



## DEVELOPMENT APPLICATION

**PDPLANPMTD-2026/058270**

**PROPOSAL:** Additions & Alterations (Single Dwelling)

**LOCATION:** 61 Nankoor Crescent, Howrah

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 12 February 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 12 February 2026. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 12 February 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

## **Application for Development / Use or Subdivision**

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Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Internal Alterations and Deck

Location: **61 Nankoor Crescent, Howrah 7018**

**Personal Information Removed**



Is the property on the Tasmanian Heritage Register?

Yes  No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Dwelling**

Does the proposal involve land administered or owned by the Crown or Council? Yes  No

**Declaration**

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

**Acknowledgement**

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

**Personal Information Removed**

Date: 6/1/26

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



## **Development/use or subdivision checklist**

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### **Mandatory Documents**

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

### **Additional Documents**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

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- Site analysis and site plan, including where relevant:
  - Existing and proposed use(s) on site.
  - Boundaries and dimensions of the site.
  - Topography, including contours showing AHD levels and major site features.
  - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
  - Soil type.
  - Vegetation types and distribution, and trees and vegetation to be removed.



- Location and capacity of any existing services or easements on/to the site.
- Existing pedestrian and vehicle access to the site.
- Location of existing and proposed buildings on the site.
- Location of existing adjoining properties, adjacent buildings and their uses.
- Any natural hazards that may affect use or development on the site.
- Proposed roads, driveways, car parking areas and footpaths within the site.
- Any proposed open space, communal space, or facilities on the site.
- Main utility service connection points and easements.
- Proposed subdivision lot boundaries.

Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:

- Internal layout of each building on the site.
- Private open space for each dwelling.
- External storage spaces.
- Car parking space location and layout.
- Major elevations of every building to be erected.
- Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
- Relationship of the elevations to natural ground level, showing any proposed cut or fill.
- Materials and colours to be used on rooves and external walls.

Where it is proposed to erect buildings, a plan of the proposed landscaping showing:

- Planting concepts.
- Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
- Plantings proposed for screening from adjacent sites or public places.

Any additional reports, plans or other information required by the relevant zone or code.

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This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



**SEARCH OF TORRENS TITLE**

|         |               |
|---------|---------------|
| VOLUME  | FOLIO         |
| 65294   | 94            |
| EDITION | DATE OF ISSUE |
| 5       | 10-Feb-2010   |

SEARCH DATE : 04-Dec-2025

SEARCH TIME : 09.30 am

**DESCRIPTION OF LAND**

City of CLARENCE

Lot 94 on Sealed Plan [65294](#) (formerly being SP4137)

Derivation : Part of 397 Acres and Lot 883 Gtd to W Murray

Part of Lots 886 and 35831 Gtd to E Campbell &amp; Greater Hobart

Dev Pty Ltd respectively

Prior CT [3299/35](#)**SCHEDULE 1**

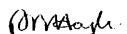
[C757904](#) & [M265619](#) BRENT PETER WILLIAMS and EMMA WILLIAMS as  
tenants in common in equal shares Registered  
10-Feb-2010 at noon

**SCHEDULE 2**

Reservations and conditions in the Crown Grant if any

SP [65294](#) EASEMENTS in Schedule of EasementsSP [65294](#) FENCING PROVISION in Schedule of EasementsC807780 MORTGAGE to ING Bank (Australia) Limited Registered  
27-July-2007 at 12.02 pmC953913 MORTGAGE to ING Bank (Australia) Limited Registered  
10-Feb-2010 at 12.01 pm**UNREGISTERED DEALINGS AND NOTATIONS**

No unregistered dealings or other notations

|  |  |  |   |
|--|--|--|---|
| <p>The Warden, Councillors &amp; Electors<br/>Municipality of Clarence (2466-38)</p> <p>Owner: <b>Greater Hobart Development Pty. Ltd.</b> Conv. 40/1739</p> <p>Title Reference: <b>C.T. 3207 - 30, 2466-38</b><br/>3226-21</p> <p>Grantee: <b>Part of 3207AC to W. Murray</b><br/>Part of Lot 883 W. Murray Pur, Lot 886 E. Campbell Pur, &amp; Lot 35831 Gtd to Greater Hobart Development Pty. Ltd.</p> |  | <p><b>PLAN OF SURVEY</b><br/>by Surveyor <b>E. Barrie Valentine</b><br/>of land situated in the<br/><b>TOWN OF HOWRAH</b></p> <p>Scale: 150 Feet to an inch.</p> | <p>Registered Number:<br/><b>S.P.4137</b></p> <p>Effective from <b>20 Sept 1974</b></p> <p><b>P/I</b> <br/>Acting Recorder of Titles</p> |
|--|--|--|---|

GENERAL LAW AREA A R P  
3 1 37

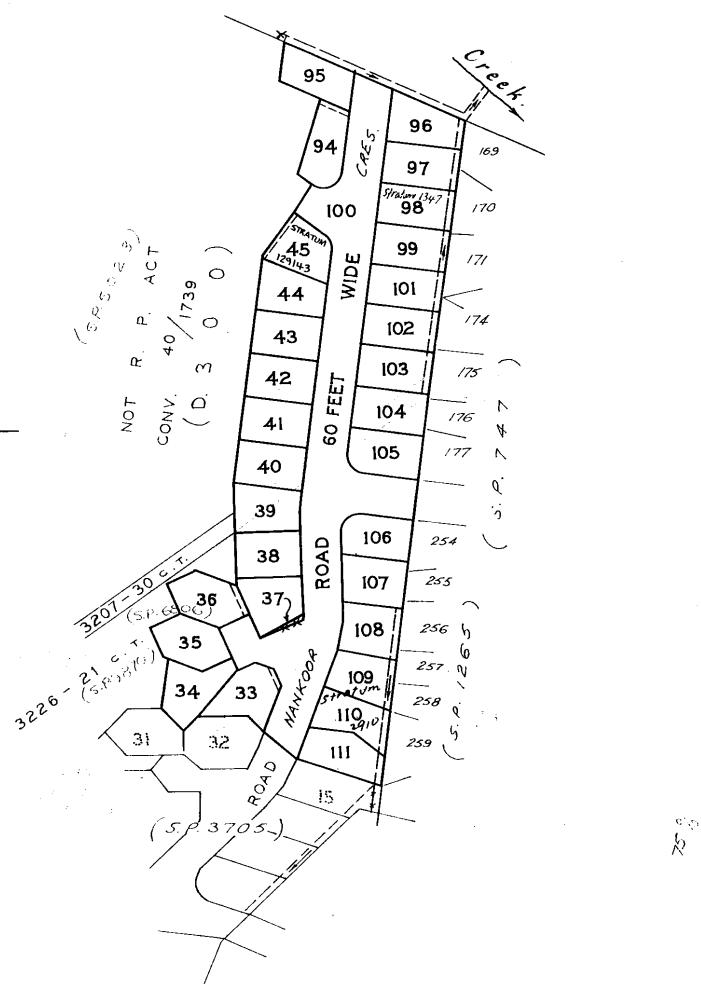
REGISTERED NUMBER

**65294**

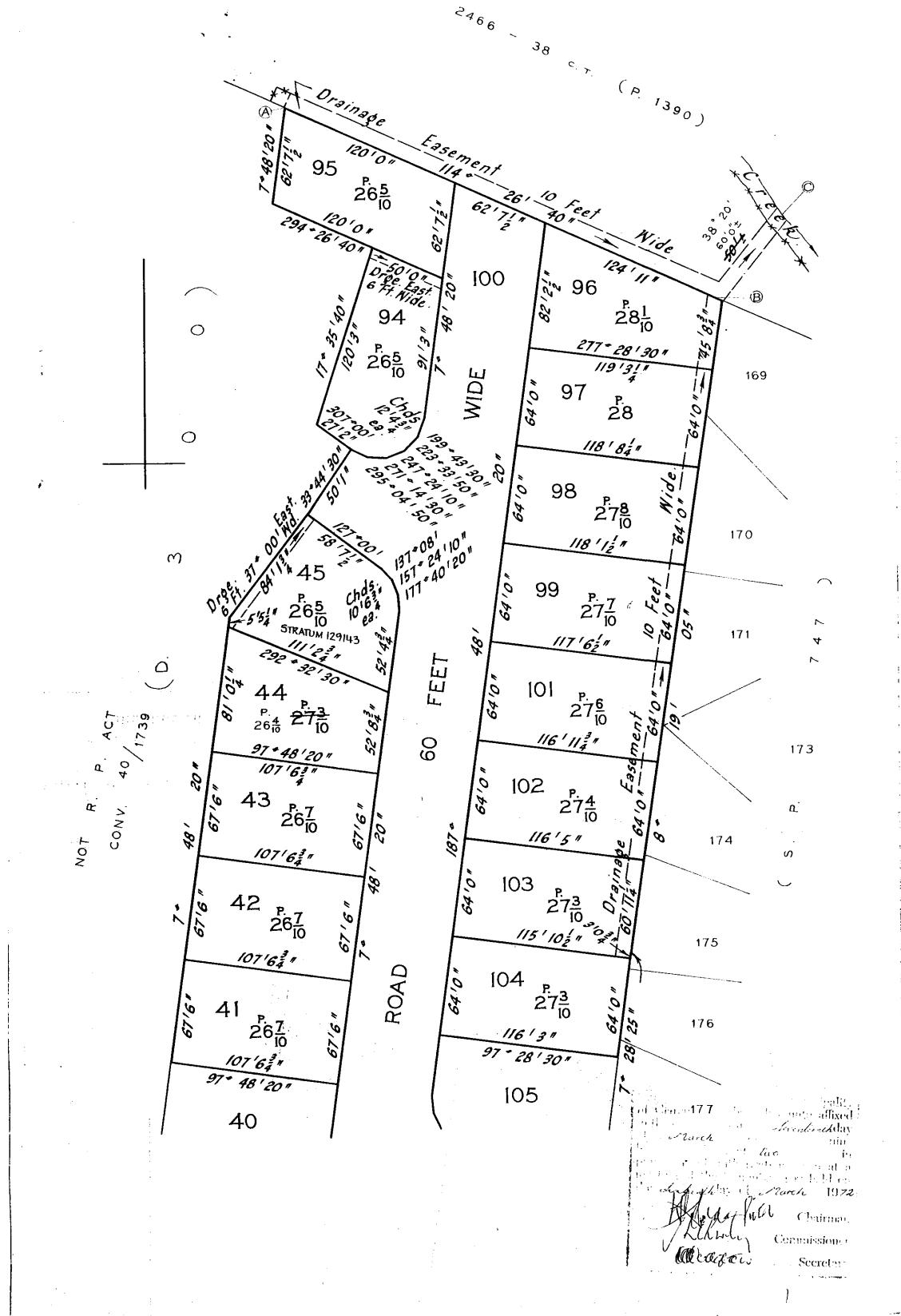
NOTES FOR SURVEY  
OF ACT 45

(P. 1390)

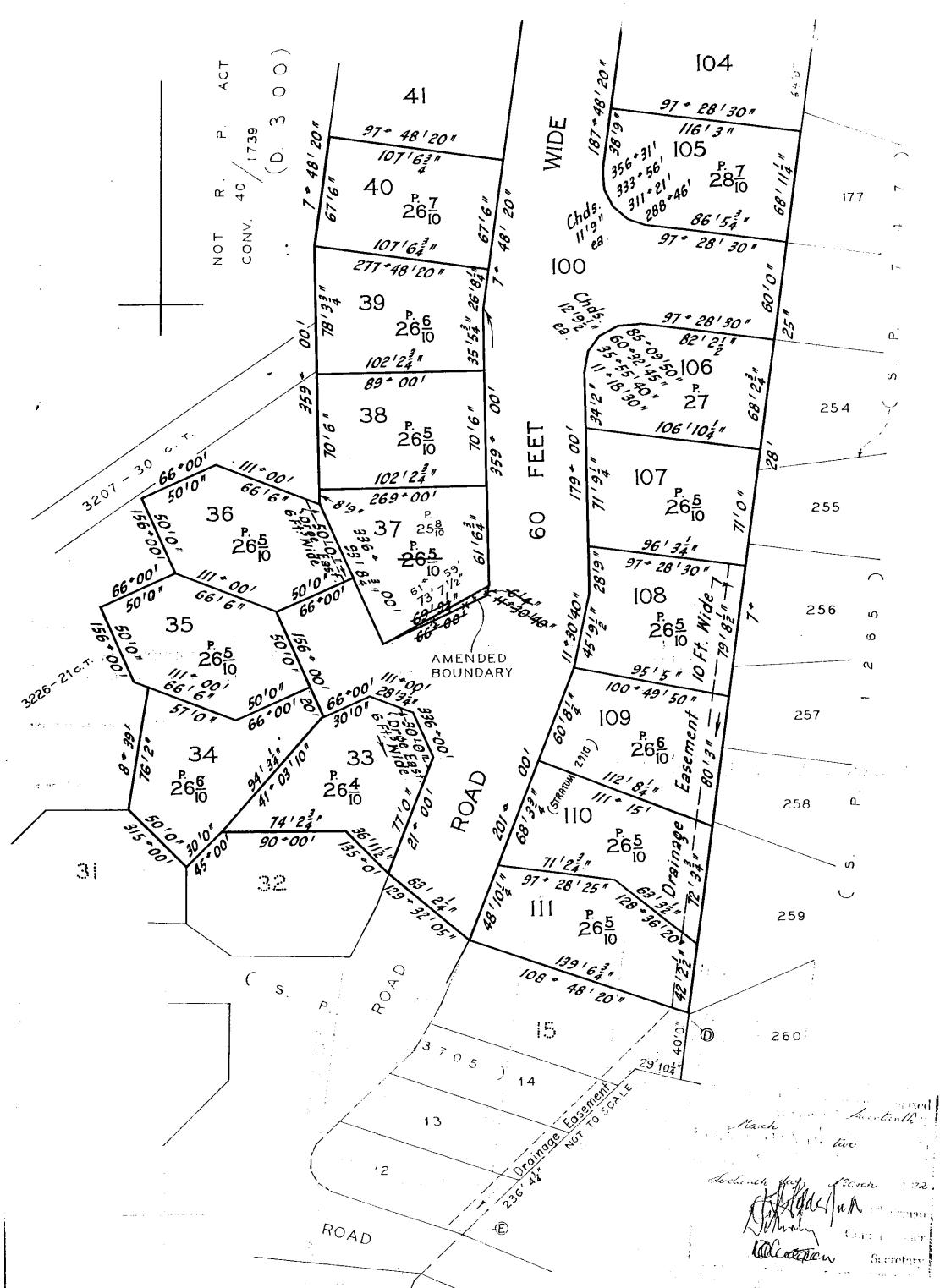
2466 - 38 c. t.



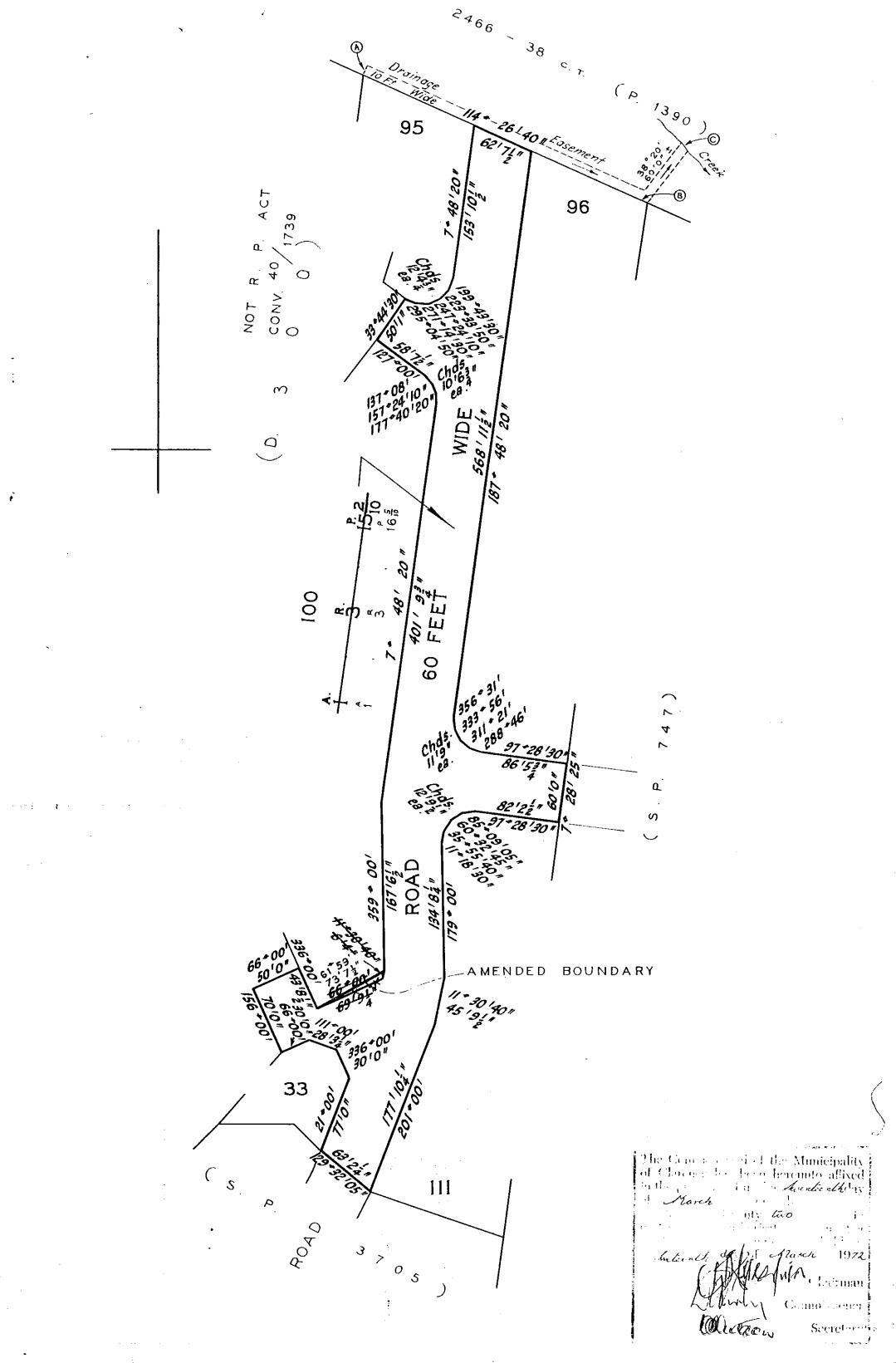
|  |  |   |                          |
|--|--|---|--------------------------|
| ANNEXURE SHEET No. 1<br>(of 3 annexures) to plan by Surveyor |  | This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 28-10-71 and that certificate extends to the detail shown on this sheet. | Registered Number:       |
| Signed for the purposes of identification                    |  | Surveyor: <i>Barrie Valentine</i>   | S.P.4137                 |
| Council Clerk: <i>Barrie</i>                                 |  | Owner: Greater Hobart Development Pty Ltd   | Scale: 50 Ft. to an inch |
|  |  | Title Reference: C.T. 3207 - 30   |                          |



|  |   |   |
|--|---|---|
| <b>ANNEXURE SHEET No. 2</b><br>(of 3 annexures) to plan by Surveyor  | This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 28-10-71 and that certificate extends to the detail shown on this sheet. | Registered Number:<br><b>S.P.4137</b><br>    |
| Signed for the purposes of identification<br> |   | Surveyor: <u>Barrie Valentine</u><br>Owner: <u>Greater Hobart Development Pty Ltd</u><br>Title Reference: <u>C.T. 3207 - 30</u> |
| Council Clerk<br>                             |   | Scale: 50 Ft. to an inch.   |



|   |   |   |
|---|---|---|
| <b>ANNEXURE SHEET No. 3</b><br>(of 3 annexures) to plan by Surveyor | This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 28-10-71 and that certificate extends to the detail shown on this sheet. | Registered Number:<br><b>S.P.4137</b>   |
| Signed for the purposes of identification                           |   | Surveyor: <i>Barrie Valentine</i><br>Owner: <i>Greater Hobart Development Pty. Ltd.</i><br>Title Reference: <i>C.T. 3207 - 30</i> |
| Council Clerk: <i>Barrie Valentine</i><br><i>Barrie Valentine</i>   |   |   |



**SCHEDULE OF EASEMENTS****PLAN NO.**

S.P. 4137

**NOTE:**—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

**EASEMENTS****Rights of Drainage**

Each lot on the plan is together with such rights of drainage over the drainage easements shewn on the plan as may be necessary to drain the stormwater and other surplus water from such lot.

Each lot on the plan is subject to such rights of drainage over the drainage easements (if any) shewn on the plan as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

Lot 95 is TOGETHER WITH a right of drainage over the drainage easement marked ABC hereon

Lots 96 to 99 and Lots 101 to 104 are each TOGETHER WITH a right of drainage over the drainage easement marked BC hereon

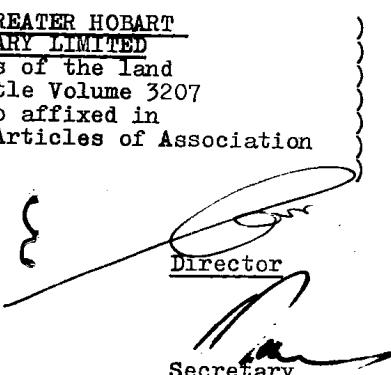
Lots 107 to 111 are each TOGETHER WITH a right of drainage over the drainage easement marked DE hereon

Lot 94 is SUBJECT TO a right of drainage (appurtenant to the balance of the land comprised in Conveyance Registered Number 40/1739 vested in Greater Hobart Development Proprietary Limited at the date of acceptance hereof after excluding the lots on the plan) over the drainage easement shewn passing through that lot

Lot 36 is SUBJECT TO a right of drainage (appurtenant to the balance of the land comprised in Certificates of Title Volume 3226 Folio 21 and Volume 3207 Folio 30 at the date of acceptance hereof excluding the lots on the plan) over the drainage easement shewn passing through that lot

**FENCING PROVISION:** In respect of each lot the vendor Greater Hobart Development Proprietary Limited shall not be required to fence

THE COMMON SEAL of GREATER HOBART  
DEVELOPMENT PROPRIETARY LIMITED  
the Beneficial Owners of the land  
in Certificate of Title Volume 3207  
Folio 30 was hereunto affixed in  
accordance with the Articles of Association  
in the presence of:



Director  
Secretary

2/.....

-2-

EXECUTED on behalf of THE NATIONAL BANK OF AUSTRALASIA LIMITED By its Attorneys under Power of Attorney Nos. 20452 and 2724 (who state that they hold the office in the Bank indicated under their signatures and who also declare that they have not received any information or notice of the revocation of the said Power) as Mortgagee under Memorandum of Mortgage A359541 and Indenture of Mortgage No. 42/7129 in the presence of

AO Adams  
MANAGER  
Johnsen  
BANK ACCOUNTANT  
Johnsen  
ASSISTANT MANAGER

EXECUTED by WILFRED GEORGE DENIS LOVIBOND and ROGER STUART JAMES VALENTINE as Mortgagees under Memorandum of Mortgage No. A384013 in the presence of

Garrett  
Law Clerk.  
Holton

Garrett  
Valentine

THE COMMON SEAL of THE WARDEN, COUNCILLORS & ELECTORS of the MUNICIPALITY OF CLARENCE was hereto affixed in the presence of as this SEVENTH day of SEPTEMBER 1972

Chairman  
Secretary  
W. Kirk

EXECUTED by ALICE ELMER HILL as Mortgagee under Indenture of Mortgage No. 37/4595 in the presence of:

AEH  
A. E. Hill

JP Adelle J.B.

{

CERTIFIED CORRECT for the purposes of "The Real Property Act 1862" as amended

LOVIBOND VALENTINE ROACH & THIESSEN  
per:

Johnsen

This is the schedule of easements attached to the plan of ..... **subdivision** .....

..... comprising part of the land in

**C's. T. 3226/21; 3207/30; 2466/38 and Conveyance 40/1739**  
(Insert Title Reference)

Sealed by ..... **MUNICIPALITY OF CLARENCE** ..... on **SEVENTH OF SEPT. 19 72.**

  
Council Clerk/Town Clerk

56158

**PROPOSED ALTERATIONS & DECK**  
**at 61 NANKOOR CR, HOWRAH, TAS, 7018**  
**for EMMA WILLIAMS AND BRENT WILLIAMS**

**DE JOB #**  
**5738**

**ISSUE: PLANNING SET**

| DWG. No.   | DRAWING                          | ISSUE |
|------------|----------------------------------|-------|
| 5738 - A01 | DRAWING INDEX                    | A     |
| 5738 - A02 | SITE PLAN                        | A     |
| 5738 - A03 | EXISTING & DEMOLITION FLOOR PLAN | A     |
| 5738 - A04 | PROPOSED FLOOR PLAN              | A     |
| 5738 - A05 | ELEVATIONS 01 OF 03              | A     |
| 5738 - A06 | ELEVATIONS 02 OF 03              | A     |
| 5738 - A07 | ELEVATIONS 03 OF 03              | A     |

### GENERAL INFORMATION

|                               |                    |
|-------------------------------|--------------------|
| Accredited Building Designer: | Monty East         |
| Accreditation Number:         | CC 1910            |
| Land title reference number:  | C.T. 65294 / 94    |
| Site area:                    | 671 m <sup>2</sup> |
| Total floor area:             | 115 m <sup>2</sup> |
| Total decked / balcony area:  | 19 m <sup>2</sup>  |
| Building Classification:      | Class 1            |
| Climate zone:                 | 7                  |

### IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY DESIGN EAST, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF THERE ARE ANY QUERIES IN RELATION TO DIMENSIONS, LEVELS OR CONSTRUCTION DETAILS, CONTACT:

design . EAST

phone  
6223 6740

email  
admin@designeast.com.au

153A Davey Street Hobart  
Tasmania 7000  
Phone (03)6223 6740  
Email design@designeast.com.au  
Web www.designeast.com.au  
Accreditation No. CC1910

**EAST**

building design and interior architecture

**design** ●

| ISSUE | DESCRIPTION  | DATE     | DRAWN |
|-------|--------------|----------|-------|
|       |              |          |       |
| A     | PLANNING SET | 05.01.26 | JF    |

|          |  |
|----------|--|
| Project: | PROPOSED INTERNAL ALTERATIONS AND DECK |
| At:      | 61 NANKOOR CRESCENT, HOWRAH            |
| For:     | E. & B. WILLIAMS                       |

Drawing: SITE PLAN

design EAST registered trading name for design EAST Pty. Ltd.

|        |          |
|--------|----------|
| SCALE: | DRG NO:  |
| 1:200  | 5738     |
| @ A3   | A02      |
| DRAWN: | DATE:    |
| JF     | 05.01.26 |

|                                       |
|---------------------------------------|
| 153 Davey Street Hobart Tasmania 7000 |
| Phone: (03) 6223 6740                 |
| Email: design@designeast.com.au       |
| Web: www.designeast.com.au            |
| Accreditation No: CC1910              |



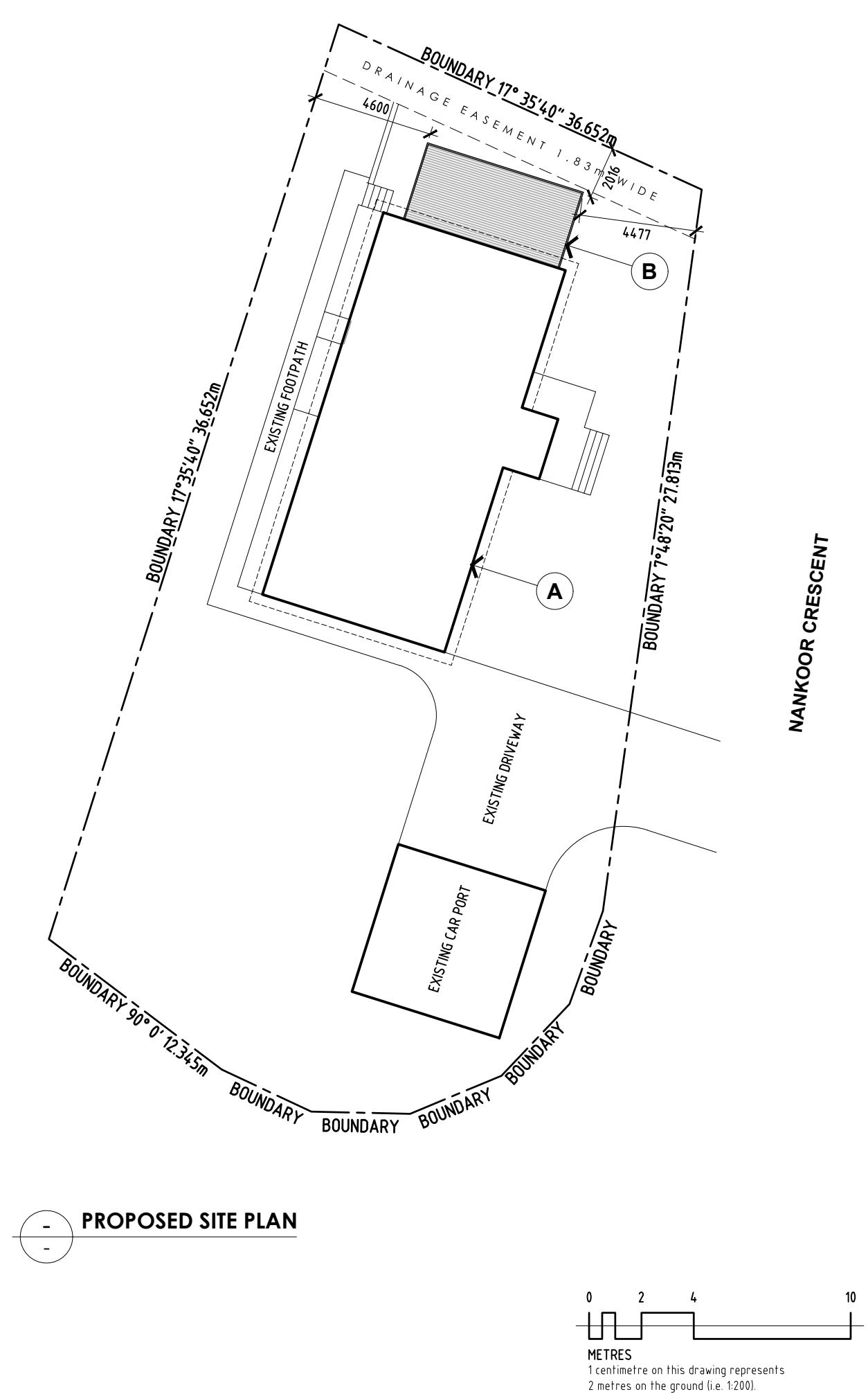
| SITE NOTES        |                                   |
|-------------------|-----------------------------------|
| Property Address: | 61 NANKOOR CRESCENT, HOWRAH, 7018 |
| Property ID:      | 5087918                           |
| Title Reference:  | 65294 / 94                        |
| Site Area:        | 671 ± sqm.                        |
| Municipality:     | CLARENCE                          |
| Owner:            | E. & B. WILLIAMS                  |

| SITE KEY |                                |
|----------|--------------------------------|
| <b>A</b> | OUTLINE OF EXISTING RESIDENCE. |
| <b>B</b> | PROPOSED DECK                  |

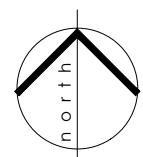
| EXISTING FLOOR AREAS        |              |
|-----------------------------|--------------|
| EX. BUILDING FOOTPRINT AREA | = 115 ± sqm. |
| EX. LOT SIZE                | = 35 ± sqm.  |
| EX. LOT SIZE                | = 671 ± sqm. |

| PROPOSED DECK AREA |            |
|--------------------|------------|
|                    | = 19 sqm ± |

| CAR PARKING            |     |
|------------------------|-----|
| ex. CAR PARKING SPACES | = 2 |



design



| ISSUE | DESCRIPTION  | DATE     | DRAWN |
|-------|--------------|----------|-------|
|       |              |          |       |
| A     | PLANNING SET | 05.01.26 | JF    |

## LEGEND

| MARK | DESCRIPTION                      |
|------|----------------------------------|
|      | EXISTING WALLS TO BE RETAINED.   |
|      | EXISTING WALLS TO BE DEMOLISHED. |

## EXISTING DWELLING AREA

|                                |              |
|--------------------------------|--------------|
| EXISTING DWELLING AREA - LOWER | = ± 75.5 sqm |
| EXISTING DWELLING AREA - UPPER | = ± 103 sqm  |

## DEMOLITION NOTES

GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 29, 30 & 31 OF THE BUILDING REGULATIONS (Tas.) 2016.

BUILDINGS PRIOR TO 1990 MAY CONTAIN ASBESTOS. BUILDINGS PRIOR TO 1986 ARE LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. THE BUILDER SHOULD CHECK &, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.

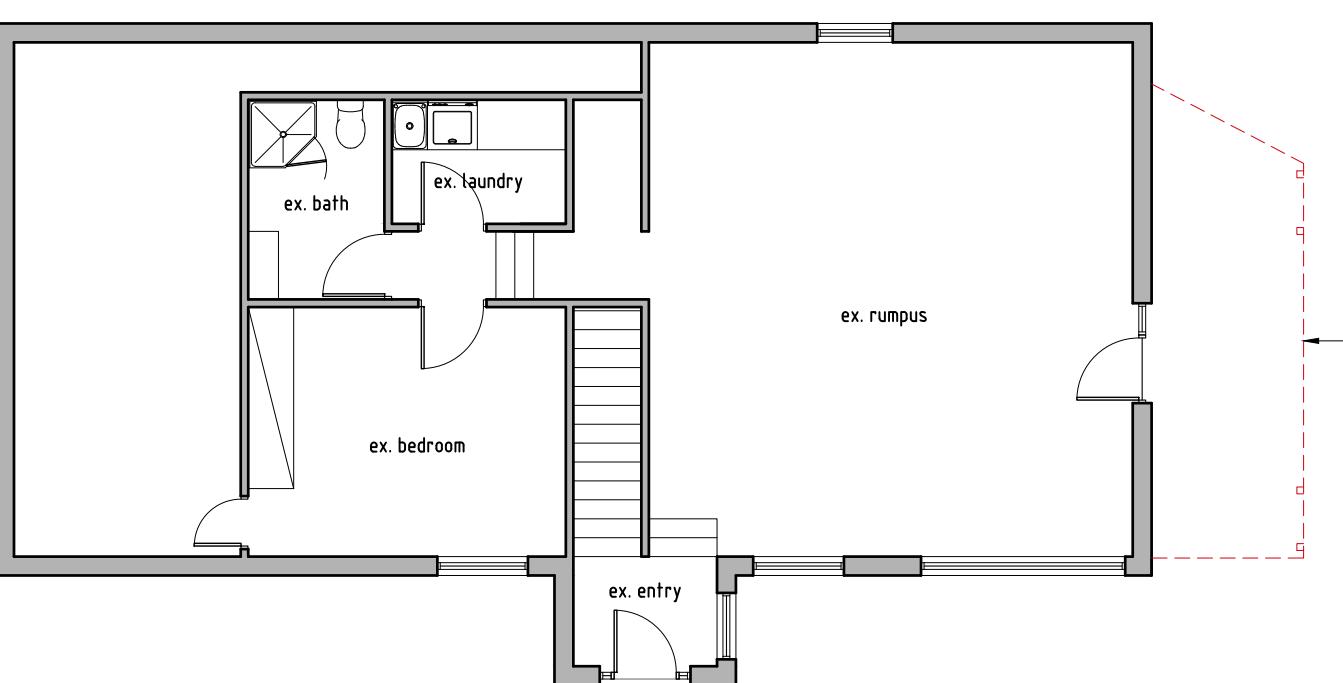
PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTY.

BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOAD-BEARING OR NOT. IF IT IS FOUND THAT THEY ARE LOAD-BEARING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.

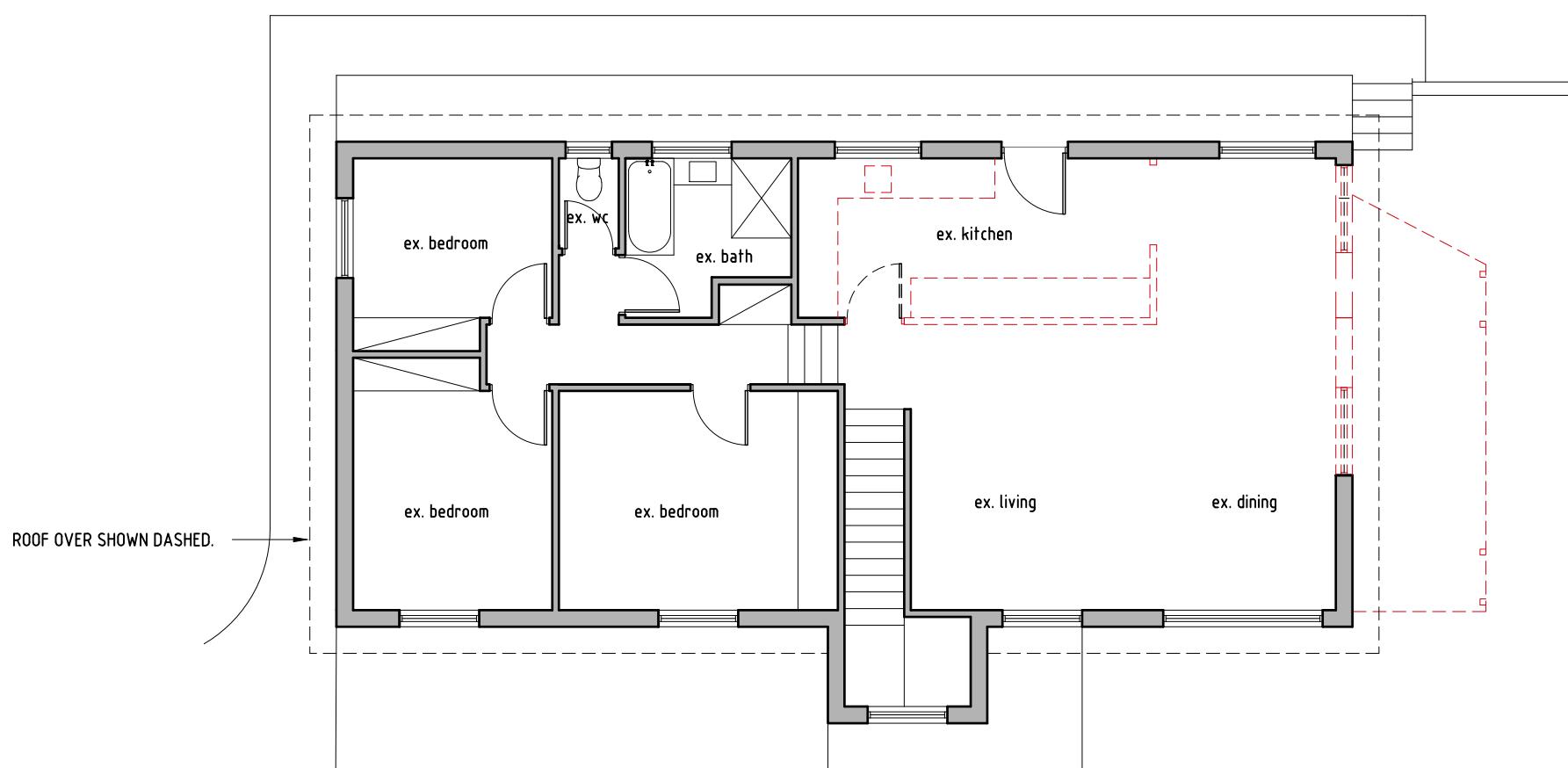
ALL REDUNDANT STORMWATER, SEWER & WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.

THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS.

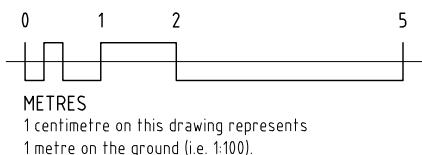
GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.



EXISTING &amp; DEMOLITION LOWER FLOOR PLAN



EXISTING &amp; DEMOLITION UPPER FLOOR PLAN



design

**EAST**

building design and interior architecture

Project: PROPOSED INTERNAL ALTERATIONS AND DECK  
At 61 NANKOOR CRESCENT, HOWRAH  
For E. & B. WILLIAMS  
Drawing: EXISTING & DEMOLITION FLOOR PLAN

design EAST registered trading name for design EAST Pty. Ltd.

SCALE: DRG NO: 5738 A03  
1:100 @ A3  
DRAWN: DATE: 05.01.26  
JF

153 Davey Street Hobart  
Tasmania 7000  
Phone (03)6223 6740  
Email design@designeast.com.au  
Web www.designeast.com.au  
Accreditation No. CC1910

| LEGEND |  |
|--------|--|
| MARK   | DESCRIPTION                                  |
|        | EXISTING WALLS TO BE RETAINED.               |
|        | 190mm BLOCKWORK RETAINING WALL.              |
|        | 90mm STUDWORK WALL (internal wall).          |
|        | BRICK VENEER WALL. 255mm (to match existing) |

## PROPOSED FLOOR AREA

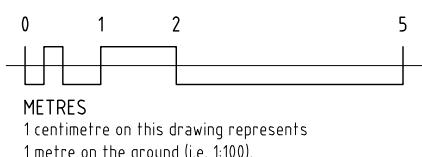
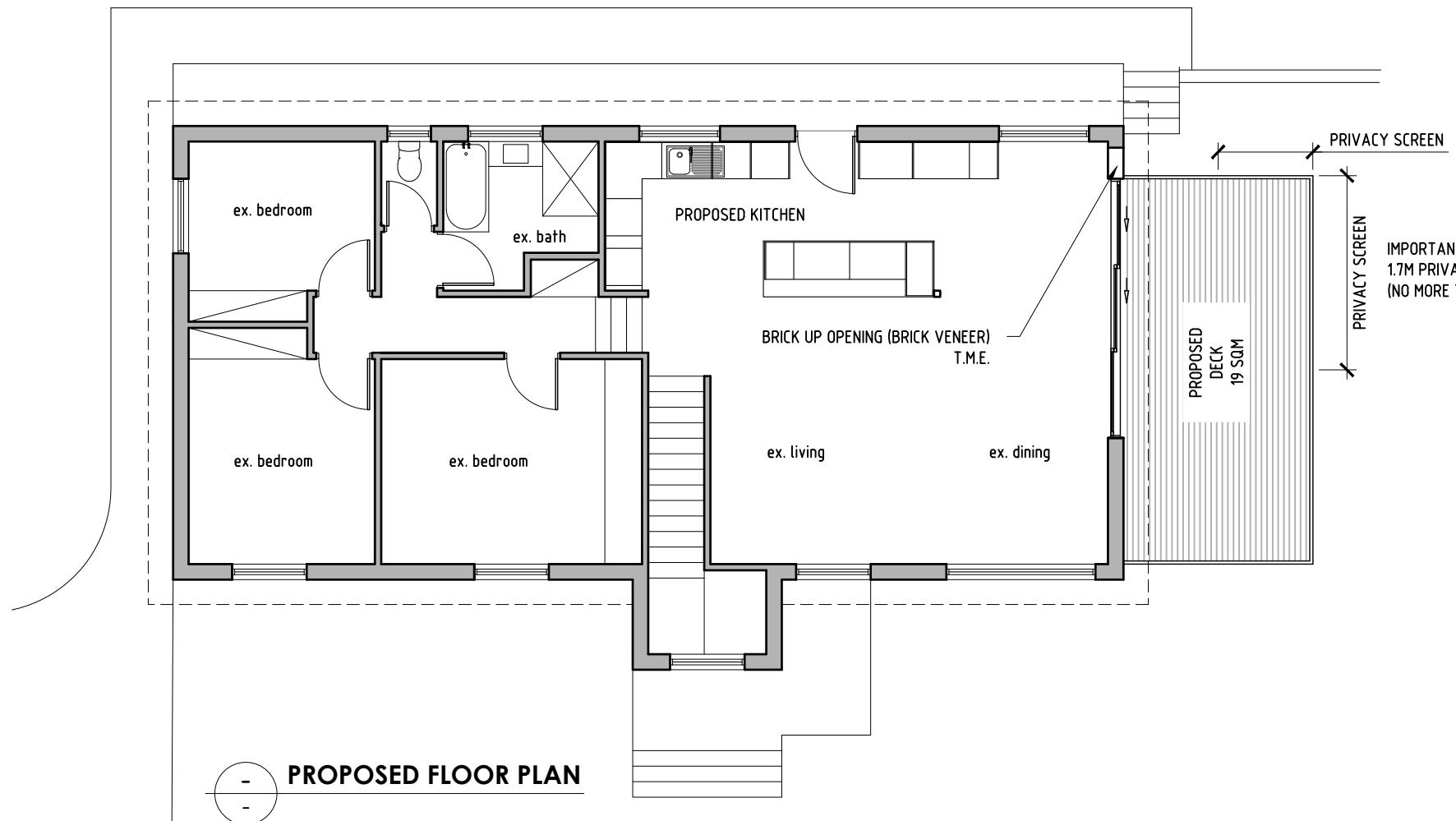
PROPOSED FLOOR (USABLE) AREA = ± NO CHANGE

## KEY

| MARK | DESCRIPTION   |
|------|---|
|      | PHOTOELECTRIC SMOKE ALARM (HARD WIRED)<br>TO COMPLY WITH BCA 3.7.5.2 & AS 3786 (must be interconnected where there is more than one alarm). |

## SETOUT NOTES

1. USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE DRAWINGS.
2. ALL LEVELS, DATUMS & DIMENSIONS SHALL BE VERIFIED ON-SITE BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS. ANY ANOMALIES ARE TO BE DIRECTED TO THE DESIGNER.



| ISSUE | DESCRIPTION  | DATE     | DRAWN |
|-------|--------------|----------|-------|
|       |              |          |       |
|       |              |          |       |
| A     | PLANNING SET | 05.01.26 | JF    |

|   |
|---|
| Project: PROPOSED INTERNAL ALTERATIONS AND DECK<br>At 61 NANKOOR CRESCENT, HOWRAH<br>FOR E. & B. WILLIAMS |
| Drawing: PROPOSED FLOOR PLAN  |

design EAST registered trading name for design EAST Pty. Ltd.

|                      |                     |
|----------------------|---------------------|
| SCALE: 1:100<br>@ A3 | DRG NO: 5738<br>A04 |
| DRAWN: JF            | DATE: 05.01.26      |

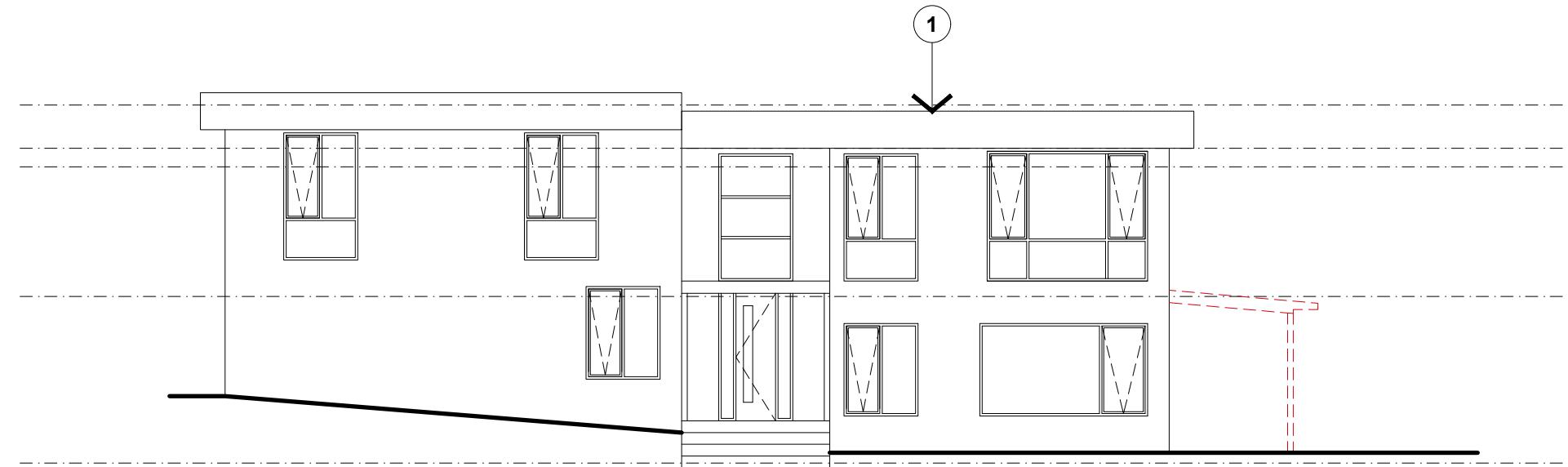
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| 153 Davey Street Hobart<br>Tasmania 7000<br>Phone: (03) 6223 6740<br>Email: design@designeast.com.au<br>Web: www.designeast.com.au<br>Accreditation No. CC1910 |
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**EAST**  
building design and interior architecture

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| EXTERNAL FINISHES |   |  |
|-------------------|---|--|
| 1                 | OUTLINE OF EXISTING BRICK VENEER DWELLING       |  |
| 2                 | PROPOSED DECK                                   |  |
| 3                 | ALUMINUM DOOR, DOUBLE GLAZED TO MATCH EXISTING. |  |



EXISTING SOUTH EAST ELEVATION



EXISTING SOUTH EAST ELEVATION

| ISSUE | DESCRIPTION  | DATE     | DRAWN |
|-------|--------------|----------|-------|
|       |              |          |       |
| A     | PLANNING SET | 05.01.26 | JF    |

|          |  |
|----------|--|
| Project: | PROPOSED INTERNAL ALTERATIONS AND DECK |
| At:      | 61 NANKOOR CRESCENT, HOWRAH            |
| For:     | E. & B. WILLIAMS                       |
| Drawing: | ELEVATIONS 01 OF 04                    |

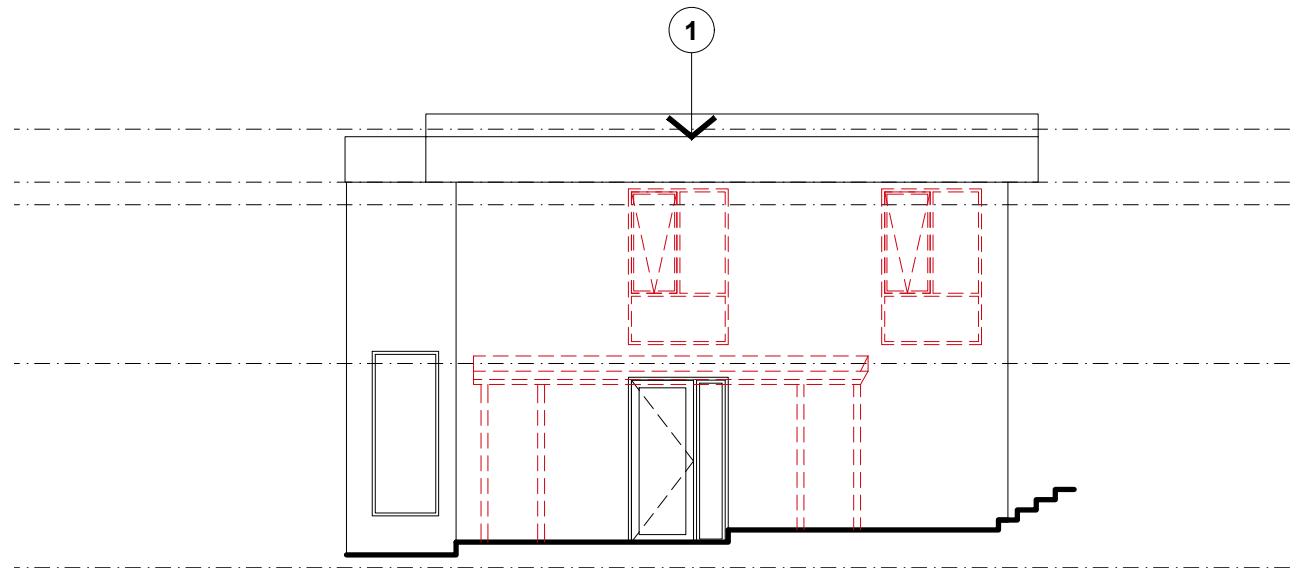
design EAST registered trading name for design EAST Pty. Ltd.

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| SCALE: | DRG NO:  |
|        | 5738     |
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| DRAWN: | DATE:    |
| JF     | 05.01.26 |

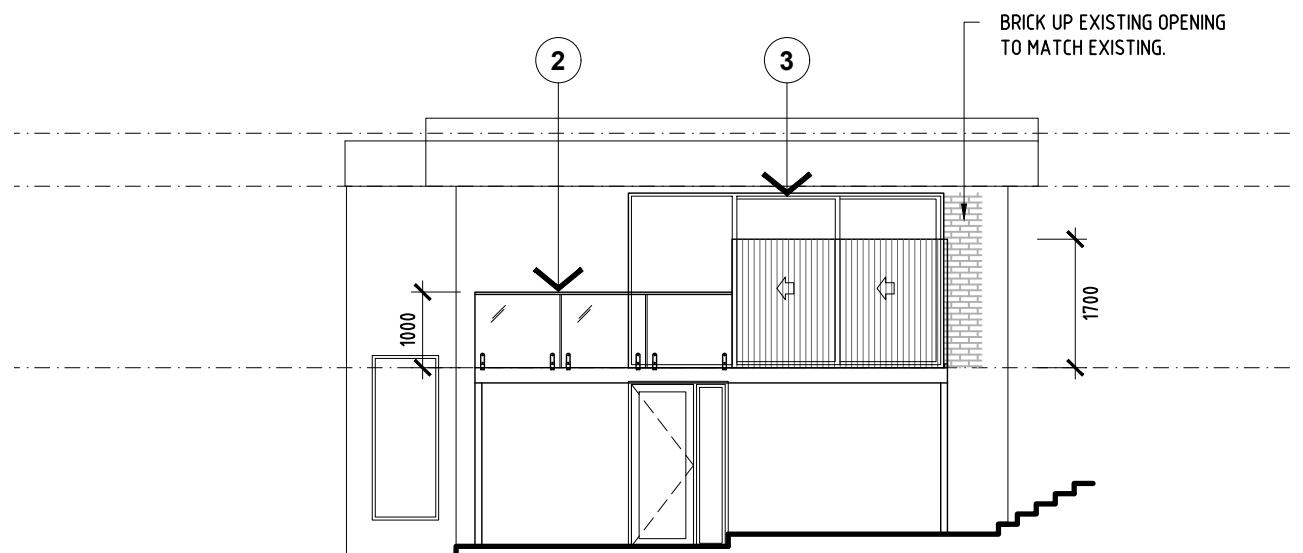
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| EXTERNAL FINISHES |   |  |
|-------------------|---|--|
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EXISTING NORTH EAST ELEVATION



EXISTING NORTH EAST ELEVATION

| ISSUE | DESCRIPTION  | DATE     | DRAWN |
|-------|--------------|----------|-------|
|       |              |          |       |
| A     | PLANNING SET | 05.01.26 | JF    |

|          |  |
|----------|--|
| Project: | PROPOSED INTERNAL ALTERATIONS AND DECK |
| At:      | 61 NANKOOR CRESCENT, HOWRAH            |
| For:     | E. & B. WILLIAMS                       |
| Drawing: | ELEVATIONS 01 OF 04                    |

design EAST registered trading name for design EAST Pty. Ltd.

|        |          |
|--------|----------|
| SCALE: | DRG NO:  |
| 1:100  | 5738     |
| @ A3   | A06      |
| DRAWN: | DATE:    |
| JF     | 05.01.26 |

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| ISSUE | DESCRIPTION  | DATE     | DRAWN |
|-------|--------------|----------|-------|
|       |              |          |       |
| A     | PLANNING SET | 05.01.26 | JF    |

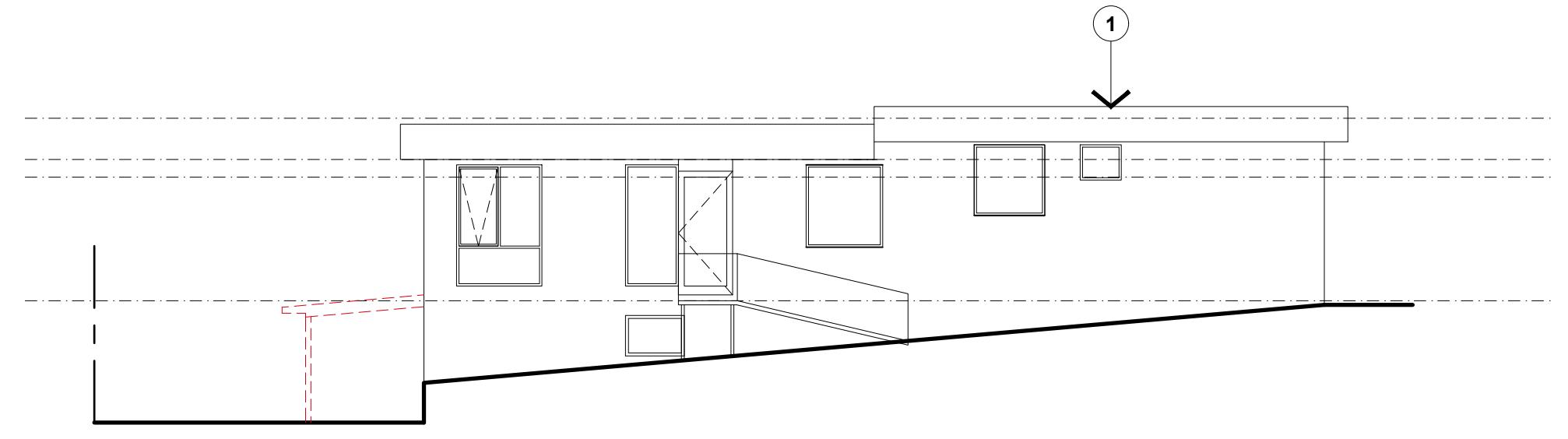
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| Project: | PROPOSED INTERNAL ALTERATIONS AND DECK |
| At:      | 61 NANKOOR CRESCENT, HOWRAH            |
| For:     | E. & B. WILLIAMS                       |
| Drawing: | ELEVATIONS 01 OF 04                    |

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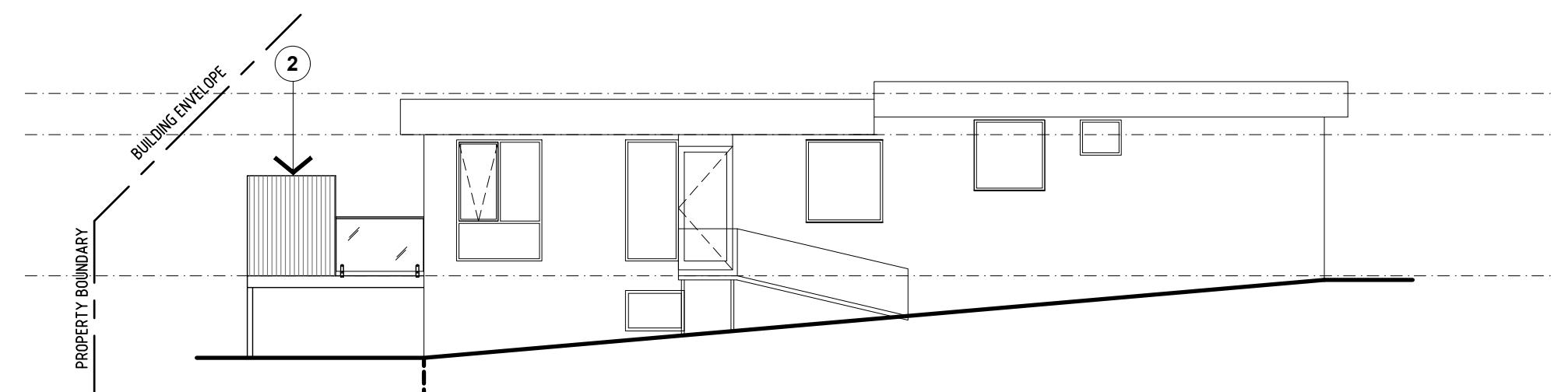
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| DRAWN:        | DATE:    |
| JF            | 05.01.26 |

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**EXISTING NORTH WEST ELEVATION**



**EXISTING NORTH WEST ELEVATION**