



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/058280

PROPOSAL: Change of Use to Visitor Accommodation

LOCATION: 10 Blake Street, Opossum Bay

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 11 February 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 11 February 2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 11 February 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **Change of Use to Visitor Accommodation**

Location: **10 Blake Street, Opossum Bay**

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

NA

Current use of site:

Residential

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



Development Application for 10 Blake Street, Opossum Bay

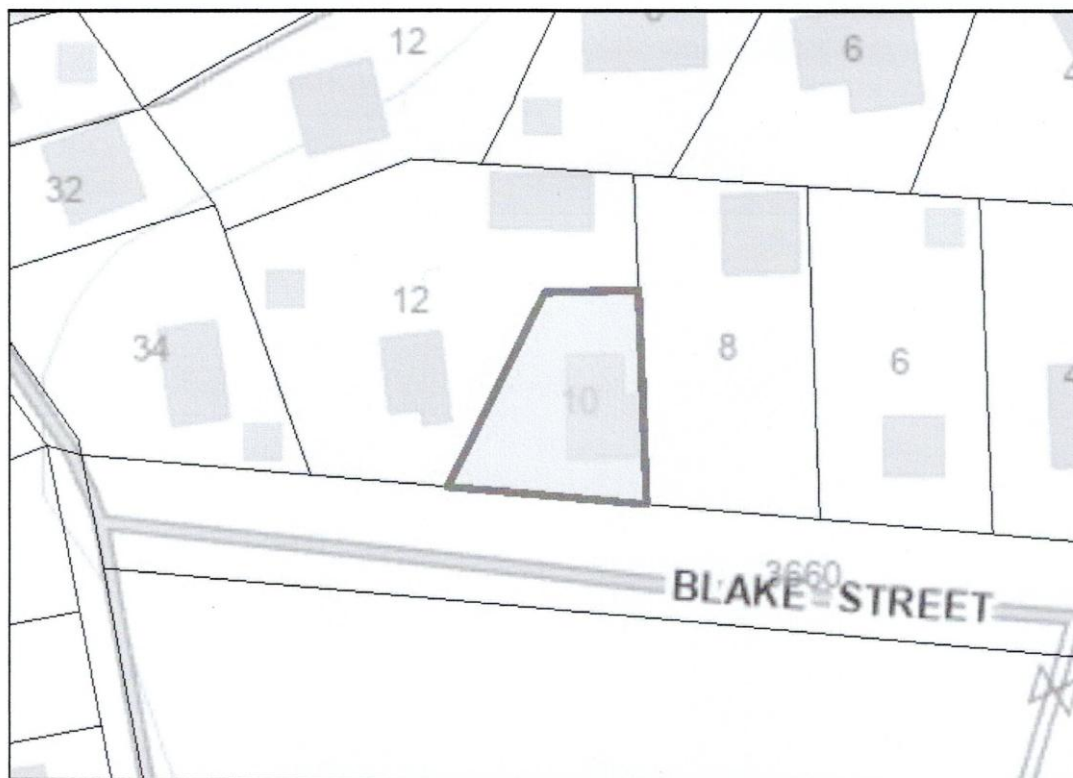
Applicant: Andrew McMaster

1. Details of the location of the proposed use or development.

This application is for the change of use to visitor accommodation

2. A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.

the List	PROPERTY INFORMATION REPORT VALUER-GENERAL, TASMANIA Issued pursuant to the Valuation of Land Act 2001	 Tasmanian Government			
PROPERTY ID: 9954679 MUNICIPALITY: CLARENCE					
PROPERTY ADDRESS: 10 BLAKE STREET OPOSSUM BAY TAS 7023					
PROPERTY NAME:					
TITLE OWNER: 184740/2 : MURRAY & SHARON PTY LTD					
INTERESTED PARTIES: MURRAY & SHARON PTY LTD					
POSTAL ADDRESS: LEVEL 3 SUITE 9 146 BUNDALL RD (Interested Parties) BUNDALL QLD 4217					
MAIN IMPROVEMENTS SUMMARY					
Improvements:	UNIT				
Improvement Sizes (Top 3 by Size):	Improvement:	Area:			
	UNIT	133.0 square metres			
	DECK	30.0 square metres			
	OTHER IMPROVEMENTS				
Number of Bedrooms:	3				
Construction Year of Main Building:	2022				
Roof Material:	Colorbond				
Wall Material:	Contemporary Cladding - Cement				
Land Area:	0.0636 hectares				
LAST SALES					
Contract Date	Settlement Date	Sale Price			
05/06/2025	24/07/2025	\$800,000			
LAST VALUATIONS					
Date Inspected	Levels At	Land	Capital	A.A.V.	Reason
08/06/2023	01/07/2018	\$150,000	\$365,000	\$15,080	SPLIT FROM CANCELLED PID 3508272



Explanation of Terms

Property ID - A unique number used for Valuation purposes.

Date Inspected - The date the property was inspected for the valuation.

Levels At - Levels At - or Levels of Valuation Date means the date at which values of properties are determined for all valuations in a Municipal Area.

Land Value - Land Value is the value of the property including drainage, excavation, filling, reclamation, clearing and any other invisible improvements made to the land. It excludes all visible improvements such as buildings, structures, fixtures, roads, standings, dams, channels, artificially established trees and pastures and other like improvements.

Capital Value - Capital Value is the total value of the property (including the land value), excluding plant and machinery.

AAV - Assessed Annual Value. AAV is the gross annual rental value of the property excluding GST, municipal rates, land tax and fixed water and sewerage, but cannot be less than 4% of the capital value.

Interested Parties - This is a list of persons who have been recorded by the Valuer-General as having interest in the property (ie owner or Government agency).

Postal Address - This is the last advised postal address for the interested parties.

Multiple Tenancies - Properties that have multiple tenants are assessed for separate AAV's. e.g. a house and flat.

SEARCH OF TORRENS TITLE

VOLUME 184740	FOLIO 2
EDITION 4	DATE OF ISSUE 20-Sept-2025

SEARCH DATE : 06-Jan-2026

SEARCH TIME : 10.56 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 2 on Strata Plan 184740 and a general unit entitlement
operating for all purposes of the Strata Scheme being a 10
undivided 1/20 interest

Derived from Strata Plan 184740

Derivation : Part of 3,900 Acres Gtd. to George Henry Blake
Gellibrand

SCHEDULE 1

N272821 TRANSFER to MURRAY & SHARON PTY LTD Registered
20-Sept-2025 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 184740 folio 0

SP157126 COVENANTS in Schedule of Easements

SP140262 & SP157126 FENCING COVENANT in Schedule of Easements

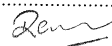
SP157126 WATER SUPPLY RESTRICTION

SP157126 SEWERAGE AND/OR DRAINAGE RESTRICTION


E423555 MORTGAGE to Secure Funding Pty Ltd Registered
20-Sept-2025 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CITY/TOWN CLARENCE SUBURB/LOCALITY OPOSSUM BAY FOLIO REFERENCE C.T.173106/1 SITE COMPRISES THE WHOLE OF LOT 1 ON PLAN No. P173106	STRATA PLAN SHEET 1 OF 3 SHEETS NAME OF STRATA SCHEME 12 BLAKE STREET, OPOSSUM BAY SCALE 1:400 LENGTHS IN METRES	Registered Number 184740 STRATA TITLES ACT 1998 REGISTERED 13 APR 2023  Recorder of Titles
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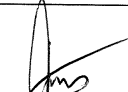
SITE PLAN



BLAKE STREET

(76/37 NS)
(SP130946)

GELLIBRAND LANE

NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1. (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.	<div style="display: flex; justify-content: space-between;"> <div>  Council Delegate Clare Sheo </div> <div> 27/01/2023 Date </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div>  Registered Land Surveyor </div> <div> 31/10/2022 Date </div> </div>
STAGED/COMMUNITY DEVELOPMENT. SCHEME No. (IF APPLICABLE)	

LODGED BY ROGERSON & BIRCH SURVEYORS

SEARCH OF TORRENS TITLE

VOLUME 184740	FOLIO 0
EDITION 1	DATE OF ISSUE 13-Apr-2023

SEARCH DATE : 06-Jan-2026

SEARCH TIME : 10.56 am

DESCRIPTION OF LAND

City of CLARENCE

The Common Property for Strata Scheme 184740

Derivation : Part of 3,900 Acres Gtd. to George Henry Blake
Gellibrand

Prior CT 173106/1

SCHEDULE 1

STRATA CORPORATION NUMBER 184740, 12 BLAKE STREET, OPOSSUM BAY

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP157126 COVENANTS in Schedule of Easements

SP140262 & SP157126 FENCING COVENANT in Schedule of Easements

SP157126 WATER SUPPLY RESTRICTION

SP157126 SEWERAGE AND/OR DRAINAGE RESTRICTION

E80816 ADHESION ORDER under Section 110 of the Local
Government (Building and Miscellaneous Provisions)
Act 1993 Registered 05-Apr-2017 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

3. Full description of the proposed use or development.

The owners propose to use the property for short term accommodation.

STRATA PLAN		STRATA TITLES ACT 1998		Registered Number
SHEET 2 OF 3 SHEETS		<i>C. Dea</i> Council Delegate	27/01/2025 Date	184740

LOT No	OPEN SPACE AREA	TOTAL FLOOR AREA	DECK AREA	TOTAL AREA
1	1460m ²	128m ²	43m ²	1631m ²
2	468m ²	138m ²	30m ²	636m ²

SCALE 1: 200

1
1,631m²
(over 2 levels)

2
636m²
(over 2 levels)

BLAKE STREET

THE HORIZONTAL LOT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY:
 SITE BOUNDARIES
 CENTRELINE OF FENCE LABELLED A - A
 MEASUREMENTS IN BRACKETS ARE FOR BOUNDARY FIXATION ONLY
 THE VERTICAL LOT BOUNDARIES EXTEND FROM 2.00 METRES BELOW GROUND LEVEL TO 10.00 METRES ABOVE GROUND LEVEL

Registered Land Surveyor

31-10-2022
 Date

STRATA PLAN

SHEET 3 OF 3 SHEETS

STRATA TITLES ACT 1998

Registered Number
184740

NAME OF BODY CORPORATE: STRATA CORPORATION No. **184740** 12 BLAKE STREET, OPOSSUM BAY

ADDRESS FOR THE SERVICE OF NOTICES: 12 BLAKE STREET OPOSSUM BAY 7023

SURVEYORS CERTIFICATE

I, Craig Bradley Rogerson of Acton Park
a surveyor registered under the Surveyors Act 2002 certify that
the building or buildings erected on the site and drawn on sheet 1 of
this plan are within the site boundaries of the folio stated on sheet 1
and any encroachment beyond those boundaries is properly authorised
according to law.

.....
Registered Land Surveyor

31-10-2022
Date

FINLL03
Ref No.

COUNCIL CERTIFICATE

I certify that the Clarence City Council has:
(a) approved the lots shown in this plan and
(b) issued this certificate of approval in accordance
with section 31 of the Strata Titles Act 1998


.....
Council Delegate

27/01/2023
Date

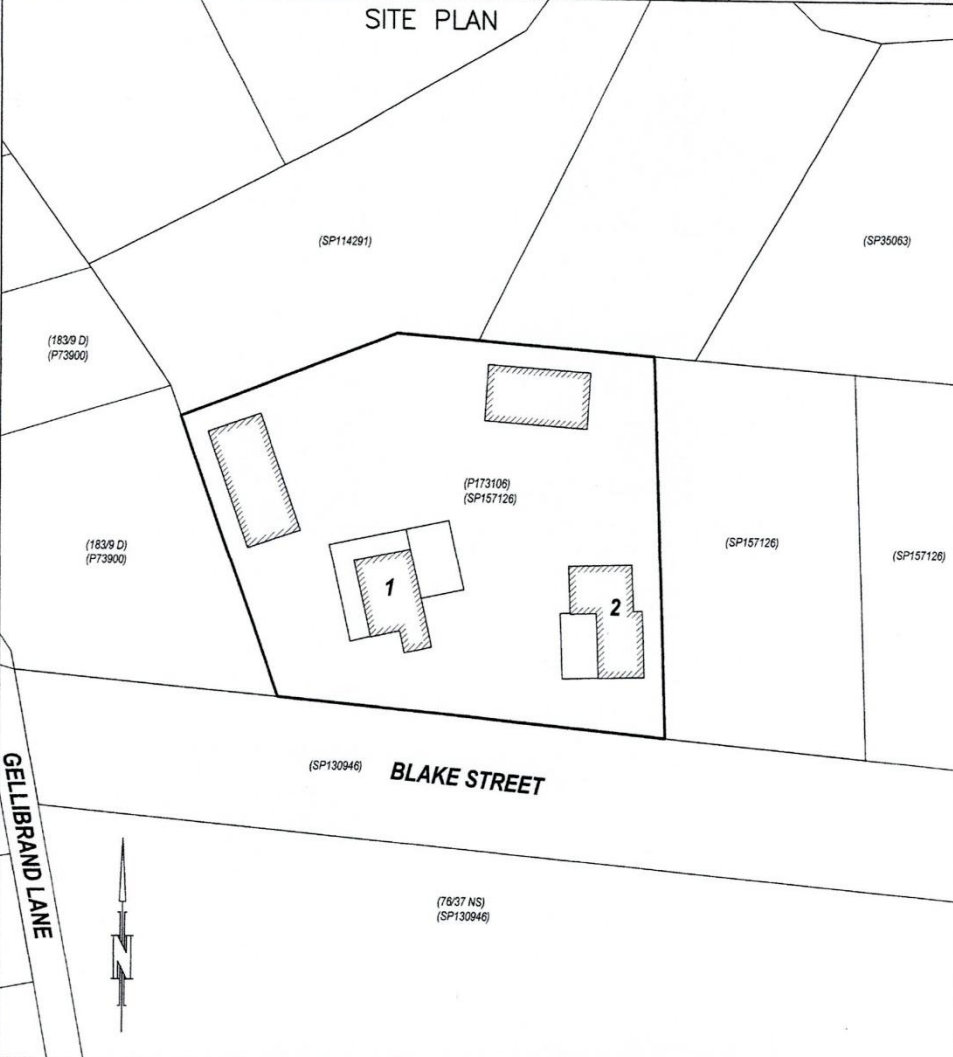
SA-2022/
031991
Ref No.

GENERAL UNIT ENTITLEMENTS


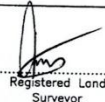

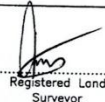

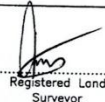
LOT	UNIT ENTITLEMENT
1	10
2	10
TOTAL	20

CITY/TOWN CLARENCE SUBURB/LOCALITY OPOSSUM BAY FOLIO REFERENCE C.T.173106/1 SITE COMPRISES THE WHOLE OF LOT 1 ON PLAN No. P173106	STRATA PLAN SHEET 1 OF 3 SHEETS NAME OF STRATA SCHEME 12 BLAKE STREET, OPOSSUM BAY SCALE 1:400 LENGTHS IN METRES	Registered Number 184740 STRATA TITLES ACT 1998 REGISTERED 13 APR 2023  Recorder of Titles
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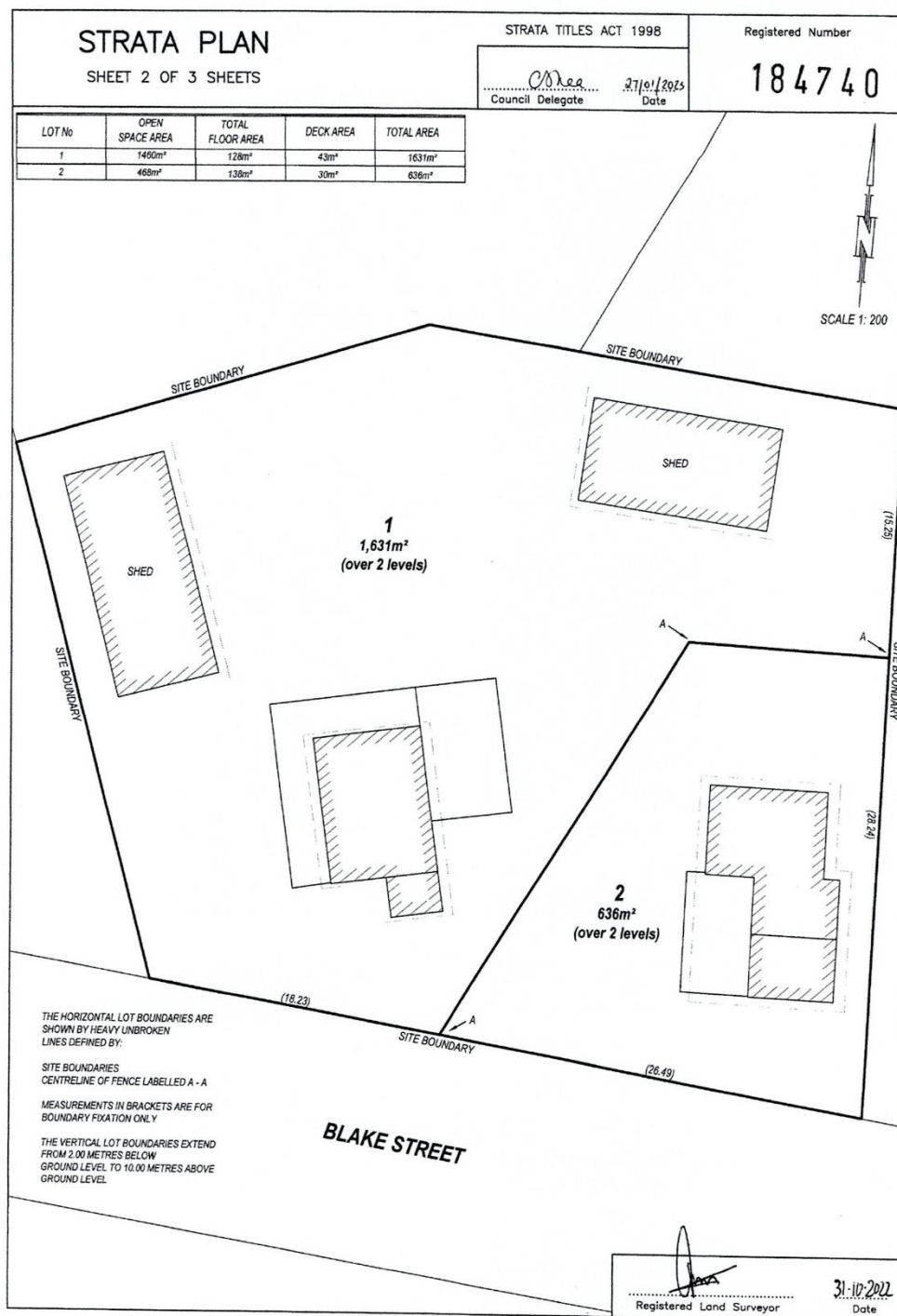
SITE PLAN



NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1.
 (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.

STAGED/COMMUNITY DEVELOPMENT. SCHEME No. (IF APPLICABLE)	<table border="0" style="width: 100%;"> <tr> <td style="width: 50%;">  Council Delegate </td> <td style="width: 50%;"> 27/01/2023 Date </td> </tr> <tr> <td>  Registered Land Surveyor </td> <td> 31/10/2022 Date </td> </tr> </table>	 Council Delegate	27/01/2023 Date	 Registered Land Surveyor	31/10/2022 Date
 Council Delegate	27/01/2023 Date				
 Registered Land Surveyor	31/10/2022 Date				

LODGED BY ROGERSON & BIRCH SURVEYORS



[illegible]

Note 10 Blake Street is shown as Lot 2.

4. Description of the proposed operation.
- a. Owners of the property live in Queensland and intend to operate the property as short term accommodation. Owners have engaged Andrew McMaster (operator of Bridgecroft Accommodation with 4 properties all located in Richmond) to assist with the operation of this property.
 - b. Drawing on market data (available upon request if needed) in the Opossum Bay area, an occupancy rate of 75-80% is expected over a calendar year with an average length of stay of 2 nights. Thus we expect the property to be occupied between 274-292 nights per year (allowing for seasonality)
 - c. Standard check-in time of 2pm and check-out time on 10am will apply.
 - d. There are no heavy vehicle movements associated with this short term rental property.
 - e. All waste is managed through existing Council services and collections. A compliant enviro-cycle system designed for a 3 bedroom property is currently in use.
 - f. Standard household equipment is used in this property; pollution is not generated; noise is managed via several means: -
 - i. Where installed, via noise monitoring equipment,
 - ii. Guests are made aware via a printed House Guide of the setting of the property being residential in nature. As such, we are able to evict noisy guests or bookings that transgress into parties.
 - iii. The owners maintain close relationships with neighbours and they are given their personal mobile number should they be unhappy with anything related to guests or the properties.
 - g. Signage – Property has road numbering currently. Once approved, a small 600mm x 400mm sign will be attached to the building itself stating it's a short term accommodation operation. An example is show below: -



- h. Bookings are all placed online via existing platforms (AirBnB, Booking.com, VRBO, etc). There is no reception associated with the property. Automated messages to guests convey check-in information and secure lock-boxes are used n the property for key access.
- i. Property layout: -



10 Blake Street, Opossum Bay

Total approx. floor area: 144m²

Areas and dimensions are approximate and therefore this floor plan should only be used for illustrative purposes.

Real Estate Marketing by nextcreative.com.au

The entire property will be used for guest accommodation.

j. Parking

Parking for guests will all be onsite. With only 3 bedrooms available, we expect most bookings to be a larger single family unit, extended family or couples. The property has ample parking for 3 cars and all can exit the property in a forward direction.

The picture below shows two area allocated for parking up to 3 cars as indicated by the blue “X”. Note tandem parking is available on the right hand side.

While the property is part of a strat complex, it has no shared visitor parking and both property are separately fenced from each other – thereby eliminating the need to share any visitor parking and potential conflict.

A sealed driveway allows for cars to turn around and exit in a forward direction.

Visitor parking for 10 Blake Street, Opossum Bay



Above image shows parking locations for 2 cars. The possibility exists for tandem parking on the right hand side (length is 12m), increasing the parking spaces to 3.

5. Declaration the owner has been notified if the applicant is not the owner.

Not applicable

6. Crown or Council consent (if publically-owned land).

Not applicable

7. Any reports, plans or other information required by the relevant zone or code.

None relevant to this application.

8. Fees prescribed by the City of Clarence.

Awaiting invoice from CCC.

9. Site analysis and site plan, including where relevant:

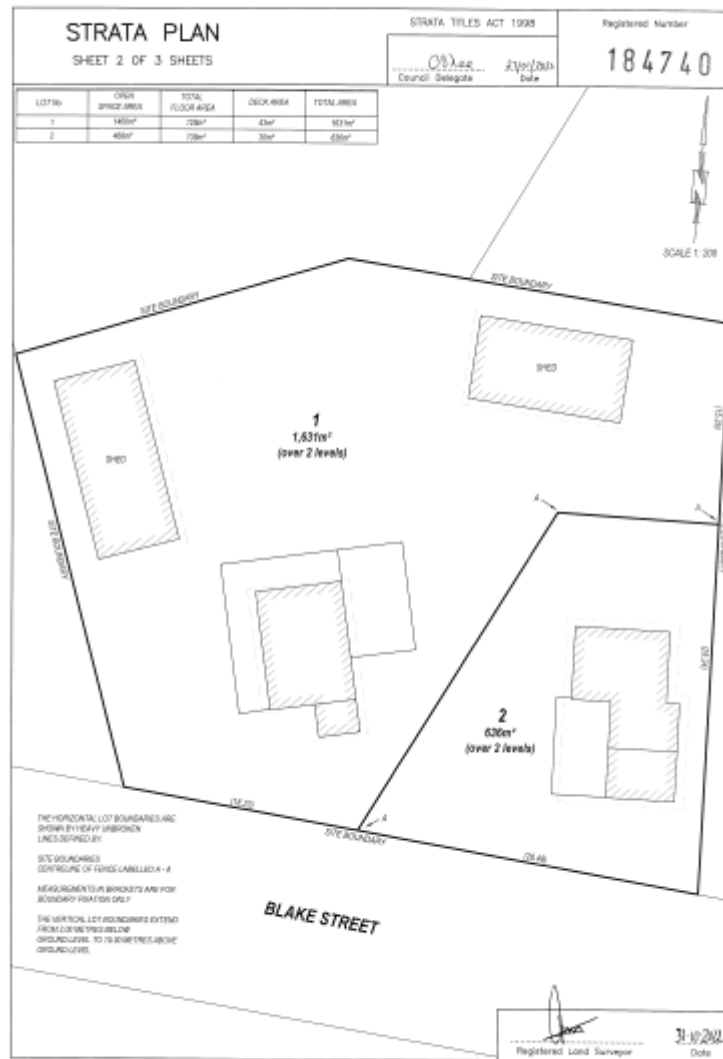
- a. Existing and proposed use(s) on site. •

Change to visitor accommodation from residential

- b. Boundaries and dimensions of the site. •



Boundaries as per The List



Dimensions as per the strata plan.

- c. Topography, including contours showing AHD levels and major site features. •
No change to topography
- d. Natural drainage lines, watercourses and wetlands on or adjacent to the site. •
No changes
- e. Soil type.
Not required
- f. Vegetation types and distribution, and trees and vegetation to be removed
No disturbances
- g. Location and capacity of any existing services or easements on/to the site. •
No changes

- h. Existing pedestrian and vehicle access to the site. •
No changes from previous use
- i. Location of existing and proposed buildings on the site. •
As shown on strata plan above with no changes
- j. Location of existing adjoining properties, adjacent buildings and their uses. •
As shown on strata plan above.
- k. Any natural hazards that may affect use or development on the site. •
No natural hazards created or impacted
- l. Proposed roads, driveways, car parking areas and footpaths within the site. •
No changes being made to these areas
- m. Any proposed open space, communal space, or facilities on the site. •
No changes being made on-site
- n. Main utility service connection points and easements. •
No changes to utility services or connections