER TO INSULATION SCHEDULE

UPPER FLR FFL
50.000

LOWER FLR CL
47.200

CONCRETE FLOOR CONSTRUCTION TO ENGINEERS DETAILS

LOWER FLR FFL
47.200



SUBFLOOR VENTILATION IS TO BE PROVIDED IN ACCORDANCE WITH THE ABCB HP 6.2.1

GROUND CLEARANCE IN ACCORDANCE WITH THE ABCB HP 6.2.1 FIG. 6.2.1b FOR CLIMATIC ZONE C TO BE 150mm FOR THE FIRST 2m THEN 400mm CLEARANCE FOR ACCESS TO SERVICES.



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DRAWING TITLE:
SECTION

PROJECT No.
G25115

DWG No.
A400
REVISION:
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| A | PLANNING APPLICATION - INITIAL ISSUE | CDP | AGE | 05.01.2026 |
| Document Issue ID: 5078387104 | | DRAWN | CHK | DATE |