



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056510

PROPOSAL: Single Dwelling

LOCATION: 41 Alliance Drive, Cambridge

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 04/03/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 04/03/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 04/03/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **New Residential Dwelling**

Location: **41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170**

Personal Information Removed



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Date:

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 179114	FOLIO 2
EDITION 3	DATE OF ISSUE 09-Nov-2024

SEARCH DATE : 21-Oct-2025

SEARCH TIME : 04.20 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 2 on Sealed Plan 179114
 Derivation : Part of Lot 38277, 139.8ha Gtd. to The
 Director-General of Housing & Construction
 Prior CT 177851/2

SCHEDULE 1

M955834 TRANSFER to NATHAN JAMES CARINS and SUSAN JEAN CARINS
 Registered 28-Apr-2022 at 12.01 PM

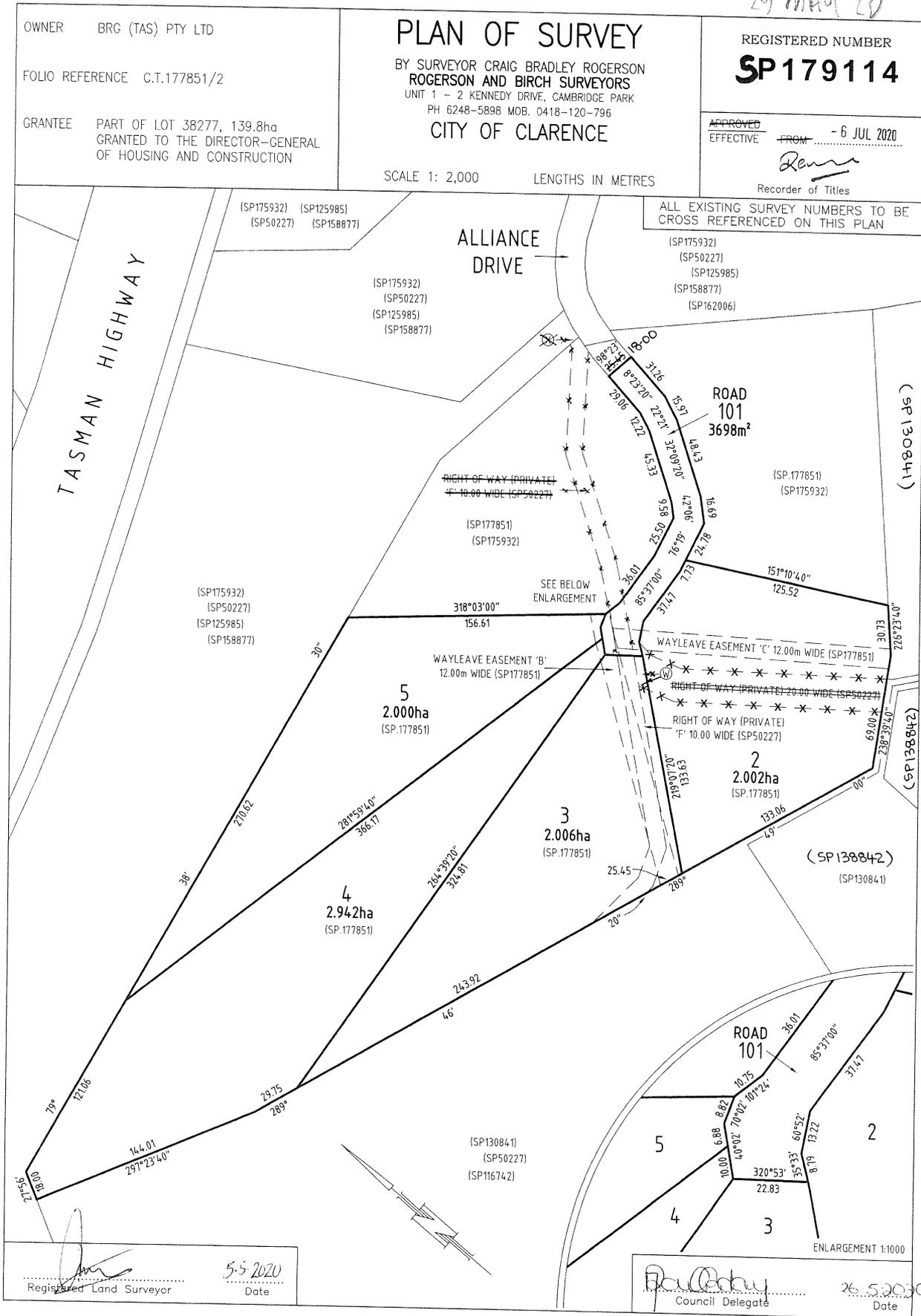
SCHEDULE 2

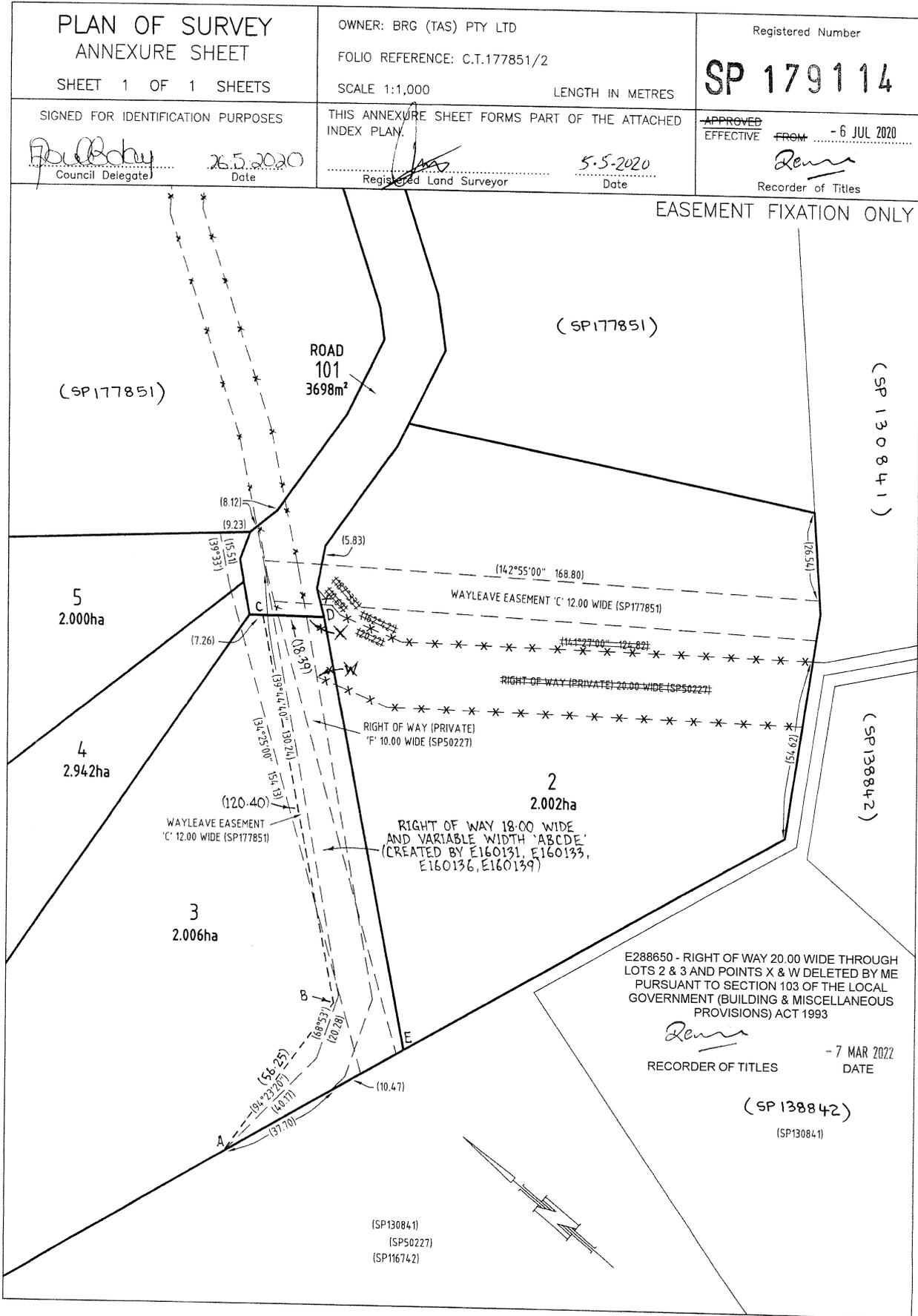
Reservations and conditions in the Crown Grant if any
 SP179114 EASEMENTS in Schedule of Easements
 SP179114 COVENANTS in Schedule of Easements
 SP179114 FENCING COVENANT in Schedule of Easements
 SP125985, SP158877, SP162006, SP175932 & SP177851 COVENANTS in
 Schedule of Easements
 SP177851 FENCING COVENANT in Schedule of Easements
 SP50227, SP125985, SP158877 & SP162006 FENCING PROVISION in
 Schedule of Easements
 SP50227 COUNCIL NOTIFICATION under Section 468(12) of the
 Local Government Act 1962
 B300322 PROCLAMATION under Section 9A and 52A of the Roads
 and Jetties Act 1935
 D76176 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 17-Dec-2012 at noon
 E145369 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 07-Aug-2018 at noon
 E391851 MORTGAGE to MyState Bank Limited Registered
 09-Nov-2024 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

NOTICE: This folio is affected as to amended easements pursuant to Request to Amend No. E288650 made under Section 103 of the Local Government (Building and Miscellaneous Provisions) Act 1993. Search Sealed Plan No. [179114](#) Lodged by BUTLER MCINTYRE & B on 25-Jan-2022 BP: E288650

29 MAY 20





SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 17911

PAGE 1 OF 3 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Wayleave Easements

Lots 3 - 5 (inclusive) & 101 on the Plan is SUBJECT TO a Wayleave Easement in favour of Tasmanian Networks Pty Ltd over the land marked "WAYLEAVE EASEMENT 'B' 12.00m WIDE" as shown on the Plan.

Lots 2 & 101 on the Plan is SUBJECT TO a Wayleave Easement in favour of Tasmanian Networks Pty Ltd over the land marked "WAYLEAVE EASEMENT 'C' 12.00m WIDE" as shown on the Plan.

Rights of Carriage Way

~~Lots 2, 3 & 101 on the Plan is SUBJECT TO a Right of Carriage Way over that part of the lot marked as 'RIGHT OF WAY (PRIVATE) 20.00 WIDE' appurtenant to Lots 2 & 3 on SP50227.~~

~~Lot 3 on the Plan is SUBJECT TO a Right of Carriage Way over that part of the lot marked as 'RIGHT OF WAY (PRIVATE) 'F' 10.00 WIDE' appurtenant to Lot 3 on SP50227 between points 'W' and 'X'.~~

Lot 3 on the Plan is SUBJECT TO a Right of Carriage Way over that part of the lot marked as 'RIGHT OF WAY (PRIVATE) 'F' 10.00 WIDE' appurtenant to Lots 1 & 2 on SP50227.

Lot 3 on the Plan is SUBJECT TO a Right of Carriage Way over that part of the lot marked as 'RIGHT OF WAY (PRIVATE) 'F' 10.00 WIDE' appurtenant to Lot 2 on SP125985.

Right of carriageway over the Right of Way (Private) 20.00 wide hereon deleted by me pursuant to Request to Amend No. E288650 made under Section 103 of the Local Government (Building & Miscellaneous Provisions) Act 1993

Ken - 7 MAR 2022
Recorder of Titles Date

COVENANTS

Prior covenants

That part of Lots 2, 3, 4, 5 and 101 on the Plan formerly comprised in Lot 2 on Sealed Plan 177851 are each burdened by the restrictive covenants created by and more fully set forth in Sealed Plan 177851.



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: BRG TAS PTY LTD FOLIO REF: Vol. 177851 Folio 2 SOLICITOR & REFERENCE: BUTLER, MCINTYRE & BUTLER - JS:GD 201013	PLAN SEALED BY: DATE: 26.5.2020 50-2019/12 REF NO. <i>[Signature]</i> Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 3 PAGES</p>	<p>Registered Number</p> <p>SP 179114</p>
<p>SUBDIVIDER: BRG TAS PTY LTD FOLIO REFERENCE: VOLUME 177851 FOLIO 2</p>	

Fencing Covenant

The Owners of the lots on the Plan hereby Covenant with the Vendor, BRG TAS PTY LTD, that the Vendors shall not be required to fence.

DEFINITIONS

“Wayleave Easement” means:

FIRST all the full and free right and liberty for Tasmanian Networks Pty Ltd and its successors and their servants agents and contractors (called “TasNetworks”) at all times hereafter:

- (a) TO maintain, lay, erect and install anything used for, or in connection with the generation, transmission or distribution of electricity including powerlines (overhead or underground), substations for converting electricity, substations for transforming or controlling electricity and equipment for metering, monitoring or controlling electricity (hereinafter called “electricity infrastructure”) of such materials and type as TasNetworks may determine above, on or under the servient land.
- (b) TO enter into and upon the servient land for the purpose of examining, operating, maintaining, repairing, modifying, adding to or replacing electricity infrastructure without doing unnecessary damage to the said servient land and making good all damage occasioned thereby;
- (c) TO erect fencing, signs, barriers or other protective structures upon the servient land if in the opinion of TasNetworks these are necessary for reasons of safety;
- (d) TO cause or permit electrical energy to flow or be transmitted or distributed through the said electricity infrastructure;
- (e) TO enter into and upon the servient land for all or any of the above purposes with or without all necessary plant equipment and machinery and the means of transporting the same and if necessary to cross the remainder of the said land in consultation with the registered proprietor/s for the purpose of access and regress to and from the servient land; and
- (f) NOTHING herein contained shall prevent the registered proprietor/s for themselves and their successors in title from using the servient land PROVIDED THAT such use does not derogate from this grant or, in the opinion of TasNetworks compromise the safe operation of TasNetworks electricity infrastructure located on, above or under the servient land.

SECONDLY the benefit of a covenant for TasNetworks and its successors with the registered proprietor/s for themselves and their successors in title of the servient land not to erect any buildings or place any structures, objects, or vegetation within the said easement without the prior written consent of TasNetworks TO the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement hereinbefore described.

“Right of Carriage Way” means a right of carriage way as defined within Schedule 8 of the *Conveyancing and Law of Property Act 1884* (Tas).

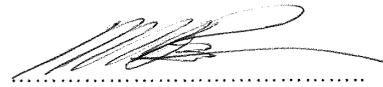


NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 3 PAGES</p>	<p>Registered Number</p> <p>SP 179114</p>
<p>SUBDIVIDER: BRG TAS PTY LTD FOLIO REFERENCE: VOLUME 177851 FOLIO 2</p>	

EXECUTED by **BRG TAS PTY LTD**
 ACN 156 485 693 in accordance
 with section 127 of the *Corporations
 Act 2001* (Cth)



NORMAN MATTHEW BROWN
 Director



PETER JAMES GEALE
 Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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TASMANIAN LAND TITLES OFFICE

Notification of Agreement under the

Land Use Planning and Approvals Act 1993 (Section 71)



D76176

DESCRIPTION OF LAND			
Folio of the Register			
Volume	Folio	Volume	Folio
162006	4		

REGISTERED PROPRIETOR:
FIONA MARY FEHLBERG and SCOTT WALTER FEHLBERG

PLANNING AUTHORITY:
CLARENCE CITY COUNCIL

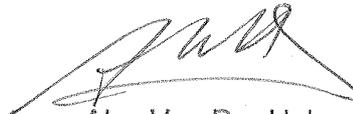
Dated this 11th day of December 2012

We **Clarence City Council**
of **38 Bligh Street, Rosny Park**

the abovenamed Planning Authority, certify that the above particulars are correct and that attached is a certified executed copy of the agreement between the abovenamed parties, notice of which is to be registered against the abovementioned folio of the Register.

The abovenamed Planning Authority holds the original executed Agreement.

Signed
(on behalf of the Planning Authority)


Alex Van Der Hek
Corporate Secretary
Clarence City Council
38 Bligh Street
Rosny Park 7018

Land Titles Office Use Only

LUA

Version 1

17 DEC 2012

Alice Kawa

RECORD THE BACK OF THIS FORM MUST NOT BE USED

Stamp Duty

**AGREEMENT UNDER PART 5 OF THE
LAND USE PLANNING AND APPROVALS ACT 1993**

between

CLARENCE CITY COUNCIL a body corporate established by the Local Government Act 1993 (" Council"),

and

FIONA MARY FEHLBERG and SCOTT WALTER FEHLBERG of 33 Alliance Drive CAMBRIDGE, Tasmania ("the Owner").

BACKGROUND

- A. The Owner has made an application to Council numbered WWB-2012/57 for approval of an on-site waste water management system at 45 Alliance Drive, CAMBRIDGE Tasmania which is comprised in certificate of title volume 162006 folio 4 ("the Property").
- B. Council has issued a permit, WWB-2012/57 ("Permit"), dated 29 October 2012, in respect of the Owner's on-site waste water management system application.
- C. It is a condition of the Permit that the Owner is to enter into this agreement pursuant to section 71(1) of the Land Use Planning Approvals Act 1993 (Tasmania) ("the Act").

OPERATIVE PART

1. Interpretation

In this agreement:

- a) the expression "Owner":
- can mean more than one persons;
 - includes the successors and assigns of the Owner; and
 - includes any person deriving title to the Property or any part of the Property from the Owner;
- b) where the Owner comprises more than one person, those persons are jointly and each of them is severally liable under this agreement.

2. Owner's covenant/s

The Owner covenants with Council to:

- a) provide and maintain in good working order the following standard water reduction fixtures on the Property:
 - i. 6/3 litre dual flush toilet cisterns;
 - ii. tap ware fitted with aerators;
 - iii. shower-flow restrictors; and
 - iv. a water-conserving automatic clothes washing machine that uses less than a total of 132 litres of water on the normal wash cycle or a volume specified by the designer of the onsite waste water management system.

3. Owner's acknowledgements

The Owner acknowledges that:

- a) this agreement is being entered into pursuant to Part 5 of the Act. It may be registered by Council at the Owner's cost on the title of the Property ;
- b) the effect of registration pursuant to the preceding clause will be that the burden and benefit of any covenant contained in this agreement will run with the Property as if it were a covenant to which section 102 (2) of the Land Titles Act 1980 applies; and
- c) this agreement is enforceable between the parties to it, and any person deriving title under any such party, as if the agreement were entered into by a fee simple owner of land for the benefit of adjacent land held by the Crown in fee simple that was capable of being benefited by the agreement and as if that adjacent land continued to be so held by the Crown.

4. Commencing date and duration

This agreement will:

- take effect on the date it is executed by the parties notwithstanding any delay or failure on the part of the Council in registering it against the title of the Property, and
- continue in full effect until terminated either on the happening of any event specified in this agreement, pursuant to a provision of the Act or by the mutual agreement of the parties.

EXECUTED as an agreement under seal by the parties

on 2nd of November 2012

Signed by:
FIONA MARY FEHLBERG) Liana Fehlberg

and
SCOTT WALTER FEHLBERG) [Signature]

in the presence of)

Witness Signature: [Signature]

Full Name: ANDIE MARSHALL

Occupation: BUILDING DESIGNER

Address: 26 ARBURN ROAD

KINGSTON BEACH 7050

The Common Seal of)
CLARENCE CITY)
COUNCIL)
was affixed by its duly)
authorised delegate:

[Signature]
Alex van der Hek
Corporate Secretary

TASMANIAN LAND TITLES OFFICE

Notification of Agreement under the

Land Use Planning and Approvals Act 1993 (Section 71)



E145369

DESCRIPTION OF LAND			
Folio of the Register			
Volume	Folio	Volume	Folio
162006	4		

REGISTERED PROPRIETOR:
BRG TAS PTY LTD ACN 156 485 693

PLANNING AUTHORITY:
CLARENCE CITY COUNCIL

Dated this 26th day of July 2018

We CLARENCE CITY COUNCIL

of 38 BLIGH STREET, ROSNY PARK IN TASMANIA

the abovenamed Planning Authority, certify that the above particulars are correct and that attached is a certified executed copy of the agreement between the abovenamed parties, notice of which is to be registered against the abovementioned folio of the Register.

The abovenamed Planning Authority holds the original executed Agreement.

Signed
(on behalf of the Planning Authority)


Ian Nelson
Corporate Secretary
Clarence City Council
38 Bligh Street
Rosny Park 7018

Land Titles Office Use Only

LUA Version 1

REGISTERED
7 - AUG 2018

RECORDED IN TITLES

THE BACK OF THIS FORM MUST NOT BE USED

Stamp Duty

AGREEMENT UNDER PART 5 OF THE LAND USE PLANNING AND APPROVALS ACT 1993

between

CLARENCE CITY COUNCIL a body corporate established by the Local Government Act 1993 of 38 Bligh Street, Rosny Park in Tasmania ("Council")

and

BRG TAS PTY LTD (ACN 156 485 693) as TRUSTEE FOR THE BRG UNIT TRUST of 5A Victoria Esplanade, Bellerive in Tasmania ("the Owner")

BACKGROUND

- A. Council is the planning authority for the purposes of the *Land Use Planning and Approvals Act 1993* ("the Act") and the Clarence Interim Planning Scheme 2015.
- B. The Owner is the registered proprietor of the property situated at and known as 45 Alliance Drive, Cambridge in Tasmania being the property comprised in certificate of title volume 162006 folio 4 ("the Property").
- C. Council has issued a development permit reference number SD-2017/26 dated 27 April 2018 ("the Permit") for boundary adjustments in relation to the Property and the surrounding properties of 33 Alliance Drive, Cambridge (more particularly described in Certificate of Title 162006 Folio 3) and 34-44 Alliance Drive, Cambridge (more particularly described in Certificate of Title 158877 Folios 14 and 16).
- D. Permit condition 3 of the Permit provides that the parties are to enter into this Agreement to set out the Owner's obligations to maintain and upgrade the temporary road surface of the Alliance Drive extension and construct a publicly accessible temporary turning head on the Alliance Drive extension before subdividing the Property.

OPERATIVE PART

1. Interpretation

In this Agreement:

- a) the expressions "Owner":
 - i. can mean more than one persons;
 - ii. includes the successors and assigns of the Owner; and
 - iii. includes any person deriving title to the Property or any part of the Property;
- b) where the Owner comprises more than one person, those persons are jointly and each of them is severally liable under this Agreement.


I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT



2. Owner's covenants

The Owner covenants with Council that, prior to lodging an application to subdivide the Property, it will:

- a) maintain the temporary road surface on the extension of Alliance Drive, as shown on the attached plan, to Council's satisfaction until such time a replacement permanent road surface is made over that area;
- b) at the Owner's full cost, upgrade the temporary road surface to a standard acceptable to Council in accordance with any relevant standard at the time; and
- c) construct a publicly accessible temporary turning head on Lot 100 as shown on the attached plan.

3. Agreement of the parties

The parties agree that:

- a) this Agreement is being entered into pursuant to Part 5 of the Act. It may be registered by Council at the Owner's cost on the titles of the Property ;
- b) the effect of registration pursuant to the preceding clause will be that the burden and benefit of any covenant contained in this Agreement will run with the Property as if it were a covenant to which section 102 (2) of the Land Titles Act 1980 applies; and
- c) this Agreement will bind the Owner, its successors, transferees and permitted assigns and the registered proprietor or proprietors for the time being of the Property.

4. Commencing date and duration

This Agreement will:

- a) take effect on the date it is executed by the parties notwithstanding any delay or failure on the part of the Council in registering it against the titles of the Property; and
- b) continue in full effect until terminated pursuant to a provision of the Act or by the mutual agreement of the parties.


**I HEREBY CERTIFY THAT
 THIS IS A COPY OF THE
 ORIGINAL DOCUMENT**



EXECUTED as a deed by the parties

on the 26th day of July 2018

The Common Seal of)
CLARENCE CITY)
COUNCIL)
was affixed by its duly)
authorised delegate;



.....
Ian Andrew Nelson
Corporate Secretary

Executed by **BRG TAS PTY LTD (ACN 156 485 693)**
as **TRUSTEE FOR THE BRG UNIT TRUST**
in accordance with section 127(1)
of the Corporations Act:



.....
Director/Sole Director/ Secretary

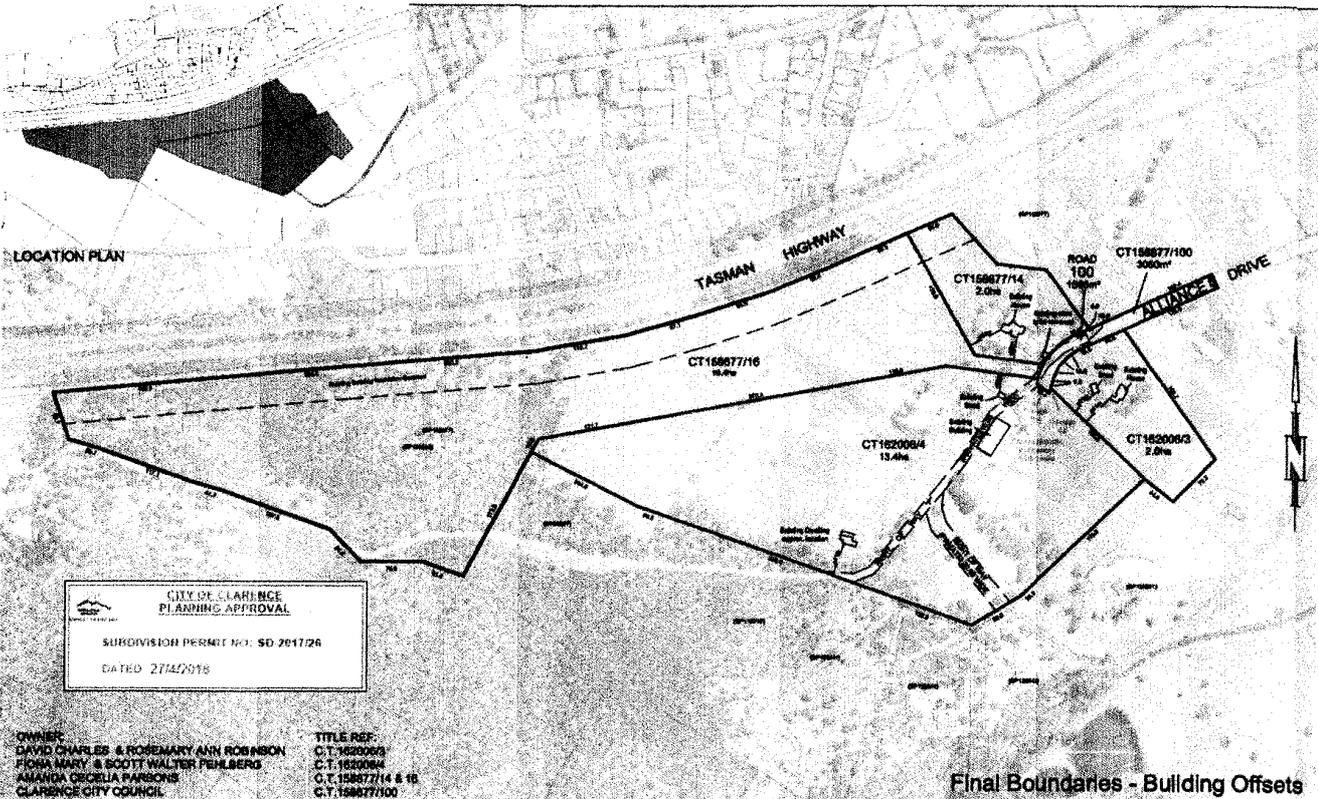
Norman Matthew Brown
(Print name)



.....
Director/Secretary

PETER JAMES GEALIE
(Print name)


**I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT**



**CITY OF CLARENCE
PLANNING APPROVAL**
SUBDIVISION PERMIT NO: SD 261726
DATED 27/02/2018

OWNER:
DAVID CHARLES & ROSEMARY ANN ROBINSON
FLORA MARY & SCOTT WALTER FEHLBERG
AMANDA GISELA PARSONS
CLARENCE CITY COUNCIL

TITLE REF:
C.T.162006/3
C.T.162006/4
C.T.15887714 & 16
C.T.158877100

Final Boundaries - Building Offsets

This plan has been prepared only for the purpose of obtaining preliminary subdivisional approval from the local authority and is subject to that approval.
All measurements and areas are subject to the final survey.
Base image by TASMAR (www.teemap.tas.gov.au). © State of Tasmania
Base data from the LIST (www.list.tas.gov.au). © State of Tasmania

ROGERSON & BIRCH SURVEYORS
UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03) 9248 6266
EMAIL: admin@rbsurveyors.com
WEB: www.rbsurveyors.com

OWNER: see above
TITLE REFERENCE: see above
LOCATION: 33 - 45 ALLIANCE DRIVE
CAMBRIDGE

Proposed Boundary Adjustment

Date:	23-04-2018	Reference:	BRG020 10352-13b
Scale:	1:4000 (A3)	Municipality:	CLARENCE

C Shea
**I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT**

DA

TASMANIAN PLANNING SCHEME

SHEET INDEX

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3	SITE PLAN 1:1000
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5	SOIL & WATER MANAGEMENT PLAN 1:1000
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8	ELEVATIONS
9	WINDOW & DOOR SCHEDULES
10	CALCULATIONS
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12	DETAILS (CLADDING)
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19	STUDY NOOK DESK DETAILS
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30	BAL 12.5 NOTES
31	BAL 12.5 - BAL 40 ROOF DETAILS

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR	
ALFRESCO	38.21
GARAGE	43.22
LIVING	217.92
TOTAL	299.34 m²

ON SITE WASTEWATER TREATMENT REQUIRED. REFER TO REPORT PREPARED BY GES (15/10/2025)

ON SITE STORMWATER MANAGEMENT. REFER TO REPORT PREPARED BY GES/FLUSSIG (27/01/2026)

AS & NCC COMPLIANCE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.

- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
- BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
- ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
- INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
- TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
- GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
- SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
- INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
- EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
- WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
- CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.
- BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
- SERVICES IN ACCORDANCE WITH NCC 2022.
- EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
- EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
- EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

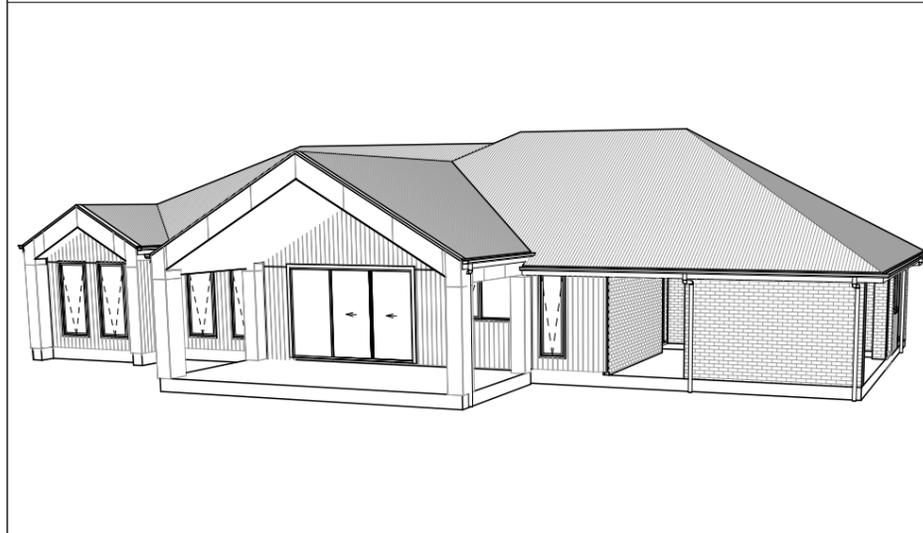
SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	NO
BUSHFIRE	BAL-12.5
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N3 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	YES
HERITAGE	NO
LANDSLIP HAZARD	LOW
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	NS - NO SHIELDING
SITE CLASSIFICATION	M
SPECIFIC AREA PLAN OVERLAY	NO
TERRAIN CATEGORY	TC2
TOPOGRAPHIC CLASSIFICATION	T2
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	TBC
WITHIN 50km BREAKING SURF	5.80km
ZONING	RURAL LIVING
AIRPORT OBSTACLE LIMITATION AREA	NO

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 20,000mm	95,120mm
SIDE A	MIN. 10,000mm	37,695mm
SIDE B	MIN. 10,000mm	51,941mm
REAR	MIN. 10,000mm	25,289mm
BULK & SCALE		
SITE AREA	20,020m ²	
SITE COVERAGE	MAX. 2%	1.5%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	1,789mm
FILL DEPTH	MAX. 1,000mm	998mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

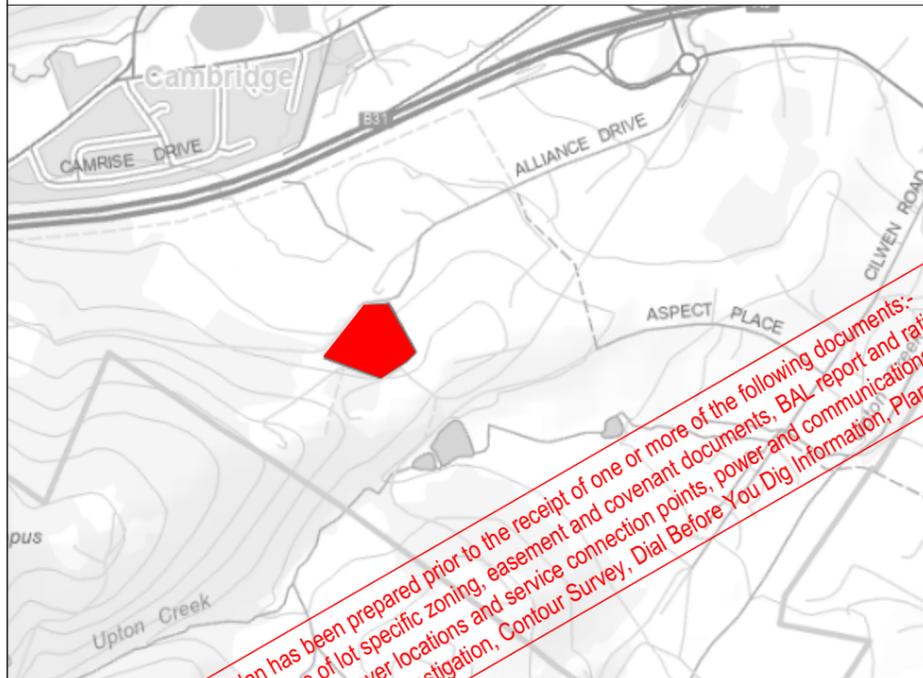
3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:- Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S)	2755mm
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	30.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	DARK
WALL MATERIAL	BRICK VENEER CLADDING
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	MIN. 50mm FOIL FACED BLANKET UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAx SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

ACCESSIBLE SANITARY COMPARTMENT: WC
ACCESSIBLE SHOWER LOCATION: ENS

GENERAL NOTES:

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM
- 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
- REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

BUSHFIRE REQUIREMENTS - BAL-12.5

THE BUILDER USES MATERIALS THAT COMPLY WITH AS 3959-2018 OR HAVE BEEN TESTED TO AS 1530.8.1 IN ACCORDANCE WITH AS 3959-2018 (CLAUSE 3.8).

ROOF:

- PROVIDE FOIL FACED BLANKET INSULATION TO ALL COLORBOND SHEET ROOFING.
- PROVIDE SARKING TO ALL TILED ROOFING INCLUDING PRESSTITE TO VALLEYS.
- PROVIDE BAL-12.5 RATED DEKTITE TO ALL AIR VENTS ON ROOF.
- PROVIDE BAL-12.5 RATED ALUMINIUM MESH TO ALL SOFFIT AND EAVE VENTS.
- PROVIDE BAL-12.5 RATED ALUMINIUM MESH TO ALL EXHAUST VENTS.

WALLS, POSTS AND BEAMS:

- PROVIDE SPARK ARRESTORS TO ALL EXTERNAL BRICKWORK.
- EXTERNAL TIMBER POSTS WITHIN 400mm OF ADJACENT FINISHED FLOOR LEVEL TO BE BUSHFIRE-RESISTING TIMBER UNLESS MOUNTED ON STIRRUPS TO PROVIDE MIN. 75mm CLEARANCE ABOVE ADJACENT FINISHED FLOOR LEVEL.

WINDOWS AND DOORS:

- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN BI-FOLD / FRENCH / SLIDING / STACKER DOORS).
- PROVIDE BAL-12.5 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING / STACKER DOORS.
- SPECIFIED ALUMINIUM FRENCH DOORS HAVE BEEN TESTED TO AS 1530.8.1 WITHOUT SCREENS.
- SPECIFIED ALUMINIUM WINDOWS HAVE BEEN TESTED TO AS 1530.8.1 WITHOUT SCREENS TO FIXED PANELS.
- PROVIDE ALUMINIUM DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS.
- PROVIDE SAFETY SCREENS WITH CORROSION RESISTANT MESH TO EXTERNAL TIMBER HUNG DOORS (IF REQUIRED).
- PROVIDE SEAL TO ALL GARAGE PANELIFT / ROLLER DOORS.

OTHER:

- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE.

BA PLAN SET

No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK
9	BA PLAN SET - SMALL CORRECTIONS		2026.02.03	TRV	-
8	BA PLAN SET - INITIAL ISSUE & VAR. REF. 001 & REF.002 UPDATE		2026.01.22	NVO	-

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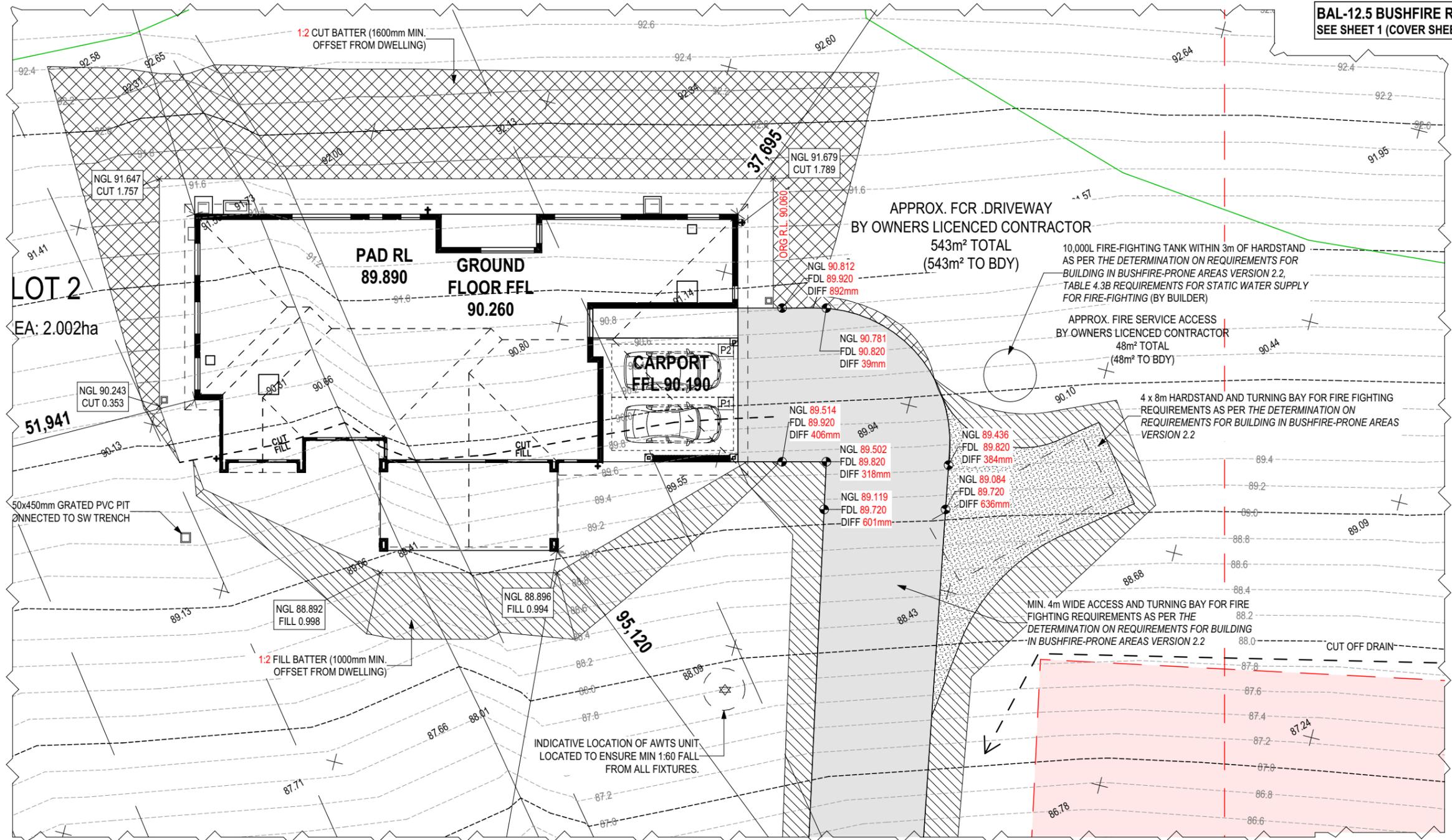
SPECIFICATION: NEXTGEN	REVISION: 5 PRELIM PLANS - CORRECTIONS	DRAWN: MFC 03/11/2025	CLIENT: NATHAN JAMES & SUSAN JEAN CARINS	HOUSE DESIGN: RICHMOND 29	HOUSE CODE: H-WATRCH20SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT: © 2026	6 PRELIM PLANS - COLOUR UPDATE	TD0 10/11/2025	ADDRESS: 41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	FACADE DESIGN: OSLO	FACADE CODE: F-WATRCH20OSLOA	
	7 PRELIM PLANS - AMENDMENTS	PL1 12/12/2025	LOT / SECTION / CT: 2 / - / 179114	SHEET TITLE: COVER SHEET	SCALES:	714343
	8 BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO 22/01/2026	COUNCIL: CLARENCE	SHEET No.:	1 / 31	
	9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026				

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

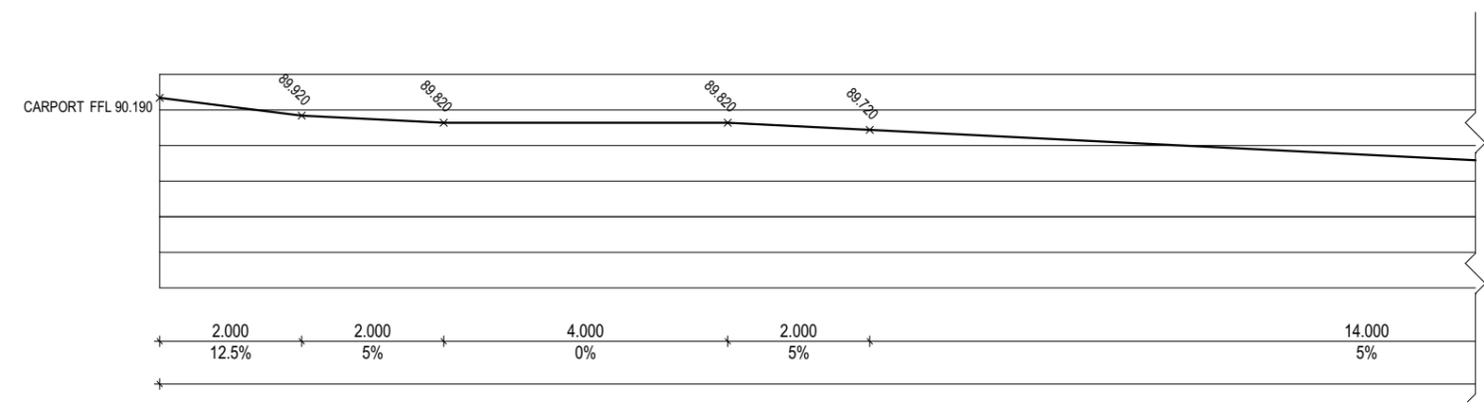
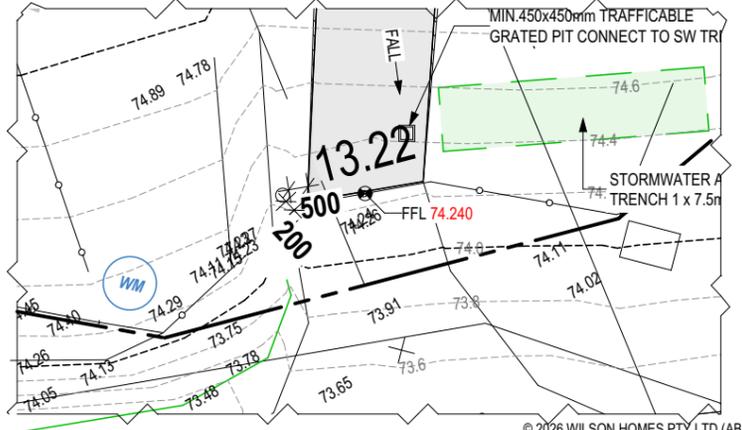
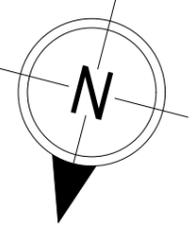
APPROX. CUT/FILL		
CUT	480.23m ³	1,080.52t
FILL	69.54m ³	156.47t
DIFFERENCE	410.69m ³	924.05t

SLAB ON FCR/STRUCTURAL FILL
 BASE AS PER ENGINEERING DESIGN.
 - FILL VOLUME INCLUDES FCR, STRUCTURAL AND NON-STRUCTURAL FILL TO PAD RL SHOWN.
 - CUT AND FILL VOLUMES DO NOT INCLUDE 300mm GRUBBING BELOW NATURAL GROUND LEVEL. REFER TO ENGINEERING DESIGN FOR FURTHER DETAILS.

LOT SIZE: 20020m²
HOUSE (COVERED AREA): 299.34m²
SITE COVERAGE: 1.5%



BAL-12.5 BUSHFIRE REQUIREMENTS
 SEE SHEET 1 (COVER SHEET) FOR DETAILS



SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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	8 BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO 22/01/2026	COUNCIL: CLARENCE		SCALES: 1:200	
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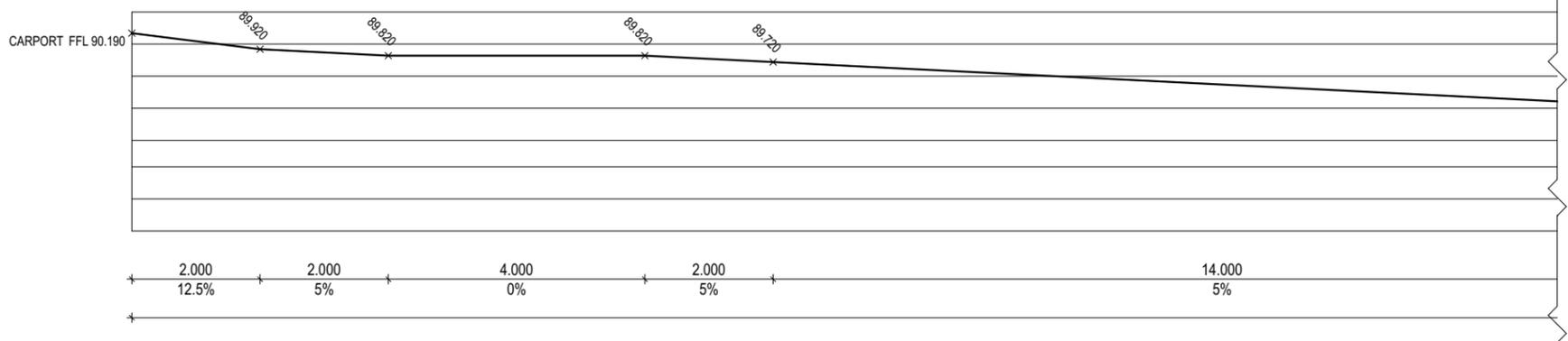
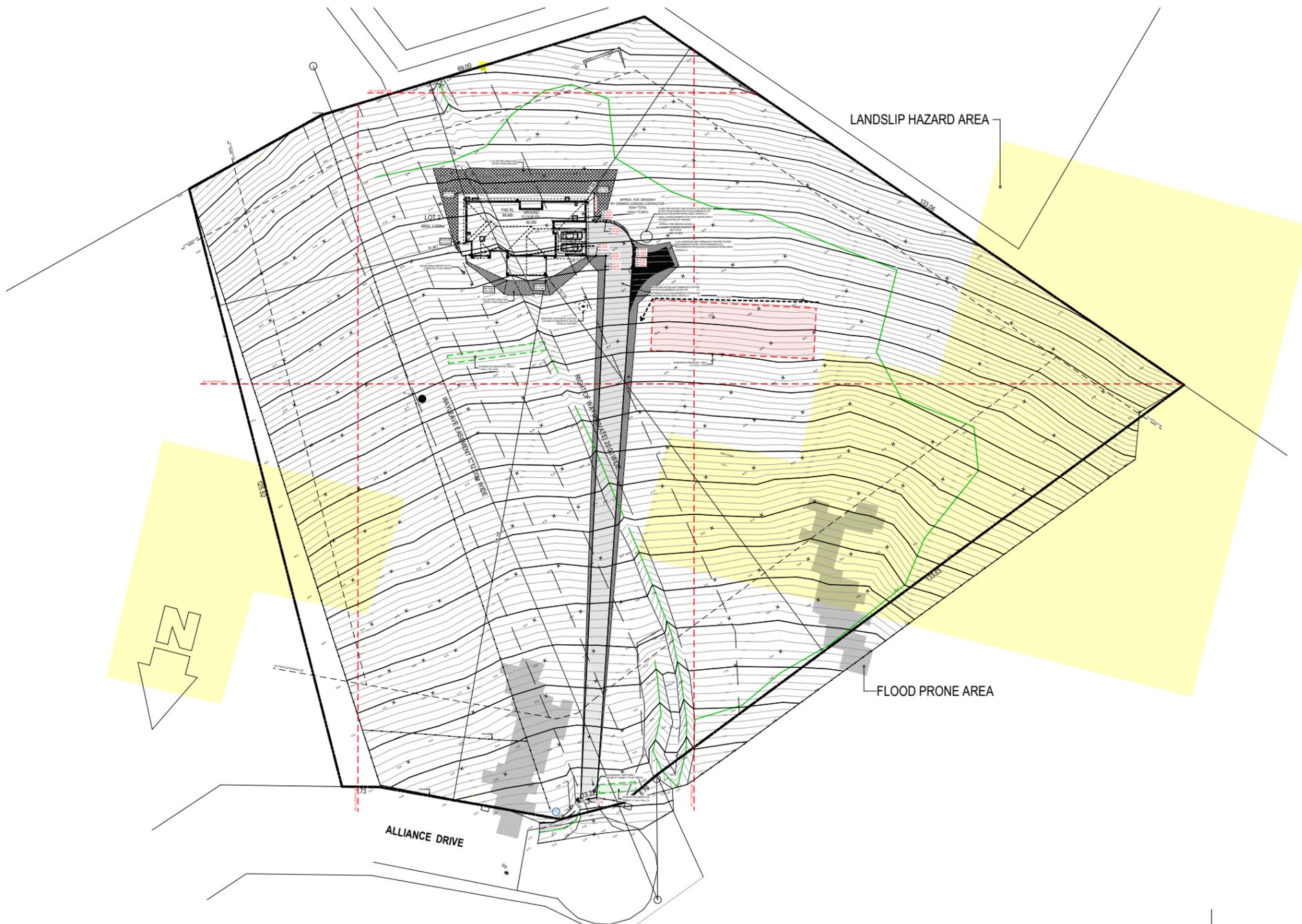
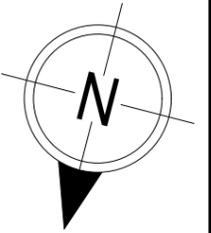
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SUBJECT TO NCC 2022
(1 MAY 2023)
 WATERPROOFING & PLUMBING

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	6 PRELIM PLANS - COLOUR UPDATE	TDO 10/11/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	7 PRELIM PLANS - AMENDMENTS	PL1 12/12/2025	41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	OSLO	F-WATRCH20OSLOA	
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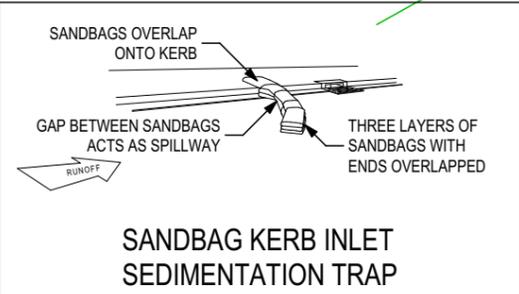
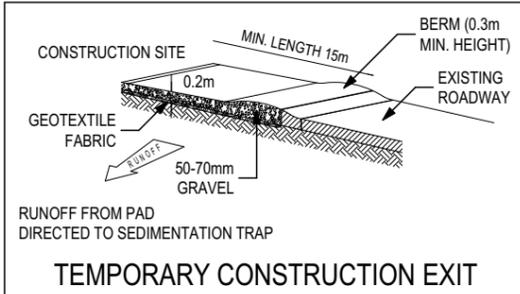
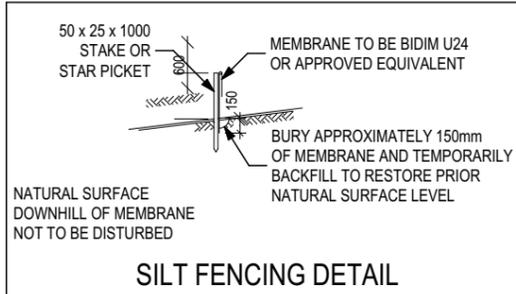
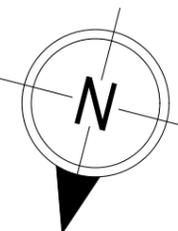
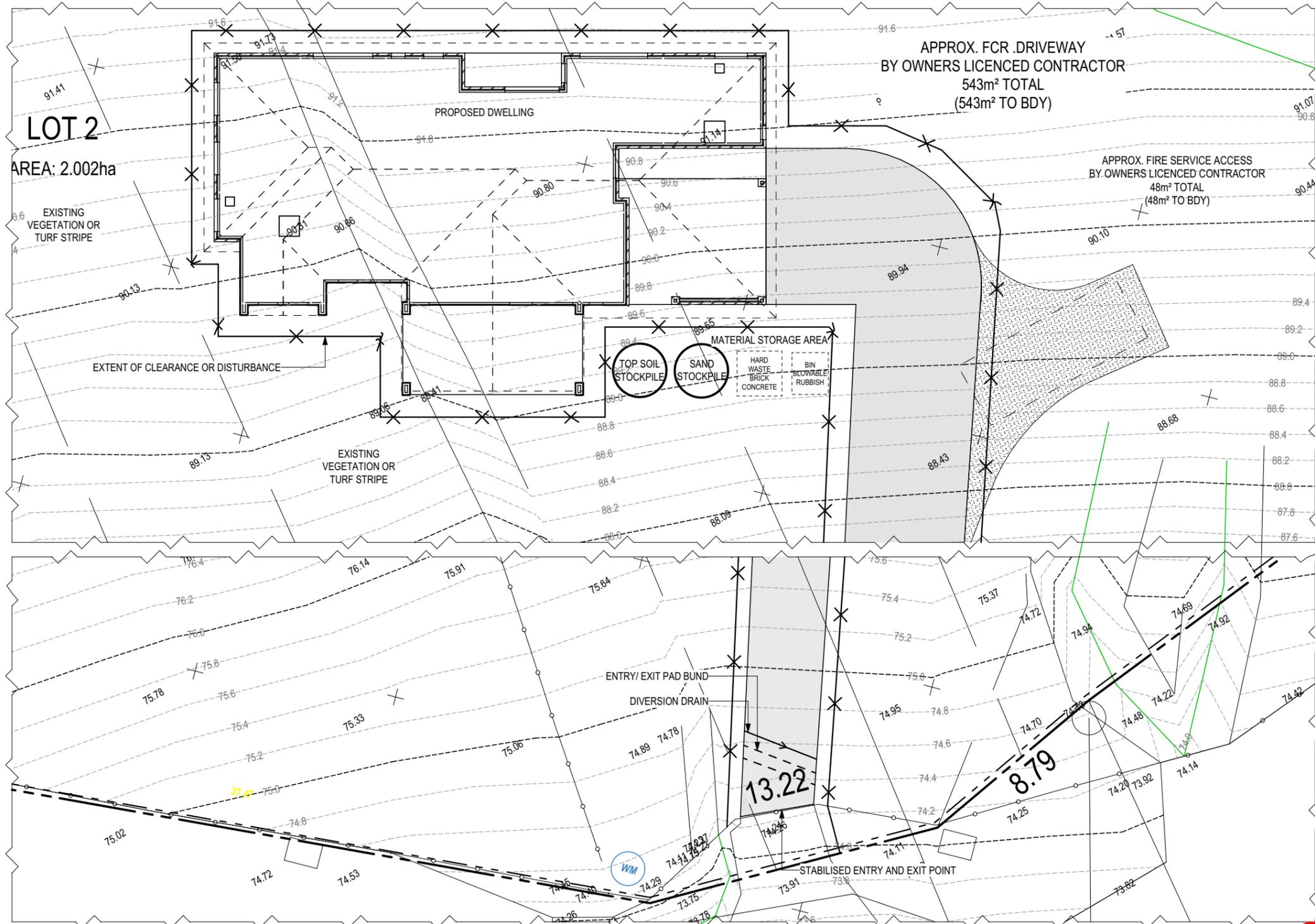
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

NOTES:

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

SUBJECT TO NCC 2022 (1 MAY 2023) WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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	6	PRELIM PLANS - COLOUR UPDATE	TDO	10/11/2025						
	7	PRELIM PLANS - AMENDMENTS	PL1	12/12/2025						
	8	BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO	22/01/2026	<p>LOT / SECTION / CT: 2 / - / 179114</p>	<p>COUNCIL: CLARENCE</p>		<p>SHEET TITLE: SOIL & WATER MANAGEMENT PLAN</p>	<p>SHEET No.: 4 / 31</p>	<p>SCALES: 1:200</p>
	9	BA PLANS - SMALL CORRECTIONS	TRV	03/02/2026						

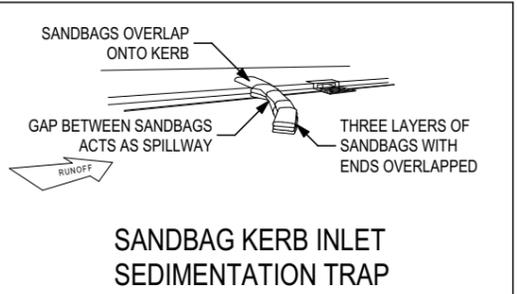
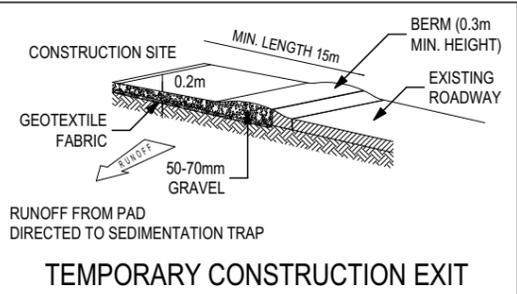
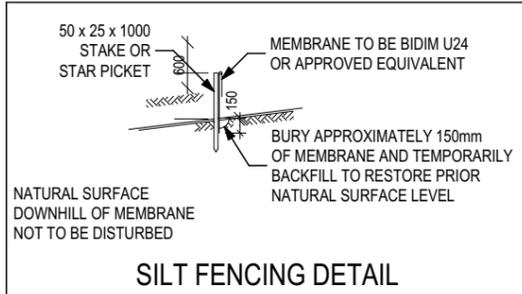
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

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ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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	5	PRELIM PLANS - CORRECTIONS	MFC	03/11/2025	NATHAN JAMES & SUSAN JEAN CARINS		RICHMOND 29		H-WATRCH20SA		
	6	PRELIM PLANS - COLOUR UPDATE	TDO	10/11/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	7	PRELIM PLANS - AMENDMENTS	PL1	12/12/2025	41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170		OSLO		F-WATRCH200SLOA		
	8	BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO	22/01/2026	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:	
9	BA PLANS - SMALL CORRECTIONS	TRV	03/02/2026	2 / - / 179114	CLARENCE	SOIL & WATER MANAGEMENT PLAN 1:10005 / 31		1:1000			

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

MAIN DWELLING, GROUND FLOOR	
ALFRESCO	38.21
GARAGE	43.22
LIVING	217.92
TOTAL	299.34 m²

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

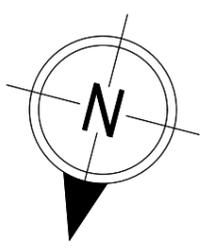
ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2455 ABOVE FFL UNLESS NOTED OTHERWISE

ALL GROUND FLOOR INTERNAL DOORS TO BE 2340 HIGH UNLESS NOTED OTHERWISE (EXCLUDES CAVITY SLIDING DOORS)

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

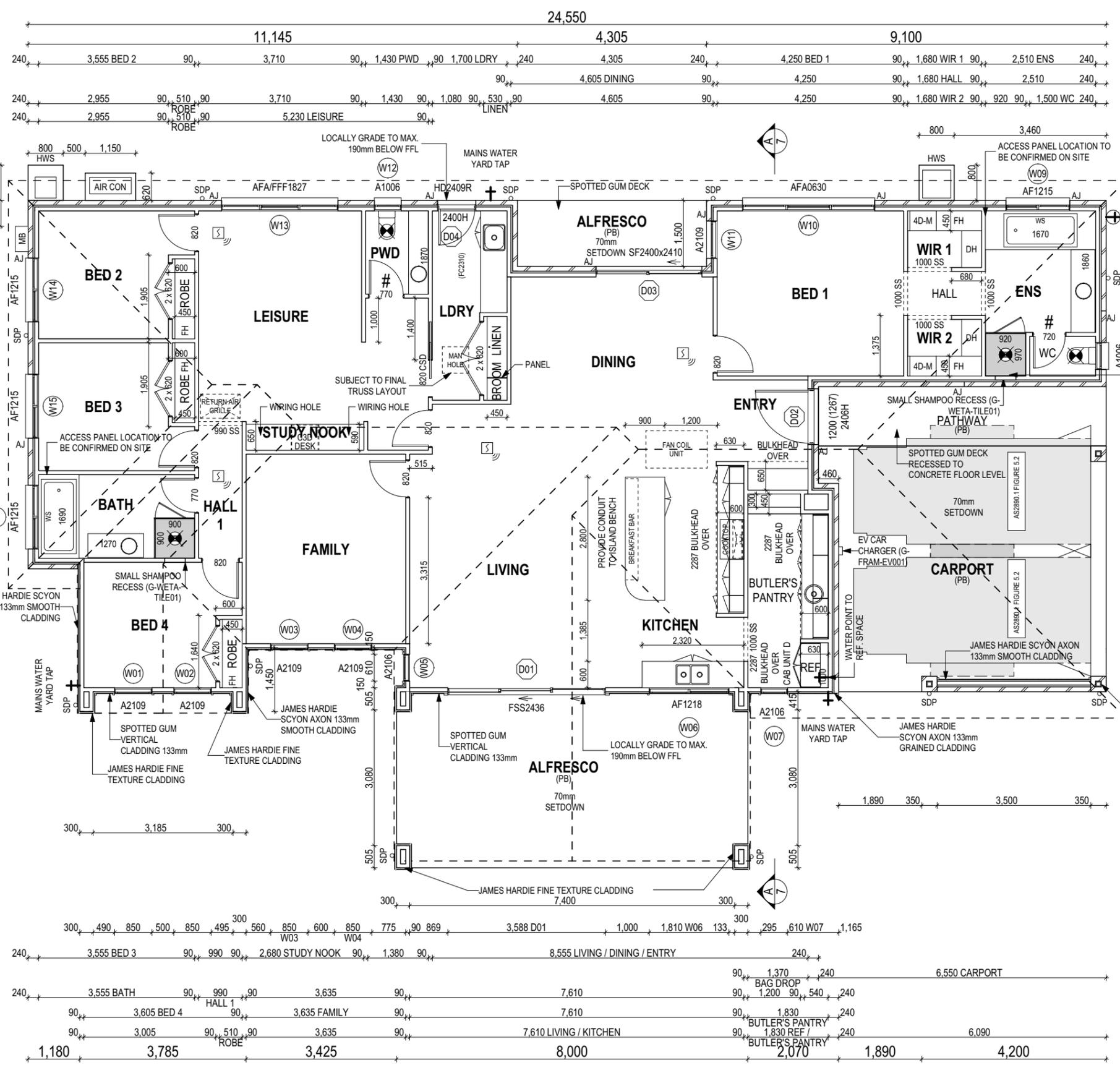
FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



LEGEND

	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	SOUND INSULATION
	BRICK ARTICULATION JOINT
	STANDARD DOWNPIPE
	CHARGED DOWNPIPE
	DENOTES DRAWER SIDE
	MECHANICAL VENTILATION
	LOAD BEARING WALL
	PLASTERBOARD
	FIBRE CEMENT
	THIS DOOR OPENS FIRST
	SMOKE ALARM
	LIFT OFF HINGE
	WATER POINT
	FLOOR WASTE
	GAS BAYONET

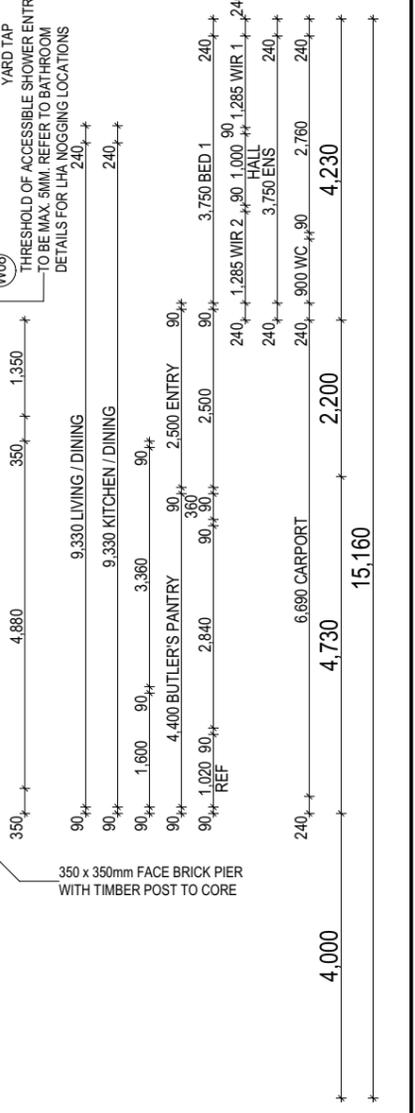


PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



ALL DIMENSIONS ARE FRAME DIMENSIONS

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SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

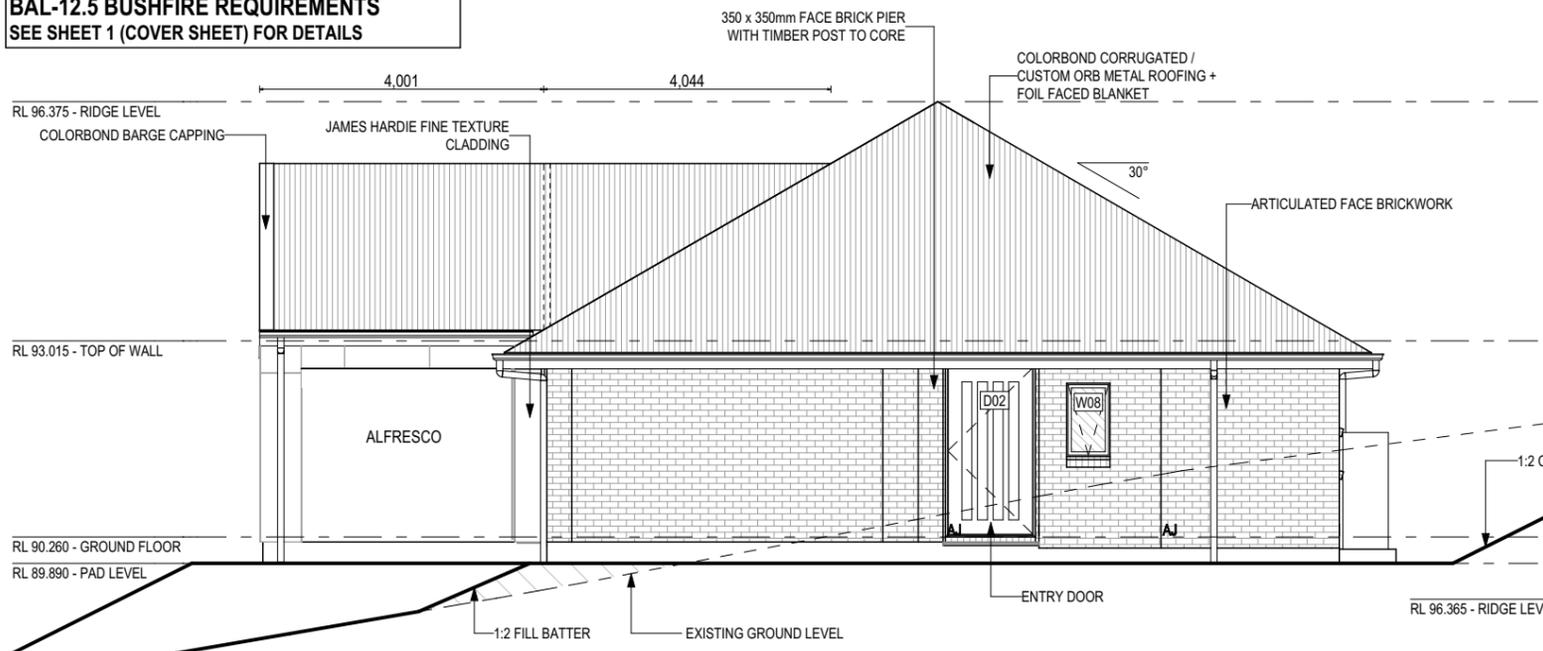
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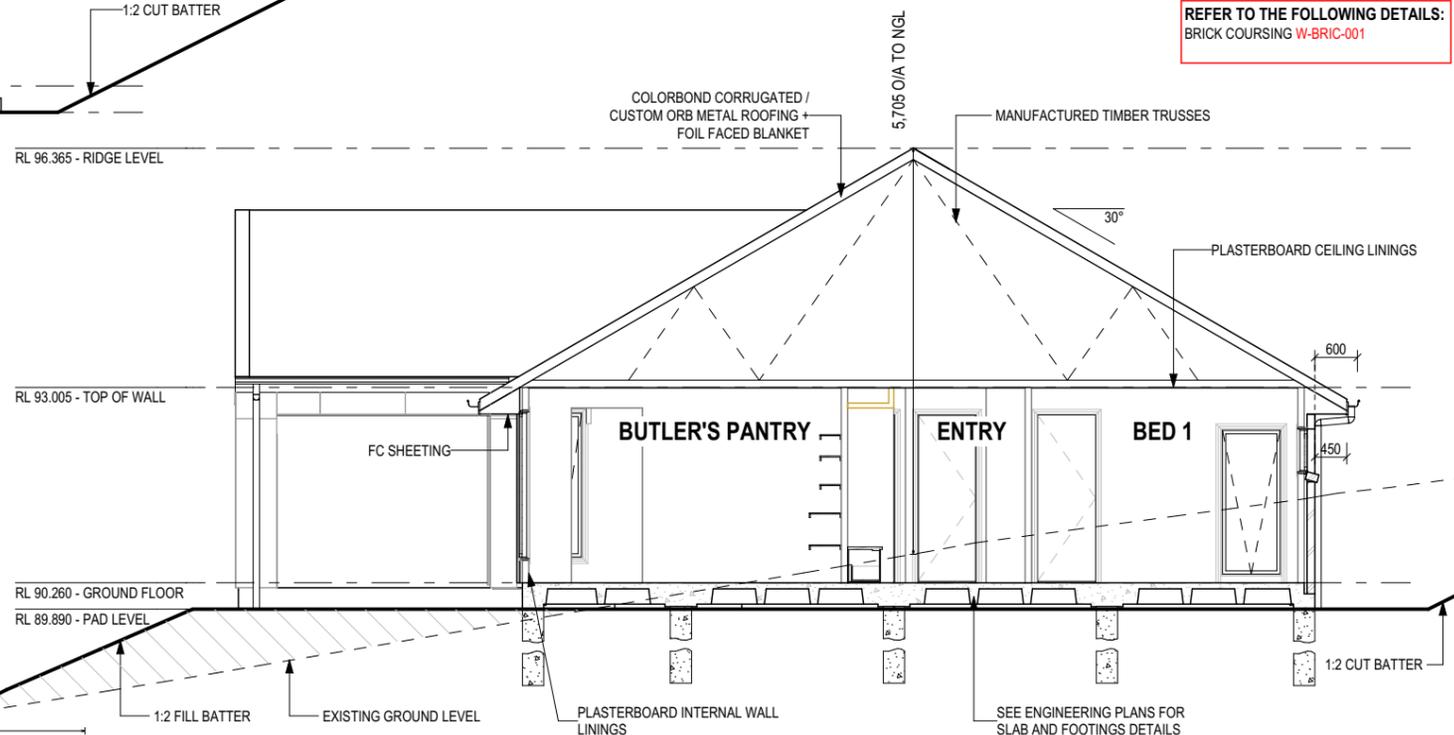


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	6 PRELIM PLANS - COLOUR UPDATE	TDO 10/11/2025	ADDRESS: 41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	FACADE DESIGN: OSLO	FACADE CODE: F-WATRCH20OSLOA	
	7 PRELIM PLANS - AMENDMENTS	PL1 12/12/2025	LOT / SECTION / CT: 2 / - / 179114	COUNCIL: CLARENCE	SHEET TITLE: GROUND FLOOR PLAN	SHEET No.: 6 / 31
	8 BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO 22/01/2026			SCALES: 1:100	714343
	9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026				Template Version: 24.041

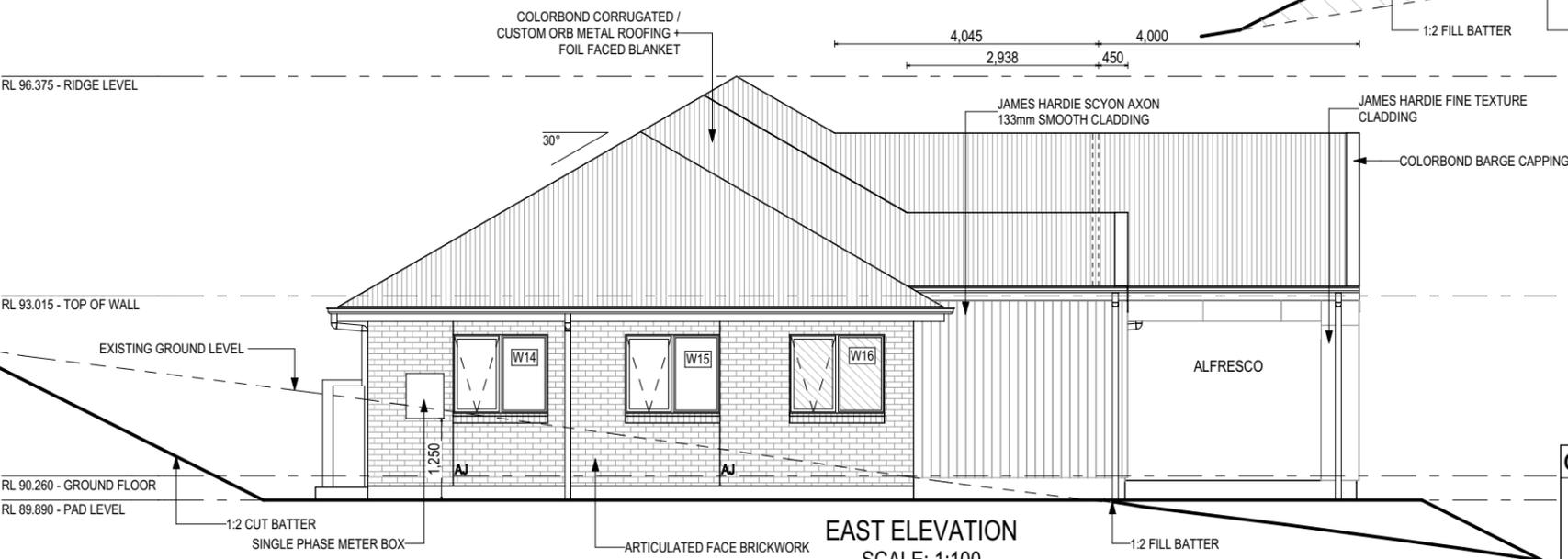
BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



WEST ELEVATION
SCALE: 1:100



SECTION A-A
SCALE: 1:100



EAST ELEVATION
SCALE: 1:100

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BRIC-001

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

GLASS TYPE LEGEND

CLEAR	OBSCURE

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

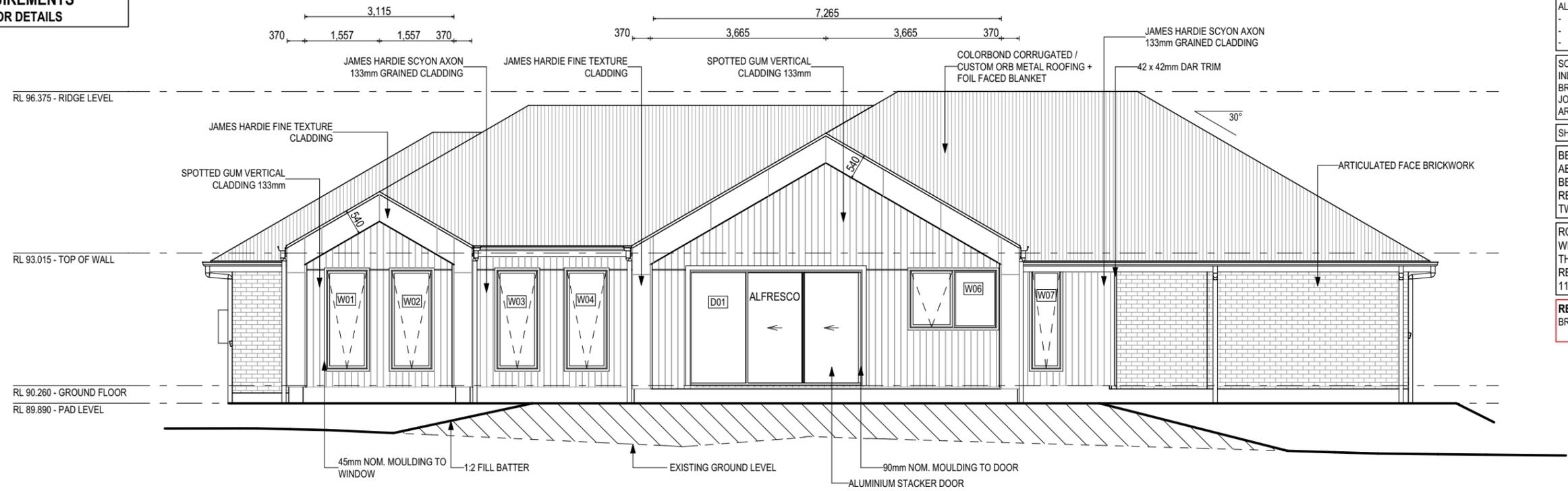
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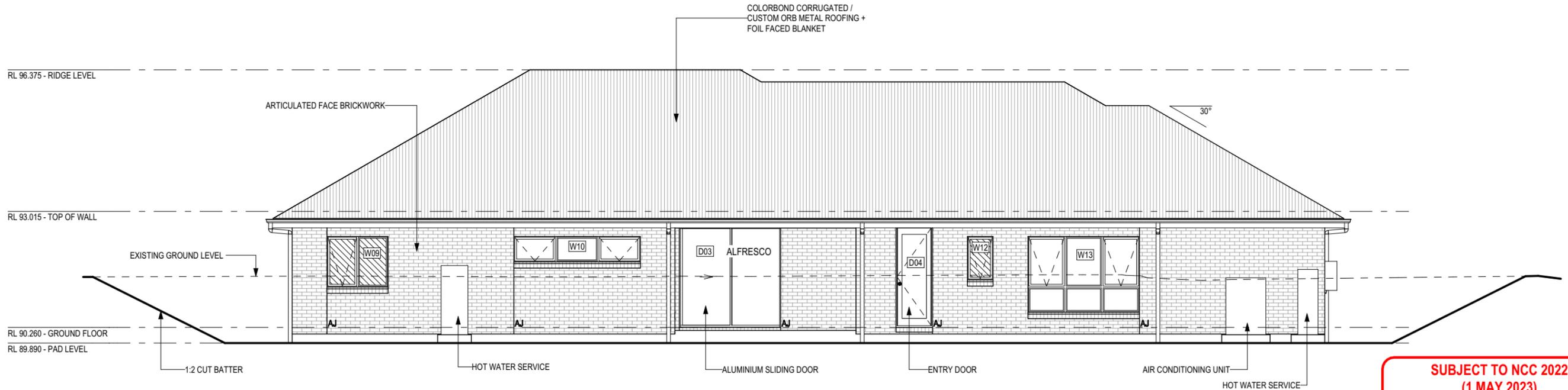


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			COUNCIL:	CLARENCE	SCALES:		1:100

BAL-12.5 BUSHFIRE REQUIREMENTS
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NORTH ELEVATION
SCALE: 1:100



SOUTH ELEVATION
SCALE: 1:100

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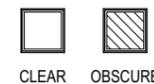
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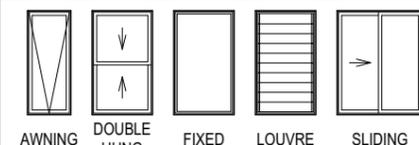
REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BRIC-001

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

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SIGNATURE: _____ DATE: _____

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9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026	2 / - / 179114	COUNCIL: CLARENCE	ELEVATIONS	8 / 31	
					SCALES:	1:100

EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE ¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m ²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m ²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION ²	
WINDOW																
GROUND FLOOR	W01	A2109	AWNING	BED 4	2,057	850	5,814	1.75	ALUMINIUM	BAL-12.5	NONE	N	1.40	CLEAR, DOUBLE GLAZED		
GROUND FLOOR	W02	A2109	AWNING	BED 4	2,057	850	5,814	1.75	ALUMINIUM	BAL-12.5	NONE	N	1.40	CLEAR, DOUBLE GLAZED		
GROUND FLOOR	W03	A2109	AWNING	FAMILY	2,057	850	5,814	1.75	ALUMINIUM	BAL-12.5	NONE	N	1.40	CLEAR, DOUBLE GLAZED		
GROUND FLOOR	W04	A2109	AWNING	FAMILY	2,057	850	5,814	1.75	ALUMINIUM	BAL-12.5	NONE	N	1.40	CLEAR, DOUBLE GLAZED		
GROUND FLOOR	W05	A2106	AWNING	LIVING	2,057	610	5,334	1.25	ALUMINIUM	BAL-12.5	NONE	E	0.93	CLEAR, DOUBLE GLAZED		
GROUND FLOOR	W06	AF1218	AWNING	KITCHEN	1,200	1,810	6,020	2.17	ALUMINIUM	BAL-12.5	NONE	N	1.77	CLEAR, DOUBLE GLAZED	MP 905	
GROUND FLOOR	W07	A2106	AWNING	BUTLER'S PANTRY	2,057	610	5,334	1.25	ALUMINIUM	BAL-12.5	NONE	N	0.93	CLEAR, DOUBLE GLAZED		
GROUND FLOOR	W08	A1006	AWNING	WC	1,029	610	3,278	0.63	ALUMINIUM	BAL-12.5	ANGLED	W	0.44	OBSCURE, DOUBLE GLAZED, TOUGHENED		
GROUND FLOOR	W09	AF1215	AWNING	ENS	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-12.5	ANGLED	S	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725	
GROUND FLOOR	W10	AFA0630	AWNING	BED 1	600	3,010	7,220	1.81	ALUMINIUM	BAL-12.5	ANGLED	S	1.32	CLEAR, DOUBLE GLAZED	MP 1003-1003	
GROUND FLOOR	W11	A2109	AWNING	BED 1	2,057	850	5,814	1.75	ALUMINIUM	BAL-12.5	SNAP HEADER	E	1.40	CLEAR, DOUBLE GLAZED		
GROUND FLOOR	W12	A1006	AWNING	PWD	1,029	610	3,278	0.63	ALUMINIUM	BAL-12.5	ANGLED	S	0.44	OBSCURE, DOUBLE GLAZED, TOUGHENED		
GROUND FLOOR	W13	AFA/FFF1827	AWNING	LEISURE	1,800	2,650	8,900	4.77	ALUMINIUM	BAL-12.5	ANGLED	S	3.82	CLEAR, DOUBLE GLAZED	BP 600, MP 883-883/883-883	
GROUND FLOOR	W14	AF1215	AWNING	BED 2	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-12.5	ANGLED	E	1.38	CLEAR, DOUBLE GLAZED	MP 725	
GROUND FLOOR	W15	AF1215	AWNING	BED 3	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-12.5	ANGLED	E	1.38	CLEAR, DOUBLE GLAZED	MP 725	
GROUND FLOOR	W16	AF1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-12.5	ANGLED	E	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725	
							89,634 mm	28.22				22.14				
DOOR																
GROUND FLOOR	D01	FSS2436	STACKER	LIVING	2,400	3,588	11,976	8.61	ALUMINIUM	BAL-12.5	NONE	N	7.77	CLEAR, TOUGHENED		
GROUND FLOOR	D02	1200	SWINGING	ENTRY	2,406	1,267	7,346	3.05	TIMBER	BAL-12.5	SNAP HEADER	W	---	DOOR(S): CLEAR - SIDELIGHT(S): N/A	LEAF SIZE: 2336 x 1200mm	
GROUND FLOOR	D03	SF2400x2410	SLIDING	DINING	2,400	2,410	9,620	5.78	ALUMINIUM	BAL-12.5	SNAP HEADER	S	5.19	CLEAR, TOUGHENED	ALI VIEW SECURITY SCREEN	
GROUND FLOOR	D04	HD2409R	SWINGING	LDRY	2,400	870	6,540	2.09	ALUMINIUM	BAL-12.5	SNAP HEADER	S	1.41	CLEAR		
							35,482 mm	19.53				14.37				
							125,116 mm	47.75				36.51				

NOTE:
Provide BAL-12.5 rated aluminium windows and external glass sliding doors in lieu of standard.
Provide flyscreens with corrosion resistant mesh to all opening window sashes only.

Window Manufacturer: Dowell Windows

No BAL / BAL 12.5 Window Type	WERS Code	U Value	SHGC
Sliding Window	DOW-022-003	2.9	0.64
Awning Window	DOW-005-001	3.9	0.58
Fixed External Window	DOW-038-001	3.03	0.71
Sliding Door	DAR-034-001	3.97	0.63
Stacking Door	DAR-034-001	3.97	0.63
Hinged Door	DOW-017-001	4.1	0.55
Bi-Fold Door	DOW-020-001	4.1	0.54
BAL 19			
Window Type	WERS Code	U Value	SHGC
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AUW-009-009	4.03	0.58
Stacking Door	AUW-009-009	4.03	0.58
Hinged Door	GRN-009-001	4.25	0.53
Bi-Fold Door	DOW-020-001	4.1	0.54
BAL 29			
Window Type	WERS Code	U Value	SHGC
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AMJ-007-005	4.03	0.59
Stacking Door	AMJ-007-005	4.03	0.59
Hinged Door	GRN-009-001	4.29	0.53

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

PICTURE, TV RECESS AND SS WINDOW OPENINGS

QTY	TYPE	HEIGHT	WIDTH	AREA (m ²)

INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	5	1000 SS	SQUARE SET OPENING	2,455	1,000	N/A	
GROUND FLOOR	3	2 x 620	SWINGING	2,340	1,240	N/A	
GROUND FLOOR	1	2 x 820	SWINGING	2,340	1,640	N/A	
GROUND FLOOR	1	720	SWINGING	2,340	720	N/A	LIFT-OFF HINGES
GROUND FLOOR	1	770	SWINGING	2,340	770	N/A	
GROUND FLOOR	1	770	SWINGING	2,340	770	N/A	LIFT-OFF HINGES
GROUND FLOOR	6	820	SWINGING	2,340	820	N/A	
GROUND FLOOR	1	820 CSD	CAVITY SLIDING	2,340	820	N/A	
GROUND FLOOR	1	990 SS	SQUARE SET OPENING	2,455	990	N/A	

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BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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	9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026	2 / - / 179114	COUNCIL:	WINDOW & DOOR SCHEDULES	9 / 31	

NATURAL LIGHT AND VENTILATION

ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ'D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN/ LIVING/ DINING	60.71 m ²	W05, W06, D01, D03	6.07 m ²	15.66 m ²	3.04 m ²	10.28 m ²
BED 1	15.94 m ²	W10, W11	1.59 m ²	2.72 m ²	0.80 m ²	2.71 m ²
BED 2	10.11 m ²	W14	1.01 m ²	1.38 m ²	0.51 m ²	0.79 m ²
BED 3	10.11 m ²	W15	1.01 m ²	1.38 m ²	0.51 m ²	0.79 m ²
BED 4	10.08 m ²	W01, W02	1.01 m ²	2.80 m ²	0.50 m ²	3.26 m ²
LEISURE	22.82 m ²	W13	2.28 m ²	3.82 m ²	1.14 m ²	1.96 m ²
FAMILY	15.65 m ²	W03, W04	1.57 m ²	2.80 m ²	0.78 m ²	3.26 m ²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)
 PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

ABCB

Lighting

Class 1 & 10a buildings

Code
Calculator

Main Menu Help

Building name/description 714343 - CARINS - RESIDENTIAL	Classification Class 1
Number of rows preferred in table below	16 <i>(as currently displayed)</i>

ID	Description	Type of space	Floor area of the space	Design lamp or illumination power load	Location	Adjustment factor			SATISFIES PART 13.7.6		
						Adjustment factors	Dimming % area	Dimming % of full power	Design lumen depreciation factor	Lamp or illumination power density	System share of % of aggregate allowance used
1	ENTRY/ BAG DROP	Corridor	4.9 m ²	7 W	Class 1 building				5.0 W/m ²	1.4 W/m ²	5% of 24%
2	HALL 1	Corridor	3.0 m ²	7 W	Class 1 building				5.0 W/m ²	2.3 W/m ²	8% of 24%
3	BED 1	Bedroom	15.9 m ²	14 W	Class 1 building				5.0 W/m ²	0.9 W/m ²	3% of 24%
4	BED 2	Bedroom	10.1 m ²	14 W	Class 1 building				5.0 W/m ²	1.4 W/m ²	5% of 24%
5	BED 3	Bedroom	10.1 m ²	14 W	Class 1 building				5.0 W/m ²	1.4 W/m ²	5% of 24%
6	BED 4	Bedroom	10.1 m ²	14 W	Class 1 building				5.0 W/m ²	1.4 W/m ²	5% of 24%
7	BATH	Bathroom	6.8 m ²	10 W	Class 1 building				5.0 W/m ²	1.5 W/m ²	5% of 24%
8	PWD	Toilet	2.7 m ²	7 W	Class 1 building				5.0 W/m ²	2.6 W/m ²	9% of 24%
9	ENS	Bathroom	7.8 m ²	10 W	Class 1 building				5.0 W/m ²	1.3 W/m ²	5% of 24%
10	WIR	Other	6.0 m ²	14 W	Class 1 building				5.0 W/m ²	2.3 W/m ²	8% of 24%
11	FAMILY	Lounge room	15.7 m ²	14 W	Class 1 building				5.0 W/m ²	0.9 W/m ²	3% of 24%
12	LDRY	Laundry	7.1 m ²	14 W	Class 1 building				5.0 W/m ²	2.0 W/m ²	7% of 24%
13	OPEN DINING/ LIVING/ KITCHEN	Living room	60.7 m ²	56 W	Class 1 building				5.0 W/m ²	0.9 W/m ²	3% of 24%
14	BUTLER'S PANTRY	Kitchen	7.7 m ²	14 W	Class 1 building				5.0 W/m ²	1.8 W/m ²	6% of 24%
15	LEISURE/STUDY NOOK	Lounge room	24.6 m ²	21 W	Class 1 building				5.0 W/m ²	0.9 W/m ²	3% of 24%
16	WC	Toilet	1.4 m ²	7 W	Class 1 building				5.0 W/m ²	5.2 W/m ²	18% of 24%

	194.5 m ²	237 W	Class 1 building	Allowance	Design average
				5.0 W/m ²	1.2 W/m ²

if inputs are valid

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

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 By accessing or using this calculator, you agree to the following: While care has been taken in the preparation of this calculator, it may not be complete or up-to-date. You can ensure that you are using a complete and up-to-date version by checking the Australian Building Codes Board website (abcb.gov.au). The Australian Building Codes Board, the Commonwealth of Australia and States and Territories of Australia do not accept any liability, including liability for negligence, for any loss (howsoever caused), damage, injury, expense or cost incurred by any person as a result of accessing, using or relying upon this publication, to the maximum extent permitted by law. No representation or warranty is made or given as to the currency, accuracy, reliability, merchantability, fitness for any purpose or completeness of this publication or any information which may appear on any linked websites, or in other linked information sources, and all such representations and warranties are excluded to the extent permitted by law. This calculator is not legal or professional advice. Persons rely upon this calculator entirely at their own risk and must take responsibility for assessing the relevance and accuracy of the information in relation to their particular circumstances.

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

BAL-12.5 BUSHFIRE REQUIREMENTS
 SEE SHEET 1 (COVER SHEET) FOR DETAILS

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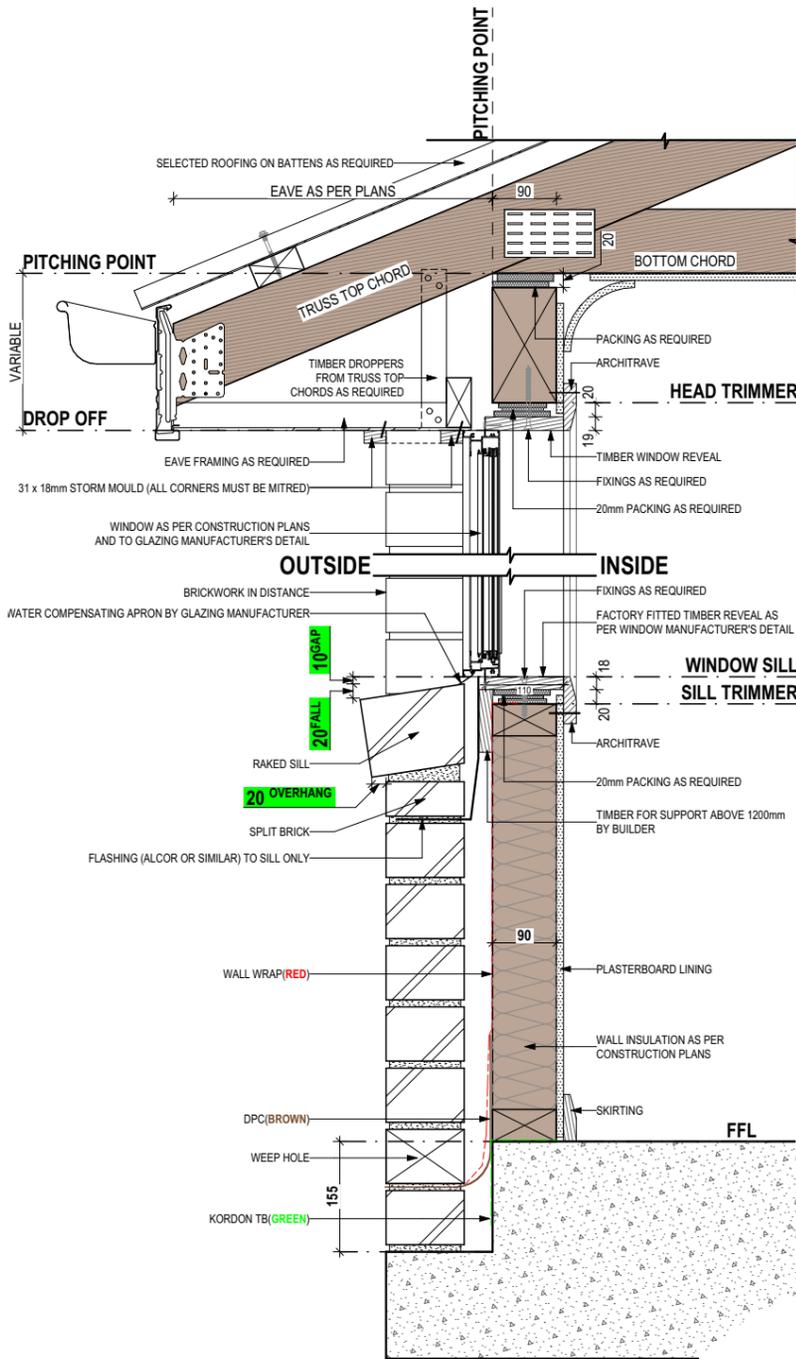
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SIGNATURE: _____ DATE: _____

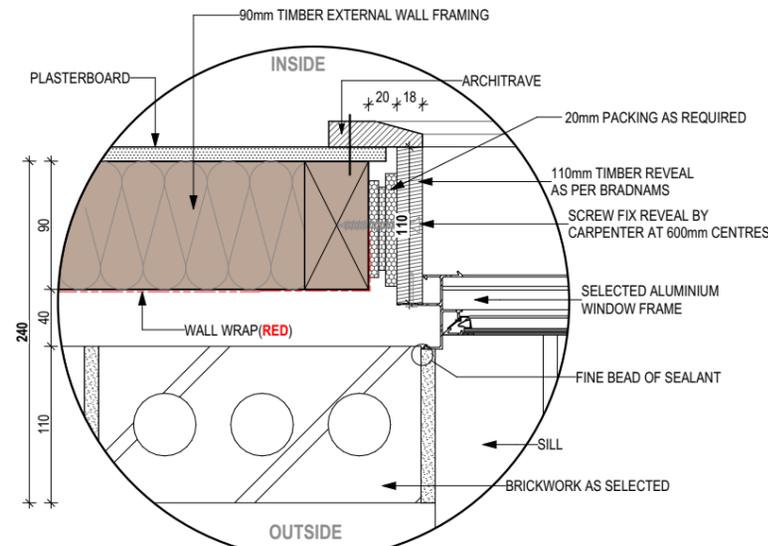
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	SPECIFICATION: NEXTGEN	REVISION	DRAWN	CLIENT: NATHAN JAMES & SUSAN JEAN CARINS	HOUSE DESIGN: RICHMOND 29	HOUSE CODE: H-WATRCH20SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
	COPYRIGHT: © 2026	5 PRELIM PLANS - CORRECTIONS	MFC 03/11/2025	ADDRESS: 41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	FACADE DESIGN: OSLO	FACADE CODE: F-WATRCH20OSLOA		
		6 PRELIM PLANS - COLOUR UPDATE	TDO 10/11/2025	LOT / SECTION / CT: 2 / - / 179114	COUNCIL: CLARENCE	SHEET TITLE: CALCULATIONS		SHEET No.: 10 / 31
		7 PRELIM PLANS - AMENDMENTS	PL1 12/12/2025					714343
		8 BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO 22/01/2026					
		9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026					



SECTIONS
SCALE: 1:10



DETAILS
SCALE: 1:5

STANDARD BRICK								STANDARD BRICK															
BRICKWORK DIMENSIONS				Bricks per m ² in wall = 48.5 approx.				all dimensions in mm				BRICKWORK DIMENSIONS				Bricks per m ² in wall = 48.5 approx.				all dimensions in mm			
FORMAT SIZE:		MANUFACTURING SIZE:		VERTICAL GAUGE:		FORMAT SIZE:		MANUFACTURING SIZE:		VERTICAL GAUGE:		FORMAT SIZE:		MANUFACTURING SIZE:		VERTICAL GAUGE:							
240x120x86mm		230x110x76mm		7 Courses to 600mm		240x120x86mm		230x110x76mm		7 Courses to 600mm		240x120x86mm		230x110x76mm		7 Courses to 600mm							
NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT				
1	230	250	86	26	6230	6250	2229	11	2630	2650	943	36 ¹ / ₂	8630						3086				
1 ¹ / ₂	350	370		26 ¹ / ₂	6350	6370		11 ¹ / ₂	2750	2770		36 ¹ / ₂	8750						3172				
2	470	490	172	27	6470	6490	2314	12	2870	2890	1029	37	8870						3257				
2 ¹ / ₂	590	610		27 ¹ / ₂	6590	6610		12 ¹ / ₂	2990	3010		37 ¹ / ₂	8990						3343				
3	710	730	257	28	6710	6730	2400	13	3110	3130	1114	38	9110						3429				
3 ¹ / ₂	830	850		28 ¹ / ₂	6830	6850		13 ¹ / ₂	3230	3250		38 ¹ / ₂	9230						3514				
4	950	970	343	29	6950	6970	2486	14	3350	3370	1200	39	9350						3600				
4 ¹ / ₂	1070	1090		29 ¹ / ₂	7070	7090		14 ¹ / ₂	3470	3490		39 ¹ / ₂	9470						3686				
5	1190	1210	429	30	7190	7210	2572	15	3590	3610	1286	40	9590						3772				
5 ¹ / ₂	1310	1330		30 ¹ / ₂	7310	7330		15 ¹ / ₂	3710	3730		40 ¹ / ₂	9710						3857				
6	1430	1450	514	31	7430	7450	2657	16	3830	3850	1372	41	9830						3943				
6 ¹ / ₂	1550	1570		31 ¹ / ₂	7550	7570		16 ¹ / ₂	3950	3970		41 ¹ / ₂	9950						4029				
7	1670	1690	600	32	7670	7690	2743	17	4070	4090	1457	42	10070						4114				
7 ¹ / ₂	1790	1810		32 ¹ / ₂	7790	7810		17 ¹ / ₂	4190	4210		42 ¹ / ₂	10190						4200				
8	1910	1930	686	33	7910	7930	2829	18	4310	4330	1543	43	10310						4286				
8 ¹ / ₂	2030	2050		33 ¹ / ₂	8030	8050		18 ¹ / ₂	4430	4450		43 ¹ / ₂	10430						4372				
9	2150	2170	772	34	8150	8170	2914	19	4550	4570	1629	44	10550						4457				
9 ¹ / ₂	2270	2290		34 ¹ / ₂	8270	8290		19 ¹ / ₂	4670	4690		44 ¹ / ₂	10670						4543				
10	2390	2410	857	35	8390	8400	3000	20	4790	4810	1714	45	10790						4629				
									20 ¹ / ₂	4910	4930		45 ¹ / ₂	10910					4714				
									21	5030	5050	1800	46	11030					4800				
									21 ¹ / ₂	5150	5170		46 ¹ / ₂	11150					4886				
									22	5270	5290	1886	47	11270					4972				
									22 ¹ / ₂	5390	5410		47 ¹ / ₂	11390					5057				
									23	5510	5530	1972	48	11510					5143				
									23 ¹ / ₂	5630	5650		48 ¹ / ₂	11630					5229				
									24	5750	5770	2057	49	11750					5314				
									24 ¹ / ₂	5870	5890		49 ¹ / ₂	11870					5400				
									25	5990	6010	2143	50	11990					5486				
									25 ¹ / ₂	6110	6130		50	12110					5572				

NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

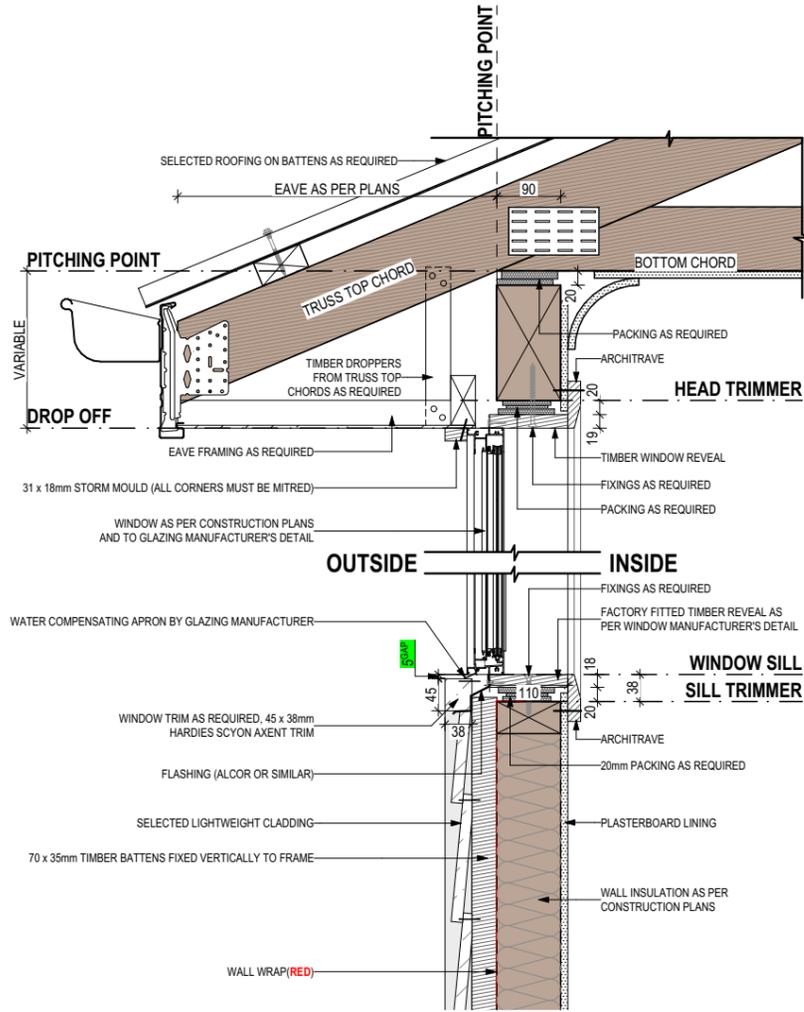
BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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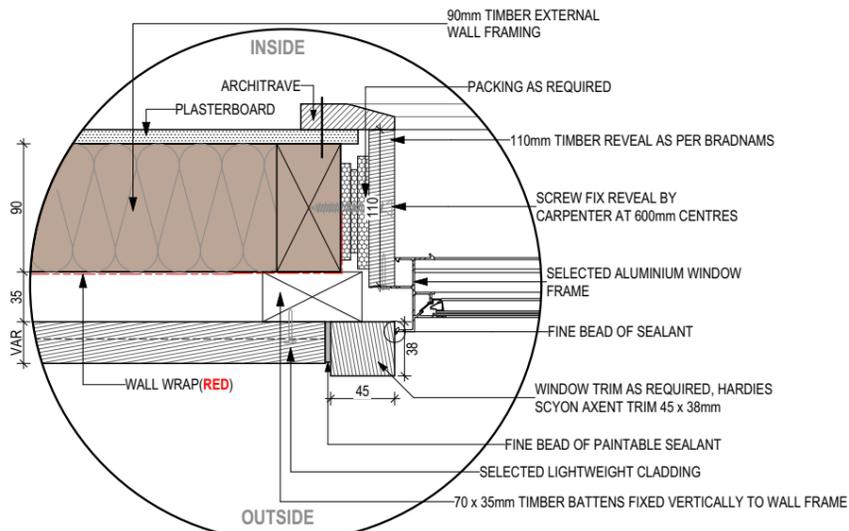
	SPECIFICATION: NEXTGEN	REVISION	DRAWN	CLIENT: NATHAN JAMES & SUSAN JEAN CARINS	HOUSE DESIGN: RICHMOND 29	HOUSE CODE: H-WATRCH20SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	COPYRIGHT: © 2026	5 PRELIM PLANS - CORRECTIONS 6 PRELIM PLANS - COLOUR UPDATE 7 PRELIM PLANS - AMENDMENTS	MFC 03/11/2025 TDO 10/11/2025 PL1 12/12/2025	ADDRESS: 41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	FACADE DESIGN: OSLO	FACADE CODE: F-WATRCH20OSLOA	
		8 BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP 9 BA PLANS - SMALL CORRECTIONS	NVO 22/01/2026 TRV 03/02/2026	LOT / SECTION / CT: 2 / - / 179114	COUNCIL: CLARENCE	SHEET TITLE: DETAILS (FACE BRICKWORK)	
						714343	

REFER TO W-CLAD-001 & W-CLAD-002 FOR FULL DETAIL

SHEET CLADDING



SECTIONS
SCALE: 1:10



DETAILS
SCALE: 1:5

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(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

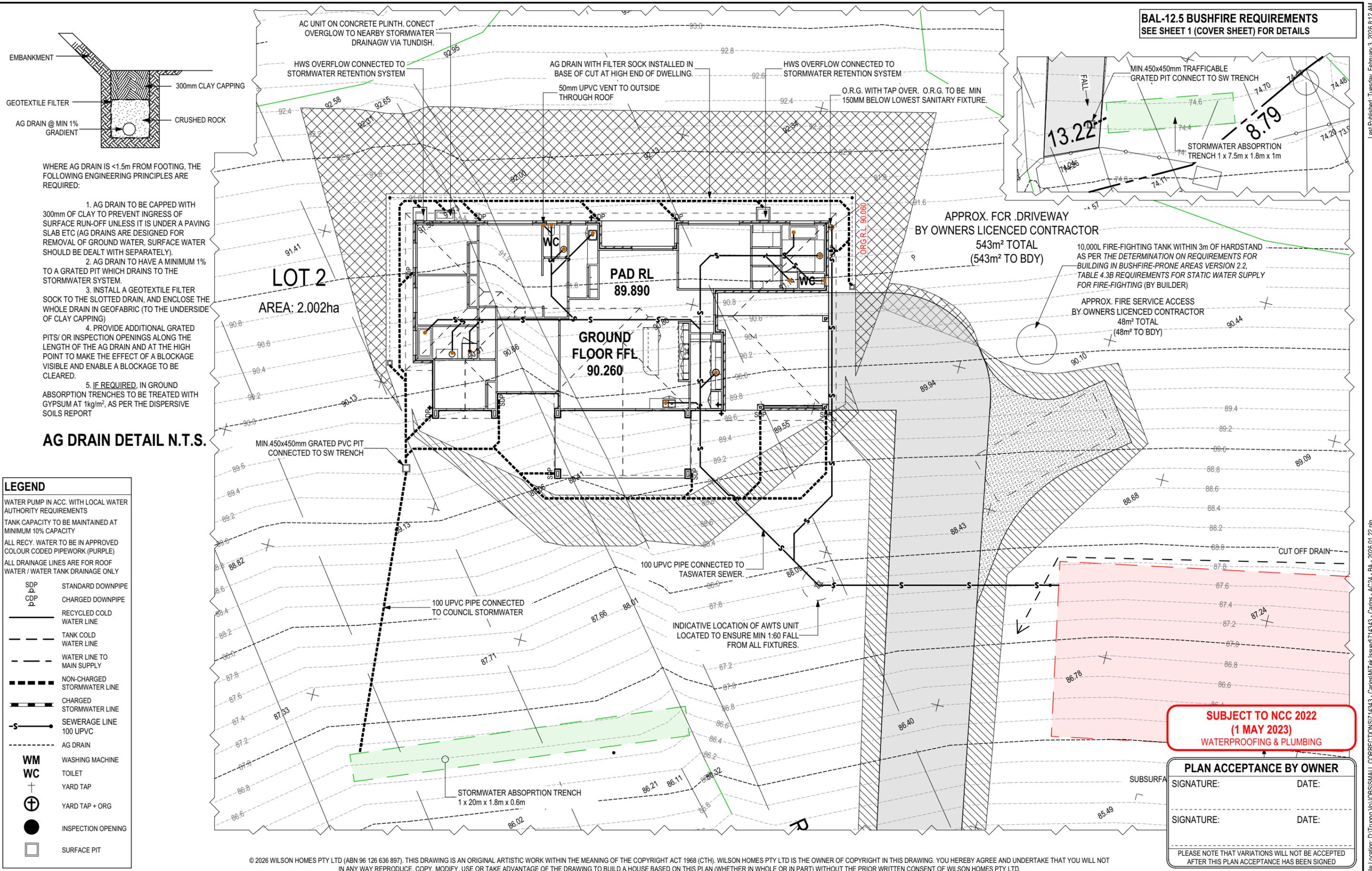
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SIGNATURE: _____ DATE: _____

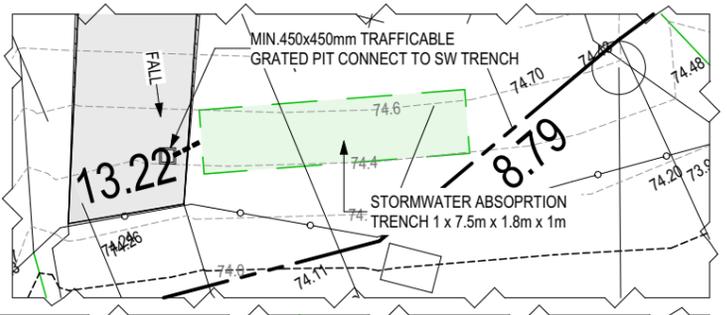
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	5	PRELIM PLANS - CORRECTIONS	MFC	03/11/2025	NATHAN JAMES & SUSAN JEAN CARINS		RICHMOND 29		H-WATRCH20SA			
	6	PRELIM PLANS - COLOUR UPDATE	TDO	10/11/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:			
	7	PRELIM PLANS - AMENDMENTS	PL1	12/12/2025	41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170		OSLO		F-WATRCH20OSLOA			
	8	BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO	22/01/2026	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:		
	9	BA PLANS - SMALL CORRECTIONS	TRV	03/02/2026	2 / - / 179114	CLARENCE	DETAILS (CLADDING)		12 / 31			



BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



WHERE AG DRAIN IS <1.5m FROM FOOTING, THE FOLLOWING ENGINEERING PRINCIPLES ARE REQUIRED:

1. AG DRAIN TO BE CAPPED WITH 300mm OF CLAY TO PREVENT INGRESS OF SURFACE RUN-OFF UNLESS IT IS UNDER A PAVING SLAB ETC (AG DRAINS ARE DESIGNED FOR REMOVAL OF GROUND WATER, SURFACE WATER SHOULD BE DEALT WITH SEPARATELY).
2. AG DRAIN TO HAVE A MINIMUM 1% TO A GRATED PIT WHICH DRAINS TO THE STORMWATER SYSTEM.
3. INSTALL A GEOTEXTILE FILTER SOCK TO THE SLOTTED DRAIN, AND ENCLOSE THE WHOLE DRAIN IN GEOFABRIC (TO THE UNDERSIDE OF CLAY CAPPING)
4. PROVIDE ADDITIONAL GRATED PITS/ OR INSPECTION OPENINGS ALONG THE LENGTH OF THE AG DRAIN AND AT THE HIGH POINT TO MAKE THE EFFECT OF A BLOCKAGE VISIBLE AND ENABLE A BLOCKAGE TO BE CLEARED.
5. IF REQUIRED, IN GROUND ABSORPTION TRENCHES TO BE TREATED WITH GYPSUM AT 1kg/m², AS PER THE DISPERSIVE SOILS REPORT

AG DRAIN DETAIL N.T.S.

LEGEND

- WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS
- TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY
- ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)
- ALL DRAINAGE LINES ARE FOR ROOF WATER / WATER TANK DRAINAGE ONLY
- SDP STANDARD DOWNPIPE
- CDP CHARGED DOWNPIPE
- RECYCLED COLD WATER LINE
- TANK COLD WATER LINE
- WATER LINE TO MAIN SUPPLY
- NON-CHARGED STORMWATER LINE
- CHARGED STORMWATER LINE
- SEWERAGE LINE 100 UPVC
- AG DRAIN
- WM WASHING MACHINE
- WC TOILET
- YARD TAP
- YARD TAP + ORG
- INSPECTION OPENING
- SURFACE PIT

APPROX. FCR DRIVEWAY
BY OWNERS LICENCED CONTRACTOR
543m² TOTAL
(543m² TO BDY)

10,000L FIRE-FIGHTING TANK WITHIN 3m OF HARDSTAND AS PER THE DETERMINATION ON REQUIREMENTS FOR BUILDING IN BUSHFIRE-PRONE AREAS VERSION 2.2, TABLE 4.3B REQUIREMENTS FOR STATIC WATER SUPPLY FOR FIRE-FIGHTING (BY BUILDER)

APPROX. FIRE SERVICE ACCESS
BY OWNERS LICENCED CONTRACTOR
48m² TOTAL
(48m² TO BDY)

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

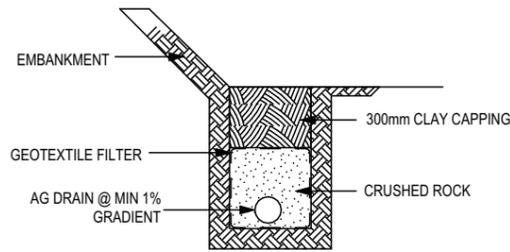
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	5	PRELIM PLANS - CORRECTIONS	MFC	03/11/2025	NATHAN JAMES & SUSAN JEAN CARINS	RICHMOND 29		H-WATRCH20SA
	6	PRELIM PLANS - COLOUR UPDATE	TDO	10/11/2025	ADDRESS:	FACADE DESIGN:		FACADE CODE:
	7	PRELIM PLANS - AMENDMENTS	PL1	12/12/2025	41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	OSLO		F-WATRCH20OSLOA
	8	BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO	22/01/2026	LOT / SECTION / CT:	SHEET TITLE:		SHEET No.:
	9	BA PLANS - SMALL CORRECTIONS	TRV	03/02/2026	2 / - / 179114	DRAINAGE PLAN		13 / 31
					COUNCIL:			SCALES:
					CLARENCE			1:200
								714343



WHERE AG DRAIN IS <1.5m FROM FOOTING, THE FOLLOWING ENGINEERING PRINCIPLES ARE REQUIRED:

1. AG DRAIN TO BE CAPPED WITH 300mm OF CLAY TO PREVENT INGRESS OF SURFACE RUN-OFF UNLESS IT IS UNDER A PAVING SLAB ETC (AG DRAINS ARE DESIGNED FOR REMOVAL OF GROUND WATER, SURFACE WATER SHOULD BE DEALT WITH SEPARATELY).
2. AG DRAIN TO HAVE A MINIMUM 1% TO A GRATED PIT WHICH DRAINS TO THE STORMWATER SYSTEM.
3. INSTALL A GEOTEXTILE FILTER SOCK TO THE SLOTTED DRAIN, AND ENCLOSE THE WHOLE DRAIN IN GEOFABRIC (TO THE UNDERSIDE OF CLAY CAPPING)
4. PROVIDE ADDITIONAL GRATED PITS/ OR INSPECTION OPENINGS ALONG THE LENGTH OF THE AG DRAIN AND AT THE HIGH POINT TO MAKE THE EFFECT OF A BLOCKAGE VISIBLE AND ENABLE A BLOCKAGE TO BE CLEARED.
5. IF REQUIRED, IN GROUND ABSORPTION TRENCHES TO BE TREATED WITH GYPSUM AT 1kg/m², AS PER THE DISPERSIVE SOILS REPORT

AG DRAIN DETAIL N.T.S.

LEGEND

WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS
TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY
ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)
ALL DRAINAGE LINES ARE FOR ROOF WATER / WATER TANK DRAINAGE ONLY

- SDP STANDARD DOWNPIPE
- CDP CHARGED DOWNPIPE
- RECYCLED COLD WATER LINE
- TANK COLD WATER LINE
- WATER LINE TO MAIN SUPPLY
- NON-CHARGED STORMWATER LINE
- CHARGED STORMWATER LINE
- SEWERAGE LINE 100 UPVC
- AG DRAIN
- WM WASHING MACHINE
- WC TOILET
- YARD TAP
- YARD TAP + ORG
- INSPECTION OPENING
- SURFACE PIT



SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

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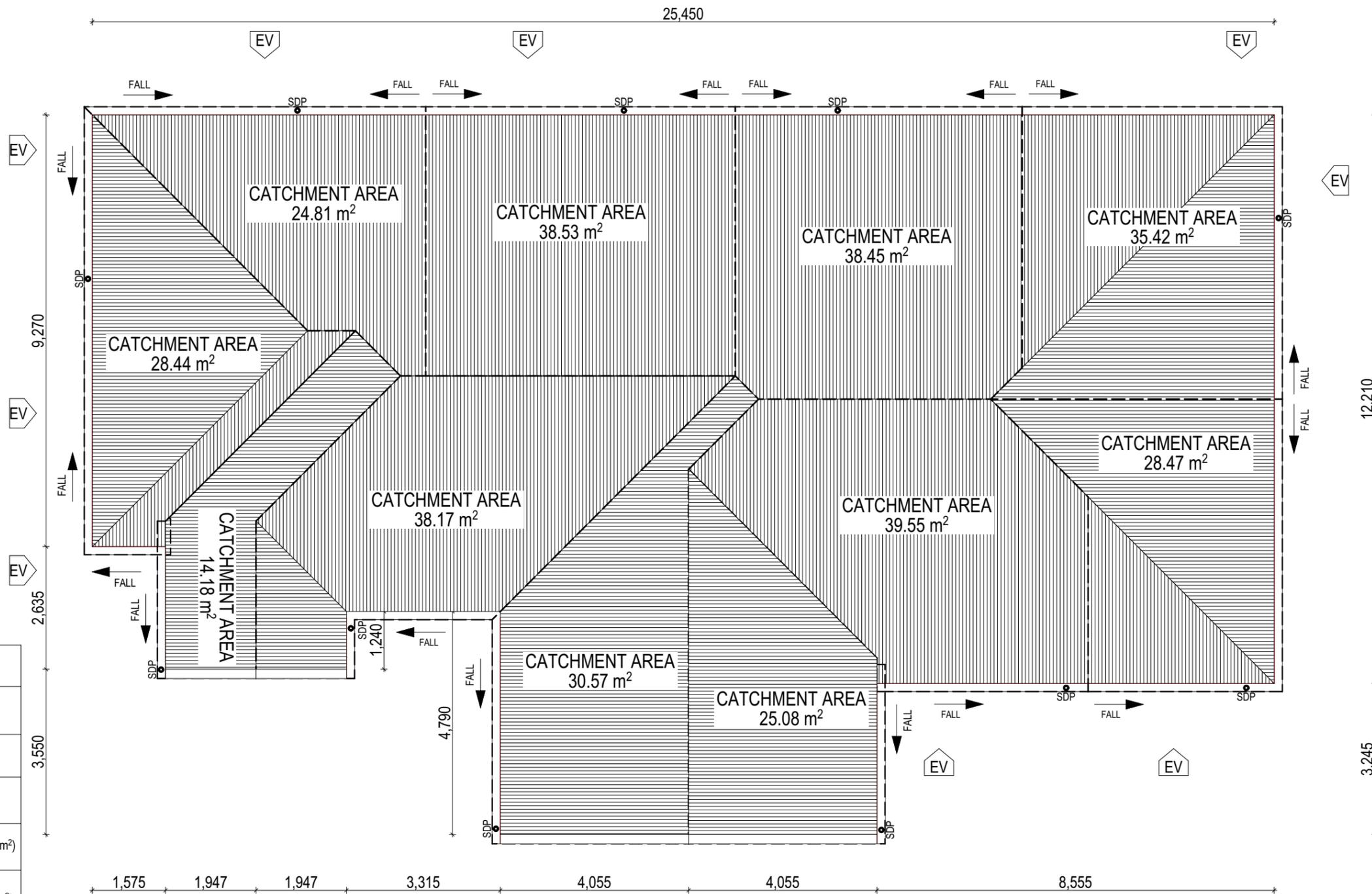
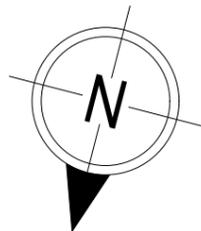
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SPECIFICATION: NEXTGEN COPYRIGHT: © 2026	REVISION 5 PRELIM PLANS - CORRECTIONS	DRAWN MFC 03/11/2025	CLIENT: NATHAN JAMES & SUSAN JEAN CARINS	HOUSE DESIGN: RICHMOND 29	HOUSE CODE: H-WATRCH20SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714343	
	6 PRELIM PLANS - COLOUR UPDATE	TD0 10/11/2025	ADDRESS: 41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	FACADE DESIGN: OSLO	FACADE CODE: F-WATRCH20OSLOA		
	7 PRELIM PLANS - AMENDMENTS	PL1 12/12/2025	LOT / SECTION / CT: 2 / - / 179114	COUNCIL: CLARENCE	SHEET TITLE: DRAINAGE PLAN 1:1000		SHEET No.: 14 / 31
	8 BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO 22/01/2026					SCALES: 1:1000
	9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026					



WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREAS SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	326.86	Flat Roof Area (excluding gutter and slope factor) (m ²)
	393.11	Roof Surface Area (includes slope factor, excludes gutter) (m ²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	341.68	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	440.77	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.29 for 30° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²)
Required Downpipes	6.89	Ac / Acdp
Downpipes Provided	11	

For Roofs With >15 - <75 Degree Roof Pitch.

Longest Horizontal Dimension of Roof (m)	25.5
Ventilation Surface Area Required (Eave Ventilation - 7,000mm ² / m)	178500
Ventilation Surface Area Required (Ridge Ventilation - 5,000mm ² / m)	127500
Ventilation Area (m ²) per Whirlybird (if used)	0.07
Ventilation Area per Eave Vents (mm ²) (min. 418 x 200mm)	21000
Minimum required soffit ventilation (eave vents) NB: to be evenly spaced around soffit	9
Ridge ventilation to be provided by continuous gap to ridge cappings	
AS3959 Compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones	

EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

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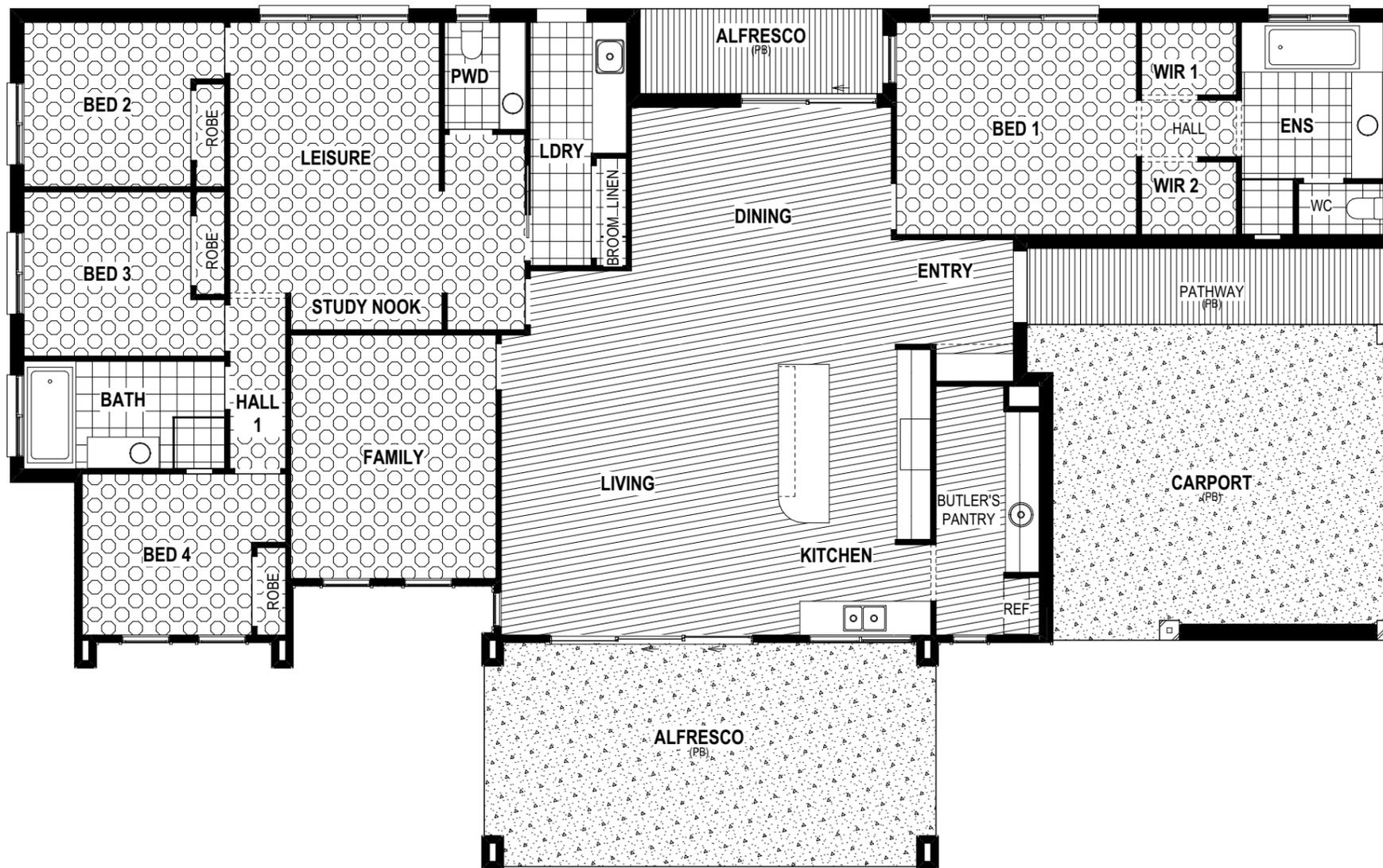
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COPYRIGHT:	6 PRELIM PLANS - COLOUR UPDATE	TDO 10/11/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	714343
© 2026	7 PRELIM PLANS - AMENDMENTS	PL1 12/12/2025	41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	OSLO	F-WATRCH20OSLOA	
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	9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026	2 / - / 179114	COUNCIL:	15 / 31	CLARENCE
				ROOF DRAINAGE PLAN	1:100	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	DECKING



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**BAL-12.5 BUSHFIRE REQUIREMENTS
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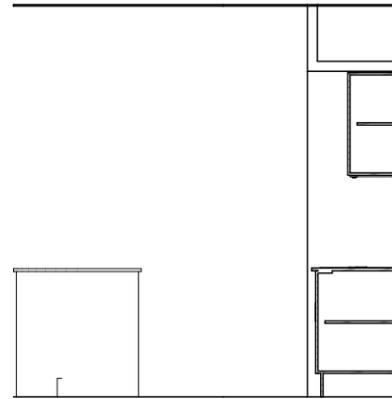


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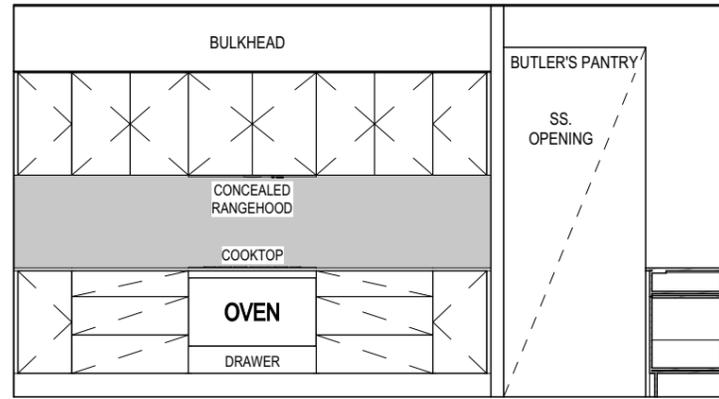
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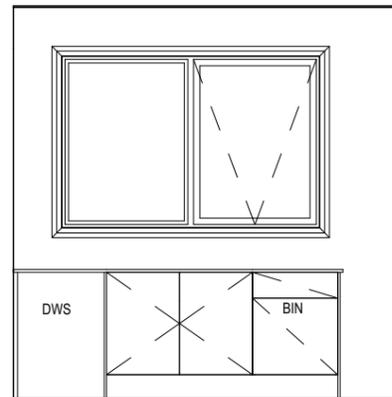
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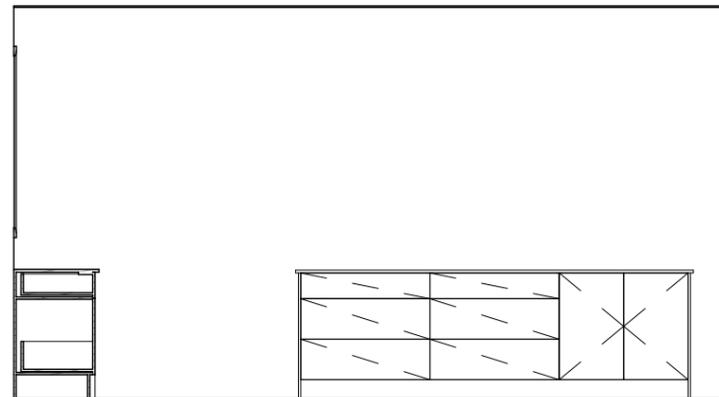
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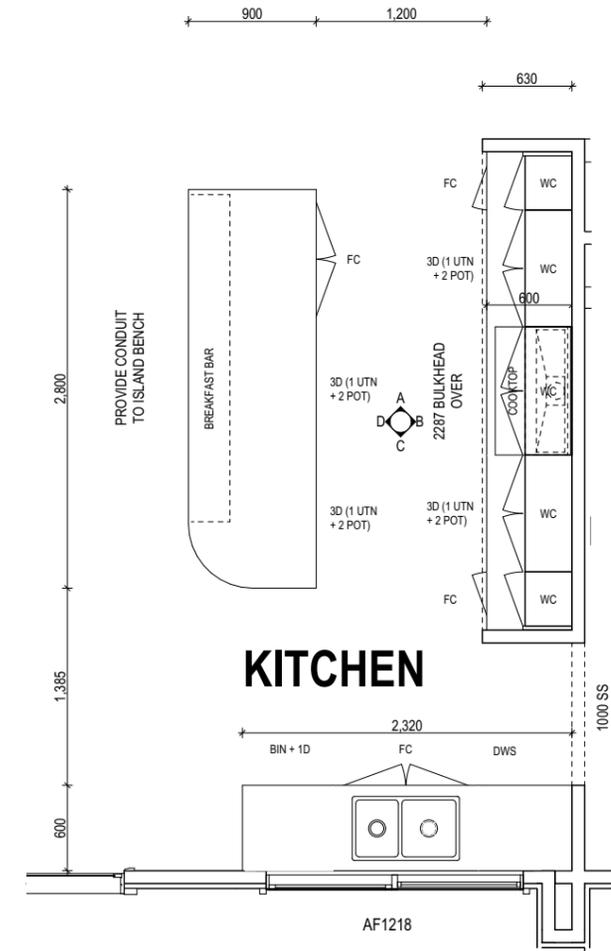
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ELEVATION C
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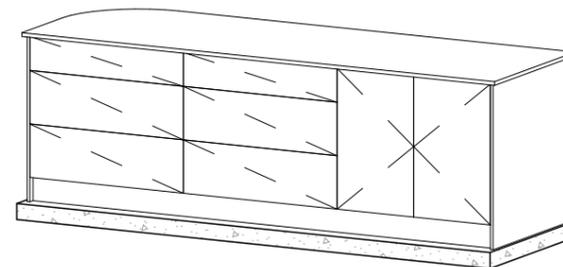
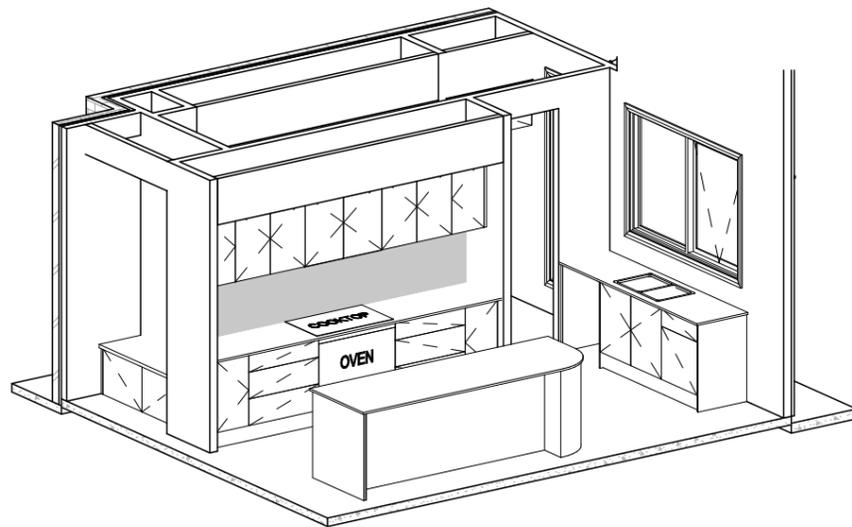


ELEVATION D
SCALE: 1:50



KITCHEN

KITCHEN PLAN
SCALE: 1:50



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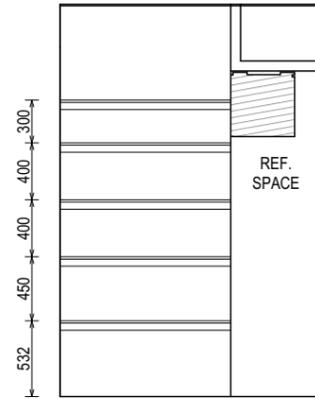
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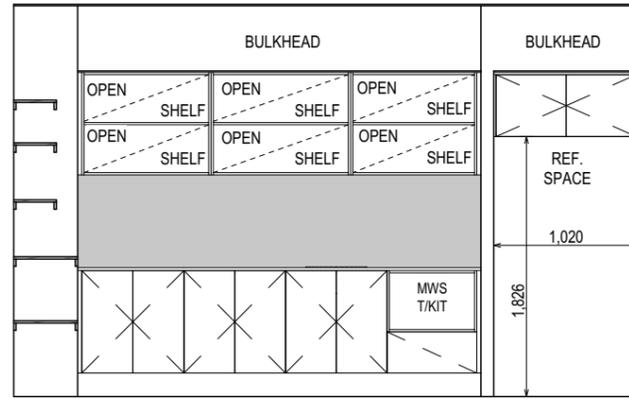
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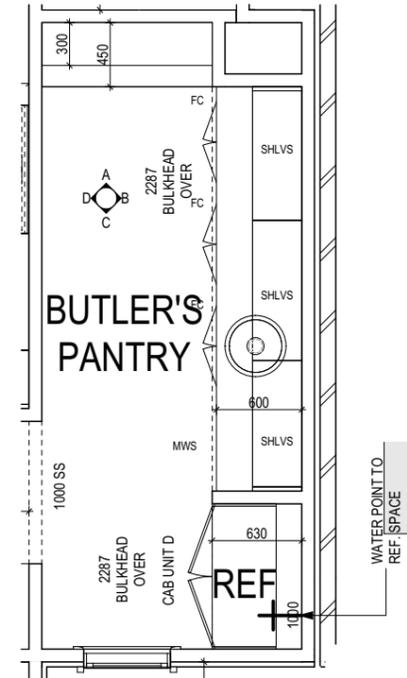
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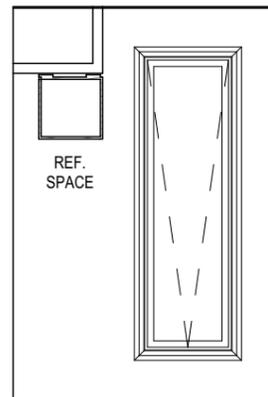
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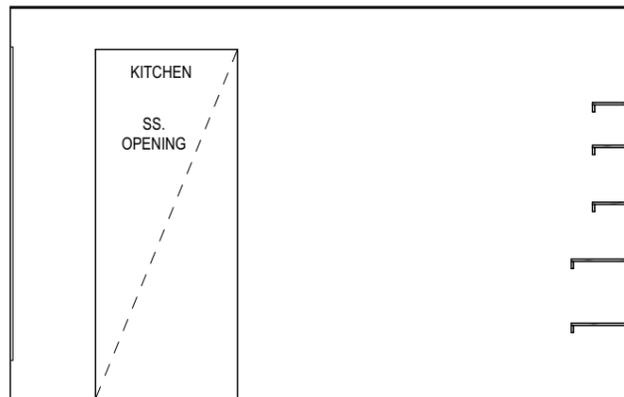
ELEVATION B
SCALE: 1:50



BUTLER'S PANTRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

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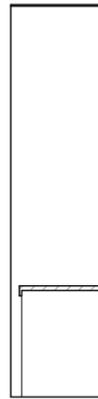
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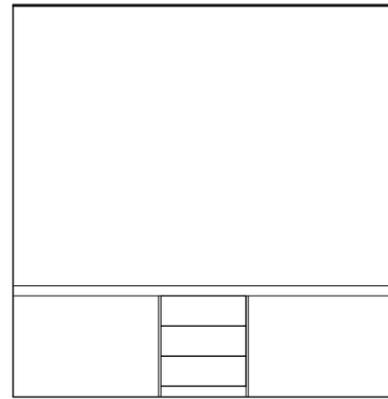
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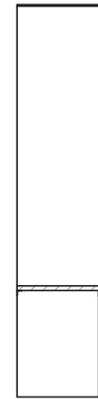
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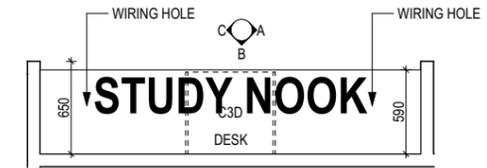
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ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



STUDY NOOK DESK DETAILS
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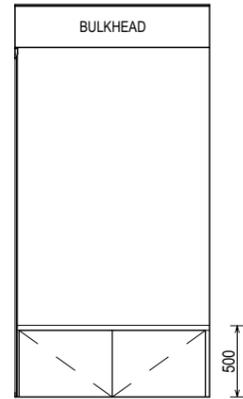
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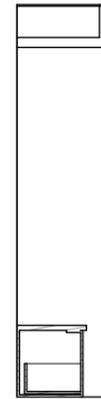
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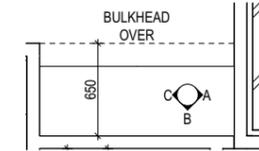
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ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



BAG DROP RECESS DETAILS
SCALE: 1:50

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Last Published: Tuesday, February 3, 2026 8:13 AM

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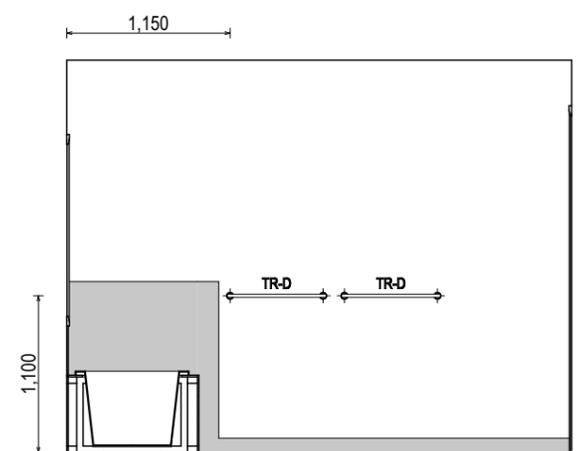
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 VANITY DETAILS G-VANI-001
 WINDOW OVER BATH HOB D-WIND-ALU001
 STANDARD BATH HOB D-WETA-BATH003
 WET AREA TILING LAYOUTS D-WETA-TILE002
 SQUARE SET WINDOWS G-WIND-SSET02
 FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

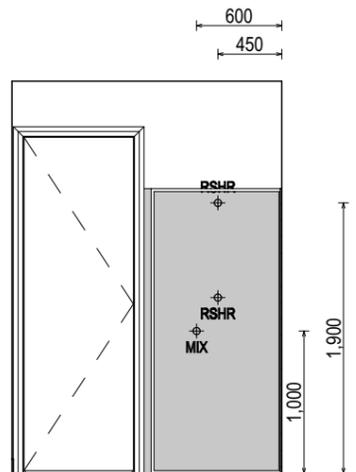
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

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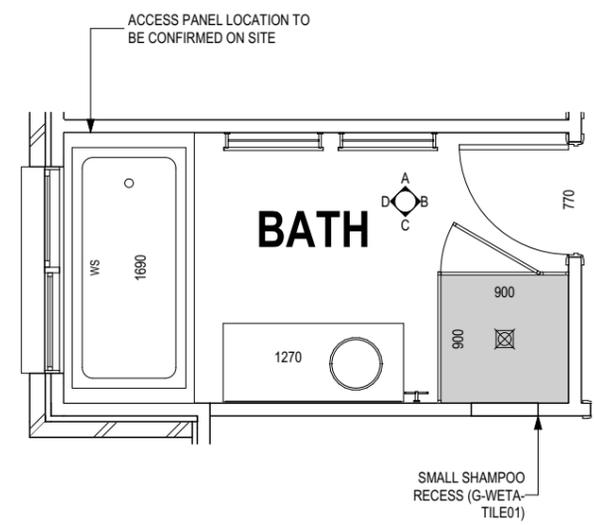
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- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



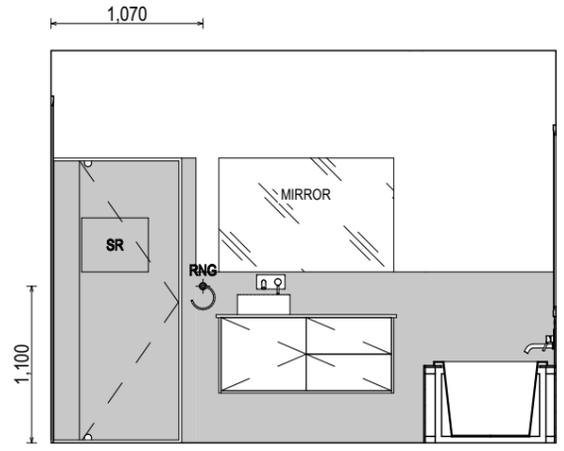
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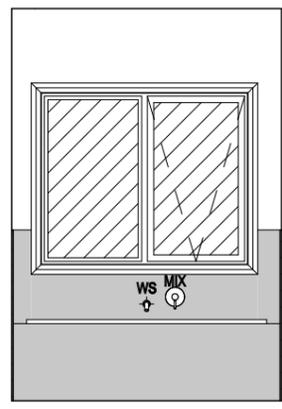
ELEVATION B
SCALE: 1:50



BATHROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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NEXTGEN	5 PRELIM PLANS - CORRECTIONS	MFC 03/11/2025	NATHAN JAMES & SUSAN JEAN CARINS	RICHMOND 29	H-WATRCH20SA	
COPYRIGHT:	6 PRELIM PLANS - COLOUR UPDATE	TDO 10/11/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
© 2026	7 PRELIM PLANS - AMENDMENTS	PL1 12/12/2025	41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	OSLO	F-WATRCH20OSLOA	
	8 BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO 22/01/2026	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026	2 / - / 179114	COUNCIL:	SCALES:	
			CLARENCE	BATHROOM DETAILS	21 / 31	1:50

714343

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

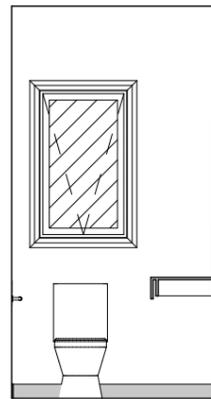
REFER TO THE FOLLOWING DETAILS:
 VANITY DETAILS G-VANI-001
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 STANDARD BATH HOB D-WETA-BATH003
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 - GENERAL BUILDING INFORMATION

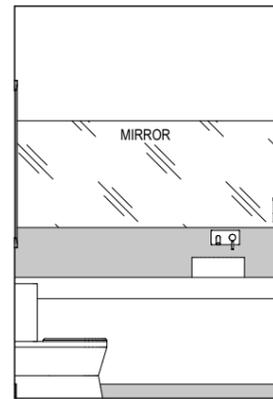
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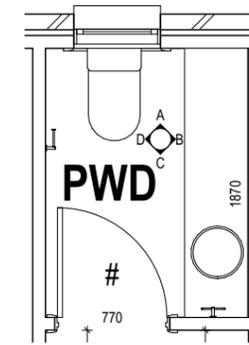
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- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
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- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



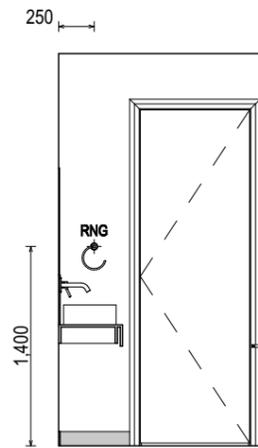
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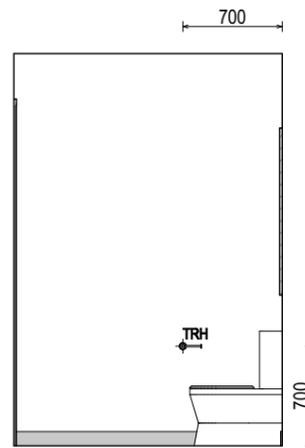
ELEVATION B
SCALE: 1:50



POWDER ROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

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	COPYRIGHT: © 2026	5 PRELIM PLANS - CORRECTIONS	MFC 03/11/2025	ADDRESS: 41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	FACADE DESIGN: OSLO	FACADE CODE: F-WATRCH20OSLOA	
		6 PRELIM PLANS - COLOUR UPDATE	TDO 10/11/2025		LOT / SECTION / CT: 2 / - / 179114	SHEET TITLE: POWDER ROOM DETAILS	
		7 PRELIM PLANS - AMENDMENTS	PL1 12/12/2025	COUNCIL: CLARENCE	SCALES: 1:50	714343	
		8 BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO 22/01/2026				
	9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026					

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

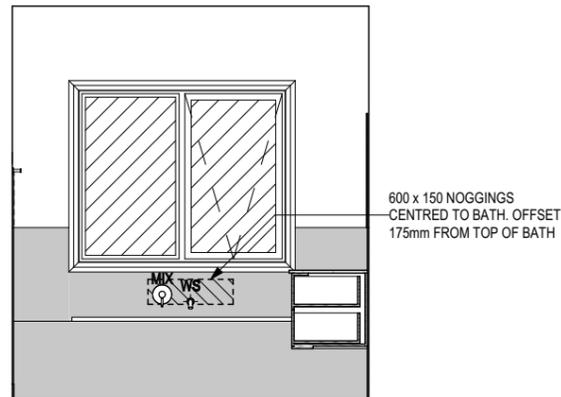
REFER TO THE FOLLOWING DETAILS:
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- GENERAL BUILDING INFORMATION

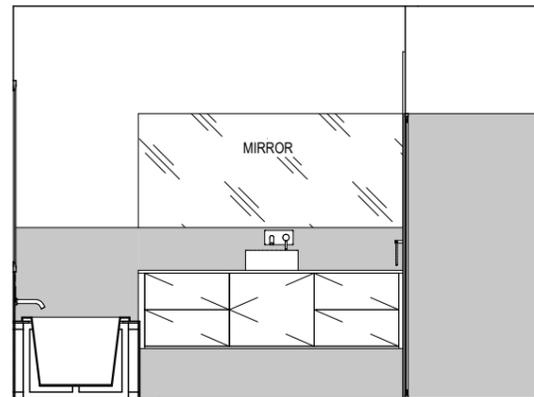
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LEGEND

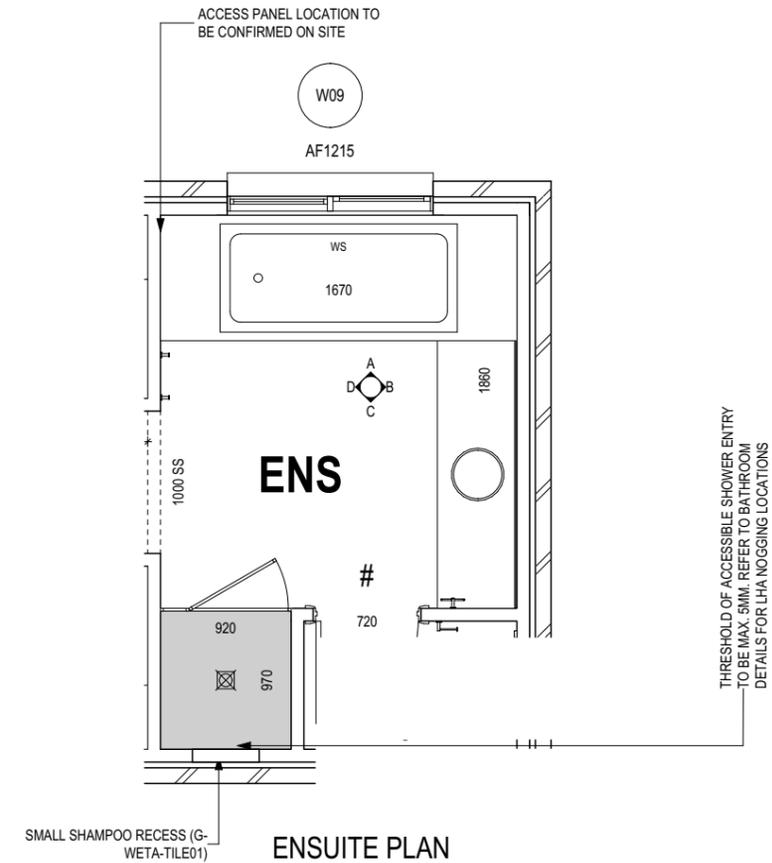
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- MIX MIXER TAP
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- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



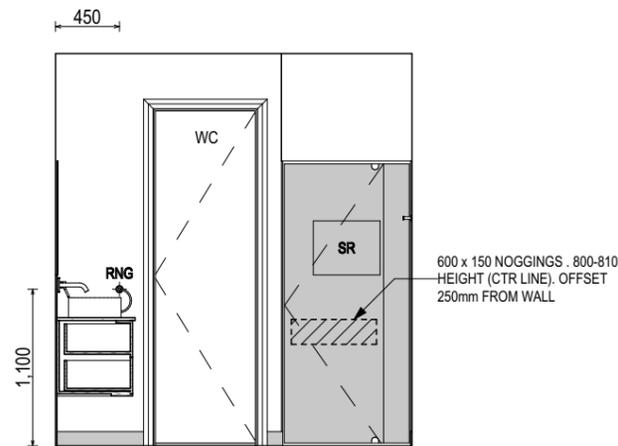
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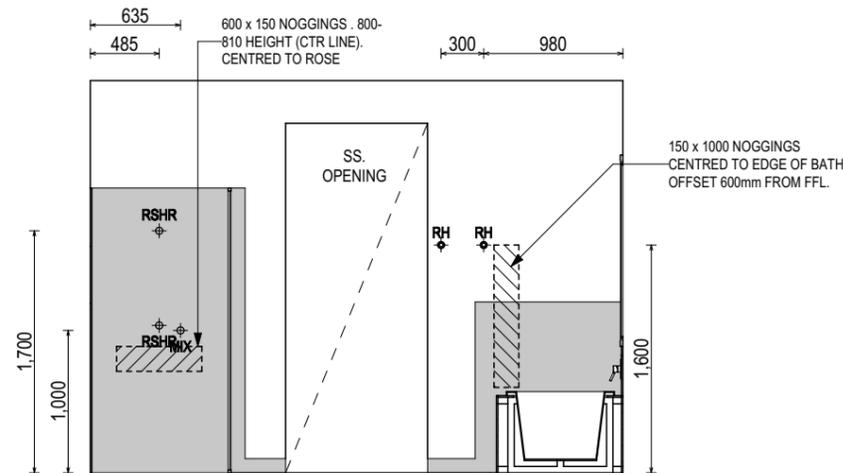
ELEVATION B
SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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NEXTGEN	5 PRELIM PLANS - CORRECTIONS	MFC 03/11/2025	NATHAN JAMES & SUSAN JEAN CARINS	RICHMOND 29	H-WATRCH20SA	
COPYRIGHT: © 2026	6 PRELIM PLANS - COLOUR UPDATE	TDO 10/11/2025	ADDRESS: 41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	FACADE DESIGN: OSLO	FACADE CODE: F-WATRCH20OSLOA	
	7 PRELIM PLANS - AMENDMENTS	PL1 12/12/2025	LOT / SECTION / CT: 2 / - / 179114	SHEET TITLE: ENSUITE DETAILS	SHEET No.: 23 / 31	
	8 BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO 22/01/2026	COUNCIL: CLARENCE	SHEET No.: 23 / 31	SCALES: 1:50	
	9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026				714343

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

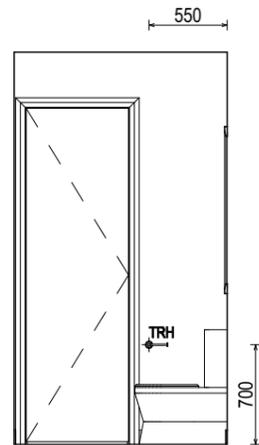
REFER TO THE FOLLOWING DETAILS:
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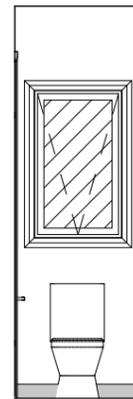
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LEGEND

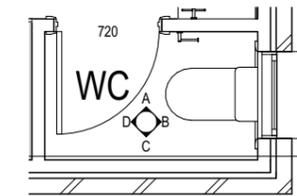
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- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
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- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



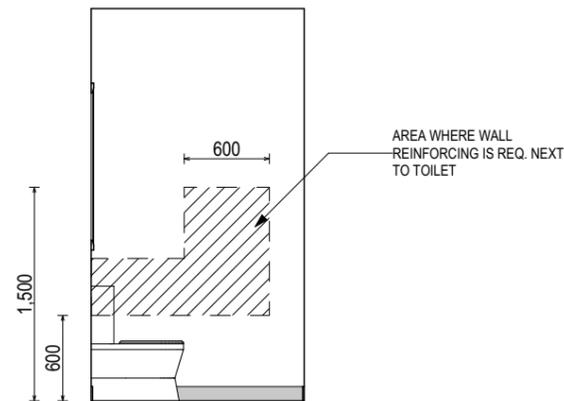
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SCALE: 1:50



ELEVATION B
SCALE: 1:50



WC PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
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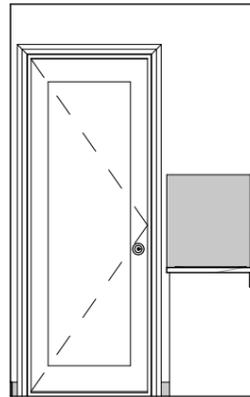
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	SPECIFICATION: NEXTGEN	REVISION	DRAWN	CLIENT: NATHAN JAMES & SUSAN JEAN CARINS	HOUSE DESIGN: RICHMOND 29	HOUSE CODE: H-WATRCH20SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	COPYRIGHT: © 2026	5 PRELIM PLANS - CORRECTIONS	MFC 03/11/2025	ADDRESS: 41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	FACADE DESIGN: OSLO	FACADE CODE: F-WATRCH20OSLOA	
		6 PRELIM PLANS - COLOUR UPDATE	TDO 10/11/2025	LOT / SECTION / CT: 2 / - / 179114	SHEET TITLE: WC DETAILS	SHEET No.: 24 / 31	
		7 PRELIM PLANS - AMENDMENTS	PL1 12/12/2025	COUNCIL: CLARENCE	SCALES: 1:50	714343	
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	9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026					

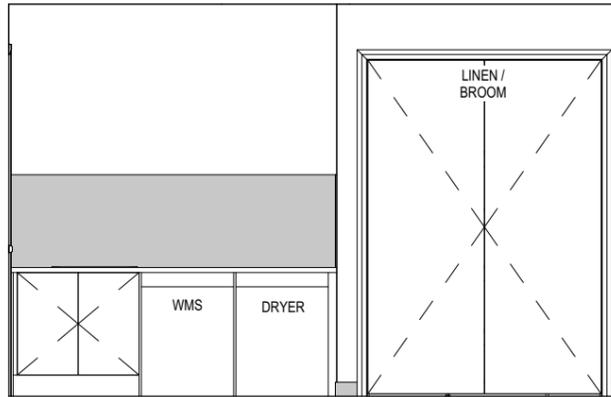
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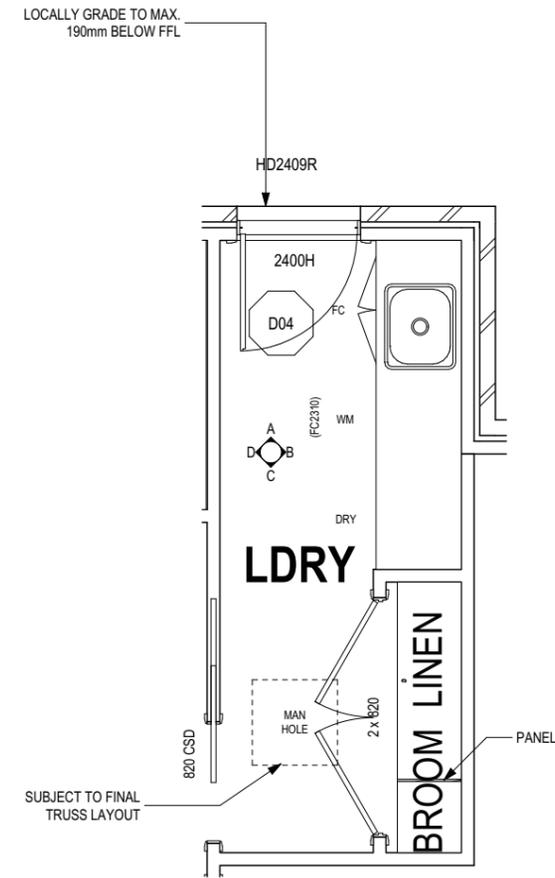
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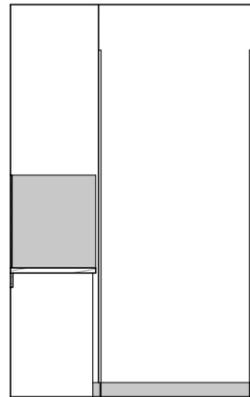
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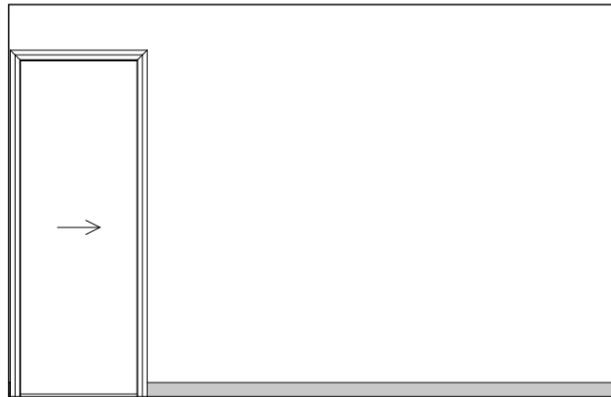
ELEVATION B
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
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PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

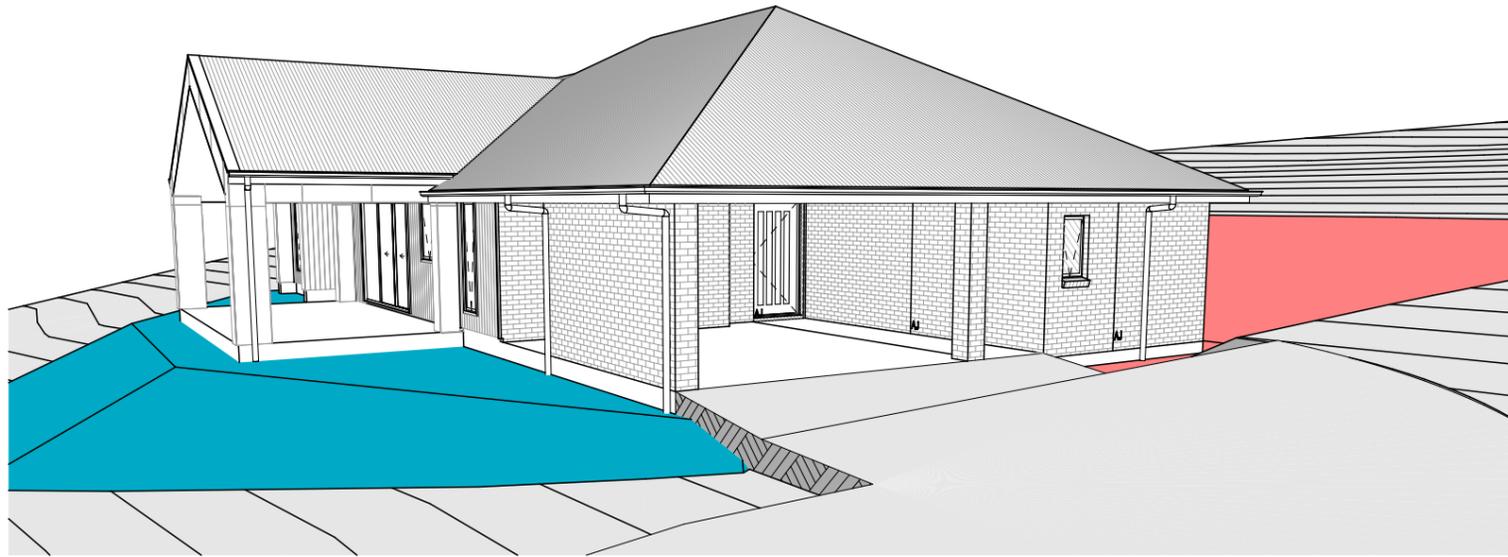
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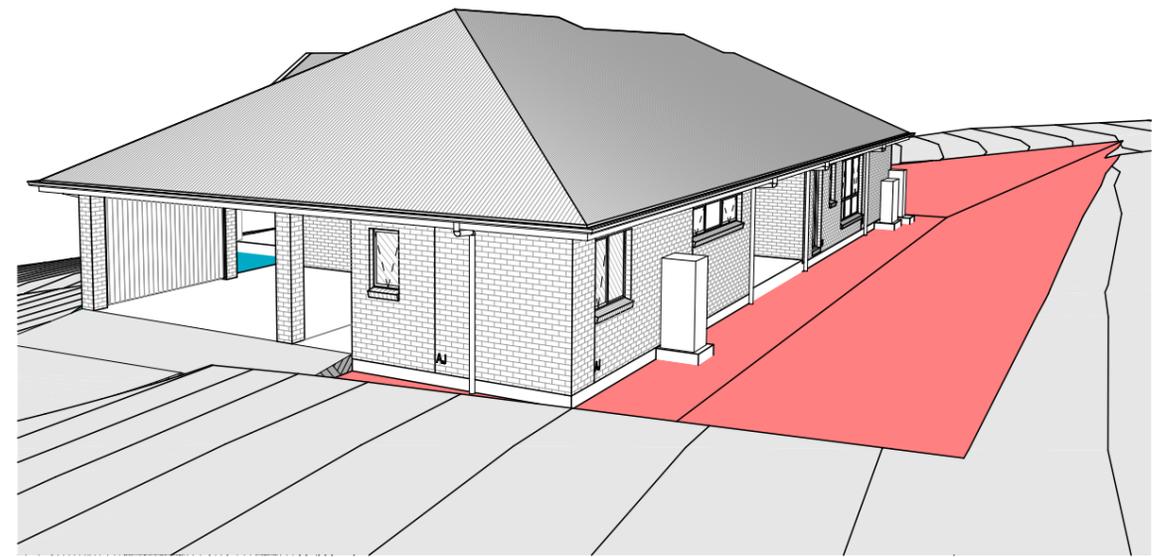
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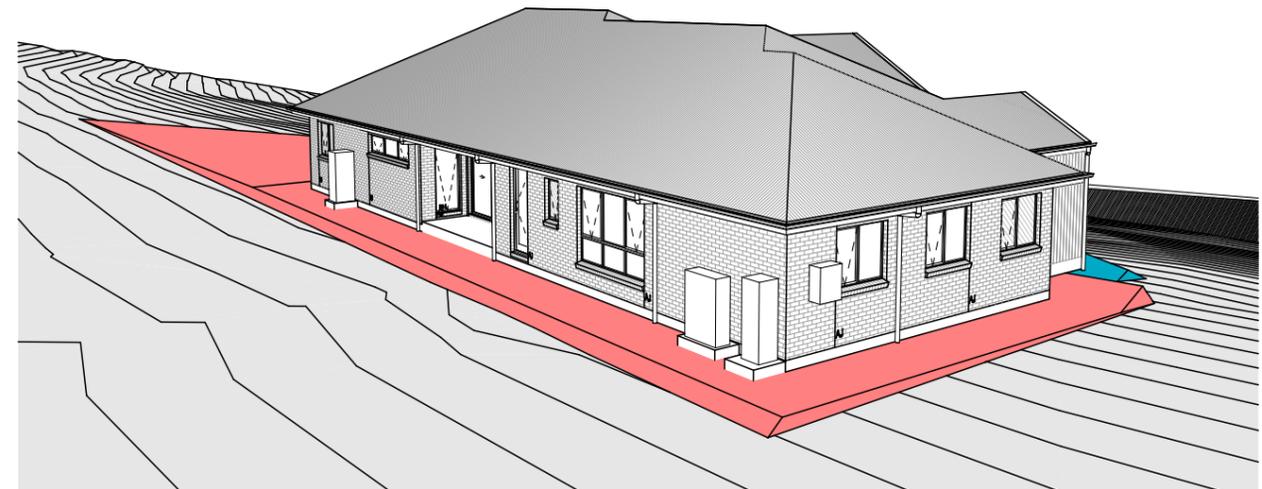
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

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SPECIFICATION: NEXTGEN COPYRIGHT: © 2026	REVISION 5 PRELIM PLANS - CORRECTIONS	DRAWN MFC 03/11/2025	CLIENT: NATHAN JAMES & SUSAN JEAN CARINS	HOUSE DESIGN: RICHMOND 29	HOUSE CODE: H-WATRCH20SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714343
	6 PRELIM PLANS - COLOUR UPDATE	TDO 10/11/2025	ADDRESS: 41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	FACADE DESIGN: OSLO	FACADE CODE: F-WATRCH200SLOA	
	7 PRELIM PLANS - AMENDMENTS	PL1 12/12/2025	LOT / SECTION / CT: 2 / - / 179114	SHEET TITLE: 3D VIEWS	SCALES: 26 / 31	
	8 BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO 22/01/2026	COUNCIL: CLARENCE			
	9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026				

GENERAL

- BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC)
- INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS

SITE WORKS

- CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE NCC TABLE 3.2.1
- ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED
- ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION
- EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS
- ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE NCC

SOIL TYPE / CLASSIFICATION	EMBANKMENT OF SLOPE	
	COMPACTED FILL	CUT
STABLE ROCK (A)	3 : 3	8 : 1
SAND (A)	1 : 2	1 : 2
SILT (P)	1 : 4	1 : 4
FIRM CLAY	1 : 2	1 : 1
SOFT CLAY	NOT SUITABLE	2 : 3
SOFT SOILS (P)	NOT SUITABLE	NOT SUITABLE

MASONRY

- ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700
- EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED OTHERWISE
- MORTAR MIXED @ 1:1:6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER
- DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904
- VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX. CTRS FOR UNREINFORCED MASONARY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5M CTRS.
- WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN ACCORDANCE WITH AS4100 AND AS3700a

TIMBER FRAMING

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NCC
- ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE WITH AS1684
- MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS
- GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS

BRACING / LINTELS

- WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND LOADS
- WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- PLYWOOD BRACING IN ACCORDANCE WITH AS1684 TABLE 8.18 (H) METHOD B. 900 WIDE SHEET PLY BRACING PANELS (6mm THICK F11 OR 4mm THICK F14) TO BE FIXED TO STUD FRAME WITH 2.8mm DIA x 30mm LONG MIN. FLAT HEAD NAILS.
- 65 x 19mm HW DIAGONAL TIMBER BRACING CHECKED INTO STUDS AND FIXED IN ACCORDANCE WITH AS1684

TIMBER LINTELS FOR SINGLE (OR UPPER STORY) TO BE F17 HARDWOOD AS FOLLOWS:

0 - 1500	120 x 35
1500 - 2400	140 x 35
2400 - 2700	190 x 35

TIEDOWN AND FIXING CONNECTIONS TO COMPLY WITH AS1684

STEEL LINTELS FOR SINGLE (OR UPPER STOREY) TO BE AS FOLLOWS:

0 - 2700	90 x 90 x 6 EA
2700 - 3200	100 x 100 x 8 EA
3200 - 4000	150 x 90 x 8 EA

*LINTELS REQUIRE 150mm BEARING EITHER SIDE OF OPENING

ALL LINTEL SIZES SHOWN ARE SUBJECT TO ENGINEERS DETAILS

CONCRETE

- CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH AS2870
- CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS3600 AND:
 - HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25MpA (N25 GRADE)
 - HAVE A 20mm NOMINAL AGGREGATE SIZE
 - HAVE A NOMINAL 80mm SLUMP
- CONCRETE SLAB TO BE LAID OVER 0.2mm POLYTHENE MEMBRANE, 50mm WELL BEDDED SAND AND MINIMUM COMPACTED FCR (20mm)
- SLAB THICKNESS AND REINFORCEMENT TO BE AS PER ENGINEERS DESIGN

WINDOWS

- WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED OTHERWISE
- ALL WINDOWS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND SPEED AS PER ENGINEERS REPORT
- ALL OPENING WINDOWS TO COMPLY WITH NCC 8 REQUIREMENTS
- AS PER NCC 11.3.6 ALL BEDROOM WINDOWS WHERE THE LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7m OF FFL AND THE FFL IS 2m OR MORE ABOVE NGL, REQUIRE A PERMANANTLY FIXED DEVICE RESTRICTING ANY OPENINGS OF THE WINDOW OR SCREEN SO THAT A 125mm SPHERE CANNOT PASS THROUGH; AND RESISTING OUTWARDS HORIZONTAL ACTION OF 250N AGAINST THE WINDOW. WHERE THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVER-RIDDEN, THE DEVICE OR SCREEN MUST HAVE A CHILD RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER BELOW THE WINDOW THAT IS 865mm HIGH ABOVE FFL AND RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A 125mm SPHERE CANNOT PASS THROUGH, AND HAS NO HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm FROM FFL.
- GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR HUMAN IMPACT TO COMPLY WITH NCC PART 8.4

DRAINAGE / WATER

- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY
- STORMWATER PIPES TO BE UPVC CLASS HD
- SEWER PIPES TO BE UPVC CLASS SH
- PROVIDE Ø20mm K2 POLYETHYLENE WATER RETICULATION
- TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY
- BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR
- PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE 150 MIN. BELOW LOWEST SANITARY DRAINAGE POINT.
- CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT NCC TABLE 3.1.1.1
- AG DRAIN REQUIRED AROUND PERIMETER OF DWELLING FOR ALL CLASS M, H, E SITES. LOCATE AG DRAIN NOT CLOSER THAN 1.5m FROM FOOTINGS IN ACCORDANCE WITH AS2870 SECTION 5.6
- PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3
- PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 SECTION 5.6.4 FOR ALL CLASS H AND E SITES. REFER TO GEOTECH FOR FURTHER INFORMATION
- DOWNPIPES AND GUTTERS DESIGNED IN ACCORDANCE WITH AS/NZS 3500.3

STAIRCASES / BALUSTRADES / HANDRAILS

- | | |
|--------------|-------------------------|
| STAIR TREADS | 240mm MIN. - 355mm MAX. |
| STAIR RISERS | 115mm MIN. - 190mm MAX. |
- HANDRAIL REQUIRED WHERE CHANGE OF LEVEL BETWEEN FLOOR / LANDINGS > 1m AS PER CURRENT NCC 11.3.5
 - NO GAPS IN STAIRCASES OR BALUSTRADE TO BE GREATER THAN 125mm
 - BALUSTRADE REQUIRED WHERE LEVEL OF LANDING OR DECK IS GREATER THAN 1000mm ABOVE ADJACENT GROUND LEVEL
 - BALUSTRADE TO BE MINIMUM 1000mm ABOVE FFL (INCLUDING ANY FLOOR COVERINGS)
 - DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A LANDING (MIN. 750mm WIDE) WHERE THE DIFFERENCE IN LEVELS IS GREATER THAN 570mm
 - NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH NCC 11.2.4
 - WHERE LANDINGS ARE NOT NOMINATED TO EXTERNAL DOORS, OPERATING DOOR LEAFS ARE TO BE SCREWED FIXED SHUT, OR PROVIDED WITH A FORMED FCR LANDING NOMINALLY 180mm BELOW FLOOR LEVEL.
 - GLAZED BALUSTRADE AND HANDRAILS TO COMPLY WITH NCC PART 8.4, 11.3 AND AS1288 REQUIREMENTS

ROOFING

- ROOF TO BE COLORBOND 'CUSTOM ORB' METALDECK UNLESS NOTED OTHERWISE. PROVIDED AND INSTALLED IN ACCORDANCE WITH AS1562.1 (IF TILED REFER TO AS2050)
- PREFABRICATED ROOF TRUSSES TO BE SUPPLIED AND INSTALLED TO MANUFACTURERS SPECIFICATIONS. TRUSS MANUFACTURER TO CONFIRM LINTEL SIZES.
- EXHAUST FAN TO COMPLY WITH CURRENT NCC PART 10.6.2 SECTION C
- EXHAUST FANS TO BE SEALED AND DUCTED TO OUTSIDE OF DWELLING IN ACCORDANCE WITH NCC VOLUME 2, PARTS 10.8.2 AND 10.8.3
- IF VENTING OCCURS DIRECTLY THROUGH WALLS/ROOF ADJACENT TO FAN, THEN UNIT REQUIRES SELF CLOSING BAFFLES TO BE CLASSIFIED AS A SEALED UNIT
- ELECTRICIAN IS TO ENSURE THAT ALL GPO'S IN WET AREAS MEET ALL STANDARD AND CODE REQUIREMENTS - ALL GPO'S TO BE 300mm FROM FFL UNLESS NOTED OTHERWISE

WET AREAS

- WALLS TO WET AREAS TO BE FINISHED WITH WET AREA PLASTERBOARD
- COMPLIANCE WITH NCC PART 10.2 AND AS3740
- ALL UNENCLOSED SHOWERS ABOVE BATHS TO HAVE MINIMUM 900mm SHOWER SCREEN OR FLOORWASTE WITHIN 1500mm OF SHOWER CONNECTION AS PER AS3740

CONDENSATION

- WHERE RAKED CEILINGS EXIST, IT IS HIGHLY RECCOMENDED THAT SUITABLE SPACING BETWEEN SARKING AND BULK INSULATION EXISTS. (NO CONTACT BETWEEN PRODUCTS). THE BUILDER IS TO ENSURE ADEQUATE SIZED TIMBER IS USED TO ENSURE THIS SEPARATION IS PROVIDED.
- IN STANDARD ROOF SPACES, IT IS HIGHLY RECOMMENDED TO PROVIDE SEPARATION BETWEEN SARKING AND CEILING INSULATION AROUND THE BUILDING PERIMETER, TO ENSURE AIRFLOW FROM EAVE VENTS IS MAINTAINED
- IT IS HIGHLY RECOMMENDED THAT ALL LIGHTWEIGHT CLADDING IS BATTENED OUT FROM STUDS (METAL / FC SHEET / TIMBER)

WOOD HEATERS

- ALL WOOD HEATERS ARE TO COMPLY WITH MANUFACTURERS SPECIFICATION AND NCC PART 12.4

FIRE SAFETY

- SMOKE ALARMS TO BE MAINS POWERED AND INSTALLED AS PER AS3786. LOCATIONS AS PER NCC 9.5.
- SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
- INSTALLATION OF WOOD HEATERS TO COMPLY WITH AS2918. PROVIDE LOCAL AUTHORITIES WITH INSULATION AND COMPLIANCE CERTIFICATES

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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	NEXTGEN	5 PRELIM PLANS - CORRECTIONS	MFC 03/11/2025	NATHAN JAMES & SUSAN JEAN CARINS	RICHMOND 29	H-WATRCH20SA	
	COPYRIGHT:	6 PRELIM PLANS - COLOUR UPDATE	TDO 10/11/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	© 2026	7 PRELIM PLANS - AMENDMENTS	PL1 12/12/2025	41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170	OSLO	F-WATRCH20OSLOA	
		8 BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO 22/01/2026	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026	2 / - / 179114	COUNCIL:	27 / 31	SCALES:	714343

WET AREA NOTES

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

WAFFLE POD ALLOWANCES:

- R0.6 - 175mm DEEP
- R0.7 - 225mm DEEP
- R0.8 - 300mm DEEP
- R0.9 - 375mm DEEP

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS

TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION

BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION

REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE

- (i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.
- (ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION

FOR CONCRETE SLAB ON GROUND WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING

3.12.3.1 - CHIMNEYS AND FLUES

THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS

- (a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:
 - (i) A CONDITIONED SPACE; OR
 - (ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8
- (b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:
 - (i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
 - (ii) A WATERPROOF SEAL; OR
 - (iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

3.12.0.1 - EXTERNAL WINDOWS AND DOORS

- (a) A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH OF AN EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING:
 - (i) WHEN SERVING A CONDITIONED SPACE; OR
 - (ii) IN CLIMATE ZONES 4, 5, 6, 7 OR 8, WHEN SERVING A HABITABLE ROOM.
- (b) A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES SPECIFIED IN AS2047 NEED NOT COMPLY WITH (a).
- (c) A SEAL REQUIRED BY (a)
 - (i) FOR THE BOTTOM EDGE OF AN INTERNAL SWING DOOR, MUST BE A DRAFT PROTECTION DEVICE; AND
 - (ii) FOR THE OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW OR OTHER SUCH OPENING, MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE.

3.12.3.4 - EXHAUST FANS

AN EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF CLOSE DAMPER, FILTER OR THE LIKE WHEN SERVING:

- (a) A CONDITIONED SPACE; OR
- (b) A HABITABLE ROOM IN THE CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.3.5 - CONSTRUCTION OF ROOF, WALLS AND FLOORS

- (a) ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND AN OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE IN ACCORDANCE WITH (b) WHEN FORMING PART OF THE EXTERNAL FABRIC OF:
 - (i) A CONDITIONED SPACE; OR
 - (ii) A HABITABLE ROOM IN CLIMATE ZONE 4, 5, 6, 7 OR 8.
- (b) CONSTRUCTION REQUIRED BY (a) MUST BE:
 - (i) ENCLOSED BY AN INTERNAL LINING SYSTEM THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS; OR
 - (ii) SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.

3.12.3.6 - EVAPORATIVE COOLERS

- (a) AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:
 - (a) A HEATED SPACE; OR
 - (b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.5.5 - ARTIFICIAL LIGHTING

- (a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF:
 - (i) 5W/m² IN A CLASS 1 BUILDING
 - (ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);
 - (iii) 3W/m² IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.
- (b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS PER N.C.C TABLE 3.12.5.3.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

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		8 BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO 22/01/2026	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026	2 / - / 179114	COUNCIL:	CLARENCE	SCALES:	714343

Requirements for Building In Bushfire Hazard Areas

Building Act 2016

Directors Determination - Bushfire Hazard Areas

V1.1, dated 08 April 2021

Deemed-to-Satisfy Requirements (Part 2.3)

2.3.1 Design and construction

(1) Building work in a bushfire-prone area must be designed and constructed in accordance with either: -

- (a) AS 3959-2018; or
- (b) Standard for Steel Framed Construction in Bushfire Areas published by the National Association of Steel Framed Housing Inc. (NASH), as appropriate for a BAL determined for that site using table 2.6 of AS 3959.
- (2) Subclause (1)(a) is only applicable to the following:
 - (a) a Class 1, 2 or 3 building; or
 - (b) a Class 10a building or deck associated with a Class 1, 2 or 3 building.
- (3) Subclause (1)(b) is only applicable to the following:
 - (a) a Class 1 building; or
 - (b) a Class 10a building or deck associated with a Class 1 building.

(4) Despite subsection (1) permissible, variations from requirements specified in 1(a) and 1(b) are as specified in Table 1.
 (5) Despite subsections (1) and (4), performance requirements for buildings subject to BAL 40 or BAL Flame Zone (BAL-FZ) are not satisfied by compliance with subsections (1) or (4).

2.3.2 Property Access

- (1) A new building in a bushfire-prone area must be provided with property access to the building area and the firefighting water point, accessible by a carriageway, designed and constructed as specified in subclause (4).
- (2) For an addition or alteration to an existing building in a bushfire-prone area, if there is no property access available property access must be provided to the building area and the firefighting water point accessible by a carriageway as specified in subclause (4).
- (3) An addition or alteration to an existing building in a bushfire-prone area must not restrict any existing property access to the building area or to water supply for firefighting.
- (4) Vehicular access from a public road to a building must:
 - (a) comply with the property access requirements specified in Table 2;
 - (b) include access from a public road to within 90 metres of the furthest part of the building measured as a hose lay; and
 - (c) include access to the hardstand area for the firefighting water point.

2.3.3 Water Supply for Fire fighting

- (1) A new building constructed in a bushfire-prone area, must be provided with a water supply dedicated for fire fighting purposes as specified in Table 3A or Table 3B.
- (2) For an addition or alteration to an existing building in a bushfire-prone area, if there is no water supply for firefighting available the building must be provided with a water supply dedicated for firefighting purposes which complies with the requirements specified in Table 3A or Table 3B.

2.3.4 Hazard Management Areas

- (1) A new building, and an existing building in the case of an addition or alteration to a building, in a bushfire-prone area must be provided with a hazard management area.
- (2) The hazard management area must comply with the requirements specified in Table 4.
- (3) The hazard management area for a particular BAL must have the minimum dimensions required for the separation distances specified for that BAL in Table 2.6 of AS 3959.
- (4) The hazard management area must be established and maintained such that fuels are reduced sufficiently, and other hazards are removed such that the fuels and other hazards do not significantly contribute to the bushfire attack.

2.3.5 Bushfire emergency plan

- (1) An emergency plan must be provided for:
 - (a) a new building;
 - (b) an existing building in the case of an addition or alteration to a building;
 - (c) an existing building in the case of a change of building class;
 - (d) a building associated with the use, handling, generation or storage of a hazardous chemical or explosive; in a bushfire-prone area.
- (2) A bushfire emergency plan must comply with the requirements specified in Table 5.

7. Interpretation of Tables

- (1) For the purposes of the deemed-to-satisfy provisions in clause 2.3 of this Determination, Tables 1, 2, 3A, 3B, 4, and 5 must be complied with in the following way:
 - (a) for a particular element specified in column 1, the corresponding requirement specified in column 2 must be complied with.

Table 1 - Construction Requirements & Construction Variations

Column 1	Column 2
ELEMENT	REQUIREMENT
A. Straw Bale Construction	May be used in exposures up to and including BAL 19.
B. Shielding provisions under Section 3.5 of AS3959-2018	To reduce construction requirements due to shielding, building plans must include suitable detailed elevations or plans that demonstrate that the requirements of Section 3.5 of the Standard can be met. Comment: Application of Section 3.5 of the Standard cannot result in and assessment of BAL-LOW.

Table 2 - Requirements for Property Access

Column 1	Column 2
ELEMENT	REQUIREMENT
A. Property access length is less than 30 metres; or access is not for a fire appliance to access a water connection point.	There are no specified design and construction requirements.
B. Property access length is 30 metres or greater; or access for a fire appliance to a water connection point.	The following design and construction requirements apply to property access: <ul style="list-style-type: none"> (1) All-weather construction; (2) Load capacity of at least 20 tonnes, including for bridges and culverts; (3) Minimum carriageway widths of 4 metres; (4) Minimum vertical clearance of 4 metres; (5) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway; (6) Cross falls of less than 3° (1.20 or 5%); (7) Dips less than 7° (1.8 or 12.5%) entry and exit angle; (8) Curves with a minimum inner radius of 10 metres; (9) Maximum gradient of 15° (1.3.5 or 28%) for sealed roads, and 10° (1.5.5 or 18%) for unsealed roads; and (10) Terminate with a turning area for fire appliances provided by one of the following: <ul style="list-style-type: none"> (a) A turning circle with a minimum inner radius of 10 metres; (b) A property access encircling the building; or (c) A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.
C. Property access length is 200 metres or greater.	The following design and construction requirements apply to property access: <ul style="list-style-type: none"> (1) The Requirements for B above; and (2) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.
D. Property access length is greater than 30 metres, and access is provided to 3 or more properties.	The following design and construction requirements apply to property access: <ul style="list-style-type: none"> (1) Complies with Requirements for B above; and (2) Passing bays of 2 metres additional carriageway width and 20 metres length must be provided every 100 metres.

Table 3A - Reticulated Water Supply for Firefighting

Column 1	Column 2
ELEMENT	REQUIREMENT
A. Distance between building area to be protected and water supply	The following requirements apply: <ul style="list-style-type: none"> (1) The building area to be protected must be located within 120 metres of a fire hydrant; and (2) The distance must be measured as a hose lay, between the water connection point and the furthest part of the building area.
B. Design criteria for fire hydrants	The following requirements apply: <ul style="list-style-type: none"> (1) Fire hydrant system must be designed and constructed in accordance with TasWater Supplement to Water Supply Code of Australia WSA 03 - 2011-3.1 MRWA Edition 2.0; and (2) Fire hydrants are not installed in parking areas.
C. Hardstand	A hardstand area for fire appliances must be provided: <ul style="list-style-type: none"> (1) no more than three metres from the hydrant, measured as a hose lay; (2) No closer than six metres from the building area to be protected; (3) With a minimum width of three metres constructed to the same standard as the carriageway; and (4) Connected to the property access by a carriageway equivalent to the standard of the property access

Table 3B - Static Water Supply for Firefighting

Column 1	Column 2
ELEMENT	REQUIREMENT
A. Distance between building area to be protected and water supply	The following requirements apply: <ul style="list-style-type: none"> (a) The building area to be protected must be located within 90 metres of the water connection point of a static water supply; and (b) The distance must be measured as a hose lay, between the water connection point and the furthest part of the building area.
B. Static Water Supplies	A static water supply: <ul style="list-style-type: none"> (a) May have a remotely located offtake connected to the static water supply; (b) May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times; (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems; (d) Must be metal, concrete or lagged by non-combustible materials if above ground; and (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2018, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by: <ul style="list-style-type: none"> (i) metal; (ii) non-combustible material; or (iii) fibre-cement a minimum of 6 mm thickness.
C. Fittings, pipework and accessories (including stands and tank supports)	Fittings and pipework associated with a water connection point for a static water supply must: <ul style="list-style-type: none"> (a) Have a minimum nominal internal diameter of 50mm; (b) Be fitted with a valve with a minimum nominal internal diameter of 50mm; (c) Be metal or lagged by non-combustible materials if above ground; (d) Where buried, have a minimum depth of 300mm (e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to fire fighting equipment; (f) Ensure the coupling is accessible and available for connection at all times; (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length); (h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table; and (i) Where a remote offtake is installed, ensure the offtake is in a position that is: <ul style="list-style-type: none"> (i) Visible; (ii) Accessible to allow connection by fire fighting equipment; (iii) At a working height of 450 - 600mm above ground level; and (iv) Protected from possible damage, including damage by vehicles.
D. Signage for static water connections	(1) The water connection point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must: <ul style="list-style-type: none"> (a) comply with water tank signage requirements within AS 2304; or (b) comply with the TFS Water Supply Signage Guideline.
E. Hardstand	A hardstand area for fire appliances must be provided: <ul style="list-style-type: none"> (a) No more than three metres from the water connection point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (b) No closer than six metres from the building area to be protected; (c) With a minimum width of three metres constructed to the same standard as the carriageway; and (d) Connected to the property access by a carriageway equivalent to the standard of the property access.

Table 4 - Requirements for Hazard Management Area

Column 1	Column 2
ELEMENT	REQUIREMENT
A. Hazard management areas for new buildings on lots provided with a BAL at the time of subdivision.	A new building must: <ul style="list-style-type: none"> (a) Be located on the lot so as to be provided with a HMA no smaller than the required separation distances for the BAL determined at the time of the subdivision; and (b) Have a HMA established in accordance with a certified bushfire hazard management plan.
B. Hazard management areas for new buildings on lots not provided with a BAL at the time of subdivision.	A new building must: <ul style="list-style-type: none"> (a) Be located on the lot so as to be provided with a HMA no smaller than the separation distances required for BAL 29; and (b) Have a HMA established in accordance with a certified bushfire hazard management plan.
C. Hazard management areas for alterations or additions to buildings.	An alteration or addition to a building must: <ul style="list-style-type: none"> (a) Be located on the lot so as to be provided with a HMA which: <ul style="list-style-type: none"> (i) Has the separation distances required for the BAL assessed for the construction of the existing building; or (ii) In the case of a building without an existing BAL assessment, is no smaller than the separation distances required for BAL 29; and (b) Have a HMA established in accordance with a certified bushfire hazard management plan.
D. Hazard management areas for new buildings and additions and alterations to buildings classified as an accommodation building BCA Class 1b, BCA Class 2, or BCA Class 3, other than communal residence for persons with a disability, a respite centre or a residential aged care facility or similar.	A new building or an alteration or addition must: <ul style="list-style-type: none"> (a) Be located on the lot so as to be provided with HMAs no smaller than the separation distances required for BAL 12.5; and (b) have a HMA established in accordance with a certified bushfire hazard management plan.
E. Hazard management areas for new buildings and additions and alterations to existing buildings classified as vulnerable use as defined in the relevant planning scheme.	A new building or an addition or alteration including change of use must: <ul style="list-style-type: none"> (a) be located on the lot so as to be provided with HMAs no smaller than the separation distances required for BAL 12.5; and (b) have a HMA established in accordance with a certified bushfire hazard management plan.
F. Hazard management areas for new buildings or additions and alterations to buildings associated with the use, handling, generation or storage of a hazardous chemical or explosive.	A new building or an alteration or addition, including change of use, for a building determined as a hazardous use must: <ul style="list-style-type: none"> (a) Be located on the lot so as to be provided with a HMA no smaller than the required separation distances for the BAL determined in the certified bushfire hazard management plan; and (b) Have a HMA established in accordance with a certified bushfire hazard management plan.

Table 5 - Requirements for Emergency Planning

Column 1	Column 2
ELEMENT	REQUIREMENT
A. Bushfire emergency plans	An emergency plan must be developed for the site which is: <ul style="list-style-type: none"> (a) Consistent with TFS Bushfire Emergency Planning Guidelines; and (b) Approved by TFS or a person accredited by the TFS.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

**BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS**

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	9 BA PLANS - SMALL CORRECTIONS TRV 03/02/2026				SCALES:	714343

AS3959 (2018)

All specifications are per AS3959 (2018) and Wilson Homes request. Other materials and options may be available, refer to AS3959 for full list of compliant materials.

5.1 GENERAL

A building assessed in Section 2 as being BAL -12.5 shall comply with Section 3 and Clauses 5.2 to 5.8.

Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 5.2 to 5.8 (see Clause 3.8).

NOTE: BAL -12.5 is primarily concerned with protection from ember attack, and radiant heat up to and including 29kW/m² where the site is less than 100 m from the source of the bushfire attack.

5.2 SUBFLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with -
(a) a wall that complies with Clause 5.4; OR
(b) a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion resistant steel, bronze or aluminium; OR
(c) a combination of Items (a) and (b).

NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 5.7)

C5.2 Combustible materials stored in the subfloor space may be ignited by embers and cause and impact to the building.

5.3 FLOORS

5.3.1 GENERAL

This Standard does not provide construction requirements for concrete slabs on the ground.

5.3.2 ELEVATED FLOORS

5.3.2.1 ENCLOSED SUBFLOOR SPACE

This standard does not provide construction requirements for elevated floors, including bearers and joists and flooring, where the subfloor space is enclosed with

- (a) a wall that complies with Clause 5.4; OR
- (b) a mesh perforated sheet with a maximum aperture of 2mm, made of corrosion resistant steel, bronze or aluminium; OR
- (c) a combination of Items (a) and (b) above.

5.3.2.2 UNENCLOSED SUBFLOOR SPACE

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400mm above finished ground level, shall be one of the following -

- (a) Materials that comply with the following:
 - (i) Bearers and joists shall be -
 - (A) non-combustible; OR
 - (B) bushfire-resisting timber (see Appendix F); OR
 - (C) a combination of Items (A) and (B) above.
 - (ii) Flooring shall be -
 - (A) non-combustible; OR
 - (B) bushfire-resisting timber (see Appendix F); OR
 - (C) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; OR
 - (D) a combination of any Items (A), (B) or (C) above.
- OR
- (b) A system complying with AS1530.8.1

This standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400mm or more above finished ground level.

5.4.1 WALLS

The exposed components of an external wall that is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar fittings having an angle of less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D) shall be:

- (a) Non-combustible material.
- NOTE: Examples include, but are not limited to, the following (with a minimum of 90 mm in thickness):
 - (i) Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.
 - (ii) Precast or in situ walls of concrete or aerated concrete.
 - (iii) Earth wall including mud brick.

- (b) Timber logs of a species with a density of 680kg/m³ or greater at a 12 percent moisture content; of a minimum nominal overall thickness of 90mm and a minimum thickness of 70mm (see Clause 3.11); and gauge planed. OR
- (c) Cladding that is fixed externally to a timber-framed or a steel-framed wall that is sarked on the outside of the frame and is -

- (i) non-combustible material; OR
- (ii) fibre cement a minimum of 6mm in thickness; OR
- (iii) bushfire-resisting timber (see Appendix F); OR
- (iv) a timber species as specified in Paragraph E1, Appendix E; pr
- (v) a combination of any of Items (i), (ii), (iii) or (iv) above. OR
- (d) A combination of any items (a), (b) or (c) above.

5.4.2 JOINTS

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed.

5.4.3 VENTS AND WEEPHOLES

Except for exclusions provided in Clause 3.6, vents and weepholes in external walls shall be screened with a mesh made of corrosion-resistant steel, bronze or aluminium.

5.5.1 BUSHFIRE SHUTTERS

Where fitted, bushfire shutters shall comply with Clause 3.7 and be made from -
(a) non-combustible material; OR
(b) a timber species as specified in Paragraph E1, Appendix E; OR
(c) bushfire-resisting timber (see Appendix F); OR
(d) a combination of Items (a), (b) and (c) above.

5.5.2 SCREENS FOR WINDOWS AND DOORS

Where fitted, screens for windows and doors shall have a mesh or perforated sheet made of corrosion-resistant steel, bronze or aluminium.

The frame supporting the mesh or perforated sheet shall be made from -
(a) metal; OR
(b) bushfire-resisting timber (see Appendix F); OR
(c) a timber species as specified in Paragraph E2, Appendix E.

5.5.3 WINDOWS AND SIDELIGHTS

Window assemblies shall:

- (a) be completely protected by a bushfire shutter that complies with Clause 3.7 and clause 5.5.1; OR
- (b) be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2.
- (c) Conform with the following:
 - (i) Frame material For window assemblies less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings and similar elements or fittings having and angle less than 18 degrees to the horizontal and extending more than 110mm in width from the window frame (see Figure D3, Appendix D), window frames and window joinery shall be made from:
 - (A) Bushfire-resisting timber (see Appendix F) OR
 - (B) A timber species as specified in Paragraph E2, Appendix F); OR
 - (C) Metal. OR
 - (D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
 - There are no specific restrictions on frame material for all other windows.
 - (i) Hardware There are no specific restrictions on hardware for windows.
 - (ii) Glazing Where glazing is less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings and similar elements or fittings having and angle less than 18 degrees to the horizontal and extending more than 110mm in width from the window frame (see Figure D3, Appendix D), this glazing shall be Grade A safety glass a minimum of 4mm in thickness or glass blocks with no restriction on glazing methods.

NOTE: Where double-glazed assemblies are used above, the requirements apply to the external pane of the glazed assembly only. For all other glazing, annealed glass may be used in accordance with AS 1288.

- (i) Seals and weather strips There are no specific requirements for seals and weather strips at this BAL level.
 - (ii) Screens The openable portions of windows shall be screened internally or externally with screens that conform with Clause 3.6 and Clause 5.5.2.
- C5.5.3 For Clause 5.5.3(c), screening of the openable portions of all windows is required in all BAL's to prevent the entry of embers to the building when the window is open.
- For Clause 5.5.3 (c)(v), screening of the openable and fixed portions of some windows is required to reduce the effects of radiant heat on some types of glass. If the screening is required to reduce the effects of radiant heat on glass, and has to be externally fixed.
- For Clause 5.5.3 (c)(v), if the screening is required only to prevent the entry of embers, the screening may be fitted externally or internally.

5.5.4 DOORS SIDE-HUNG EXTERNAL DOORS (including French Doors, Panel Fold and Bi-fold Doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall -

- (a) Be protected by bushfire shutters that comply with Clause 3.7 and Clause 5.5.1.
- OR
- (b) Be protected externally by screens that comply with Clause 3.6 and Clause 5.5.2.

OR

(c) conform with the following:
(i) Door panel material Materials shall be -
(A) non combustible; OR
(B) solid timber, laminated timber or reconstituted timber door, having a minimum thickness of 35mm for the first 400mm above the threshold; OR

- (C) hollow core, solid timber, laminated timber or reconstituted timber with a non-combustible kickplate on the outside for the first 400mm above the threshold; OR
- (D) hollow core, solid timber, laminated timber or reconstituted timber protected externally by a screen that complies with Clause 5.5.2; OR
- (E) for fully framed glazed door panels, the framing is made from metal or bushfire resisting timber (see Appendix F), or a timber species as specified in Paragraph E2, Appendix E or uPVC.
- (ii) Door frame material Door frames shall be made from:
 - (A) Bushfire-resisting timber (see Appendix F); OR
 - (B) a timber species as specified in Paragraph E2 of Appendix E;

- OR
 - (C) Metal. OR
 - (D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
 - (iii) Hardware There are no specific requirements for hardware at this BAL level.
 - (iv) Glazing the glazing shall be Grade A safety glass a minimum of 4mm in thickness, or glass blocks with no restriction on glazing methods.
- NOTE: Where double glazed units are used the above requirements apply to the external face of the window assembly only.
- (v) Seals and weather strips Weather strips, draft excluders or draft seals shall be installed.
 - (vi) Screens There are no specific requirements for hardware at this BAL level.
 - (vii) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.

5.5.5 DOORS-SLIDING DOORS

Sliding doors shall:

- (a) Be protected by bushfire shutters that comply with Clause 3.7 and Clause 5.5.1.
- OR
- (b) Be protected externally by screens that comply with Clause 3.6 and Clause 5.5.2.
- OR
- (c) conform with the following:
 - (i) Frame material The material for door frames, including fully framed glazed doors, shall be -
 - (A) Bushfire-resisting timber (see Appendix F); OR
 - (B) a timber species as specified in Paragraph E2 of Appendix E; OR
 - (C) Metal. OR
 - (D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
 - (ii) Hardware There are no specific requirements for hardware at this BAL level.
 - (iii) Glazing Where doors incorporate glazing, the glazing shall be Grade A safety glass a minimum of 4mm in thickness,
 - (iv) Seals and weather strips There are no specific requirements for hardware at this BAL level.
 - (v) Screens There are no specific requirements for hardware at this BAL level.
 - (vi) Sliding panels Sliding panels shall be tight-fitting in the frames.

5.5.6 DOORS-VEHICLE ACCESS DOORS (GARAGE DOORS)

The following apply to vehicle access doors:

- (a) The lower portion of a vehicle access door that is within 400mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from -
 - (i) non combustible material; OR
 - (ii) bushfire-resisting timber (see Appendix F); OR
 - (iii) fibre-cement sheet, a minimum of 6mm in thickness; OR
 - (iv) a timber species as specified in Paragraph E1, Appendix E; OR
 - (v) a combination of any Items (i), (ii) or (iv) above.
- (b) All vehicle access doors shall be fitted with suitable weather strips, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.

NOTES:

- 1 Refer to AS/NZS 4505 for door types.
 - 2 Gaps of door edges or building elements should be protected as per Section 3.
- C5.5.6(b) These guide tracks do not provide a direct passage for embers into the building.
- (c) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

5.6.1 ROOFS - GENERAL

The following apply to all types of roofs and roofing systems:

- (a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.
- (b) The roof/wall junction shall be sealed, or otherwise protected in accordance with Clause 3.6.
- (c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.
- (d) Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need to be screened externally.

5.6.2 TILED ROOFS

Tiled roofs shall be fully sarked. The sarking shall -

- (a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;
- (b) cover the entire roof area including ridges and hips; and
- (c) extend into gutters and valleys.

5.6.3 SHEET ROOFS

Sheet roofs shall—

- (a) be fully sarked in accordance with Clause 5.6.2, except that foil-backed insulation blankets may be installed over the battens; and
 - (b) have any gaps sealed at the fascia or wall line and at valleys, hips and ridges by -
 - (i) a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or
 - (ii) mineral wool; or
 - (iii) other non-combustible material; or
 - (iv) a combination of any of Items (i), (ii) or (iii) above.
- C5.6.3 - Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

5.6.4 VERANDA, CARPORT AND AWNING ROOFS

The following apply to veranda, carport and awning roofs:

- (a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 5.6.1, to 5.6.6.
 - (b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 5.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.
- NOTE: There is no requirement to line the underside of a veranda, carport or awning roof that is separated from the main roof space

5.6.5 ROOF PENETRATIONS

The following apply to roof penetrations:

- (a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors shall be sealed. The material used to seal the penetration shall be non-combustible.
- (b) Openings in vented roof lights, roof ventilators or vent pipes shall conform with Clause 3.6 and be made of corrosion-resistant steel, bronze or aluminium.
- (c) This requirement does not apply to a room sealed gas appliance. NOTE: A gas appliance designed such that air for combustion does not enter from, or combustion products enter into, the room which the appliance is located.
- (d) In the case of gas appliance flues, ember guards shall not be fitted.
- (e) NOTE: AS/NZS 5601 contains requirements for gas appliance flue systems and cowls. Advice can be obtained from manufacturers and State and Territory gas technical regulators.
- (f) All overhead glazing shall be Grade A safety glass complying with AS 1288.
- (g) Glazed elements in roof lights and skylights may be of polymer, provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass of minimum 4 mm in thickness shall be used in the outer pane of the IGU.

- (e) Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index not exceeding five..
- (f) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level, or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze or aluminium.

- (g) Vent pipes made from PVC are permitted.
- (h) Eaves lighting shall be adequately sealed and not compromise the performance of the element.

5.6.6 EAVES LININGS, FASCIAS AND GABLES

The following apply to eaves linings, fascias and gables:

- (a) Gables shall comply with Clause 5.4.
- (b) Eaves penetrations shall be protected the same as for roof penetrations, as specified in Clause 5.6.5.
- (c) Eaves ventilation openings shall be fitted with ember guards in accordance with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium

Joins in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.

This standard does not provide construction requirements for fascias, bargeboards and eaves linings.

5.6.7 GUTTERS AND DOWNPIPES

This Standard does not provide material requirements for downpipes. If installed, gutter and valley leaf guards shall be non-combustible. With the exception of box gutters, gutters shall be metal or PVC-U. Box gutters shall be non-combustible and flashed at the junction with the roof with noncombustible material.

5.7.1 VERANDAS, DECKS, STEPS AND LANDINGS - GENERAL

Decking may be spaced.

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

C5.7.7 - Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0 - 5 mm during service. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacings of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.

5.7.2 ENCLOSED SUBFLOOR SPACES OF VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

5.7.2.1 Materials to enclose a subfloor space

This standard does not provide construction requirements for the materials used to enclose a subfloor space except where those materials are less than 400mm from the ground. Where the materials used to enclose a subfloor space are less than 400mm from the ground, they shall conform with Clause 5.4.

5.7.2.2 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

5.7.2.3 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

5.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings

This standard does not provide construction requirements for decking, stair treads and the trafficable surfaces and landings that are more than 300mm from a glazed element.

Decking, stair treads and the trafficable surfaces of ramps and landings less than 300mm (measured horizontally at deck level) from glazed elements that are less than 400mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from -

- (a) non-combustible material; or
- (b) of bushfire-resisting timber (see Appendix F); or
- (c) a timber species as specified in Paragraph E1, Appendix E; or
- (d) uPVC; or
- (e) a combination of Items (a), (b), (c) or (d).

5.7.3 UNENCLOSED SUBFLOOR SPACES OF VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

5.7.3.1 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

5.7.3.2 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

5.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings

This Standard does not provide construction requirements for deshing, stair treads and the trafficable surfaces of ramps and landings that are more than 300mm from a glazed element.

Decking, stair treads and the trafficable surfaces of ramps and landings less than 300mm (measured horizontally at deck level) from glazed elements that are less than 400mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from-

- (a) non-combustible material; or
- (b) of bushfire-resisting timber (see Appendix F); or
- (c) a timber species as specified in Paragraph E1, Appendix E; or
- (d) uPVC; or
- (e) a combination of any of Items (a), (b), (c) or (d).

5.7.4 BALUSTRADES, HANDRAILS OR OTHER BARRIERS

This Standard does not provide construction requirements for balustrades, handrails and other barriers.

5.7.5 VERANDA POSTS

Verandah Posts -

- (a) Shall be timber mounted on galvanised mounted shoes or stirrups with a clearance of no less than 75mm above adjacent ground level; or
- (b) if less than 400mm (measured vertically) from the surface of the deck or ground (see Fig D2, Appendix D) shall be made from -
 - (i) non-combustible material; or
 - (ii) bushfire-resisting timber (see Appendix F); or
 - (iii) a timbers species as specified in Paragraph E1, Appendix E; or
 - (iv) a combination of any of items (a) or (b).

5.8 WATER AND GAS SUPPLY PIPES

Above-ground, exposed water and gas supply pipes shall be metal.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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**BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS**

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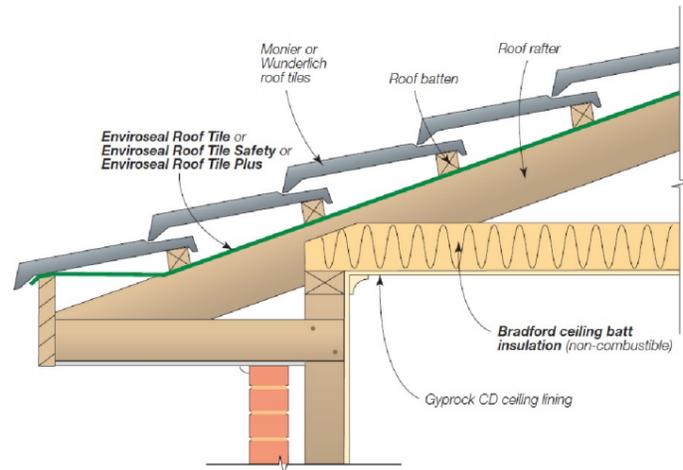


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Rafter Spacing	Product
Up to and including 600mm	EnviroSeal™ Roof Tile or EnviroSeal™ Roof Tile Plus
Over 600mm	EnviroSeal™ Roof Tile Safety

Figure 5.1. Tiled Roofs

- Install EnviroSeal roof tile sarking on top of the roof framing and below the roof battens.
- For further fixing details contact CSR technical support.



Application	Product
Sarking	EnviroSeal™ Resiwrap
Foil faced insulation blanket	Bradford Anticon™
Gap seal	Bradford Fireseal BAL 12.5 - 40 Blanket

Figure 5.2.1. Fascia Detail – Metal Roof (BAL12.5-40)

- Install EnviroSeal Resiwrap to the entire roof area over the top of the battens.
- Immediately above the fascia install BAL12.5 – 40 Blanket extending up the roof and over the first batten. Compress with the roof sheeting.
- For further fixing details contact CSR technical support.

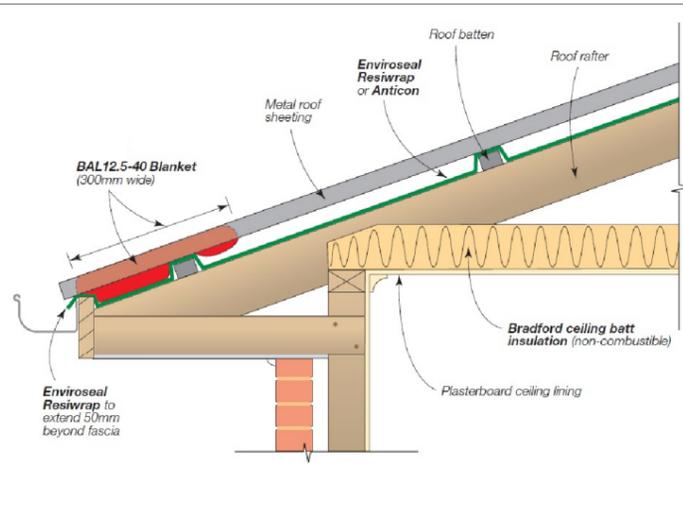


Figure 5.2.2. Valley Detail – Steel Roof (BAL-12.5 – BAL-40)

- Install EnviroSeal Resiwrap to the entire roof area over the top of the battens.
- BAL12.5 – 40 Blanket to be laid over the top of the sarking extending into the valley gutter. Compress with roof sheeting.
- For further fixing details contact CSR technical support.

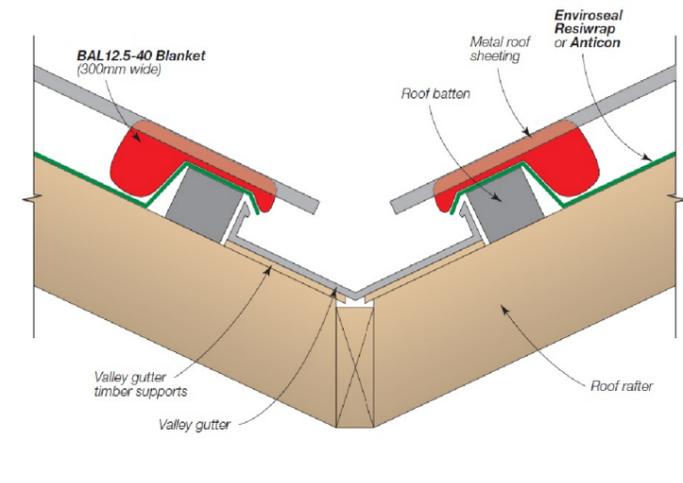


Figure 5.2.3. Barge Detail – Steel Roof (BAL-12.5 – BAL-40)

- Install EnviroSeal Resiwrap to the entire roof area over the top of the battens.
- At barge install BAL12.5 – 40 Blanket and compress with roof sheeting.
- For further fixing details contact CSR technical support.

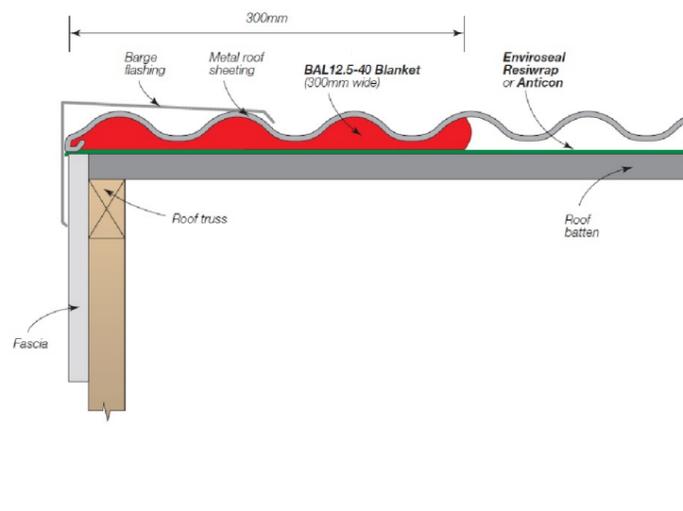
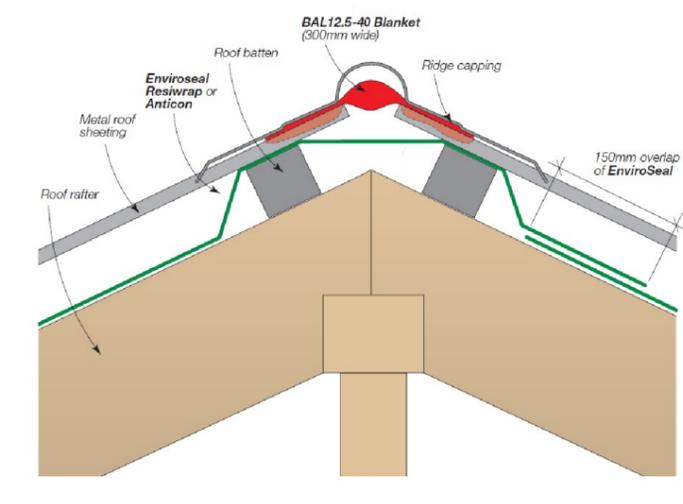


Figure 5.2.4. Hip/Ridge Detail – Steel Roof (BAL-12.5 – BAL-40)

- Install EnviroSeal Resiwrap to the entire roof area over the top of the battens.
- At the ridge/hip lay BAL12.5 – 40 Blanket over the gap between the roof sheets and compress with the ridge capping to the roof profile.
- For further fixing details contact CSR technical support.



Details for the purpose of bushfire proofing only. To be printed in colour.

Images sourced from Bradfords "Bushfire Roofing System", Published 04/11.

SUBJECT TO NCC 2022 (1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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	7 PRELIM PLANS - AMENDMENTS	PL1 12/12/2025	LOT / SECTION / CT: 2 / - / 179114	SHEET TITLE: BAL 12.5 - BAL 40 ROOF DETAILS	SCALES:	
	8 BA PLANS - INITIAL ISSUE & VAR. REF. 001 & REF.002 UP	NVO 22/01/2026	COUNCIL: CLARENCE	SHEET No.: 31 / 31		
	9 BA PLANS - SMALL CORRECTIONS	TRV 03/02/2026				714343

STORMWATER ASSESSMENT

41 Alliance Drive

Cambridge

October 2025

Updated January 2025



GEO-ENVIRONMENTAL

S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

Client:	Wilson Homes
Site Address:	41 Alliance Drive, Cambridge
Date of Inspection:	18/04/2023
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	M. Campbell

Site Details

Certificate of Title (CT):	179114/2
Title Area:	Approx. 2.014 ha
Applicable Planning Overlays:	Bushfire-prone areas, Landslip Hazard, Flood-prone Areas, Airport obstacle limitation area
Slope & Aspect:	7° NW facing slope
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Triassic Sandstone
Climate:	Annual rainfall 600mm
Water Connection:	Mains
Sewer Connection:	Unserviced-On-site required
Testing and Classification:	Onsite Stormwater Retention

Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	BH 3 Depth (m)	USCS	Description
0.00-0.10	0.00-0.10	0.00-0.15	ML	Sandy SILT (ML): low plasticity, dark brown, slightly moist, loose.
0.10-0.60	0.10-0.75	0.15-0.6	CI	CLAY (CI): medium plasticity, brown-grey-orange, dry, very stiff.
0.60-1.20	0.75-1.30	0.65-0.90	GW	Sandy GRAVEL (GW): trace of clay, orange-yellow-brown, grey, dry, dense to very dense with depth, refusal on rock.

Soil Conditions

The soil on site has developed from Triassic sandstone. and consists of sandy topsoil overlying sandy clay subsoils. The soil has an estimated permeability of approximately 0.12-0.50m/day

GES have identified the following at the site:

- The site has an approx. 10% grade and presents a low risk to slope stability and landslip.
- There are no proposals for cuts or changes of grade which may impact on any proposed onsite stormwater absorption.
- The soil onsite has been identified as comprising of sands overlying clayey sand subsoils. No soil dispersion was identified.
- No evidence of a water table was observed at the time of the investigation
- There is a low risk of the natural soils being impacted by contamination
- Bedrock was encountered at a depth of approximately 1.0m

Soil Dispersion

The soil is non-dispersive.

Existing Conditions and Assumptions

The site covers an area of approximately 2ha with a total roof area of approx. 325m² and gravel driveway of approx. 540m².

There is no public stormwater system that the property can connect to, and it is therefore it is proposed that stormwater from the site would be routed through the proposed conventional underground drainage system comprising of Grated Sumps and PVC Pipes, coupled with soakage trench elements for on-site detention. Separate absorption areas are proposed to accommodate the respective roof and driveway areas.

The stormwater management report is prepared in accordance with the design criteria listed below:

- The stormwater drainage system is designed using Bureau of Meteorology (BOM) published rainfall Intensity Frequency Duration (IFD) data as a minor / major system to accommodate the 5% AEP / 20 min storm events.
- The flow rate of stormwater leaving the site shall be designed so that it does not exceed the pre- developed flow rate for both the minor and major rain events.
- The total site discharges are modelled as described in Storm Drainage Design in Small Urban Catchments, a handbook for Australian practice by Australian Rainfall and Runoff (ARR2019), Book 9 – Runoff in Urban Areas.

Detention Calculations

Detention calculations area provided in Appendix A

Summary and Conclusions

- Detention design to be adopted as per design and documentation.
- The designed solution complies with the performance solution design check carried out.
- The run-off from the roof area is to be diverted to a 36m² base (20m x 1.8m), 0.6m deep soakage trench.
- Driveway run-off is to be diverted to a 13.5m² base (15m x 1.8m), 1m deep soakage trench.
- All soakage trenches have been designed over a 20-minute storm duration.
- DN100 slotted PVC pipe with geotextile covering on top of aggregate to be installed within the soakage trench.

It is also recommended that regular inspection and maintenance is conducted to ensure the stormwater system is operating without obstruction. A schematic of recommended checks is attached.

GES Stormwater Maintenance Plan Checklist

Indicative frequency	Inspection and criteria	Maintenance activities (where required)
Annual	Check whether any tree branches overhang the roof or are likely to grow to overhang the roof	If safe and where permitted, consider pruning back any overhanging branches
	Check that access covers to storage tanks are closed	Secure any open access covers to prevent risk of entry
	Check that screens on inlets, overflows and other openings do not have holes and are securely fastened	Repair any defective screens to keep out mosquitoes
	Inspect tank water for presence of rats, birds, frogs, lizards or other vermin or insects	Remove any infestations, identify point of entry and close vermin and insect-proof mesh
	Inspect tank water for presence of mosquito larvae (inspect more frequently in sub-tropical and tropical northern Australia, based on local requirements)	Identify point of entry and close with insect-proof mesh with holes no greater than 1.6 mm in diameter
	Inspect gutters for leaf accumulation and ponding	Clean leaves from gutters-remove more regularly if required. If water is ponding, repair gutter to ensure water flows to downpipe
	Check signage at external roof water taps and that any removable handle taps are being properly used	Replace or repair the missing or damaged signage and fittings
	Check plumbing and pump connections are watertight/without leakage	Repair any leaks as necessary
	Check suction strainers, in-line strainers and pump location for debris	Clean suction strainers, in-line strainers or debris from pump location
	Check pump installation is adequate for reliable ongoing operation	Modify and repair as required
	Check first flush diverter, if present	Clean first flush diverter, repair and replace if necessary
	Check health of absorption trench area and surrounding grass or plants	Investigate any adverse impacts observed that might be due to irrigation
	Check condition of roof and coatings	Investigate and resolve any apparent changes to roof condition, such as loss of material coatings
Triennial	Drain, clean out and check the condition of the tank walls and roof to ensure no holes have arisen due to tank deterioration	Repair any tank defects

	Check sediment levels in the tank	Organise a suitable contractor to remove accumulated sediment if levels are approaching those that may block tank outlets
	Undertake a systematic review of operational control of risks to the system	Identify the reason for any problems during inspections and take actions to prevent failures occurring in future
After 20 years and then every 5 years	Monitor the effectiveness of the stormwater absorption area to assess for any clogging due to algal growth, or blocking due to tree roots/grass growth/trench failure.	Clean or replace clogged equipment
Ongoing	Inspect and follow up on any complaints or concerns raised that could indicate problems with the system	Repair or replace any problems that are notified

APPENDIX A: STORMWATER DETENTION CALCULATIONS

ROOF OVERFLOW

STORAGE TRENCH			
Hydrology			
Total Catchment Area		325	m ²
Runoff Coefficient		1	
Annual Recurrence Interval (ARI)		20	yr
Ground Conditions			
Hydraulic conductivity (K)		0.5	m/day
		0.350	mm/min
Adjusted Rate (15% clogging factor)		0.298	mm/min
Trench Design			
Length		20	m
Width		1.8	m
Depth		0.6	m
Infiltration Area		36	m ²
Porosity		0.35	%
Trench Storage		7.56	m ³
		7560	L
Final Check			
Criteria	Requirement	Design	Check
Detention reqd	5020	7560	OK

DRIVEWAY OVERFLOW

STORAGE TRENCH			
Hydrology			
Total Catchment Area		540	m ²
Runoff Coefficient		0.5	
Annular Recurrence Interval (ARI)		20	yr
Ground Conditions			
Hydraulic conductivity (K)		0.5	m/day
		0.350	mm/min
Adjusted Rate (15% clogging factor)		0.298	mm/min
Trench Design			
Length		7.5	m
Width		1.8	m
Depth		1	m
Infiltration Area		13.5	m ²
Porosity		0.35	%
Trench Storage		4.73	m ³
		4725	L
Final Check			
Criteria	Requirement	Design	Check
Detention reqd	2780	4725	OK

Location

Label: 41 Alliance Dr Cambridge
Easting: 536600
Northing: 5256600
Zone: 55
Latitude: Nearest grid cell: 42.8375 (S)
Longitude: Nearest grid cell: 147.4375 (E)



IFD Design Rainfall Intensity (mm/h)

Issued: 15 October 2025

Rainfall intensity for Durations, Exceedance per Year (EY), and Annual Exceedance Probabilities (AEP).
[FAQ for New ARR probability terminology](#)

Table Chart

Unit: mm/h

Duration	Annual Exceedance Probability (AEP)						
	63.2%	50%#	20%*	10%	5%	2%	1%
1 min	63.2	71.7	100	121	143	175	201
2 min	54.5	61.3	83.1	98.3	113	132	146
3 min	48.2	54.4	74.3	88.3	102	120	134
4 min	43.5	49.1	67.7	80.9	94.5	112	127
5 min	39.7	45.0	62.4	75.0	88.0	106	120
10 min	28.7	32.6	45.9	55.8	66.3	81.6	94.4
15 min	23.2	26.4	37.2	45.3	53.9	66.5	77.0
20 min	19.9	22.6	31.7	38.6	45.8	56.4	65.2
25 min	17.6	20.0	28.0	33.9	40.2	49.2	56.7
30 min	15.9	18.0	25.2	30.5	36.0	43.9	50.4
45 min	12.7	14.4	20.0	24.0	28.1	33.8	38.5
1 hour	10.9	12.3	17.0	20.3	23.6	28.2	31.8
1.5 hour	8.82	9.96	13.6	16.1	18.6	21.9	24.5
2 hour	7.60	8.58	11.7	13.8	15.8	18.5	20.6
3 hour	6.18	7.00	9.50	11.2	12.8	14.9	16.4
4.5 hour	5.03	5.71	7.78	9.14	10.4	12.1	13.4
6 hour	4.34	4.94	6.76	7.95	9.09	10.6	11.7
9 hour	3.49	3.99	5.52	6.53	7.49	8.80	9.79
12 hour	2.97	3.40	4.75	5.64	6.51	7.70	8.61
18 hour	2.32	2.67	3.78	4.53	5.27	6.29	7.09
24 hour	1.92	2.22	3.16	3.81	4.47	5.37	6.07
30 hour	1.65	1.90	2.72	3.30	3.89	4.69	5.32
36 hour	1.44	1.66	2.39	2.91	3.44	4.15	4.72
48 hour	1.15	1.33	1.93	2.35	2.79	3.37	3.84
72 hour	0.828	0.956	1.38	1.69	2.00	2.41	2.74
96 hour	0.648	0.746	1.07	1.30	1.54	1.85	2.10
120 hour	0.535	0.615	0.875	1.06	1.25	1.49	1.69
144 hour	0.457	0.525	0.742	0.894	1.05	1.25	1.41
168 hour	0.402	0.461	0.647	0.774	0.899	1.07	1.21

Note:

The 50% AEP IFD **does not** correspond to the 2 year Average Recurrence Interval (ARI) IFD. Rather it corresponds to the 1.44 ARI.

* The 20% AEP IFD **does not** correspond to the 5 year Average Recurrence Interval (ARI) IFD. Rather it corresponds to the 4.48 ARI.

STORMWATER DETENTION V5.05

Location: Cambridge, TAS
Site: 325m² with tc = 20 and tcs = 15 mins.
PSD: AEP of 5%, Underground rectangular tank PSD = 1.22L/s
Storage: AEP of 5%, Underground rectangular tank volume = 5.02m³

Design Criteria (Custom AEP IFD data used)

Location = Cambridge, TAS
 Method = E (A)RI 2001,A(E)P 2019

PSD annual exceedance probability (APE) = 5 %
 Storage annual exceedance probability (APE) = 5 %

Storage method = U (A)bove,(P)ipe,(U)nderground,(C)ustom

Site Geometry

Site area (As) = 325 m² = 0.0325 Ha
 Pre-development coefficient (Cp) = 0.30
 Post development coefficient (Cw) = 1.00
 Total catchment (tc) = 20 minutes
 Upstream catchment to site (tcs) = 15 minutes

Coefficient Calculations

Pre-development				Post development			
Zone	Area (m ²)	C	Area * C	Zone	Area (m ²)	C	Area * C
Concrete	0	0.90	0	Concrete	0	0.90	0
Roof	0	1.00	0	Roof	325	1.00	325
Gravel	0	0.50	0	Gravel	0	0.50	0
Garden	325	0.30	98	Garden	0	0.30	0
Total	325	m²	98	Total	325	m²	325
Cp = ΣArea*C/Total = 0.300				Cw = ΣArea*C/Total = 1.000			

Permissible Site Discharge (PSD) (AEP of 5%)

PSD Intensity (I) = 44.8 mm/hr For catchment tc = 20 mins.
 Pre-development (Qp = Cp*I*As/0.36) = 1.21 L/s
 Peak post development (Qa = 2*Cw*I*As/0.36) = 8.08 L/s = (0.181 x I) Eq. 2.24
 Storage method = U (A)bove,(P)ipe,(U)nderground,(C)ustom
 Permissible site discharge (Qu = PSD) = 1.217 L/s

Above ground - Eq 3.8

$$0 = PSD^2 - 2*Qa/tc*(0.667*tc*Qp/Qa + 0.75*tc+0.25*tcs)*PSD + 2*Qa*Qp$$

Taking x as = PSD and solving

$$a = 1.0 \quad b = -16.8 \quad c = 19.6$$

$$PSD = -b \pm \sqrt{(b^2 - 4ac)} / (2a)$$

$$PSD = 1.263 \text{ L/s}$$

Below ground pipe - Eq 3.3

$$Qp = PSD * [1.6*tcs / (tc*(1-2*PSD/(3*Qa))) - 0.6*tcs^{2.67} / (tc*(1-2*PSDp/(3*Qa)))^{2.67}]$$

$$= 1.21$$

$$PSD = 1.255 \text{ L/s}$$

Below ground rectangular tank - Eq 3.4

$$t = tcs / (tc*(1-2*PSD/(3*Qa))) = 0.834$$

$$Qp = PSD * [0.005 - 0.455*t + 5.228*t^2 - 1.045*t^3 - 7.199*t^4 + 4.519*t^5]$$

$$= 1.21$$

$$PSD = 1.217 \text{ L/s}$$

Design Storage Capacity (AEP of 5%)

Above ground (Vs) = $[0.5*Qa*td - [(0.875*PSD*td)(1-0.917*PSD/Qa) + (0.427*td*PSD^2/Qa)]] * 60/10^3 \text{ m}^3$ Eq 4.23

Below ground pipe (Vs) = $[(0.5*Qa - 0.637*PSD + 0.089*PSD^2/Qa)*td] * 60/10^3 \text{ m}^3$ Eq 4.8

Below ground rect. tank (Vs) = $[(0.5*Qa - 0.572*PSD + 0.048*PSD^2/Qa)*td] * 60/10^3 \text{ m}^3$ Eq 4.13

td (mins)	I (mm/hr)	Qa (L/s)	Above Vs (m ³)	Pipe Vs (m ³)	B/G Vs (m ³)
5	85.2	15.4			2.10
25	39.2	7.1			4.28
34	32.5	5.9			4.59
44	27.7	5.0			4.79
54	24.3	4.4			4.91
64	21.9	3.9			4.98
74	20.0	3.6			5.01
83	18.6	3.4			5.02
93	17.4	3.1			5.01
103	16.4	3.0			4.98

Table 1 - Storage as function of time for AEP of 5%

Type	td (mins)	I (mm/hr)	Qa (L/s)	Vs (m ³)
Above Pipe				
B/ground	82.4	18.7	3.4	5.02

Table 2 - Storage requirements for AEP of 5%

Frequency of operation of Above Ground storage

$Q_{op2} = 0.75 \text{ CI 2.4.5.1}$
 $Q_{p2} = Q_{op2} * Q_{p1} \text{ (where } Q_{p1} = PSD) = 0.95 \text{ L/s at which time above ground storage occurs}$
 $I = 360 * Q_{p2} / (2 * C_w * A_s * 10^3) = 5.2 \text{ mm/h}$ Eq 4.24

Period of Storage

Time to Fill:

Above ground (tf) = $td * (1 - 0.92 * PSD / Qa)$ Eq 4.27

Below ground pipe (tf) = $td * (1 - 2 * PSD / (3 * Qa))$ Eq 3.2

Below ground rect. tank (tf) = $td * (1 - 2 * PSD / (3 * Qa))$ Eq 3.2

Time to empty:

Above ground (te) = $(Vs + 0.33 * PSD^2 * td / Qa * 60 / 10^3) * (1.14 / PSD) * (10^3 / 60)$ Eq 4.28

Below ground pipe (te) = $1.464 / PSD * (Vs + 0.333 * PSD^2 * td / Qa * 60 / 10^3) * (10^3 / 60)$ Eq 4.32

Below ground rect. tank (te) = $2.653 / PSD * (Vs + 0.333 * PSD^2 * td / Qa * 60 / 10^3) * (10^3 / 60)$ Eq 4.36

Storage period (Ps = tf + te) Eq 4.26

Type	td (mins)	Qa (L/s)	Vs (L/s)	tf (mins)	te (mins)	Ps (mins)
Above Pipe						
B/ground	82.4	3.4	5.0	62.6	208.7	271.3

Table 3 - Period of Storage requirements for AEP of 5%

Orifice

Permissible site discharge (Qu=PSD) = 1.22 L/s (Underground storage)

Orifice coefficient (CD) = 0.61 For sharp circular orifice

Gravitational acceration (g) = 9.81 m/s²

Maximum storage depth above orifice (H) = 400 mm

Orifice flow (Q) = $CD * A_o * \sqrt{2 * g * H}$

Therefore:

Orifice area (Ao) = 712 mm²

Orifice diameter (D = $\sqrt{4 * A_o / \pi}$) = 30.1 mm

Location: Cambridge, TAS
 Site: 540m² with tc = 20 and tcs = 15 mins.
 PSD: AEP of 5%, Underground rectangular tank PSD = 1.97L/s
 Storage: AEP of 5%, Underground rectangular tank volume = 2.78m³

Design Criteria (Custom AEP IFD data used)

Location = Cambridge, TAS
 Method = E (A)RI 2001,A(E)P 2019

PSD annual exceedance probability (APE) = 5 %
 Storage annual exceedance probability (APE) = 5 %

Storage method = U (A)bove,(P)ipe,(U)nderground,(C)ustom

Site Geometry

Site area (As) = 540 m² = 0.054 Ha
 Pre-development coefficient (Cp) = 0.30
 Post development coefficient (Cw) = 0.50
 Total catchment (tc) = 20 minutes
 Upstream catchment to site (tcs) = 15 minutes

Coefficient Calculations

Pre-development				Post development			
Zone	Area (m ²)	C	Area * C	Zone	Area (m ²)	C	Area * C
Concrete	0	0.90	0	Concrete	0	0.90	0
Roof	0	1.00	0	Roof	0	1.00	0
Gravel	0	0.50	0	Gravel	540	0.50	270
Garden	540	0.30	162	Garden	0	0.30	0
Total	540	m²	162	Total	540	m²	270

$C_p = \frac{\sum Area * C}{Total} = 0.300$

$C_w = \frac{\sum Area * C}{Total} = 0.500$

Permissible Site Discharge (PSD) (AEP of 5%)

PSD Intensity (I) = 44.8 mm/hr For catchment tc = 20 mins.
 Pre-development (Qp = Cp*1*As/0.36) = 2.01 L/s
 Peak post development (Qa = 2*Cw*1*As/0.36) = 6.71 L/s = (0.150 x I) Eq. 2.24
 Storage method = U (A)bove,(P)ipe,(U)nderground,(C)ustom
 Permissible site discharge (Qu = PSD) = 1.970 L/s

Above ground - Eq 3.8

$0 = PSD^2 - 2*Qa/tc*(0.667*tc*Qp/Qa + 0.75*tc+0.25*tcs)*PSD + 2*Qa*Qp$
 Taking x as = PSD and solving
 a = 1.0 b = -15.3 c = 27.0
 $PSD = \frac{-b \pm \sqrt{b^2 - 4ac}}{2a}$
 PSD = 2.044 L/s

Below ground pipe - Eq 3.3

$Q_p = PSD * [1.6 * tcs / (tc * (1 - 2 * PSD / (3 * Q_a))) - 0.6 * tcs^{2.67} / (tc * (1 - 2 * PSD / (3 * Q_a)))^{2.67}]$
 = 2.01
 PSD = 2.024 L/s

Below ground rectangular tank - Eq 3.4

$t = tcs / (tc * (1 - 2 * PSD / (3 * Q_a))) = 0.932$
 $Q_p = PSD * [0.005 - 0.455 * t + 5.228 * t^2 - 1.045 * t^3 - 7.199 * t^4 + 4.519 * t^5]$
 = 2.01
 PSD = 1.970 L/s

Licensee: Geo-Environmental Solutions

Design Storage Capacity (AEP of 5%)

Above ground (Vs) = $[0.5*Qa*td - [(0.875*PSD*td)(1-0.917*PSD/Qa) + (0.427*td*PSD^2/Qa)]]*60/10^3 \text{ m}^3$ Eq 4.23
 Below ground pipe (Vs) = $[(0.5*Qa-0.637*PSD+0.089*PSD^2/Qa)*td]*60/10^3 \text{ m}^3$ Eq 4.8
 Below ground rect. tank (Vs) = $[(0.5*Qa-0.572*PSD+0.048*PSD^2/Qa)*td]*60/10^3 \text{ m}^3$ Eq 4.13

td (mins)	I (mm/hr)	Qa (L/s)	Above Vs (m ³)	Pipe Vs (m ³)	B/G Vs (m ³)
5	85.2	12.8			1.58
11	61.7	9.3			2.32
14	54.6	8.2			2.51
17	49.1	7.4			2.63
20	44.8	6.7			2.71
23	41.2	6.2			2.75
26	38.3	5.7			2.77
29	35.8	5.4			2.78
32	33.7	5.1			2.76
35	31.9	4.8			2.74

Table 1 - Storage as function of time for AEP of 5%

Type	td (mins)	I (mm/hr)	Qa (L/s)	Vs (m ³)
Above Pipe				
B/ground	28.0	36.6	5.5	2.78

Table 2 - Storage requirements for AEP of 5%

Frequency of operation of Above Ground storage

$Q_{op2} = 0.75$ Cl 2.4.5.1
 $Q_{p2} = Q_{op2} * Q_{p1}$ (where $Q_{p1} = PSD$) = 1.53 L/s at which time above ground storage occurs
 $I = 360 * Q_{p2} / (2 * C_w * A_s * 10^3)$ = 10.2 mm/h Eq 4.24

Period of Storage

Time to Fill:

Above ground (tf) = $td * (1 - 0.92 * PSD / Qa)$ Eq 4.27
 Below ground pipe (tf) = $td * (1 - 2 * PSD / (3 * Qa))$ Eq 3.2
 Below ground rect. tank (tf) = $td * (1 - 2 * PSD / (3 * Qa))$ Eq 3.2

Time to empty:

Above ground (te) = $(Vs + 0.33 * PSD^2 * td / Qa * 60 / 10^3) * (1.14 / PSD) * (10^3 / 60)$ Eq 4.28
 Below ground pipe (te) = $1.464 / PSD * (Vs + 0.333 * PSD^2 * td / Qa * 60 / 10^3) * (10^3 / 60)$ Eq 4.32
 Below ground rect. tank (te) = $2.653 / PSD * (Vs + 0.333 * PSD^2 * td / Qa * 60 / 10^3) * (10^3 / 60)$ Eq 4.36

Storage period (Ps = tf + te) Eq 4.26

Type	td (mins)	Qa (L/s)	Vs (L/s)	tf (mins)	te (mins)	Ps (mins)
Above Pipe						
B/ground	28.0	5.5	2.8	21.3	71.2	92.5

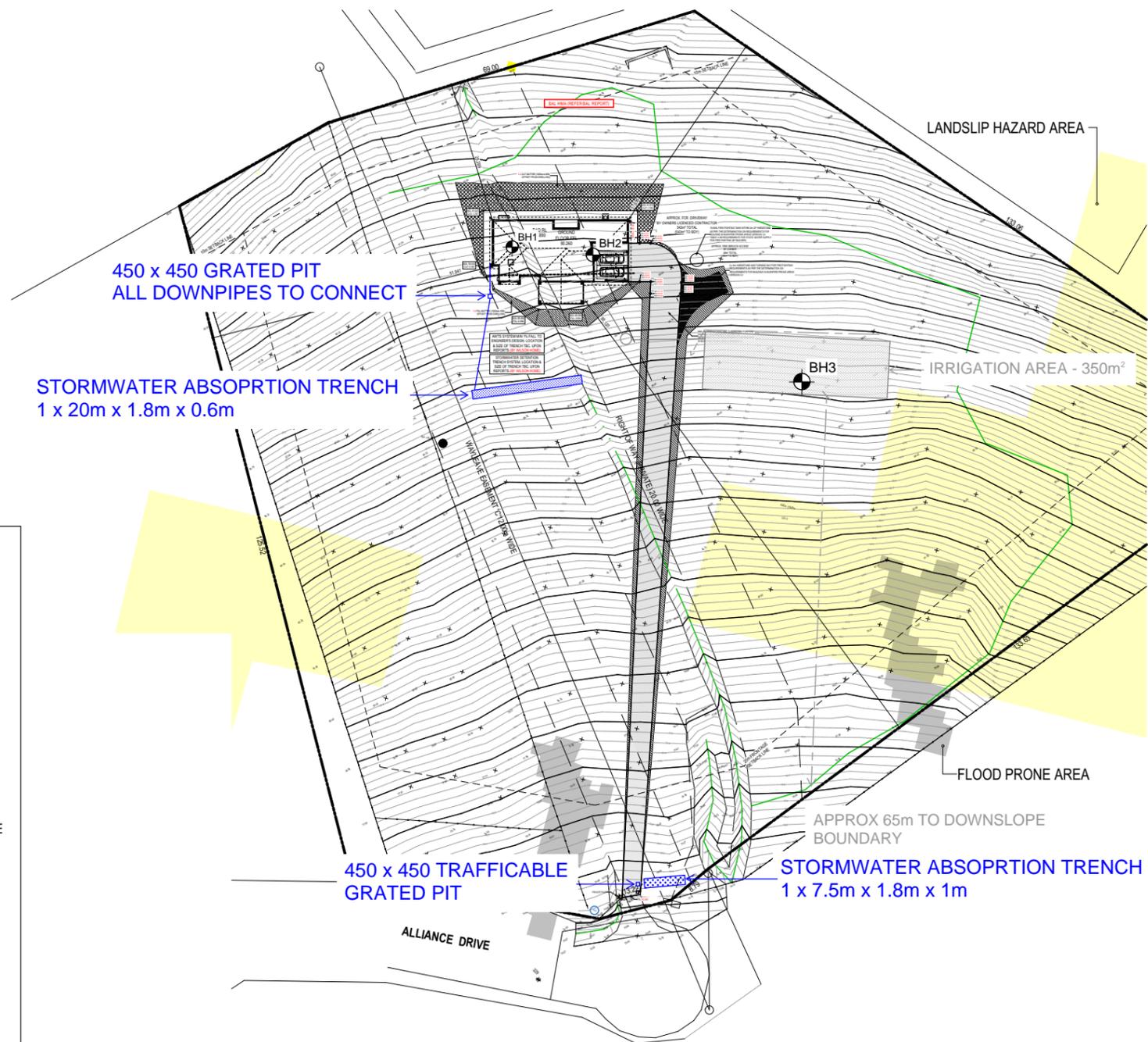
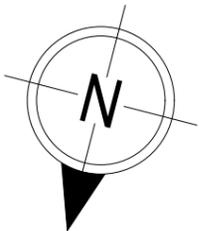
Table 3 - Period of Storage requirements for AEP of 5%

Orifice

Permissible site discharge ($Q_u = PSD$) = 1.97 L/s (Underground storage)
 Orifice coefficient (CD) = 0.61 For sharp circular orifice
 Gravitational acceration (g) = 9.81 m/s²
 Maximum storage depth above orifice (H) = 400 mm
 Orifice flow (Q) = $CD * A_o * \sqrt{2 * g * H}$

Therefore:

Orifice area (A_o) = 1153 mm²
 Orifice diameter ($D = \sqrt{4 * A_o / \pi}$) = 38.3 mm



New Services

→ STORMWATER PIPE WITH FLOW DIRECTION

□ GRATED STORMWATER PIT 450x450 CLASS A ACO GALVANISED HEELGUARD OR SIMILAR ENGINEER APPROVED

Performance Solution Compliance Notes:
 AS 3500.3 - CL 7.10
 • 7.10.1 - OVERFLOW IS SAFE AND DOES NOT COMPROMISE FREEBOARD TO HABITABLE SPACES.

GENERAL

- AS/NZS 3500.3: PART 3 STORMWATER DRAINAGE AUSTRALIAN RAINFALL AND RUN-OFF VOLUME 8: URBAN STORMWATER MANAGEMENT
- AUSTRALIAN RUNOFF QUALITY - A GUIDE TO WATER SENSITIVE URBAN DESIGN
- STORM DRAINAGE DESIGN IN SMALL URBAN CATCHMENTS: A HANDBOOK FOR AUSTRALIAN PRACTICE
- WATER SENSITIVE URBAN DESIGN (WSUD) ENGINEERING PROCEDURE: STORMWATER
- WATER SERVICES ASSOCIATION OF AUSTRALIA CODE (WSAA)

Stormwater Services Notes:

1. ALL SITE SAFETY & MANAGEMENT PROCEDURES SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF STATE GROWTH SPECIFICATIONS: SECTION 168 OCCUPATIONAL HEALTH AND SAFETY & SECTION 176 ENVIRONMENTAL MANAGEMENT.
2. ALL PIPES UNDER TRAFFICABLE AREAS ARE TO BE BACKFILLED FULL DEPTH WITH 20 F.C.R. AND FULLY COMPACTED.
3. ALL STORMWATER PIPES TO BE PVC-U-SWJ CLASS "SN8" TO AS1254 UNO.
4. ALL DRAIN AND TRENCH CONSTRUCTION SHALL COMPLY WITH THE LGAT STANDARD DRG TSD G01.
5. ANY EXCAVATED TRENCHES IN EXCESS OF 1.5M IN DEPTH ARE TO BE ADEQUATELY SHORED TO PREVENT COLLAPSE DURING WORKS.

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REVISION	DRAWN
1 DRAFT SALE PLAN - CT1	HMI 06/08/2025
2 DRAFT SALE PLAN - CT2	HMI 03/09/2025
3 DRAFT SALES PLAN - CT3	MFC 23/09/2025

CLIENT:	NATHAN JAMES & SUSAN JEAN CARINS
ADDRESS:	41 ALLIANCE DRIVE, CAMBRIDGE TAS 7170
LOT / SECTION / CT:	2 / - / 179114
COUNCIL:	CLARENCE

HOUSE DESIGN:	RICHMOND 29
FACADE DESIGN:	OSLO
SHEET TITLE:	DSP - LOCALITY PLAN
SHEET No.:	1 / 6

HOUSE CODE:	H-WATRCH20SA
FACADE CODE:	F-WATRCH20OSLOA
SCALES:	1:1000

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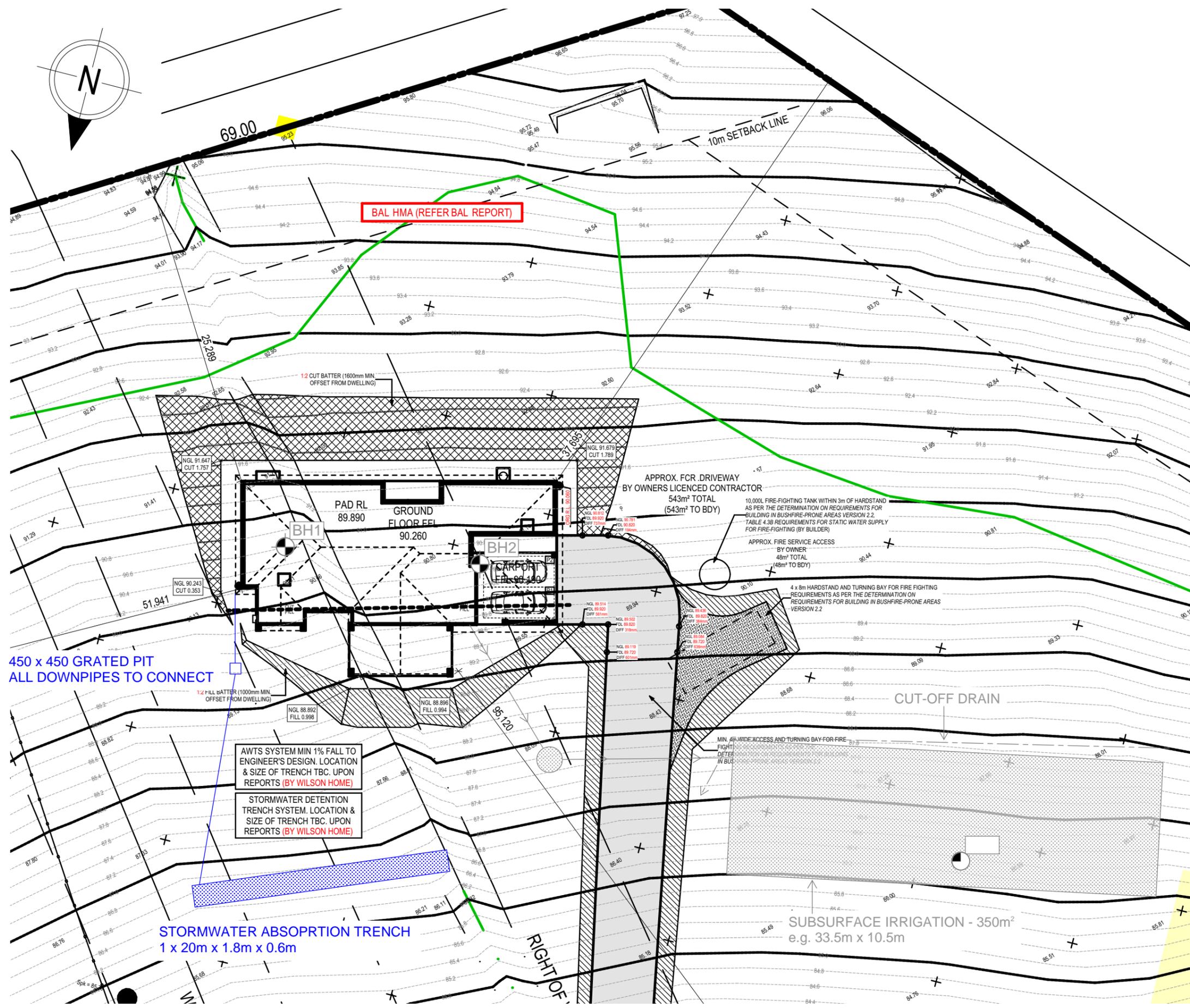
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GEO-ENVIRONMENTAL

SOLUTIONS

29 Kirksway Place, Battery Point
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New Services

- STORMWATER PIPE WITH FLOW DIRECTION
- GRATED STORMWATER PIT
450x450 CLASS A
ACO GALVANISED HEELGUARD OR SIMILAR
ENGINEER APPROVED

Performance Solution Compliance Notes:

AS 3500.3 - CL 7.10
• 7.10.1 - OVERFLOW IS SAFE AND DOES NOT COMPROMISE FREEBOARD TO HABITABLE SPACES.

GENERAL

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Stormwater Services Notes:

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- ALL PIPES UNDER TRAFFICABLE AREAS ARE TO BE BACKFILLED FULL DEPTH WITH 20 F.C.R. AND FULLY COMPACTED.
- ALL STORMWATER PIPES TO BE PVC-U-SWJ CLASS "SN8" TO AS1254 UNO.
- ALL DRAIN AND TRENCH CONSTRUCTION SHALL COMPLY WITH THE LGAT STANDARD DRG TSD G01.
- ANY EXCAVATED TRENCHES IN EXCESS OF 1.5M IN DEPTH ARE TO BE ADEQUATELY SHORED TO PREVENT COLLAPSE DURING WORKS.

450 x 450 GRATED PIT
ALL DOWNPIPES TO CONNECT

AWTS SYSTEM MIN 1% FALL TO ENGINEER'S DESIGN. LOCATION & SIZE OF TRENCH TBC. UPON REPORTS (BY WILSON HOME)

STORMWATER DETENTION TRENCH SYSTEM. LOCATION & SIZE OF TRENCH TBC. UPON REPORTS (BY WILSON HOME)

STORMWATER ABSORPTION TRENCH
1 x 20m x 1.8m x 0.6m

Do not scale from these drawings.
Dimensions to take precedence over scale.

41 Alliance Drive
CAMBRIDGE 7170

C.T.: 179114/2

Date: 27/01/2026

On-Site Stormwater Management Plan

1:300 @ A3

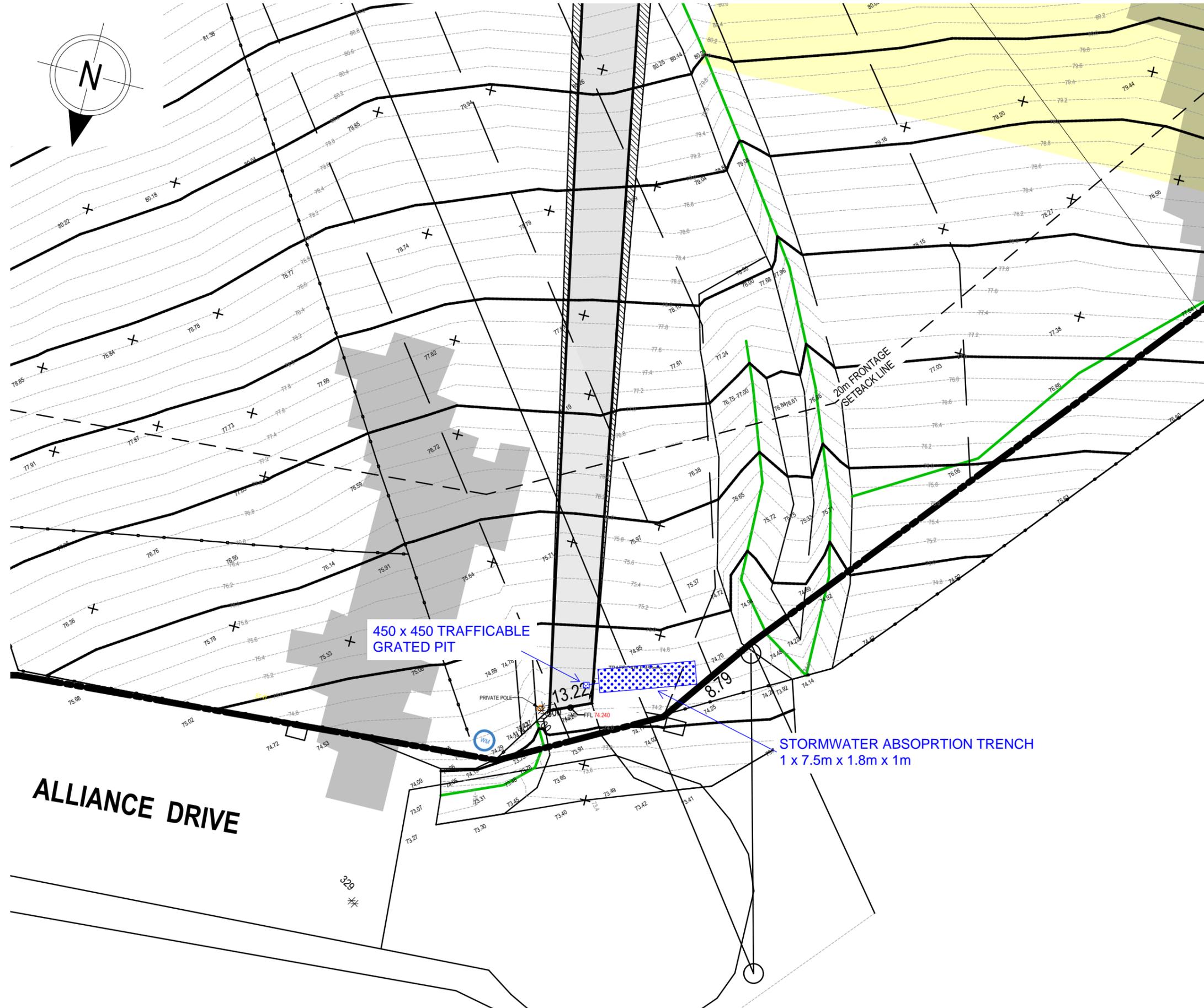
Sheet 2 of 3
Drawn by: SR



GEO-ENVIRONMENTAL

SOLUTIONS

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New Services

- STORMWATER PIPE WITH FLOW DIRECTION
- GRATED STORMWATER PIT
450x450 CLASS A
ACO GALVANISED HEELGUARD OR SIMILAR
ENGINEER APPROVED

Performance Solution Compliance Notes:

AS 3500.3 - CL 7.10
• 7.10.1 - OVERFLOW IS SAFE AND DOES NOT COMPROMISE FREEBOARD TO HABITABLE SPACES.

GENERAL

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Stormwater Services Notes:

1. ALL SITE SAFETY & MANAGEMENT PROCEDURES SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF STATE GROWTH SPECIFICATIONS:
SECTION 168 OCCUPATIONAL HEALTH AND SAFETY & SECTION 176 ENVIRONMENTAL MANAGEMENT.
2. ALL PIPES UNDER TRAFFICABLE AREAS ARE TO BE BACKFILLED
FULL DEPTH WITH 20 F.C.R. AND FULLY COMPACTED.
3. ALL STORMWATER PIPES TO BE PVC-U-SWJ CLASS "SN8" TO AS1254 UNO.
4. ALL DRAIN AND TRENCH CONSTRUCTION SHALL COMPLY WITH THE LGAT STANDARD DRG TSD G01.
5. ANY EXCAVATED TRENCHES IN EXCESS OF 1.5M IN DEPTH ARE TO BE ADEQUATELY SHORED TO PREVENT COLLAPSE DURING WORKS.

Do not scale from these drawings.
Dimensions to take precedence
over scale.

41 Alliance Drive
CAMBRIDGE 7170

C.T.: 179114/2

Date: 27/01/2026

On-Site Stormwater Management Plan

1:300 @ A3

Sheet 3 of 3
Drawn by: SR

Design notes:

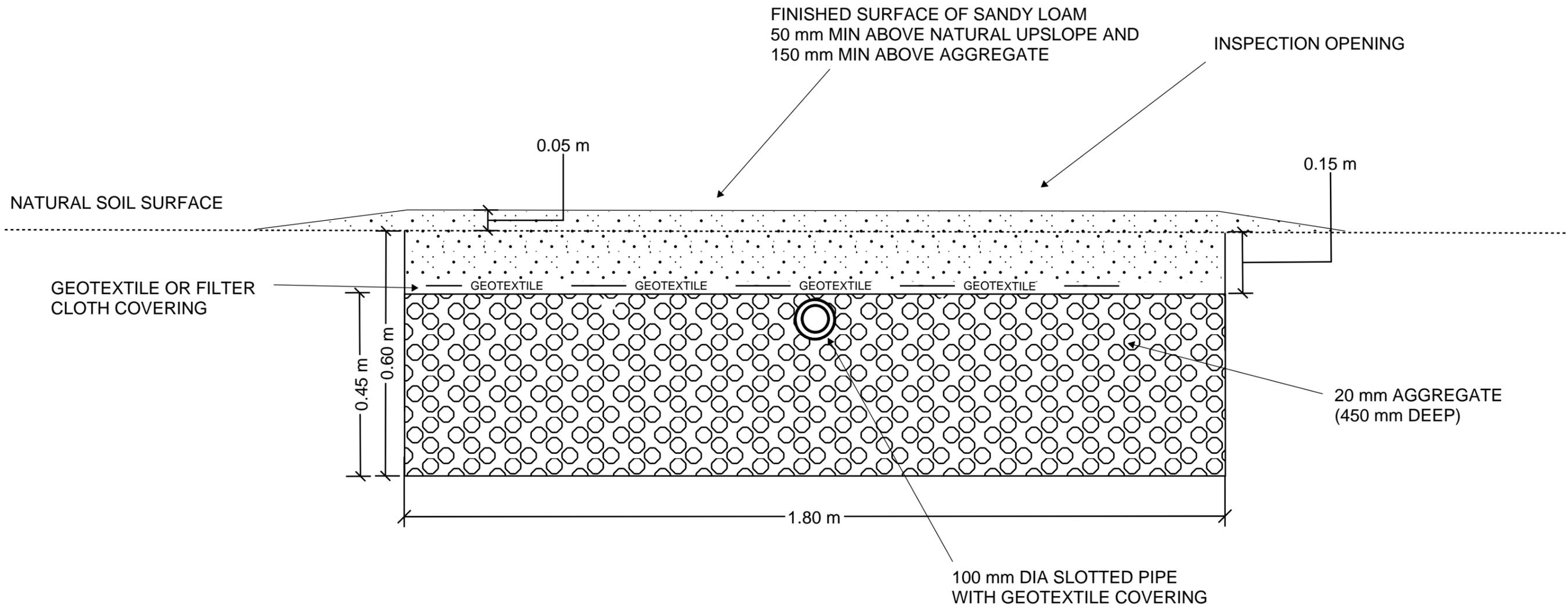
1. Absorption bed dimensions of up to 21m long by 0.60m deep by 1.8m wide
– total storage volume calculated at average 35% porosity.
2. Base of bed to be excavated level and smearing and compaction avoided.
3. 90-100mm slotted pipe should be placed in the top 100mm of the 20mm aggregate
4. Geotextile or filter cloth to be placed over the pipe to prevent clogging of the pipes and aggregate
5. Construction on slopes up to 20% to allow trench depth range 600mm upslope edge to 400mm on down slope edge.
6. All works on site to comply with AS3500 and Tasmanian Plumbing code.



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**Do not scale from these drawings.
Dimensions to take precedence
over scale.**

Geo-Environmental Solutions
Stormwater trench

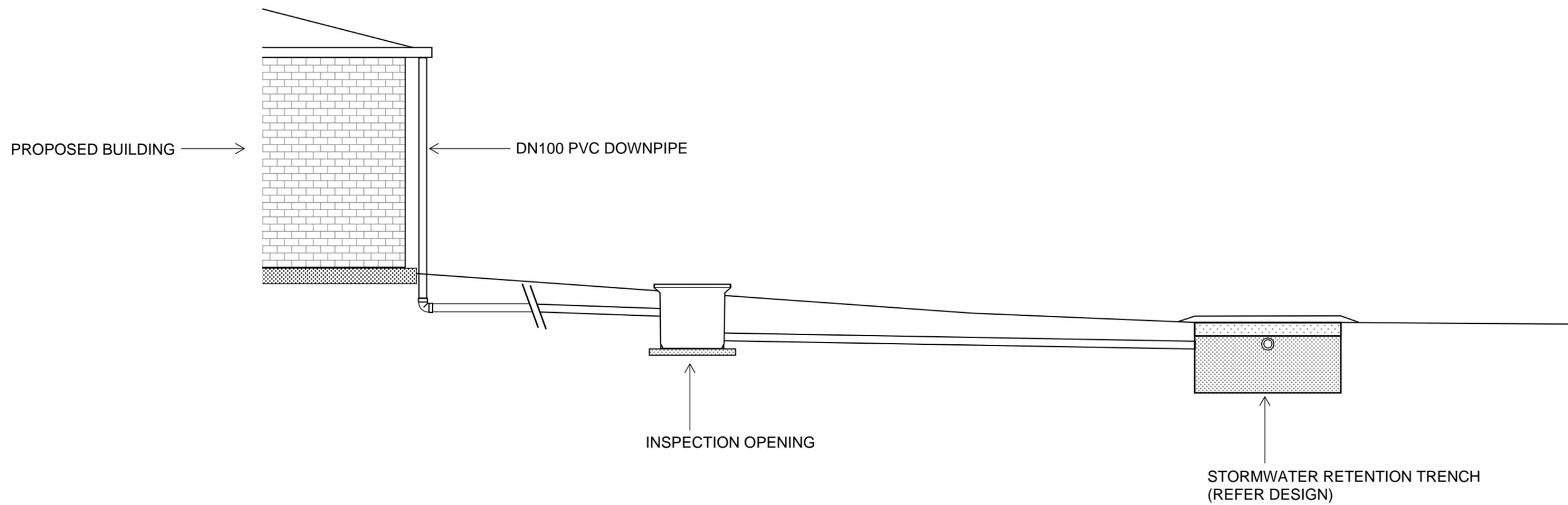
Stormwater Absorption Detail



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STORMWATER DETENTION
SCHEMATIC CROSS-SECTION

Sheet 1 of 1
Drawn by: SR