



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/058280

PROPOSAL: Change of Use to Visitor Accommodation

LOCATION: 10 Blake Street, Opossum Bay

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 11 February 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 11 February 2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 11 February 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

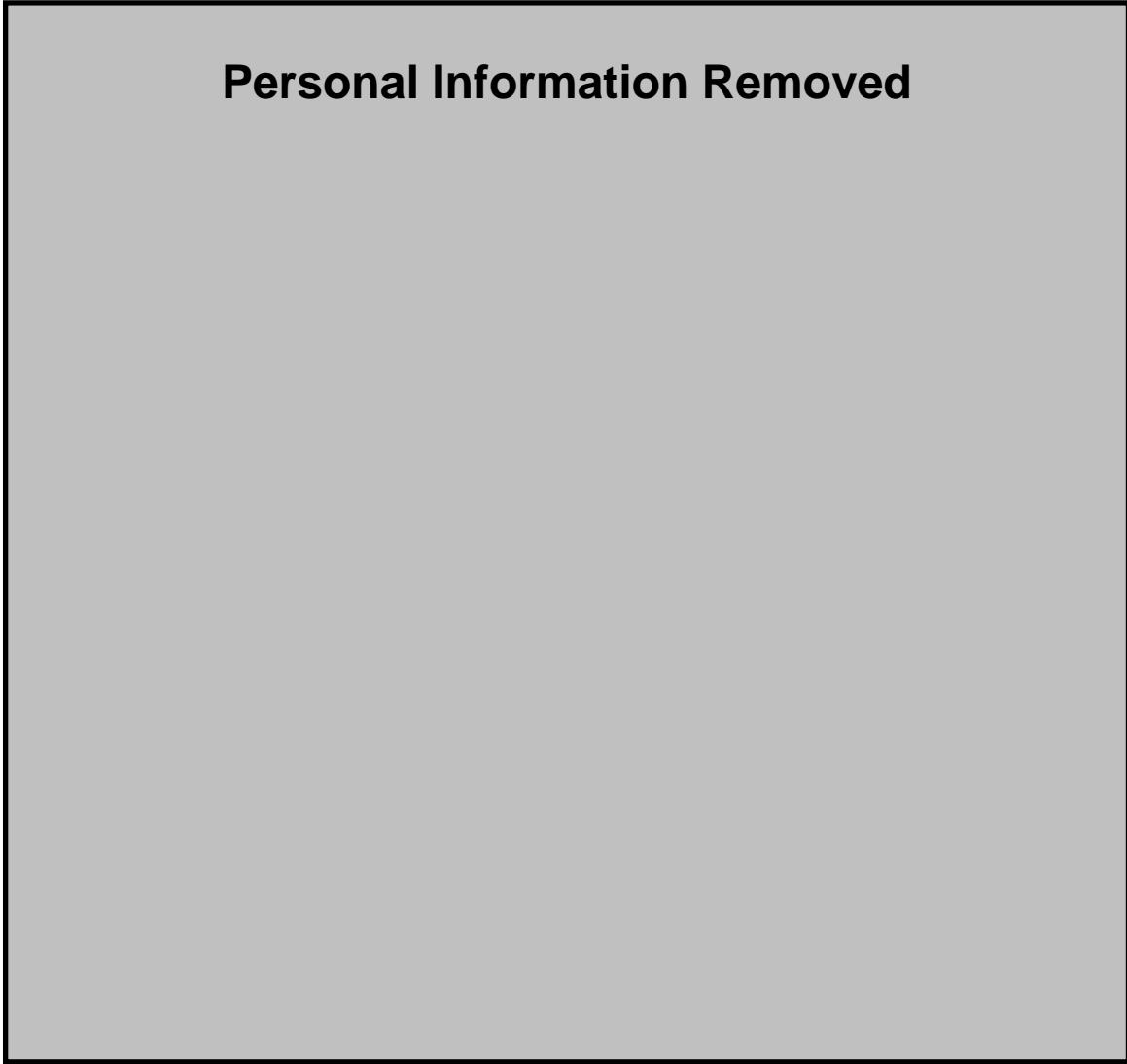
Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Change of Use to Visitor Accommodation

Location:

10 Blake Street, Opossum Bay

Personal Information Removed



Is the property on the Tasmanian Heritage Register?

Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

NA

Current use of site: **Residential**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.



- Location and capacity of any existing services or easements on/to the site.
- Existing pedestrian and vehicle access to the site.
- Location of existing and proposed buildings on the site.
- Location of existing adjoining properties, adjacent buildings and their uses.
- Any natural hazards that may affect use or development on the site.
- Proposed roads, driveways, car parking areas and footpaths within the site.
- Any proposed open space, communal space, or facilities on the site.
- Main utility service connection points and easements.
- Proposed subdivision lot boundaries.

Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:

- Internal layout of each building on the site.
- Private open space for each dwelling.
- External storage spaces.
- Car parking space location and layout.
- Major elevations of every building to be erected.
- Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
- Relationship of the elevations to natural ground level, showing any proposed cut or fill.
- Materials and colours to be used on rooves and external walls.

Where it is proposed to erect buildings, a plan of the proposed landscaping showing:

- Planting concepts.
- Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
- Plantings proposed for screening from adjacent sites or public places.

Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



Development Application for 10 Blake Street, Opossum Bay

Applicant: Andrew McMaster

1. Details of the location of the proposed use or development.

This application is for the change of use to visitor accommodation

2. A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.

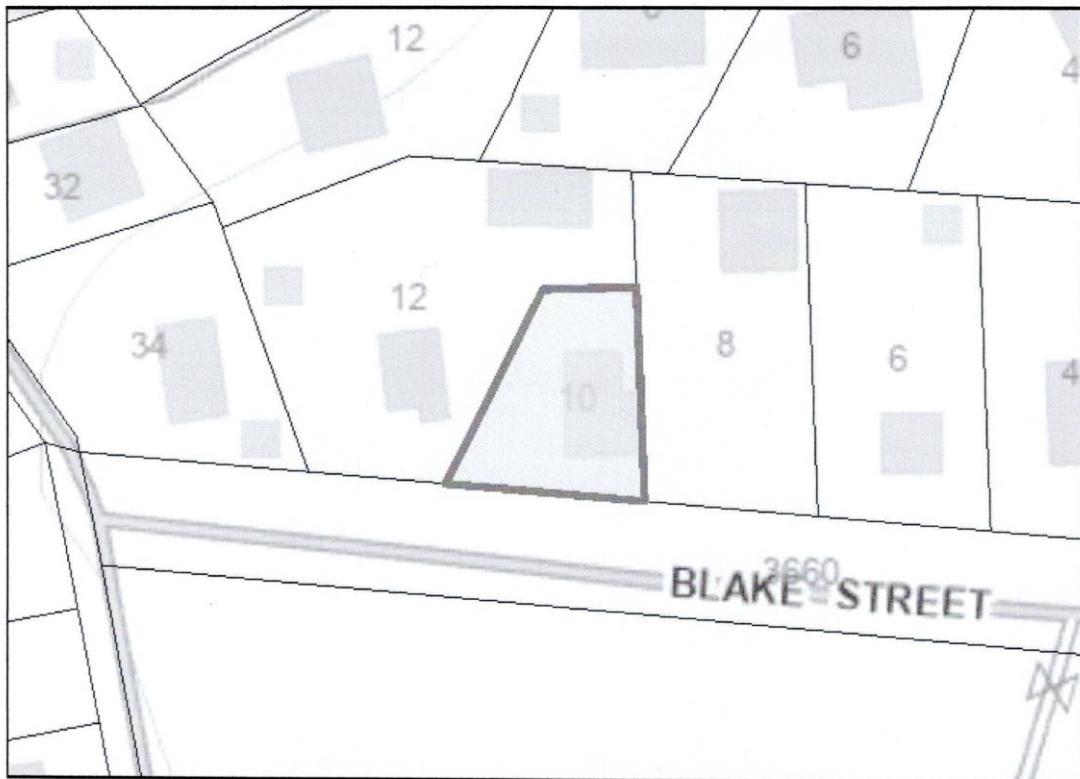
the List		PROPERTY INFORMATION REPORT		
		VALUER-GENERAL, TASMANIA <i>Issued pursuant to the Valuation of Land Act 2001</i>		
PROPERTY ID: 9954679				
MUNICIPALITY: CLARENCE				
PROPERTY ADDRESS: 10 BLAKE STREET OPOSSUM BAY TAS 7023				
PROPERTY NAME:				
TITLE OWNER: 184740/2 : MURRAY & SHARON PTY LTD				
INTERESTED PARTIES: MURRAY & SHARON PTY LTD				
POSTAL ADDRESS: LEVEL 3 SUITE 9 146 BUNDALL RD (Interested Parties) BUNDALL QLD 4217				
MAIN IMPROVEMENTS SUMMARY				
Improvements:	UNIT			
Improvement Sizes (Top 3 by Size):	Improvement:	Area:		
	UNIT	133.0 square metres		
	DECK	30.0 square metres		
OTHER IMPROVEMENTS				
Number of Bedrooms:	3			
Construction Year of Main Building:	2022			
Roof Material:	Colorbond			
Wall Material:	Contemporary Cladding - Cement			
Land Area:	0.0636 hectares			
LAST SALES				
Contract Date	Settlement Date	Sale Price		
05/06/2025	24/07/2025	\$800,000		
LAST VALUATIONS				
Date Inspected	Levels At	Land	Capital	A.A.V.
08/06/2023	01/07/2018	\$150,000	\$365,000	\$15,080
Reason				
SPLIT FROM CANCELLED PID 3508272				

No information obtained from the LIST may be used for direct marketing purposes.

Much of this data is derived from the Valuation Rolls maintained by the Valuer-General under the provisions of the Valuation of Land Act 2001. The values shown on this report are as at the Levels At date.

While all reasonable care has been taken in collecting and recording the information shown above, this Department assumes no liability resulting from any errors or omissions in this information or from its use in any way.

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**Explanation of Terms****Property ID** - A unique number used for Valuation purposes.**Date Inspected** - The date the property was inspected for the valuation.**Levels At** - Levels At - or Levels of Valuation Date means the date at which values of properties are determined for all valuations in a Municipal Area.**Land Value** - Land Value is the value of the property including drainage, excavation, filling, reclamation, clearing and any other invisible improvements made to the land. It excludes all visible improvements such as buildings, structures, fixtures, roads, standings, dams, channels, artificially established trees and pastures and other like improvements.**Capital Value** - Capital Value is the total value of the property (including the land value), excluding plant and machinery.**AAV** - Assessed Annual Value. AAV is the gross annual rental value of the property excluding GST, municipal rates, land tax and fixed water and sewerage, but cannot be less than 4% of the capital value.**Interested Parties** - This is a list of persons who have been recorded by the Valuer-General as having interest in the property (ie owner or Government agency).**Postal Address** - This is the last advised postal address for the interested parties.**Multiple Tenancies** - Properties that have multiple tenants are assessed for separate AAV's. e.g. a house and flat.

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
184740	2
EDITION	DATE OF ISSUE
4	20-Sept-2025

SEARCH DATE : 06-Jan-2026

SEARCH TIME : 10.56 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 2 on Strata Plan [184740](#) and a general unit entitlement operating for all purposes of the Strata Scheme being a 10 undivided 1/20 interest

Derived from Strata Plan [184740](#)

Derivation : Part of 3,900 Acres Gtd. to George Henry Blake Gellibrand

SCHEDULE 1

[N272821](#) TRANSFER to MURRAY & SHARON PTY LTD Registered
20-Sept-2025 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume [184740](#) folio 0

[SP157126](#) COVENANTS in Schedule of Easements

[SP140262](#) & [SP157126](#) FENCING COVENANT in Schedule of Easements

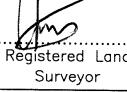
[SP157126](#) WATER SUPPLY RESTRICTION

[SP157126](#) SEWERAGE AND/OR DRAINAGE RESTRICTION

[E423555](#) MORTGAGE to Secure Funding Pty Ltd Registered
20-Sept-2025 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CITY/TOWN CLARENCE SUBURB/LOCALITY OPOSSUM BAY FOLIO REFERENCE C.T.173106/1 SITE COMPRISSES THE WHOLE OF LOT 1 ON PLAN No. P173106	STRATA PLAN SHEET 1 OF 3 SHEETS		Registered Number 184740 STRATA TITLES ACT 1998 REGISTERED 13 APR 2023 <i>Revere</i> Recorder of Titles
	NAME OF STRATA SCHEME 12 BLAKE STREET, OPOSSUM BAY		
	SCALE 1:400	LENGTHS IN METRES	
	SITE PLAN		
SITE PLAN 			
NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1. (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.			
STAGED/COMMUNITY DEVELOPMENT. SCHEME No. (IF APPLICABLE)		<i>John C. Shee</i> Council Delegate Date 27/01/2023	 Registered Land Surveyor Date 31/01/2023
LODGED BY ROGERSON & BIRCH SURVEYORS			

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
184740	0
EDITION	DATE OF ISSUE
1	13-Apr-2023

SEARCH DATE : 06-Jan-2026

SEARCH TIME : 10.56 am

DESCRIPTION OF LAND

City of CLARENCE

The Common Property for Strata Scheme 184740

Derivation : Part of 3,900 Acres Gtd. to George Henry Blake

Gellibrand

Prior CT 173106/1

SCHEDULE 1

STRATA CORPORATION NUMBER 184740, 12 BLAKE STREET, OPOSSUM BAY

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP157126 COVENANTS in Schedule of Easements

SP140262 & SP157126 FENCING COVENANT in Schedule of Easements

SP157126 WATER SUPPLY RESTRICTION

SP157126 SEWERAGE AND/OR DRAINAGE RESTRICTION

E80816 ADHESION ORDER under Section 110 of the Local
Government (Building and Miscellaneous Provisions)
Act 1993 Registered 05-Apr-2017 at noonUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Page 1 of 1

3. Full description of the proposed use or development.

The owners propose to use the property for short term accommodation.

STRATA PLAN

SHEET 2 OF 3 SHEETS

STRATA TITLES ACT 1998

Registered Number

O'Hea
Council Delegate27/01/2023
Date

184740

LOT No	OPEN SPACE AREA	TOTAL FLOOR AREA	DECK AREA	TOTAL AREA
1	1460m ²	128m ²	43m ²	1631m ²
2	468m ²	138m ²	30m ²	636m ²

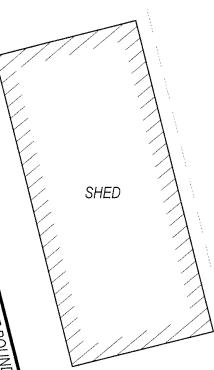
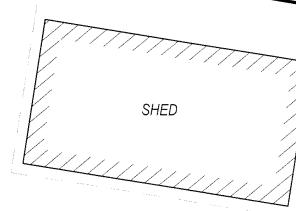
SCALE 1: 200

SITE BOUNDARY

SITE BOUNDARY

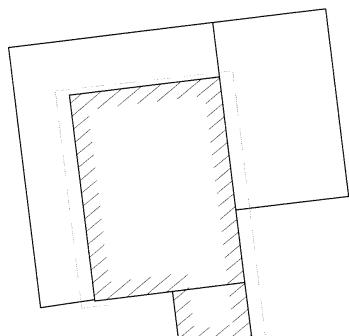
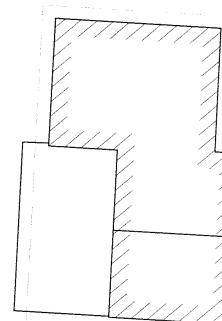
SITE BOUNDARY

SITE BOUNDARY

1
1,631m²
(over 2 levels)

SHED

(15.25)

2
636m²
(over 2 levels)

(28.24)

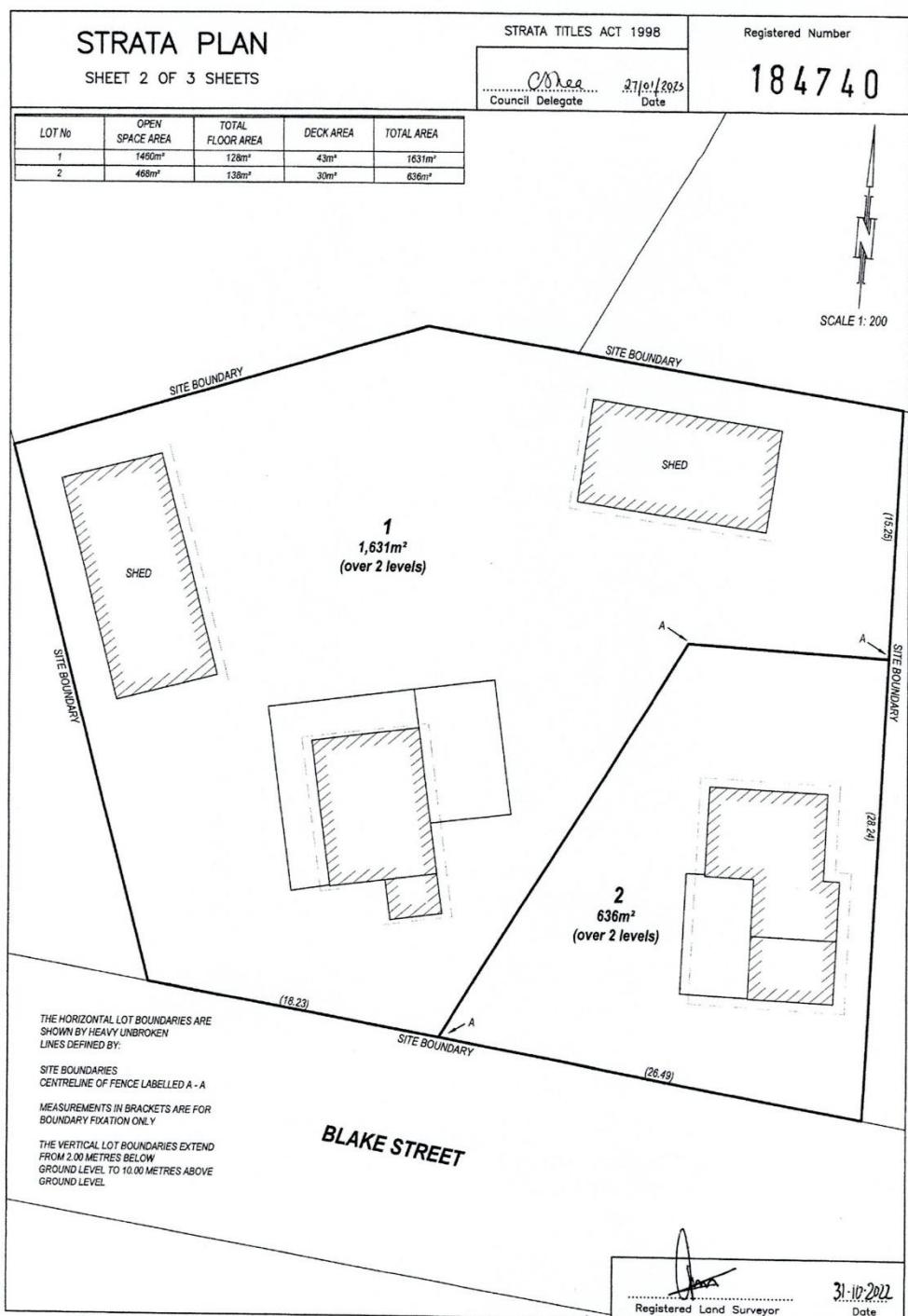
(18.23)

SITE BOUNDARY

(26.49)

THE HORIZONTAL LOT BOUNDARIES ARE
SHOWN BY HEAVY UNBROKEN
LINES DEFINED BY:SITE BOUNDARIES
CENTRELINE OF FENCE LABELLED A - AMEASUREMENTS IN BRACKETS ARE FOR
BOUNDARY FIXATION ONLYTHE VERTICAL LOT BOUNDARIES EXTEND
FROM 2.00 METRES BELOW
GROUND LEVEL TO 10.00 METRES ABOVE
GROUND LEVEL**BLAKE STREET**31.10.2022
Date
Registered Land Surveyor

CITY/TOWN CLARENCE SUBURB/LOCALITY OPOSSUM BAY FOLIO REFERENCE C.T.173106/1 SITE COMPRISSES THE WHOLE OF LOT 1 ON PLAN No. P173106	STRATA PLAN SHEET 1 OF 3 SHEETS		Registered Number 184740 STRATA TITLES ACT 1998 REGISTERED <u>13 APR 2023</u> <u>Renee</u> Recorder of Titles
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NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1. (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.			
STAGED/COMMUNITY DEVELOPMENT. SCHEME No. (IF APPLICABLE)		<u>Clare Shee</u> Council Delegate Date <u>27/09/2023</u>	<u>J. M. S.</u> Registered Land Surveyor Date <u>3/10/2022</u>
LODGED BY ROGERSON & BIRCH SURVEYORS			



4. Description of the proposed operation.
 - a. Owners of the property live in Queensland and intend to operate the property as short term accommodation. Owners have engaged Andrew McMaster (operator of Bridgecroft Accommodation with 4 properties all located in Richmond) to assist with the operation of this property.
 - b. Drawing on market data (available upon request if needed) in the Opossum Bay area, an occupancy rate of 75-80% is expected over a calendar year with an average length of stay of 2 nights. Thus we expect the property to be occupied between 274-292 nights per year (allowing for seasonality)
 - c. Standard check-in time of 2pm and check-out time on 10am will apply.
 - d. There are no heavy vehicle movements associated with this short term rental property.
 - e. All waste is managed through existing Council services and collections. A compliant enviro-cycle system designed for a 3 bedroom property is currently in use.
 - f. Standard household equipment is used in this property; pollution is not generated; noise is managed via several means: -
 - i. Where installed, via noise monitoring equipment,
 - ii. Guests are made aware via a printed House Guide of the setting of the property being residential in nature. As such, we are able to evict noisy guests or bookings that transgress into parties.
 - iii. The owners maintain close relationships with neighbours and they are given their personal mobile number should they be unhappy with anything related to guests or the properties.
 - g. Signage – Property has road numbering currently. Once approved, a small 600mm x 400mm sign will be attached to the building itself stating it's a short term accommodation operation. An example is shown below: -



- h. Bookings are all placed online via existing platforms (AirBnB, Booking.com, VRBO, etc). There is no reception associated with the property. Automated messages to guests convey check-in information and secure lock-boxes are used on the property for key access.
- i. Property layout: -



10 Blake Street, Opossum Bay

Total approx. floor area: 144m²

Areas and dimensions are approximate and therefore this floor plan should only be used for illustrative purposes.

Real Estate Marketing by nextcreative.com.au

The entire property will be used for guest accommodation.

j. Parking

Parking for guests will all be onsite. With only 3 bedrooms available, we expect most bookings to be a larger single family unit, extended family or couples. The property has ample parking for 3 cars and all can exit the property in a forward direction.

The picture below shows two area allocated for parking up to 3 cars as indicated by the blue "X". Note tandem parking is available on the right hand side.

While the property is part of a strat complex, it has no shared visitor parking and both property are separately fenced from each other – thereby eliminating the need to share any visitor parking and potential conflict.

A sealed driveway allows for cars to turn around and exit in a forward direction.

Visitor parking for 10 Blake Street, Opossum Bay



Above image shows parking locations for 2 cars. The possibility exists for tandem parking on the right hand side (length is 12m), increasing the parking spaces to 3.

5. Declaration the owner has been notified if the applicant is not the owner.

Not applicable

6. Crown or Council consent (if publically-owned land).

Not applicable

7. Any reports, plans or other information required by the relevant zone or code.

None relevant to this application.

8. Fees prescribed by the City of Clarence.

Awaiting invoice from CCC.

9. Site analysis and site plan, including where relevant:

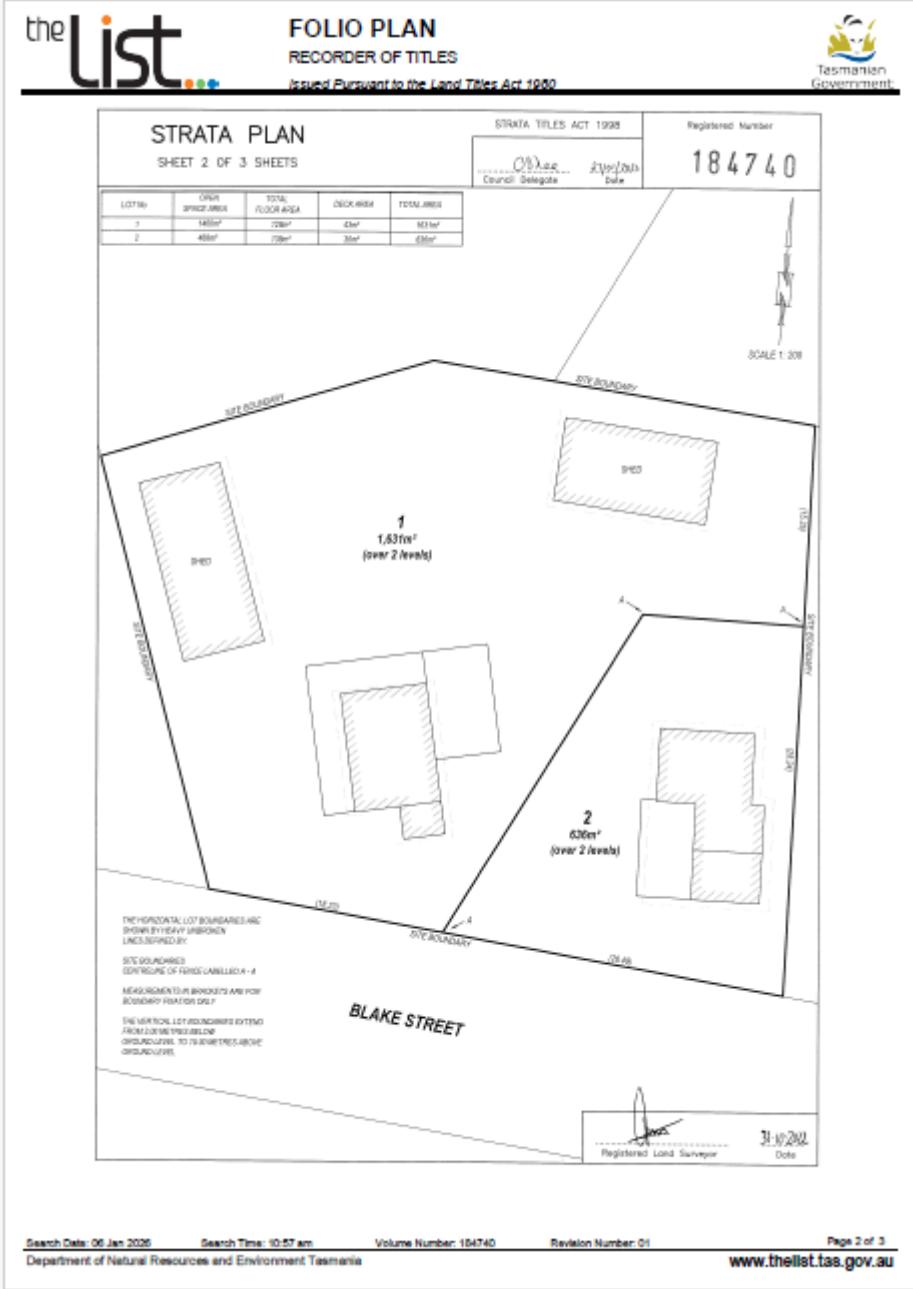
a. Existing and proposed use(s) on site. •

Change to visitor accommodation from residential

b. Boundaries and dimensions of the site. •



Boundaries as per The List



Dimensions as per the strata plan.

- c. Topography, including contours showing AHD levels and major site features. •
 - No change to topography
- d. Natural drainage lines, watercourses and wetlands on or adjacent to the site. •
 - No changes
- e. Soil type.
 - Not required
- f. Vegetation types and distribution, and trees and vegetation to be removed
 - No disturbances
- g. Location and capacity of any existing services or easements on/to the site. •
 - No changes

- h. Existing pedestrian and vehicle access to the site. •
 - No changes from previous use
- i. Location of existing and proposed buildings on the site. •
 - As shown on strata plan above with no changes
- j. Location of existing adjoining properties, adjacent buildings and their uses. •
 - As shown on strata plan above.
- k. Any natural hazards that may affect use or development on the site. •
 - No natural hazards created or impacted
- l. Proposed roads, driveways, car parking areas and footpaths within the site. •
 - No changes being made to these areas
- m. Any proposed open space, communal space, or facilities on the site. •
 - No changes being made on-site
- n. Main utility service connection points and easements. •
 - No changes to utility services or connections