



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/058129

PROPOSAL: Single Dwelling

LOCATION: 11 Emmaline Court, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 17 February 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 17 February 2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 17 February 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Proposed new dwelling

Location: 11 Emmaline Ct, Rokeby, TAS 7019

Personal Information Removed



Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

Unoccupied residential

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 186899	FOLIO 2
EDITION 2	DATE OF ISSUE 19-Sept-2024

SEARCH DATE : 19-Dec-2025

SEARCH TIME : 12.33 pm

DESCRIPTION OF LAND

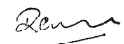
City of CLARENCE

Lot 2 on Sealed Plan [186899](#)Derivation : Part of Lot 36312, 87.56ha Gtd. to The Director
of HousingPrior CT [154188/28](#)SCHEDULE 1[M485039](#) TRANSFER to ALEJANDRO GONZALEZ PATINO Registered
06-Oct-2014 at 12.01 pmSCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP186899](#) EASEMENTS in Schedule of Easements[SP186899](#) COVENANTS in Schedule of Easements[SP186899](#) FENCING PROVISION in Schedule of Easements[SP154188](#) COVENANTS in Schedule of Easements[SP154188](#) FENCING PROVISION in Schedule of EasementsUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations


OWNER: ALEJANDRO CONZALEZ PATINO FOLIO REFERENCE: CT.154188-28 (87.56ha) GRANTEE: PART OF LOT 36312 GRANTED TO THE DIRECTOR OF HOUSING	PLAN OF SURVEY BY SURVEYOR TIMOTHY LEIGH GOWLLAND ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966 CITY OF CLARENCE SCALE 1:250 LENGTHS IN METRES	REGISTERED NUMBER SP186899 APPROVED EFFECTIVE FROM - 5 JUL 2024  Recorder of Titles
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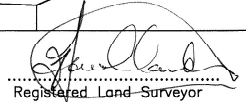
PRIORITY FINAL PLAN

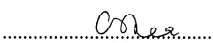
(SP.154188) (STR170351)

(SP.154188) (STR158836)

EMMALINE COURT




 Registered Land Surveyor 3.4.24 Date


 Council Delegate 01/07/2024 Date

11 EMMALINE CT, ROKEBY, TAS 7019

PROPOSED DWELLING

DRAWING CONTENTS LIST

SHEET		
No.	SHEET NAME	SHEET REVISION
A000	COVER SHEET	B
A001	LEGENDS	A
A002	GENERAL NOTES	A
A100	SITE PLAN	B
A101	DRAINAGE PLAN	A
A102	SOIL & WATER MANAGEMENT PLAN	A
A200	LOWER FLOOR PLAN	A
A201	UPPER FLOOR PLAN	A
A300	ELEVATIONS SHEET 1	A
A301	ELEVATIONS SHEET 2	B
A302	3D PERSPECTIVE VIEWS	A
A303	3D BUILDING ENVELOPES	A
A304	SHADOW DIAGRAMS JUNE 9am & 12pm	A
A305	SHADOW DIAGRAMS JUNE 3pm	A
A306	SHADOW DIAGRAMS DECEMBER 9am & 12pm	A
A307	SHADOW DIAGRAMS DECEMBER 3pm	A
A308	SHADOW DIAGRAMS JUNE 1pm & 2pm	B
A400	SECTION	A

LOCATION PLAN

SCALE: 1 : 5000

SITE INFORMATION

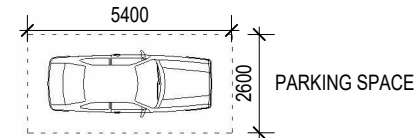
TITLE REFERENCE	CT186899/2
SITE ZONE	GENERAL RESIDENTIAL
WIND CLASSIFICATION	TBC
SOIL CLASSIFICATION	TBC
CLIMATE ZONE	7
BAL LEVEL	BAL TBC
ALPINE AREA	N/A LESS THAN 900M AHD
CORROSION ENVIRONMENT	>100m TO CALM MARINE
OTHER HAZARDS	SAFEGUARDING OF AIRPORTS CODE

AREA SCHEDULE	
SITE AREA:	507M²
DWELLING GROSS FLOOR AREAS	
(ALL FLOOR AREAS EXCLUDE DECKS)	
DWELLING (LOWER FLOOR):	76.04M²
DWELLING (UPPER FLOOR):	148.19M²
TOTAL	224.23M²

SITE COVERAGE:	
ROOF AREA (FOOTPRINT):	172.65M²
SITE COVERAGE:	34.1%

					<div><div><div>GE</div><div>CONSULTING ENGINEERS</div><div>+ DESIGN + CIVIL + STRUCTURAL + GEOTECH</div><div>gece.com.au</div></div><div><div>ABN64 629 573 897</div><div>ACN 629 573 897</div><div>42 SANDY BAY ROAD</div><div>BATTERY POINT, TAS 7005</div><div>ADMIN@GECE.COM.AU</div><div>0412 705 240</div></div></div>	© copyright GE CONSULTING ENGINEERS	ENGINEER: AGE	SCALE: 1 : 5000	PROJECT: 11 EMMALINE CT, ROKEBY, TAS 7019	DRAWING TITLE: COVER SHEET	
B	ATTEND TO COUNCIL RFI	CDP	AGE	16.01.2026							
A	PLANNING APPLICATION - INITIAL ISSUE	CDP	AGE	05.01.2026							
Document Issue Description		DRAWN	CHK	DATE							
				</							

SCALE: 1 : 200



SCALE: 1 : 200



NOTE:
ALL WORKS MUST BE IN ACCORDANCE WITH THE CURRENT:

- N.C.C., AS3500.2 & AS3500.3
- WATER SERVICES ASSOCIATION OF AUSTRALIA CODES (WSAA)
- LOCAL COUNCIL REQUIREMENTS
- TASWATER TECHNICAL STANDARDS
- ANY RELEVANT STANDARDS / MANUFACTURERS SPECIFICATIONS

REFER TO ROOF PLAN FOR ROOF CATCHMENT AREAS

SCALE: 1 : 100



KITCHEN APPLIANCES/DESIGN/SIZES/LOCATION ARE INDICATIVE ONLY AND BATHROOM, LAUNDRY AND OTHER JOINERY (OBJECTS SHOWN AS PLACEHOLDERS ONLY). REFER TO SELECTION DOCUMENTATION AND JOINERS PLANS FOR DETAILS.

ALL DIMENSIONS ARE FRAME DIMENSIONS U.N.O.

Document ID: 5098714
Version: 1, Version Date: 23/01/2026

GENERAL

- BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC)
- INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS (U.N.O.)

COMMON ABBREVIATIONS

AW = AWNING WINDOW
 BTH = BATH / BATHROOM
 BNCH / BCH = BENCH (KITCHEN BENCH, ISLAND BENCH, ETC)
 CL = CEILING LEVEL
 CONC. = CONCRETE
 EX. = EXISTING
 FFL = FINISHED FLOOR LEVEL
 FSL = FINISHED SURFACE LEVEL
 FW = FIXED WINDOW & / OR FLOOR WASTE
 GRND. = GROUND (GROUND FLOOR)
 HW = HUNG WINDOW
 HWC / HWS = HOT WATER CYLINDER / HOT WATER SYSTEM
 SH = SIDE HUNG WINDOW
 ISL = ISLAND (ISLAND BENCH)
 LDY / LDRY = LAUNDRY
 LW = LOUVRE WINDOW
 MWS = MICROWAVE SPACE
 OBS = OBSCURE (GLASS)
 PTY = PANTRY
 PWD = POWDER ROOM (TOILET ROOM WITH BASIN)
 RET. = RETAINING
 SD = SLIDING / STACKING DOOR
 SW = SLIDING WINDOW
 TYP = TYPICAL
 U.N.O. = UNLESS NOTED OTHERWISE
 WC = WASH CLOSET (TOILET)
 WMS = WASHING MACHINE SPACE

SITE WORKS

- CUT AND FILL BATTERS SHOWN ON THESE PLANS ARE INDICATIVE ONLY. BATTERS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 3.2.1 AND TABLE 3.2.1
- ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED
- ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION
- EMBANKMENTS CANNOT EXCEED 2.0M IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS
- ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE HP

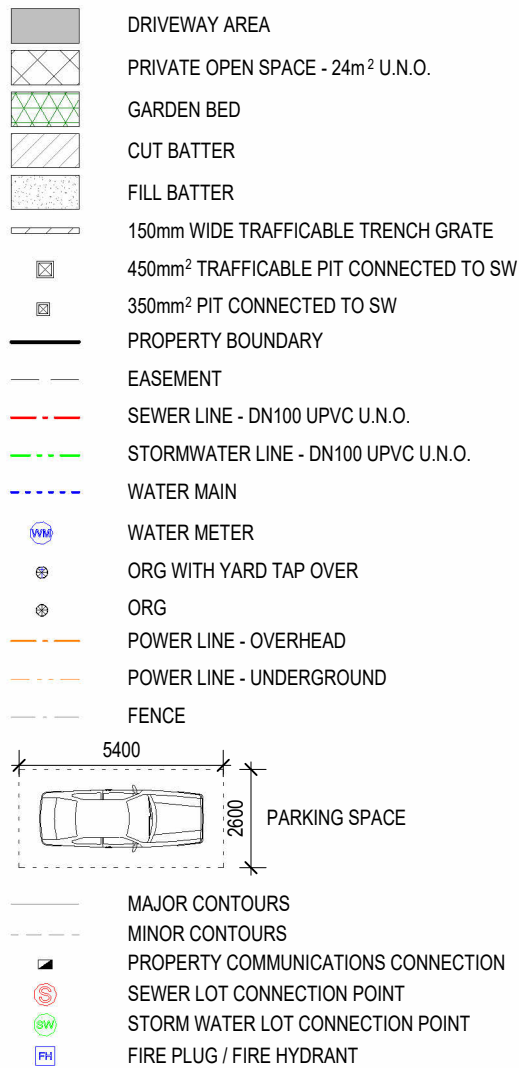
SOIL CLASS	SITE CUT (EXCAVATION MAX. EMBANKMENT SLOPE RATIO, ANGLE OF SITE CUT H:L)	COMPACTED FILL (MAX. EMBANKMENT SLOPE RATIO, ANGLE OF BATTER H:L)
STABLE ROCK (CLASS A)	8:1	3:3
SAND (CLASS A)	1:2	1:2
FIRM CLAY (CLASS M-E)	1:1	1:2
SOFT CLAY (CLASS M-E)	2:3	NOT SUITABLE

MASONRY

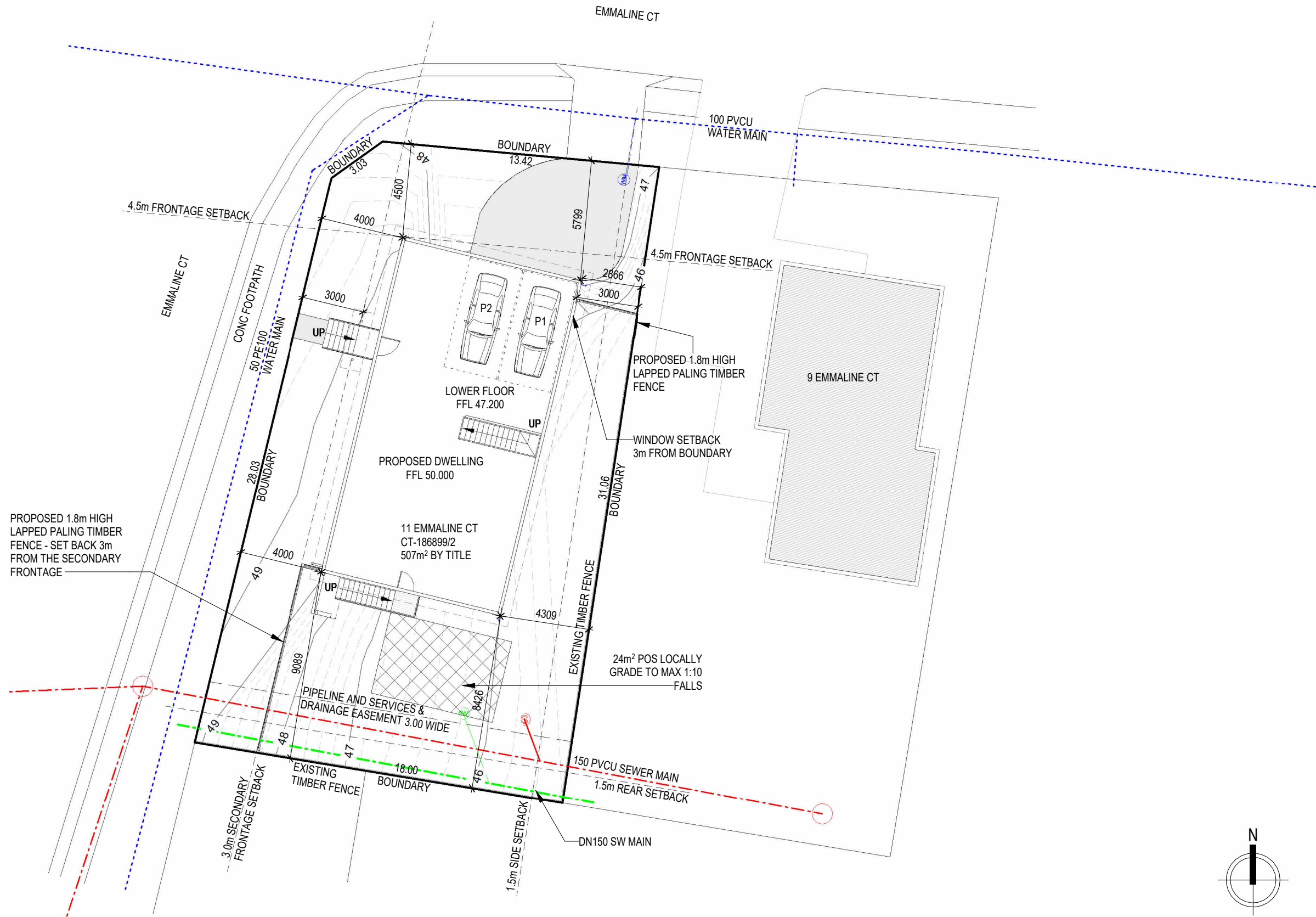
- ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700
- EXTERNAL WALLS TO BE 110MM BRICKWORK UNLESS NOTED OTHERWISE
- MORTAR MIXED @ 1:1.6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER
- DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904
- VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6M MAX. CTRS FOR UNREINFORCED MASONRY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5M CTRS.
- WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN ACCORDANCE WITH AS4100 AND AS3700A

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A	PLANNING APPLICATION - INITIAL ISSUE	CDP	AGE	05.01.2026		GE CONSULTING ENGINEERS RETAINS THE INTELLECTUAL PROPERTY RIGHTS OF THESE DRAWINGS, DESIGNS AND CONTENT. THESE DRAWINGS CAN NOT BE RESOLD, REPRODUCED, COPIED OR ADAPTED IN ANYWAY WITHOUT WRITTEN CONSENT OF GE CONSULTING ENGINEERS.	DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ROBERT BRENNER	PROJECT No. G25115	DWG No. A002
REVISION DESCRIPTION		DRAWN	CHK	DATE		DIMENSIONS TO BE CHECKED ON SITE.					
						DO NOT SCALE OFF DRAWINGS.	STATUS: PLANNING APPLICATION		NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.		REVISION: A

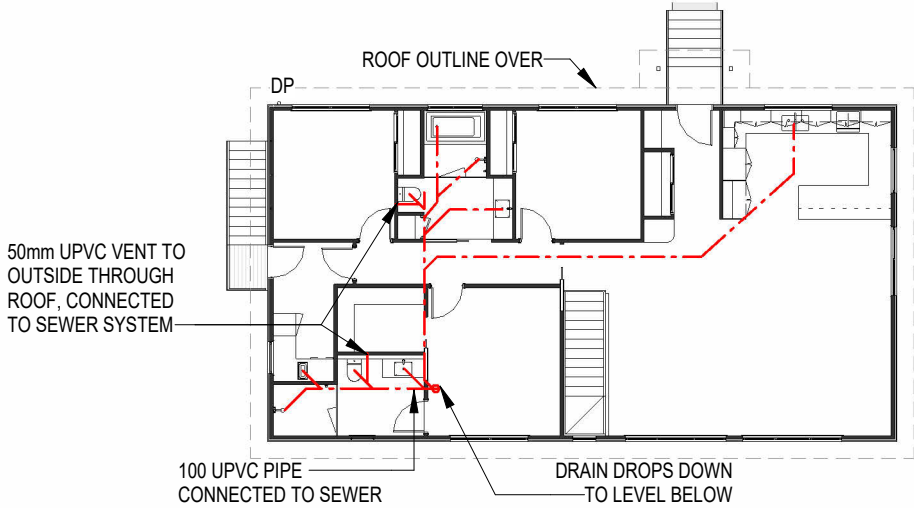
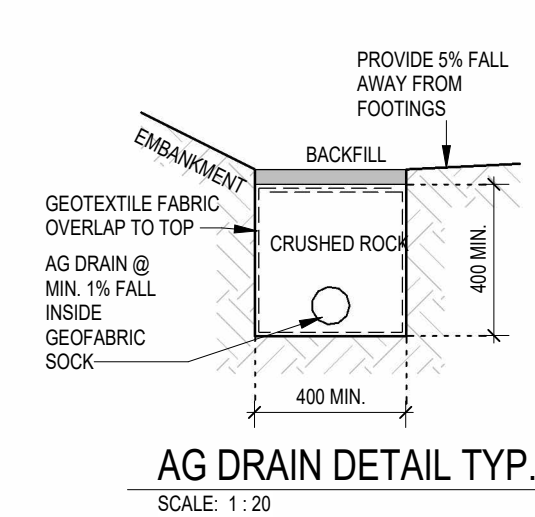
LEGEND - SITE PLAN



NOTE RE SITE LEVELS AND / OR BOUNDARY LINES:
BOUNDARY LINES, CONTOUR LINES AND SITE LEVELS ARE OBTAINED FROM A MIXTURE OF ON-SITE MEASUREMENTS FREE ON-LINE LIDAR DATA AND HANDHELD GPS DATA (ACCURACY \pm 3m) FOR THE PURPOSES OF PREPARING THIS DOCUMENTATION ONLY AND SHOULD NOT BE RELIED ON FOR SITE SETOUTS OR CUT / FILL QUANTITIES.
ANY INTERESTED PARTY IS TO OBTAIN THEIR OWN MEASUREMENT ON SITE PRIOR TO UNDERTAKING ANY WORKS OR ASSESSMENTS.
IF MORE ACCURATE MEASUREMENTS ARE REQUIRED, THE INTERESTED PARTY IS TO OBTAIN THEIR OWN SITE CONTOUR, DETAIL & FEATURE SURVEY.



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						DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ROBERT BRENNER	PROJECT No. G25115	DWG No. A100	
						STATUS: PLANNING APPLICATION		NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.		REVISION: B	
B	ATTEND TO COUNCIL RFI	CDP	AGE	16.01.2026							
A	PLANNING APPLICATION - INITIAL ISSUE	CDP	AGE	05.01.2026							
Document Issue Description		DRAWN	CHK	DATE							

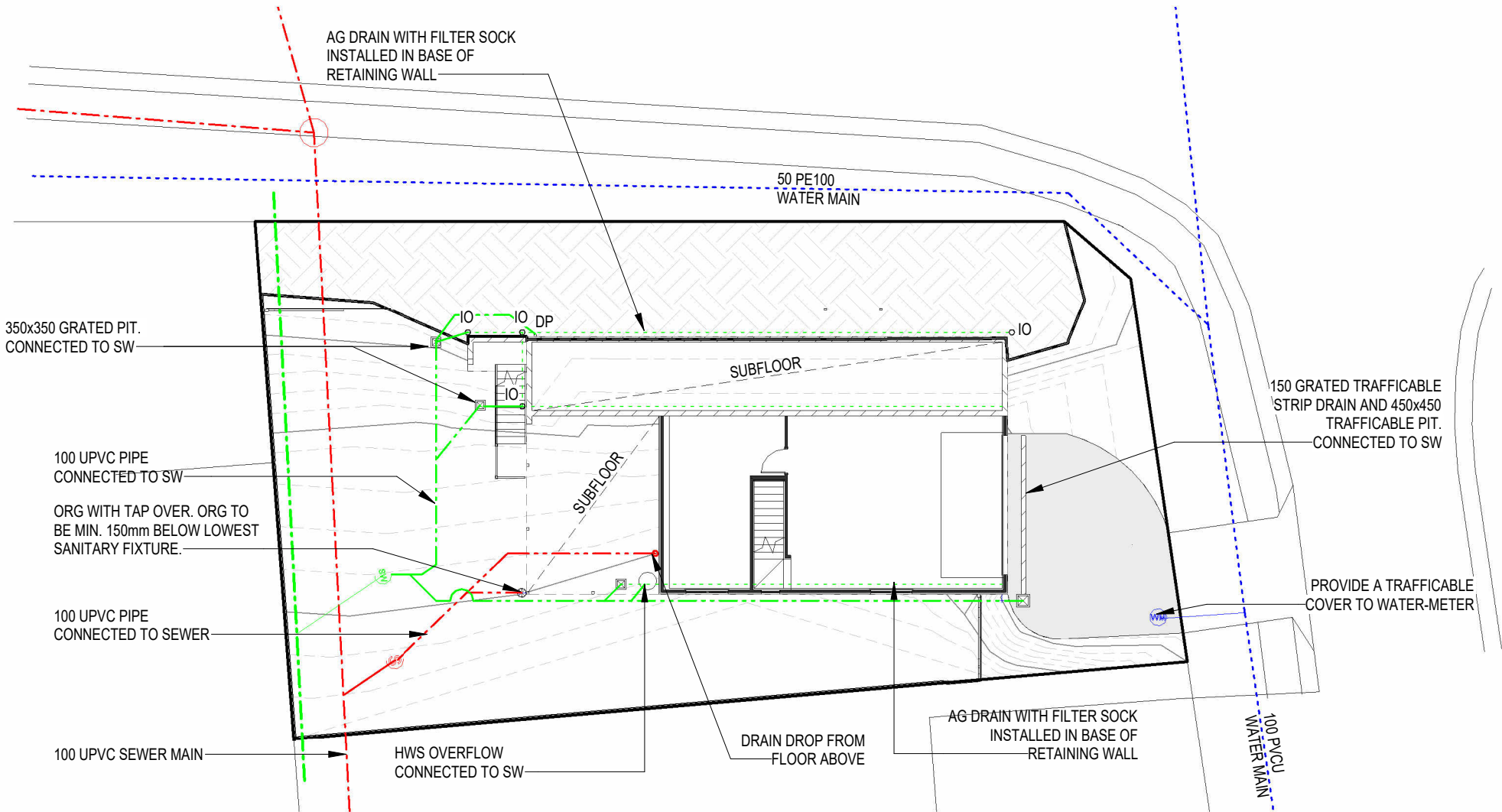


LEGEND - DRAINAGE PLAN

- AG DRAIN - 100 Ø OD U.N.O.
- SEWER LINE - 100 Ø OD U.N.O. MIN. 1.65% GRADE
- STORM WATER LINE - 100 Ø OD U.N.O. MIN. 1.00% GRADE
- STORM WATER LINE - 150 Ø OD U.N.O. MIN. 1.00% GRADE
- CHARGED STORM WATER LINE - 100 Ø OD U.N.O.
- YARD TAP
- YARD TAP WITH ORG BELOW
- OVERFLOW RELIEF GULLY - 100 Ø U.N.O.
- SW PIT - SIZE AS NOTED
- INSPECTION OPENING - 100 Ø U.N.O.
- DOWN PIPE - GENERALLY 90mm OTHERWISE REFER TO ROOF DRAINAGE PLAN FOR SIZING
- WATER MAIN
- WATER METER
- SEWER LOT CONNECTION POINT
- STORM WATER LOT CONNECTION POINT

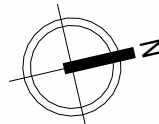
GENERAL NOTES

NOTE:
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- N.C.C., AS3500.2 & AS3500.3
- WATER SERVICES ASSOCIATION OF AUSTALIA CODES (WSAA)
- LOCAL COUNCIL REQUIREMENTS
- TASWATER TECHNICAL STANDARDS
- ANY RELEVANT STANDARDS / MANUFACTURERS SPECIFICATIONS
REFER TO ROOF PLAN FOR ROOF CATCHMENT AREAS










LOWER DRAINAGE PLAN

SCALE: 1 : 200



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A	PLANNING APPLICATION - INITIAL ISSUE		CDP	AGE	05.01.2026						
Document Issue Description			DRAWN	CHK	DATE						

SOIL AND WATER MANAGEMENT LEGEND

	STABILISED ENTRY/EXIT POINT
	TEMPORARY SOIL STOCKPILE WITH TEMPORARY DIVERSION DRAIN TO HIGH SIDE. APPROXIMATE LOCATION ONLY
	SEDIMENT FENCE (REFER TO DETAIL)
	WASTE STORAGE AREA
	EXTENT OF PROPOSED WORKS
	DIVERSION DRAIN
	ENTRY & EXIT PAD / BUND

GENERAL NOTES

SOIL & WATER MANAGEMENT ON A STANDARD BUILDING & CONSTRUCTION
SITES
ENVIRONMENT PROTECTION AUTHORITY
FACT SHEET 2
([HTTPS://EPA.TAS.GOV.AU/DOCUMENTS/SOIL_AND_WATER%20
_MANAGEMENT_FACT_SHEET_2.PDF](https://epa.tas.gov.au/documents/soil_and_water%20management_fact_sheet_2.pdf))
ACCESS 06/05/2021

BEFORE STARTING SITE WORKS PLAN TO:

- 1) SCHEDULE EARTHWORKS IN PHASES THROUGHOUT THE PROJECT SO THAT THE GROUND IS DISTURBED FOR THE SHORTEST TIME POSSIBLE.
- 2) AVOID STRIPPING AND EXCAVATING UNTIL ALL NECESSARY PERMITS, LICENSES AND APPROVALS HAVE BEEN OBTAINED AND YOU ARE READY TO START WORK.
- 3) INSTALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH AN APPROVED SOIL AND WATER MANAGEMENT PLAN (IF REQUIRED).

INSTALL EROSION AND SEDIMENT CONTROL MEASURES IN SEQUENCE:

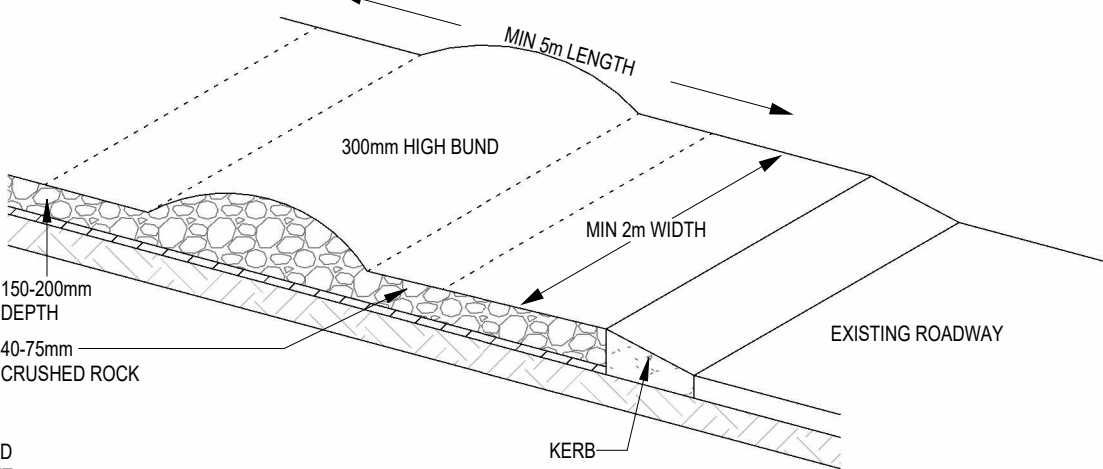
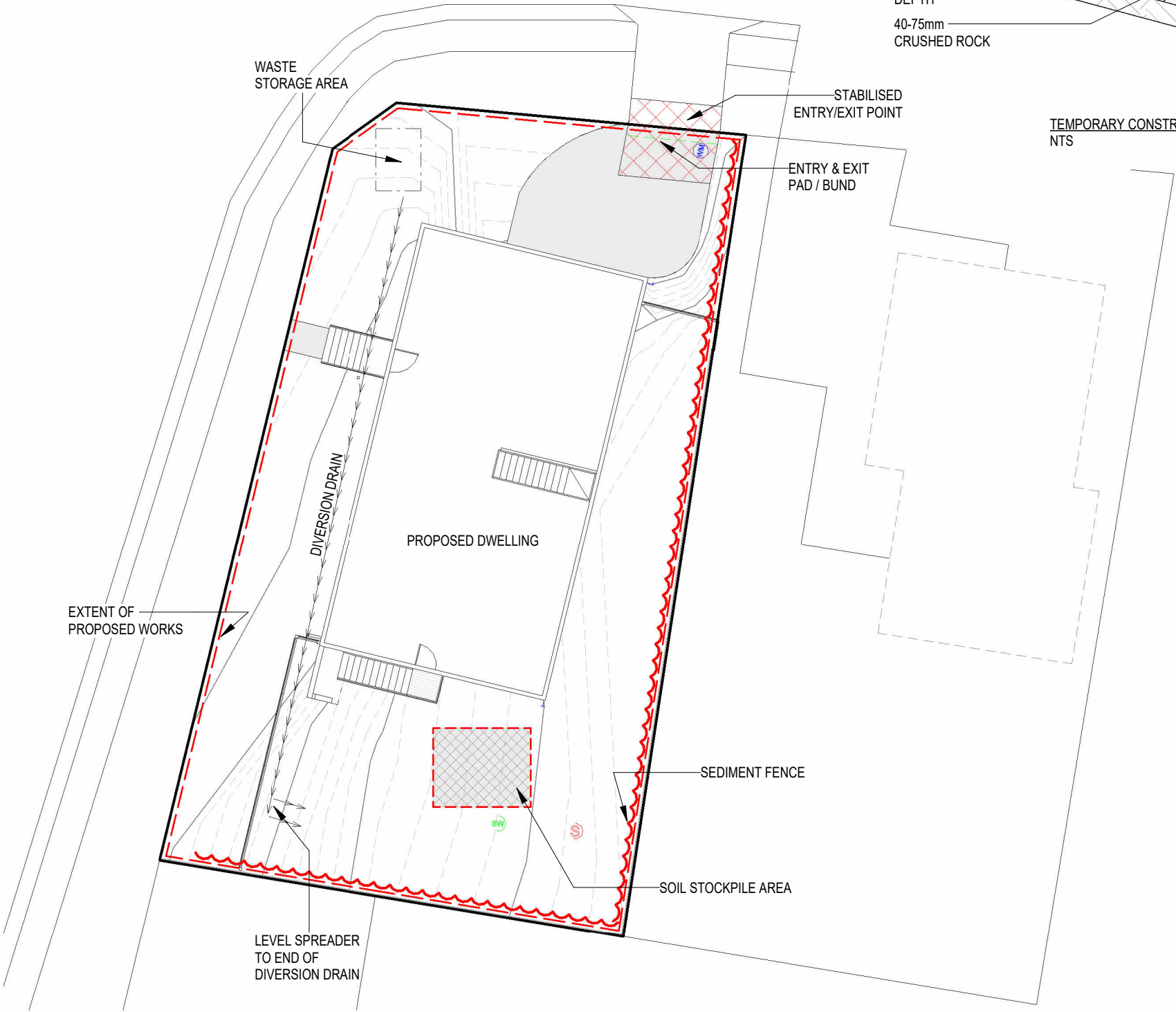
- 1) CHOOSE A SINGLE STABILISED SITE ACCESS POINT.
- 2) INSTALL SEDIMENT FENCES OR FIBRE ROLLS AT THE LOW END OF THE SITE TO TRAP SEDIMENT.
- 3) DIVERT UP-SLOPE CATCHMENT RUNOFF AROUND THE SITE BY INSTALLING A DIVERSION DRAIN AND LEVEL SPREADER.
- 4) KEEP AS MUCH VEGETATION AS POSSIBLE TO MINIMISE SOIL EROSION AND REDUCE RAINWATER RUNNING ACROSS THE SITE.
- 5) DESIGNATE A LOCATION WHERE TOPSOIL AND OTHER EXCAVATION MATERIAL WILL BE STOCKPILED DURING BUILDING AND CONSTRUCTION. PROVIDE SUITABLE CONTROLS TO PREVENT EROSION.
- 6) STABILISED AREAS OF EXPOSED SOIL WITH VEGETATION OR EROSION CONTROL BLANKETS AND MATS.
- 7) PROTECT THE NEARBY STORMWATER SYSTEM INCLUDING ANY STORMWATER PITS ON AND BELOW THE SITE FROM BLOCKING UP WITH SEDIMENT.
- 8) DESIGNATE AN APPROPRIATE LOCATION WITHIN THE SITE WHERE SEDIMENT-GENERATING ACTIVITIES CAN BE MANAGED (E.G. WHEEL WASH, BRICK CUTTING).

ONCE SITE WORKS HAVE COMMENCED:

- 1) MONITOR SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL EVENT.
- 2) CONSTRUCT SERVICE TRENCHES AWAY FROM WHERE WATER IS LIKELY TO CONCENTRATE. TRY NOT HAVE SERVICE TRENCHES OPEN ANY LONGER THAN NECESSARY.
- 3) PREVENT CLEAN RAINWATER RUNNING ACROSS THE SITE BY CONNECTING DOWNPIPES TO THE STORMWATER SYSTEM AS SOON AS THE ROOF IS ON THE BUILDING FRAME.

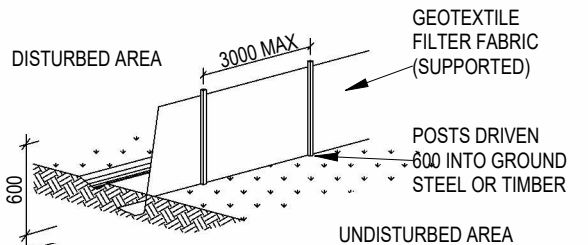
EVERYONE WORKING ON BUILDING AND CONSTRUCTION SITES HAS A RESPONSIBILITY TO PREVENT POLLUTION. IF YOU HAVE AN ACCIDENT AND POLLUTION OCCURS YOU ARE REQUIRED BY LAW TO NOTIFY THE SITE SUPERVISOR. IF THE SITE SUPERVISOR CANNOT BE CONTACTED, WORKERS SHOULD IMMEDIATELY NOTIFY THE LOCAL COUNCIL SO THEY CAN WORK WITH YOU TO MINIMISE ANY HARM TO THE ENVIRONMENT.

FOR FURTHER INFORMATION PLEASE REFER TO THE SOIL AND WATER
MANAGEMENT FACT SHEETS PUBLISHED BY THE DEPARTMENT OF PRIMARY
INDUSTRIES, PARKS, WATERS AND ENVIRONMENT.
THESE ARE AVAILABLE FROM THE COUNCIL OR ONLINE AT
WWW.DERWENTESTUARY.ORG.AU



SEDIMENT CONTROL
INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS
INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO
CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS
OF THE SITE ARE EXPOSED TO EROSION.
REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING
CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX
AND
SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF
60M MAX

SEDIMENT FENCE DETAIL (TYP)
NTS

SOIL AND WATER MANAGEMENT PLAN

SCALE: 1 : 200

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								DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ROBERT BRENNER	PROJECT No. G25115	DWG No. A102
								STATUS: PLANNING APPLICATION		NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.		REVISION: A
A	PLANNING APPLICATION - INITIAL ISSUE	CDP	AGE	05.01.2026								
REVISION DESCRIPTION		DRAWN	CHK	DATE								

UPPER FLR CL	52.400
UPPER FLR FFL	50.000
LOWER FLR CL	49.600
LOWER FLR FFL	47.200

LEGEND - FLOOR PLAN

110 BRICK VENEER

110 BRICK VENEER - RENDER FINISH

110 BRICK DOUBLE BRICK

110 BRICK DOUBLE BRICK - RENDER FINISH

190 CONCRETE BLOCKWORK

EXTERNAL WALL WITH SELECT LWC

90 TIMBER STUD

#

LIFT OFF HINGES TO DOOR

⊗

MECHANICAL EXHAUST FAN - SWITCHED WITH LIGHT

⊙

SMOKE ALARM TO BE CONNECTED TO THE MAINS POWER SUPPLY AND POSSESS A BATTERY BACK-UP AND BE INTERCONNECTED; TO PROVIDE A COMMON ALARM THROUGHOUT THE BUILDING, AND BE TO AS 3786-2014, AND BE INSTALLED TO ABCB HP PART 9.5.4.

†

YARD TAP

●

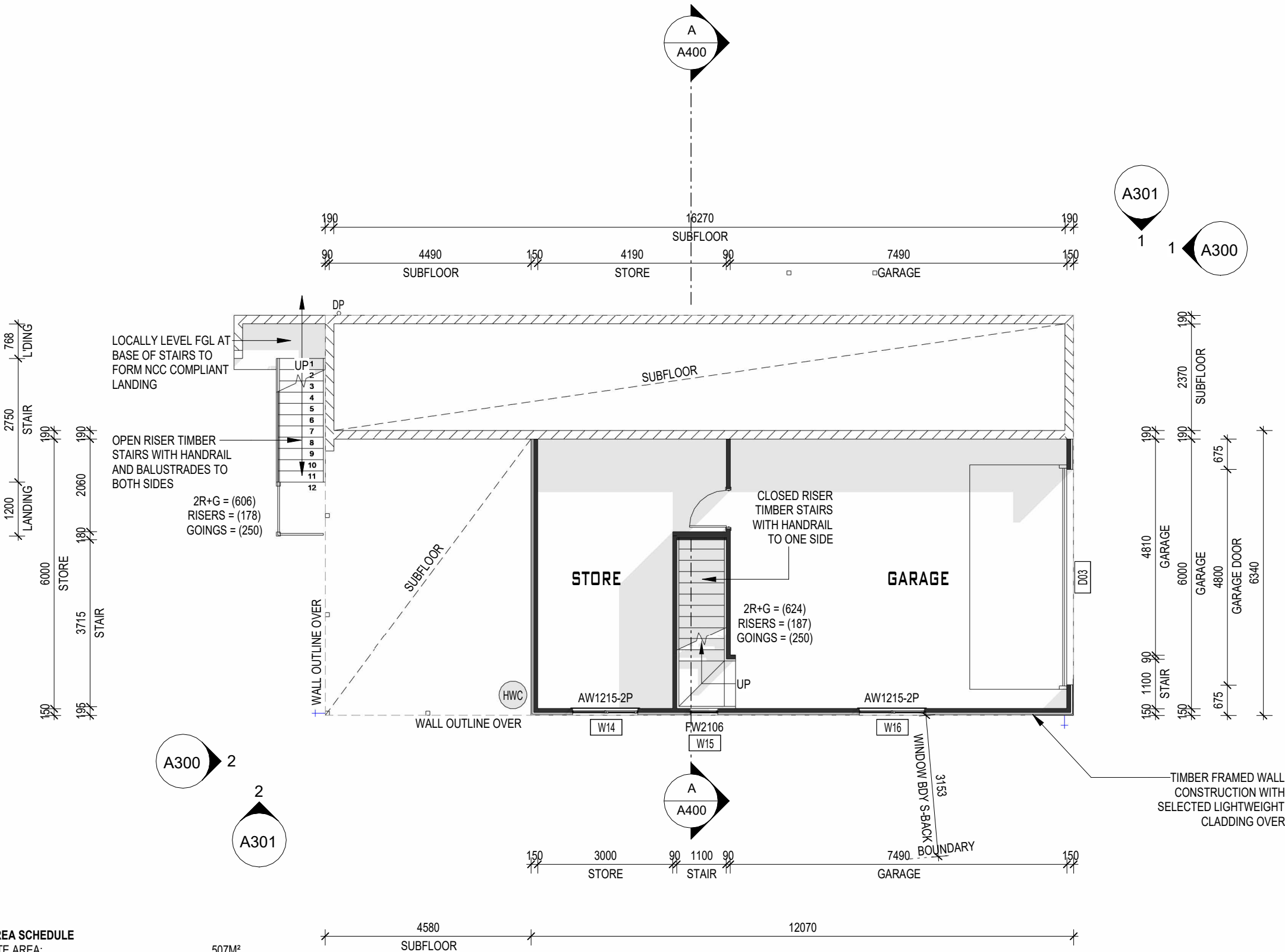
VERTICAL ARTICULATION JOINT

NOTE

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ALL DIMENSIONS ARE FRAME DIMENSIONS U.N.O.

AREA SCHEDULE	
SITE AREA:	507M²
DWELLING GROSS FLOOR AREAS (ALL FLOOR AREAS EXCLUDE DECKS)	
DWELLING (LOWER FLOOR):	76.04M²
DWELLING (UPPER FLOOR):	148.19M²
TOTAL	224.23M²
SITE COVERAGE:	
ROOF AREA (FOOTPRINT):	172.65M²
SITE COVERAGE:	34.1%



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DO NOT SCALE OFF DRAWINGS.

DESCREANCIES TO BE NOTIFIED VIA EMAIL TO GE CONSULTING ENGINEERS.

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DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ROBERT BRENNER		
STATUS: PLANNING APPLICATION		NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.		REVISION: A

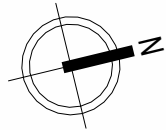
LEGEND - FLOOR PLAN

NOTE

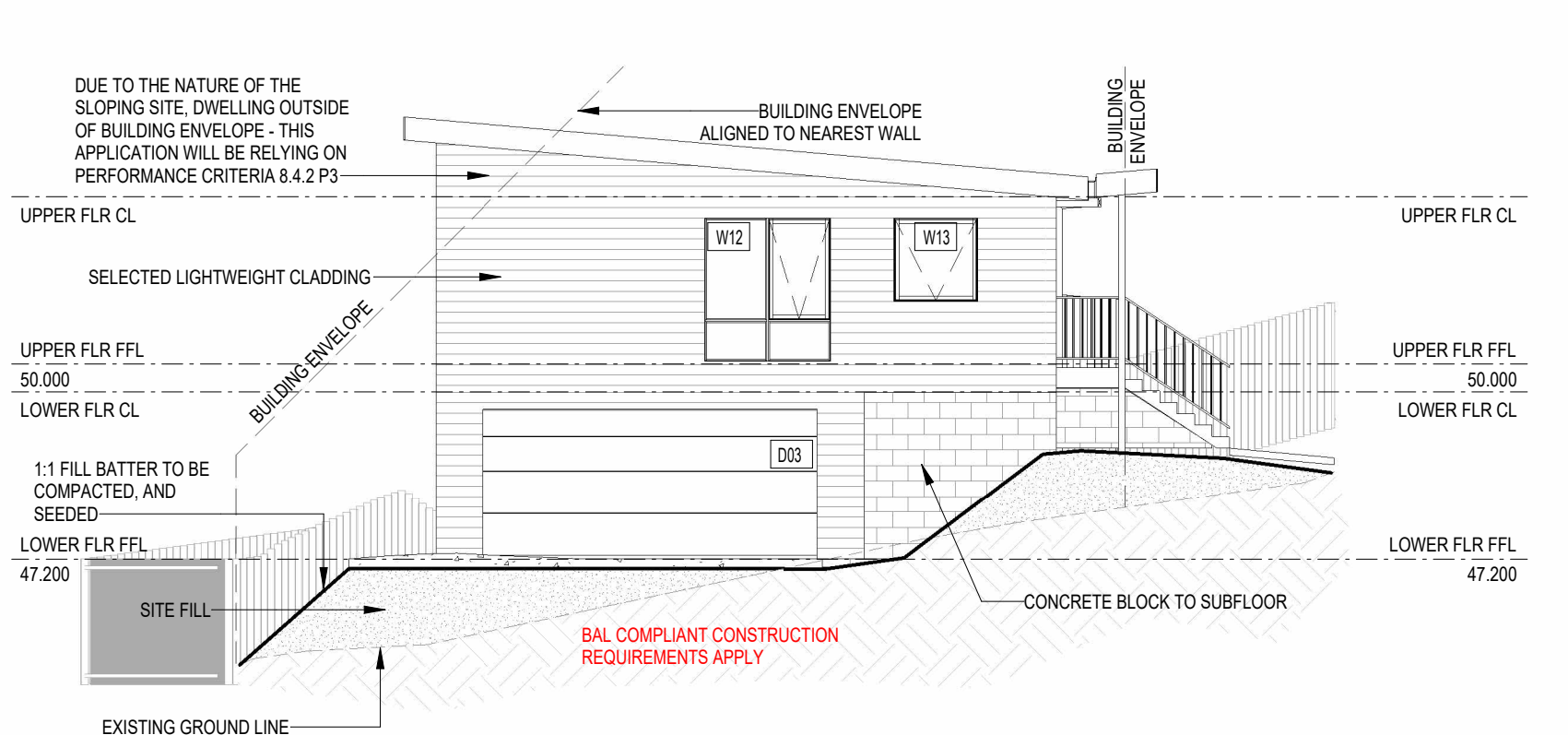
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Document ID: **SEI-DES-0738**
Version: 1, Version Date: 23/01/2026



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A	PLANNING APPLICATION - INITIAL ISSUE	CDP	AGE	05.01.2026							
REVISIONS	ISSUE DESCRIPTION	DRAWN	CHK	DATE							
Document ID: 57389710											

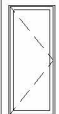


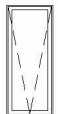
E1 - FRONT (NORTH) ELEVATION


SCALE: 1 : 100

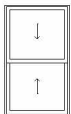



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A	PLANNING APPLICATION - INITIAL ISSUE	CDP	AGE	05.01.2026				PROJECT No. G25115	DWG No. A300		
Document Issue	DESIGN	DRAWN	CHK	DATE					REVISION: A		



SIDE HUNG

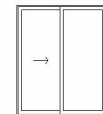

AWNING



HUNG WINDOW



DOUBLE HUNG



FIXED



LOUVRE



SLIDING

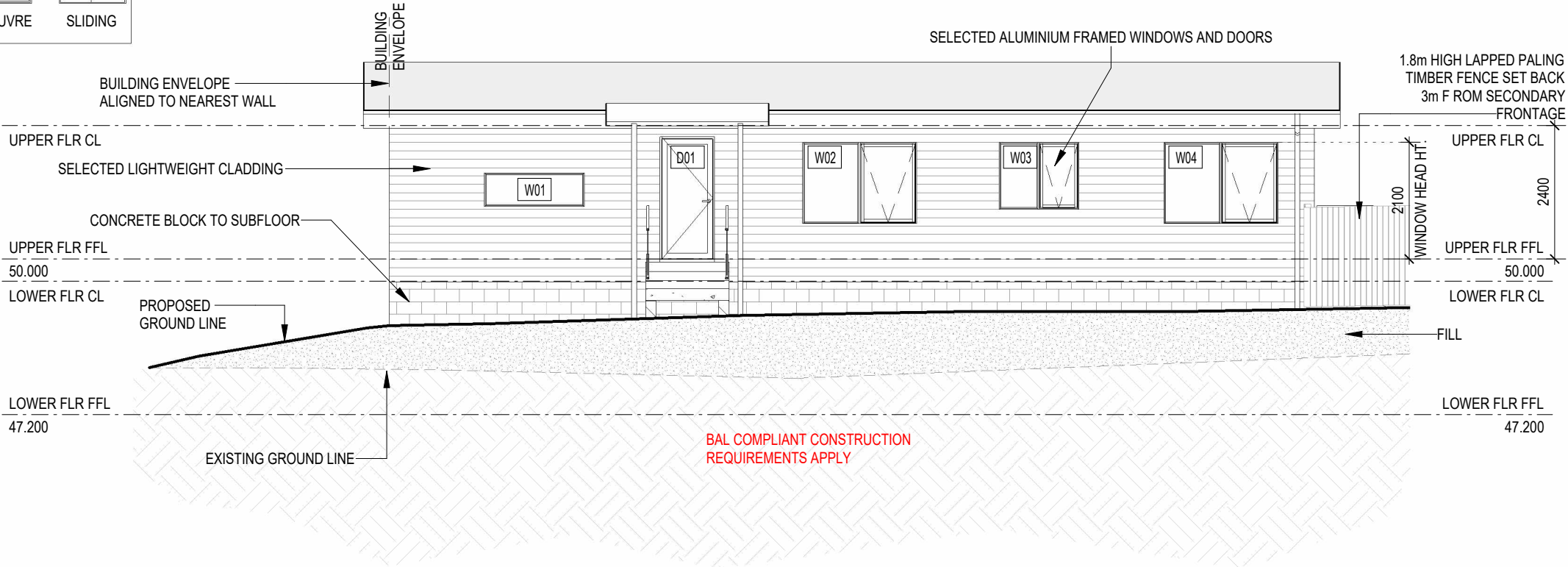

CLEAR


OBSCURE


ACOUSTIC


LOW-E


TONED



Side elevation drawing of E3 (West) showing building envelope, windows (W01-W04), door (D01), and ground lines. Includes labels for building envelope, selected aluminium framed windows and doors, and selected lightweight cladding.

E3 - SIDE (WEST) ELEVATION

SCALE: 1 : 100

NOTE:


- SHADOWS SHOWN ARE FOR VISUALISATION PURPOSES ONLY
- WINDOW/DOOR STYLE ARE INDICATIVE ONLY, REFER TO SELECTION DOCUMENTATION

SUBFLOOR VENTILATION IS TO BE PROVIDED IN ACCORDANCE WITH THE ABCB HP 6.2.1

Side elevation drawing of E4 (East) showing building envelope, windows (W07-W16), and ground lines. Includes labels for building envelope, building envelope aligned to nearest wall, and upper/lower floor levels.

E4 - SIDE (EAST) ELEVATION

SCALE: 1 : 100

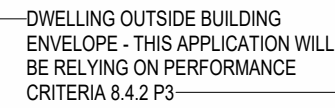
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A 3D architectural rendering of a two-story house. The house features white horizontal siding and a dark grey or black roof. On the front facade, there is a large two-car garage with a white door that has horizontal panels. To the left of the garage, there are several windows: a tall narrow one, a larger multi-paned one, and another tall narrow one. On the second floor, there are more windows, including a large multi-paned one and a smaller one. The house is set on a green lawn with white lines indicating mowing patterns. A wooden fence runs along the left side of the property. A small blue object, possibly a toy car, is on the driveway. The background is a clear blue sky.

A 3D architectural rendering of a two-story house. The house features a dark grey roof, light grey horizontal siding, and a base of grey stone masonry. On the left side, there is a large two-car garage with a white door. To the right of the garage, there are two windows on the first floor and two on the second floor. Further right, there is a small porch area with a set of stairs leading up to the entrance, flanked by a black metal railing. The house is set on a green lawn with a brown dirt area in the foreground. A small wooden fence is visible on the right side of the property.

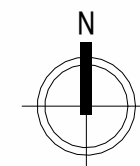
A 3D architectural rendering of a single-story house. The house has a dark grey or black flat roof and white horizontal siding. On the left side, there is a front porch with a set of concrete steps leading up to it, flanked by black metal railings. To the right of the porch, there are three windows: a small square one, a medium rectangular one, and a larger double-door entrance with a transom window. Further right, there is a side entrance with a white door and a set of concrete steps leading up to it, also with black metal railings. A wooden fence with vertical slats runs along the side of the house, separating the green lawn from the adjacent property. The lawn is bright green and has some faint white lines. The ground in the foreground is brown, suggesting a driveway or sidewalk. The overall style is a clean, modern architectural illustration.

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A	PLANNING APPLICATION - INITIAL ISSUE	CDP	AGE	05.01.2026				PROJECT No. G25115	DWG No. A302		
Document Issue Description		DRAWN	CHK	DATE					REVISION: A		



3D BUILDING ENVELOPE 2

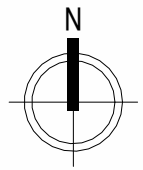
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A	PLANNING APPLICATION - INITIAL ISSUE	CDP	AGE	05.01.2026							
DRAFT	SUBMISSION	DRAWN	CHK	DATE							
						STATUS: PLANNING APPLICATION	NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.	PROJECT No. G25115	DWG No. A303	REVISION: A	



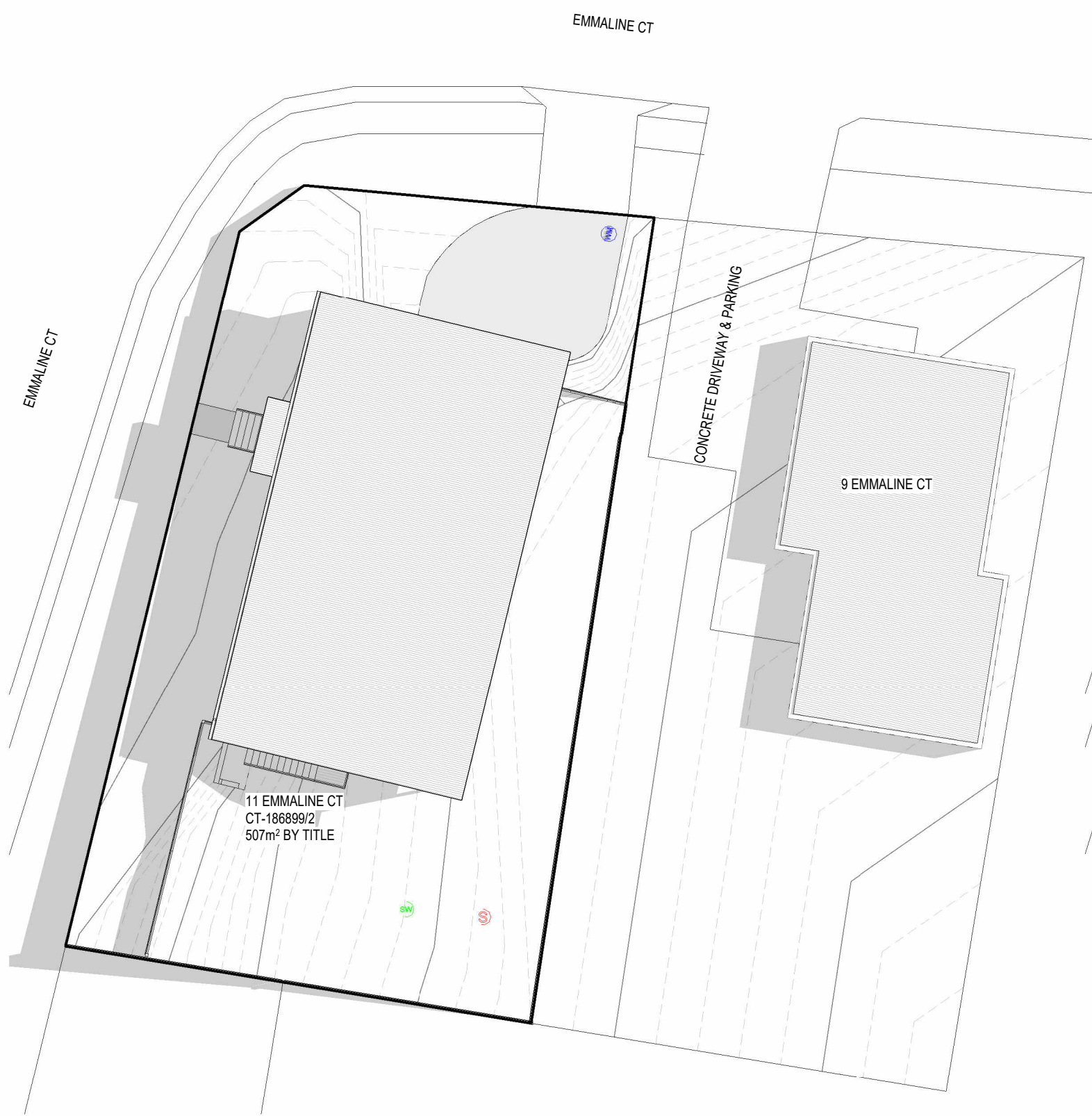
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A	PLANNING APPLICATION - INITIAL ISSUE		CDP	AGE			05.01.2026				
REVISIONS	ISSUE DESCRIPTION		DRAWN	CHK	DATE						
						STATUS: PLANNING APPLICATION		NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.		PROJECT No. G25115	DWG No. A304
										REVISION: A	



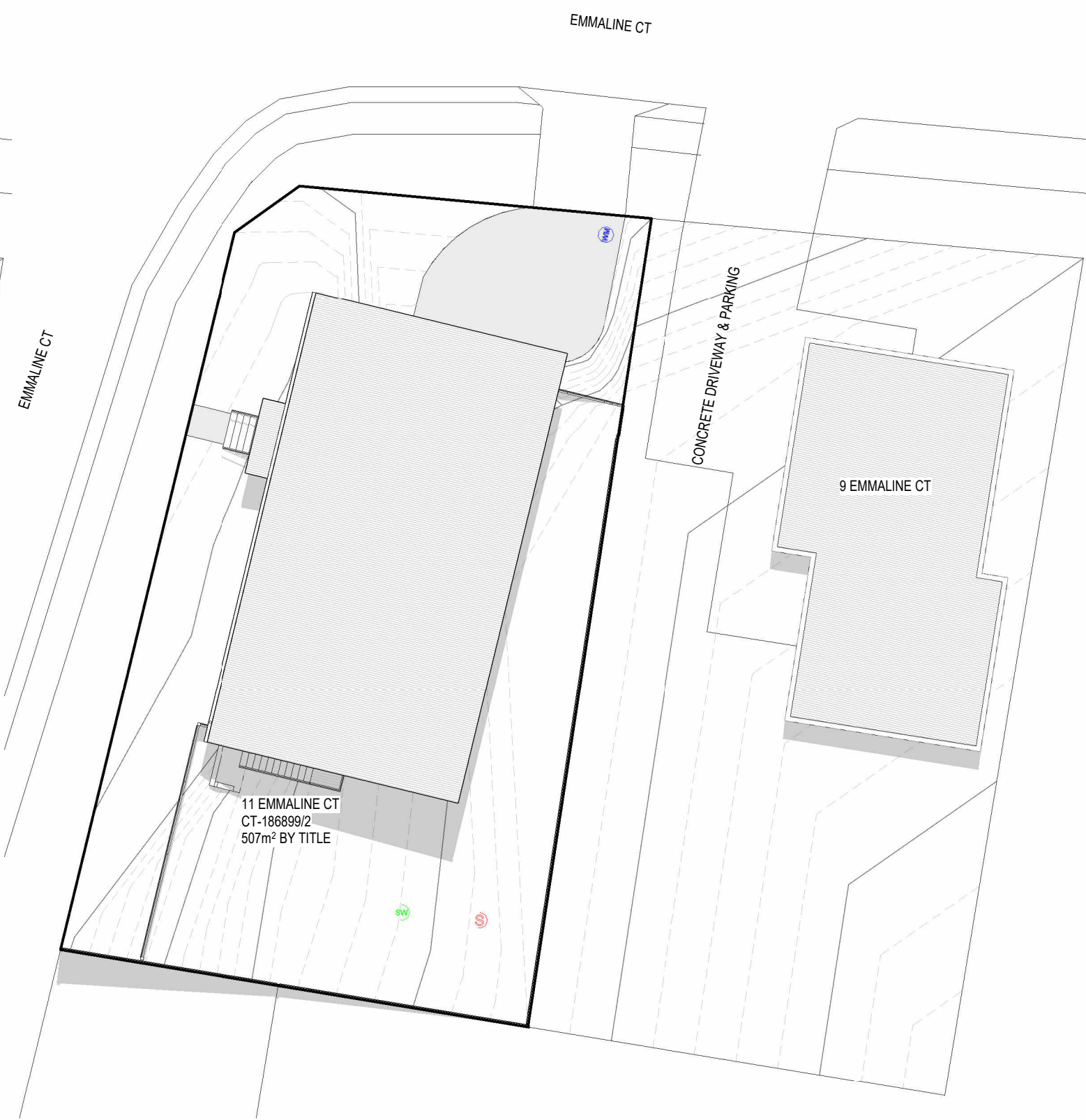
SHADOW DIAGRAM JUNE 21 3pm



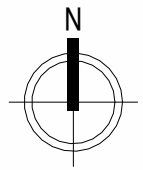
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							DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ROBERT BRENNER		
							STATUS: PLANNING APPLICATION		NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.		
									PROJECT No. G25115	DWG No. A305	
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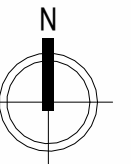
SHADOW DIAGRAM DECEMBER 21 9am



SHADOW DIAGRAM DECEMBER 21 12pm

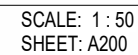


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A	PLANNING APPLICATION - INITIAL ISSUE	CDP	AGE	05.01.2026							
Document Issue Description					DRAWN	CHK	DATE				
NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.											



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A	PLANNING APPLICATION - INITIAL ISSUE	CDP	AGE	05.01.2026					PROJECT No. G25115	DWG No. A307		
Document Issue Date	Issue Description	DRAWN	CHK	DATE						REVISION: A		

BULK INSTALLATION SHALL:
BE TO AS/NZS 4859.1 - 2018, AND
BE INSTALLED TO ABCB HP PART 13.2.2



GROUND CLEARANCE IN ACCORDANCE WITH THE ABCB HP 6.2.1 FIG. 6.2.1b FOR CLIMATIC ZONE C TO BE 150mm FOR THE FIRST 2m THEN 400mm CLEARANCE FOR ACCESS TO SERVICES.

Document	ISSUE	DESCRIPTION
Version: 1, Version Date: 23/01/2026		