



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2026/058890**

**PROPOSAL:** Dwelling

**LOCATION:** 61 Dolina Drive, Rokeby

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 10/03/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 10/03/2026. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 10/03/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

# Clarence City Council



## APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at Council offices.

Proposal:

New residential dwelling

Location:

Address 61 Dolina Drive

Suburb/Town Rokeby, TAS

Postcode 7019

Current Owners/s:

**Personal Information Removed**

Applicant:

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Vacant Land

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

# Clarence City Council

## DEVELOPMENT/USE OR SUBDIVISION DECLARATION



Clarence... a brighter place

**Declaration:**

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

**Acknowledgement:**

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's  
Signature:

**Personal Information Removed**

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST  
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST  
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

### 1. **MANDATORY DOCUMENTATION**

*This information is required for the application to be valid. An application lodged without these items is unable to proceed.*

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.

*May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.*

- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

*(please refer to <http://www.ccc.tas.gov.au/fees> or phone (03) 6217 9550 to determine applicable fees).*

### 2. **ADDITIONAL DOCUMENTATION**

*In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.*

- Site analysis plan and site plan**, including where relevant:

- *Existing and proposed use(s) on site.*
- *Boundaries and dimensions of the site.*
- *Topography, including contours showing AHD levels and major site features.*
- *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
- *Soil type.*
- *Vegetation types and distribution, and trees and vegetation to be removed.*
- *Location and capacity of any existing services or easements on/to the site.*
- *Existing pedestrian and vehicle access to the site.*
- *Location of existing and proposed buildings on the site.*
- *Location of existing adjoining properties, adjacent buildings and their uses.*
- *Any natural hazards that may affect use or development on the site.*
- *Proposed roads, driveways, car parking areas and footpaths within the site.*
- *Any proposed open space, communal space, or facilities on the site.*
- *Main utility service connection points and easements.*
- *Proposed subdivision lot boundaries.*

# Clarence City Council

## DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
  - *Internal layout of each building on the site.*
  - *Private open space for each dwelling.*
  - *External storage spaces.*
  - *Car parking space location and layout.*
  - *Major elevations of every building to be erected.*
  - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
  - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
  - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
  - *Planting concepts.*
  - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
  - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

*This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.*

SEARCH OF TORRENS TITLE

VOLUME 188393	FOLIO 148
EDITION 2	DATE OF ISSUE 05-Nov-2025

SEARCH DATE : 19-Nov-2025

SEARCH TIME : 11.23 AM

DESCRIPTION OF LAND

City of CLARENCE  
 Lot 148 on Sealed Plan 188393  
 Derivation : Part of Lot 37617, 56.81ha Gtd. to The  
 Director-General of Housing & Construction  
 Prior CT 186365/507

SCHEDULE 1

M535627 TRANSFER to DAESUNGTAS PTY LTD Registered  
 03-Nov-2015 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP188393 EASEMENTS in Schedule of Easements  
 SP188393 COVENANTS in Schedule of Easements  
 SP188393 FENCING PROVISION in Schedule of Easements  
 SP142549 & SP184319 COVENANTS in Schedule of Easements  
 SP184319 FENCING PROVISION in Schedule of Easements  
 SP142549 FENCING COVENANT in Schedule of Easements  
 SP142549 WATER SUPPLY RESTRICTION  
 SP142549 SEWERAGE AND/OR DRAINAGE RESTRICTION

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER DAESUNGTA PTY LTD  
 FOLIO REFERENCE: CT.186365/507  
 GRANTEE PART OF LOT 37617 (56.81ha) GTD TO THE DIRECTOR-GENERAL OF HOUSING & CONSTRUCTION

**PLAN OF SURVEY**  
 BY SURVEYOR TIMOTHY LEIGH GOWLLAND  
 ROGERSON AND BIRCH SURVEYORS  
 UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK  
 PH 6248-5898

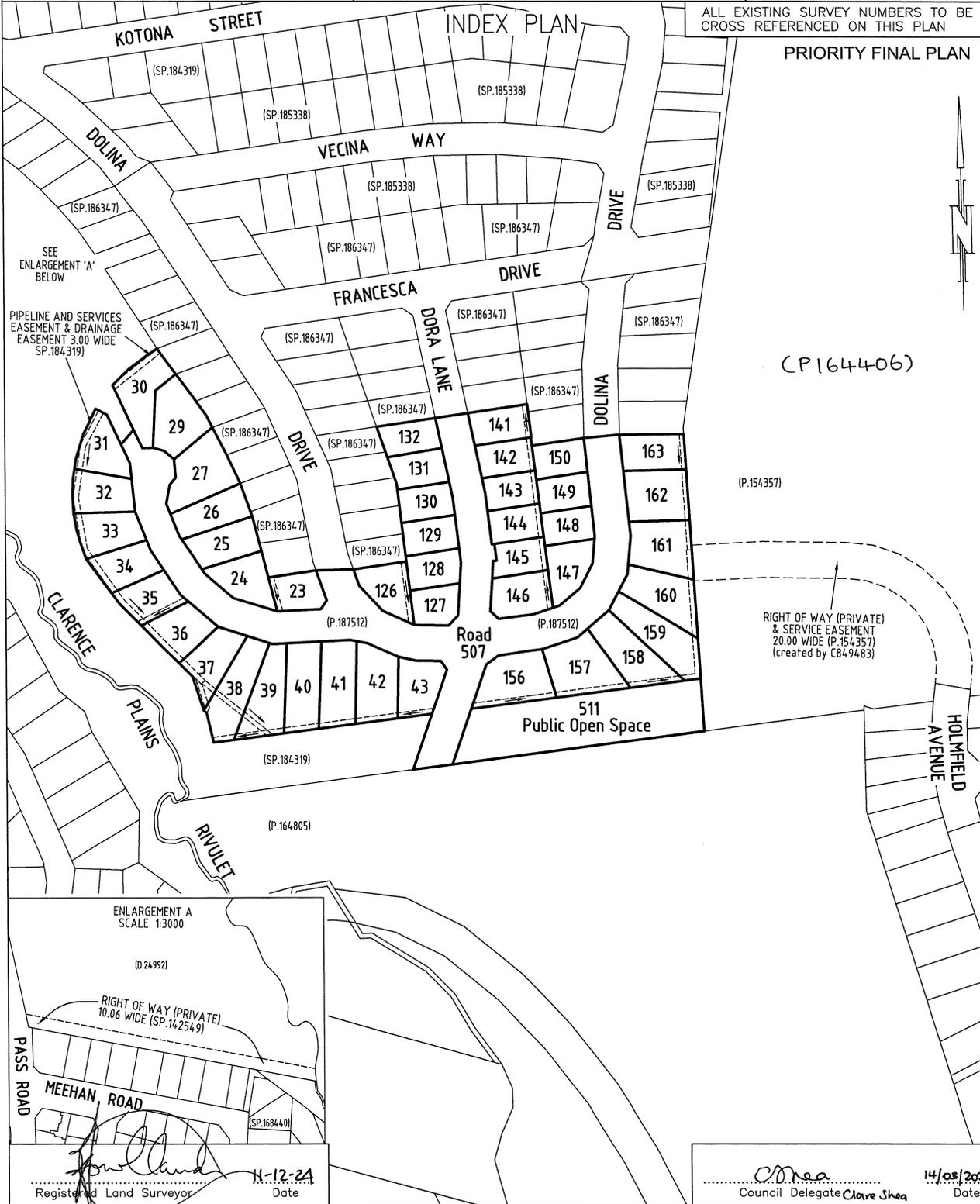
REGISTERED NUMBER  
**SP188393**

APPROVED EFFECTIVE FROM 24 APR. 2025  
*Ren*  
 Recorder of Titles

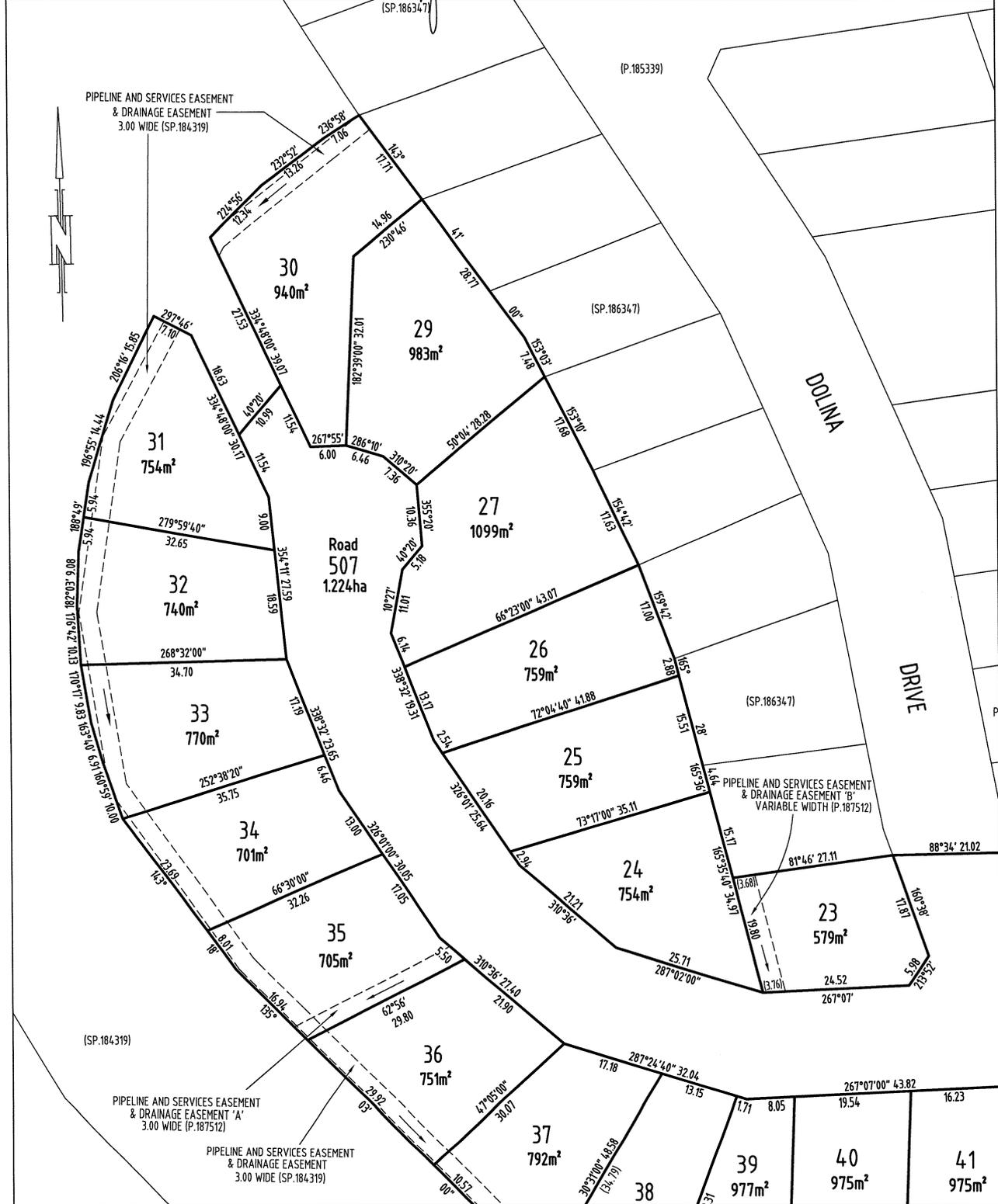
CITY OF CLARENCE

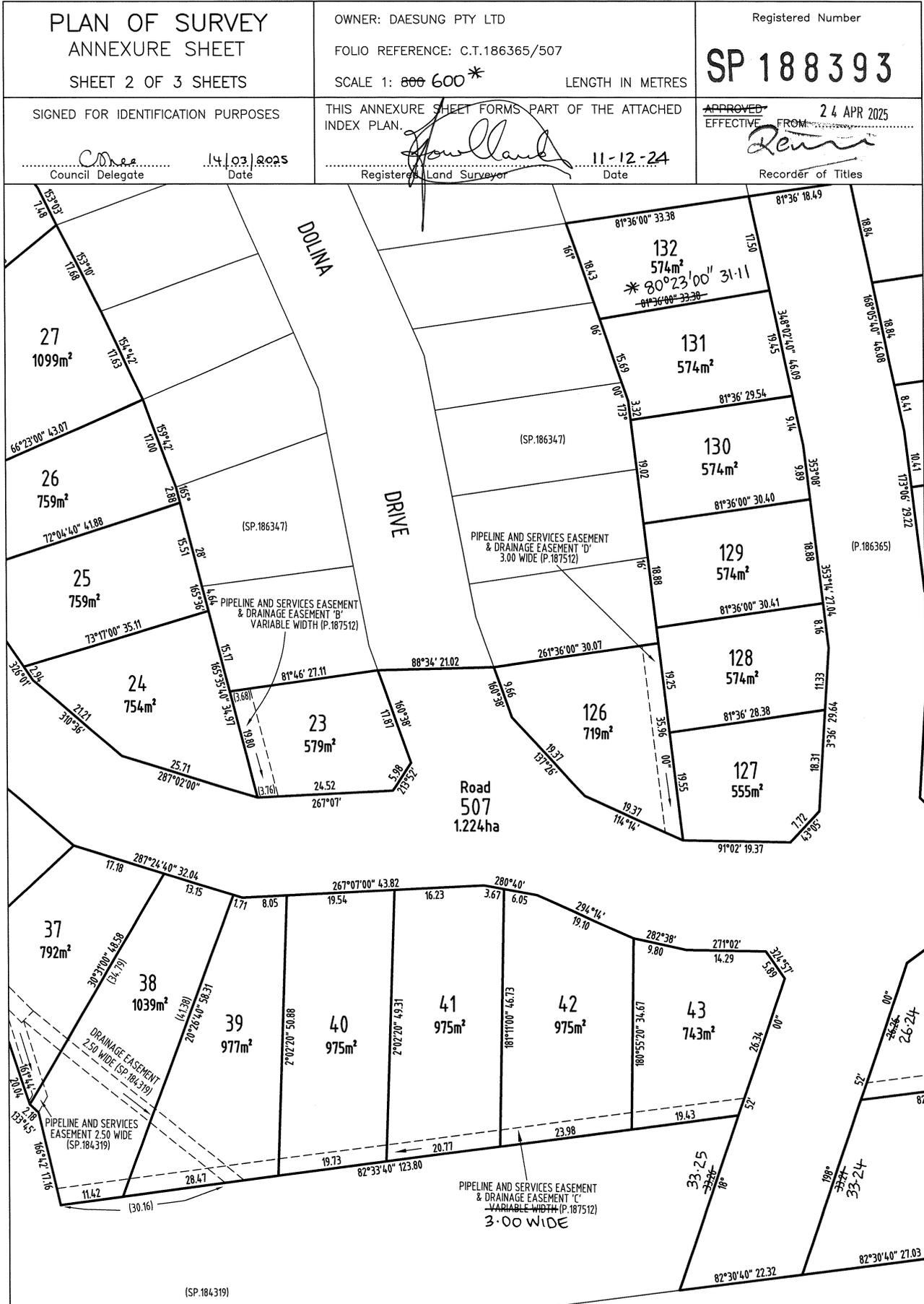
SCALE 1:2000 LENGTHS IN METRES

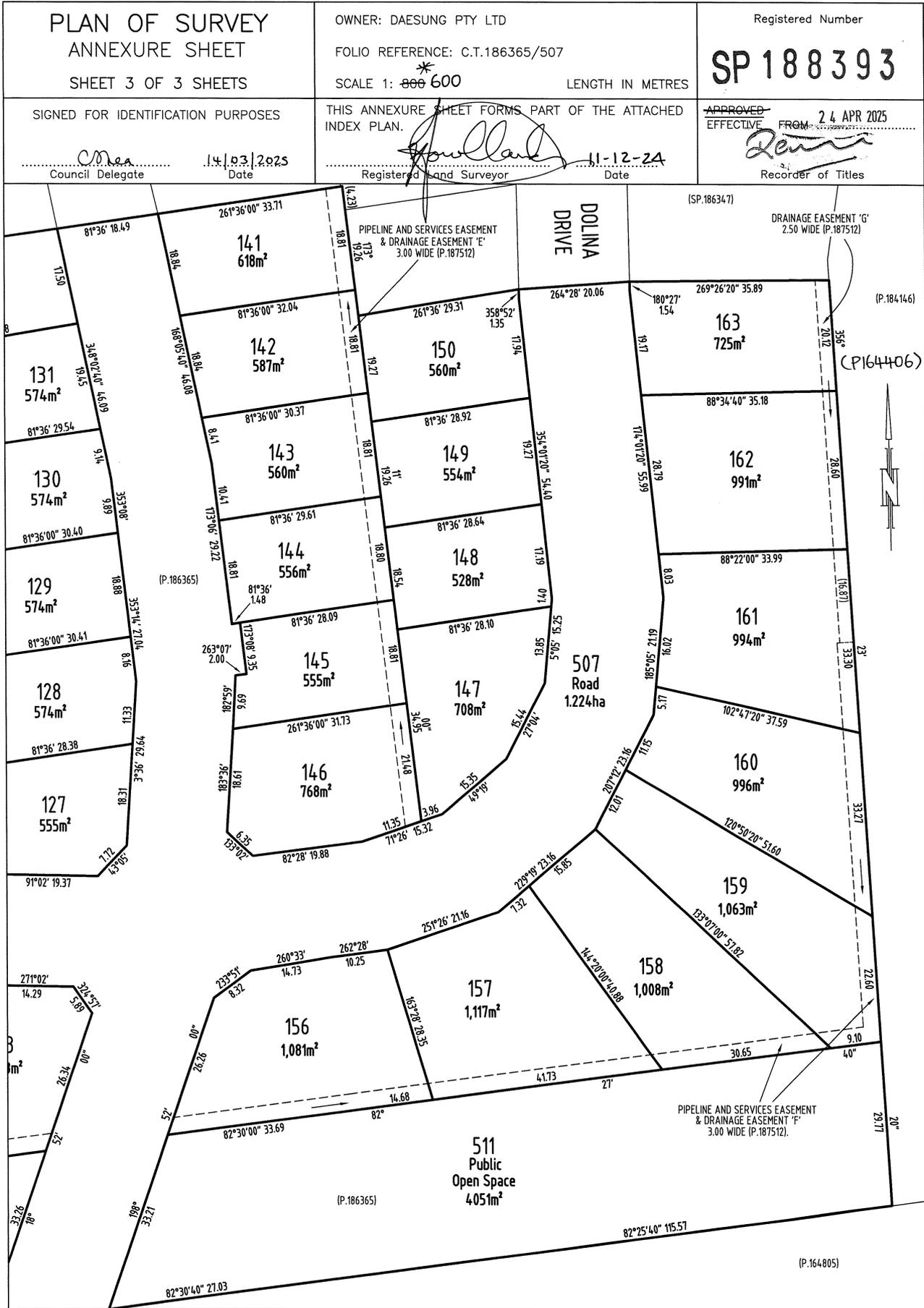
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 3 SHEETS</p>	<p>OWNER: DAESUNG TAS PTY LTD FOLIO REFERENCE: C.T.186365/507 SCALE 1:600      LENGTH IN METRES</p>	<p>Registered Number <b>SP 188393</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES   <i>C. O'Keefe</i>      14/07/2025                  Council Delegate      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.   <i>Spullard</i>                  Registered Land Surveyor      11-12-24                  Date</p>	<p>APPROVED EFFECTIVE FROM 24 APR 2025   <i>Deer</i>                  Recorder of Titles</p>







<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 186347

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

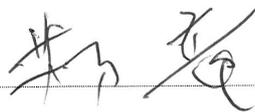
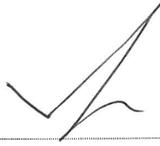
**EASEMENTS**

Lots 10 to 16 (inclusive) (“the Lots”) are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP-184319)** shown on the Plan (“the Easement Land”).

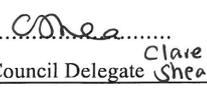
Lots 10 to 16 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP-184319)** on the Plan.

Lots 17, 18, 19, 137 – 140 (inclusive) and 117-125 (inclusive) (“the Lots”) are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE** shown on the Plan (“the Easement Land”).

Lots 17, 18, 19, 137 – 140 (inclusive) and 117-125 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE** on the Plan.

Director  Director/Secretary 

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: DAESUNGTAS PTY LTD	PLAN SEALED BY: Clarence City Council
FOLIO REF: 185339/504	DATE: 3 <sup>rd</sup> January 2024
SOLICITOR	Stage 7-10
& REFERENCE: Page Seager (DAS 221111)	REF NO. SD-2016/31
	Council Delegate  Clare Shea
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 2 OF 6 PAGES</p>	<p>Registered Number</p> <p><b>SP 186347</b></p>
<p>SUBDIVIDER: DAESUNGTAS PTY LTD</p> <p>FOLIO REFERENCE: 185339/504</p>	

Lots 20 – 22 (inclusive) (“the Lots”) are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH** shown on the Plan (“the Easement Land”).

Lots 20 – 22 (inclusive) (“the Lots”) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH** on the Plan.

Lots 120 and 164 to 168 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT 2.50 WIDE** on the Plan.

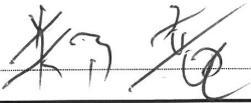
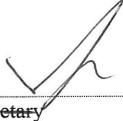
Each lot on the Plan is together with a right of way created by and fully described in the Schedule of Easements to SP 142549 over the land marked **RIGHT OF WAY (PRIVATE) 10.06 WIDE (SP.142549)** on the Plan.

Each lot on the Plan is together with a right of carriageway and service easement created by and fully described in C849483 over the land marked **RIGHT OF WAY (PRIVATE) & SERVICE EASEMENT 20.00 WIDE (P.154357) (created by C849483)** on the Plan.

**COVENANTS**

The owner of each Lot on the Plan covenants with the Vendor (Daesungtas Pty Ltd) and the Owner or Owners for the time being of every other Lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantor’s Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the plan to observe the following stipulations:

1. Not to subdivide that Lot at any time without the prior consent in writing of the Corporation.

Director  Director/Secretary 

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing. 02

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 3 OF 6 PAGES</p>	<p>Registered Number</p> <p><b>SP 186347</b></p>
<p>SUBDIVIDER: DAESUNGTAS PTY LTD</p> <p>FOLIO REFERENCE: 185339/504</p>	

2. Not to erect on that Lot more than a single residence, which may include an ancillary apartment together with usual outbuildings as may be permitted by the Corporation, without the consent of the Corporation.
3. Not to use the land for any purpose except as a residence or the for the purpose of house occupation without the prior consent of the Corporation in writing.
4. Not to use any engine or machinery in any trade of business, nor erect or use or permit to be used on any part of any lot shown on the Plan nor to conduct or permit to be conducted any trade or business on or from any part of the same, including but not limited to mining, quarrying, or market gardening. The leasing of the property for private residential purposes is not deemed to be a breach of this covenant.
5. Not to keep any animals other than domestic pets on any lot shown on the Plan and not to make any application for a kennel licence in respect of any lot shown on the Plan nor to keep or establish or permit to be kept or established any licensed kennel upon any lot or any part of any lot shown on the Plan nor to keep at one time more than two adult canines on any lot shown on the Plan.
6. The Vendor may, at the Vendor's absolute discretion, waive the burden of any covenant contained in this Schedule of Easements in favour of any lot by notice in writing to the registered proprietor of that lot.

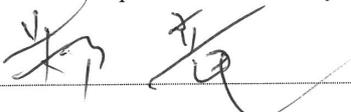
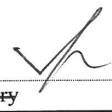
**FENCING PROVISION**

In respect of the Lots shown on the Plan, the Vendor (Daesungtas Pty Ltd) shall not be required to fence.

**DEFINITIONS**

“**Corporation**” means the Warden Councillors and Electors of the City of Clarence.

“**Drainage Easement**” means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over

\_\_\_\_\_  
 Director  Director/Secretary 

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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 4 OF 6 PAGES</p>	<p>Registered Number</p> <p><b>SP 186347</b></p>
<p>SUBDIVIDER: DAESUNGTAS PTY LTD</p> <p>FOLIO REFERENCE: 185339/504</p>	

which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

“**Pipeline and Services Easement**” is defined as follows:-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and

\_\_\_\_\_  
Director

\_\_\_\_\_  
Director/Secretary

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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 5 OF 6 PAGES</p>	<p>Registered Number</p> <p><b>SP 186347</b></p>
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(7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

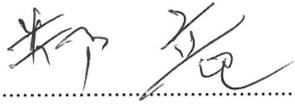
“**TasWater**” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

\_\_\_\_\_  
 Director  Director/Secretary 

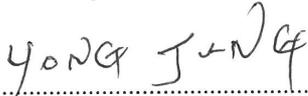
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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 6 OF 6 PAGES	Registered Number <b>SP 186347</b>
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 185339/504	

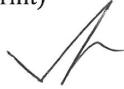
EXECUTED by DAESUNGTAS PTY LTD (ACN 607 )  
 472 131) as registered proprietor of the land comprised in )  
 Folio of the Register Volume 185339 Folio 504 in )  
 accordance with section 127 of the *Corporations Act 2001* )  
 (Cth) by: )



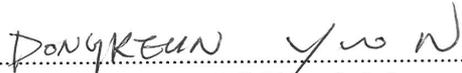
.....  
 Director Signature



.....  
 Director Full Name (print)



.....  
 \*Director/\*Secretary Signature



.....  
 \*Director/Secretary Full Name (print)

(\*please strike out inapplicable)

Director



Director/Secretary



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# PROPOSED RESIDENCE

## 61 DOLINA DRIVE,

### ROKEBY

#### CUNIC HOMES

H945

PD25425



#### BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	FLOOR PLAN
05	DOOR AND WINDOW SCHEDULES
06	ELEVATIONS
07	ELEVATIONS
08	ROOF PLAN
09	FLOOR FINISHES PLAN
10	ELECTRICAL/REFLECTED CEILING PLAN
11	PERSPECTIVES



FLOOR AREA	110.64 m2	( 11.91	SQUARES )
GARAGE AREA	24.36 m2	( 2.62	SQUARES )
TOTAL AREA	135.00	14.53	

#### GENERAL PROJECT INFORMATION

TITLE REFERENCE: 188393/148  
 SITE AREA: 528 M2  
 DESIGN WIND SPEED: N2  
 SOIL CLASSIFICATION: M  
 CLIMATE ZONE: 7  
 ALPINE AREA: NO  
 CORROSIVE ENVIRONMENT: N/A  
 BAL RATING: LOW  
 OTHER KNOWN HAZARDS: BUSHFIRE-PRONE AREA & AIRPORT OBSTACLE LIMITATION AREA

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 H: Shop 9, 105-111 Main Road, Moonah, 7009  
 p(h)+03 6228 4575  
 info@primedesigntas.com.au  
 Accredited Building Practitioner:

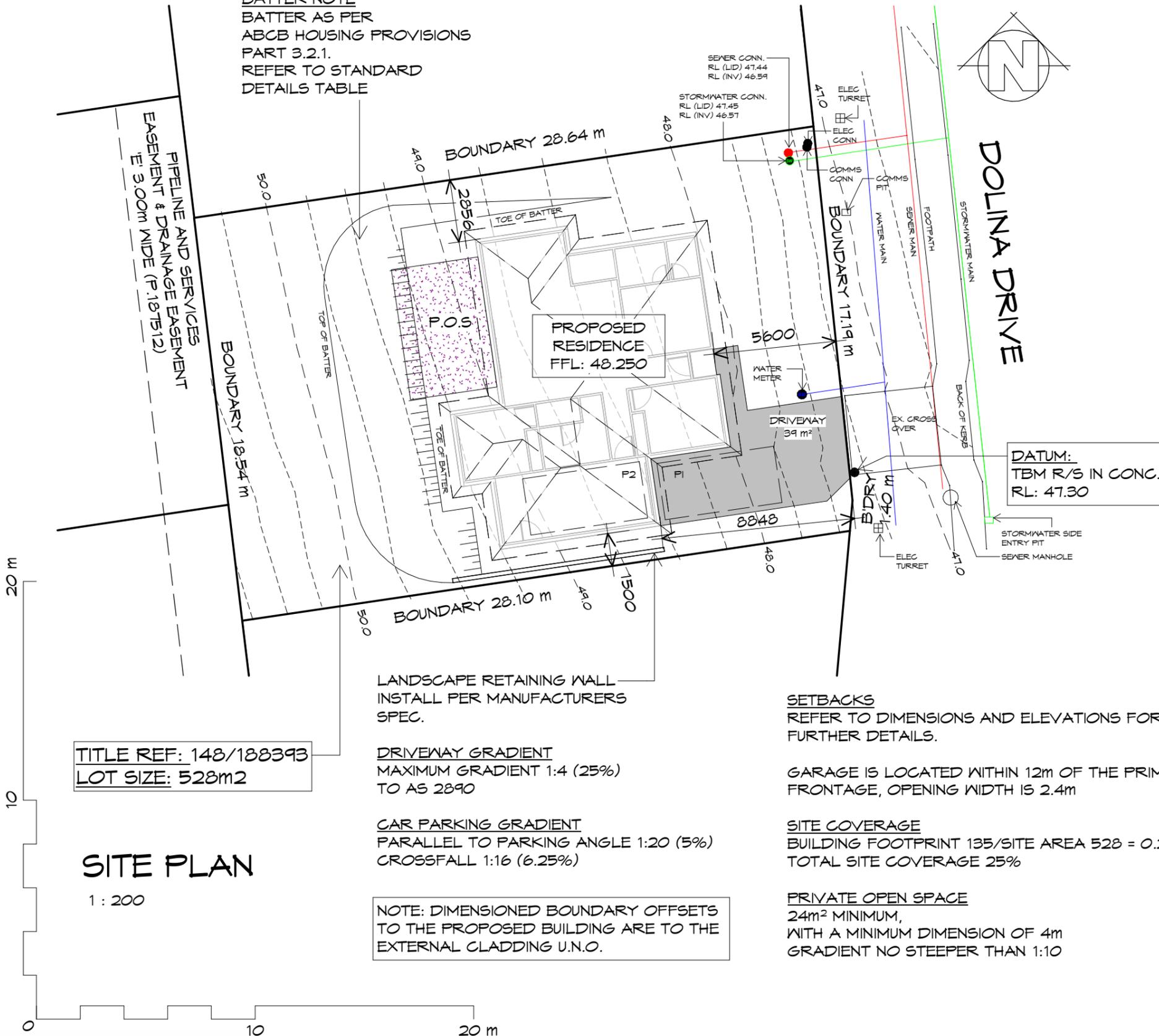
**bdca**  
 BUILDING DESIGNERS  
 ASSOCIATION OF AUSTRALIA

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 Frank Geskus -No CC246A

REV. DATE	DESCRIPTION
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JANUARY 2026  
 PLANNING

**BATTER NOTE**  
 BATTER AS PER  
 ABCB HOUSING PROVISIONS  
 PART 3.2.1.  
 REFER TO STANDARD  
 DETAILS TABLE



**GENERAL NOTES**

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

**SURVEYORS NOTES:**

THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.

SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER AS-CONSTRUCTED" HAVE BEEN IMPORTED FROM EXISTING AS-CONSTRUCTED DRAWINGS FROM THIS SUBDIVISION. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.

THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.

**TITLE REF: 148/188393**  
**LOT SIZE: 528m<sup>2</sup>**

**SITE PLAN**

1 : 200



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 H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575  
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Date: 29.01.2026  
 Drafted by: J.M  
 Approved by: Approver

Project/Drawing no: PD25425 - 01  
 Scale: 1 : 200  
 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A  
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Client name:  
 CUNIC HOMES

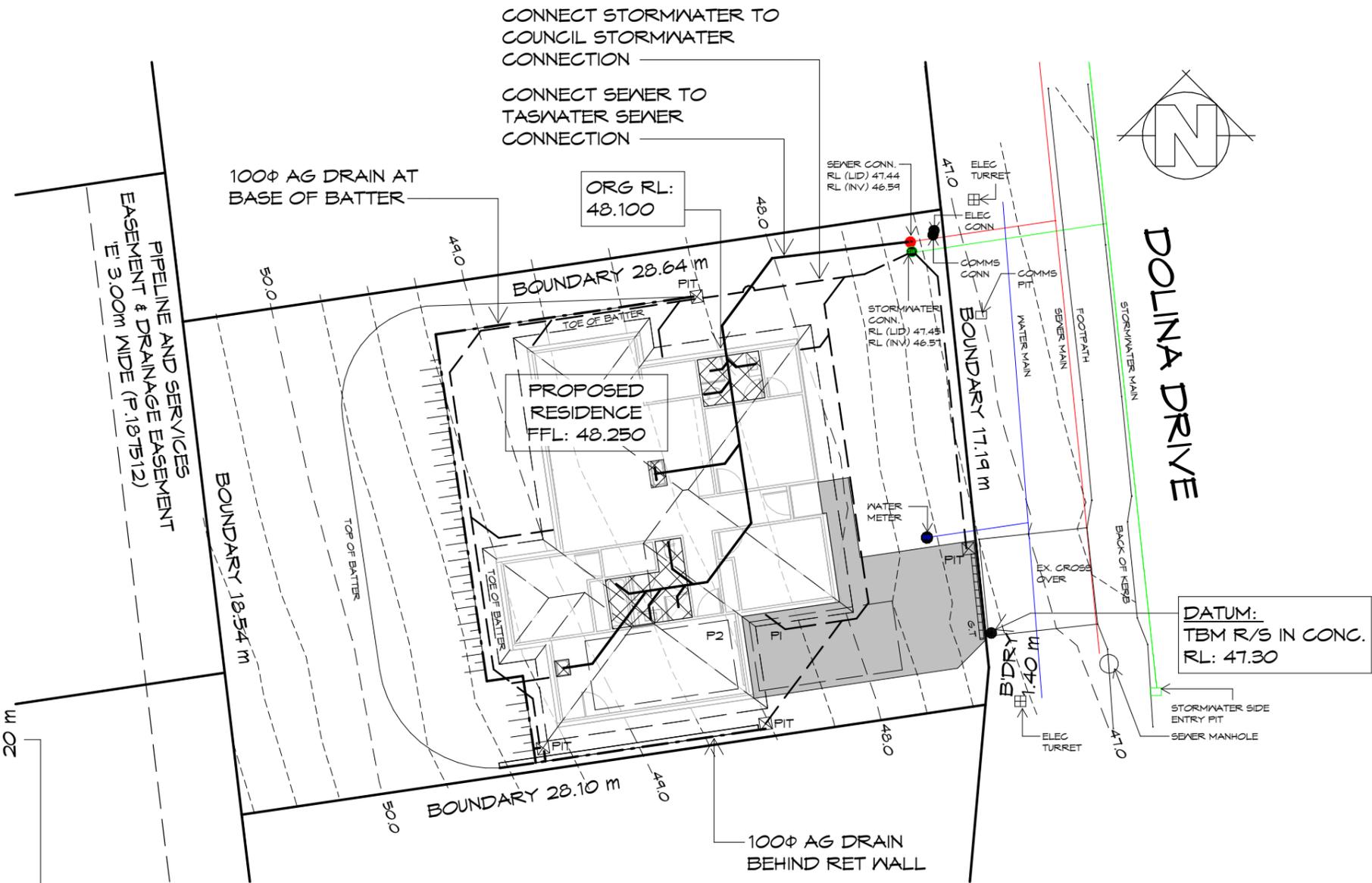
Project:  
 PROPOSED RESIDENCE  
 61 DOLINA DRIVE,  
 ROKEBY

Drawing:  
 SITE PLAN

REV. DATE DESCRIPTION

**PLANNING**

NOTE: DO NOT SCALE OFF DRAWINGS



### LEGEND

- 450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- SEWER LINE
- STORMWATER LINE
- 100φ AG DRAIN
- G.T GRATED TRENCH

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER AS/NZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

TRENCH BACKFILL PER SITE CLASS TO COMPLY WITH AS2870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY

## SITE DRAINAGE PLAN

1 : 200

### PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.  
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

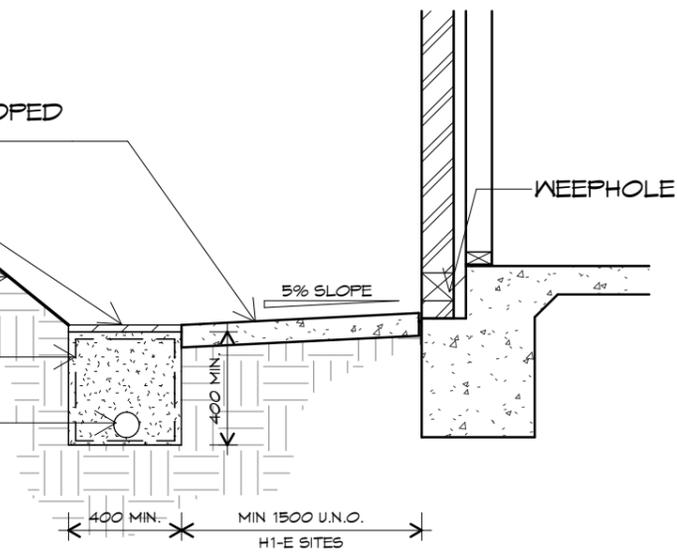
IMPERVIOUS SURFACE SLOPED AWAY FROM BUILDING

TRENCH BACKFILL PER TABLE

EMBANKMENT

GEOTEXTILE FILTER

AG DRAIN @ MIN. 1% GRADIENT



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Date: 29.01.2026  
Drafted by: Author  
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Project/Drawing no: PD25425 - 02  
Scale: As indicated  
Revision: 03

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CUNIC HOMES

Project:  
PROPOSED RESIDENCE  
61 DOLINA DRIVE,  
ROKEBY

Drawing:  
SITE DRAINAGE PLAN

# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

REV.	DATE	DESCRIPTION



PROPOSED NEW RESIDENCE  
61 DOLINA DRIVE,  
ROKEBY

## LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED GENERAL RESIDENTIAL IN A BUSHFIRE PRONE AREA AND REQUIRES A BUSHFIRE ASSESSMENT.  
RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN



Client name:  
CUNIC HOMES

Project:  
PROPOSED RESIDENCE  
61 DOLINA DRIVE,  
ROKEBY

Drawing:  
LOCALITY PLAN

REV. DATE	DESCRIPTION

# PLANNING

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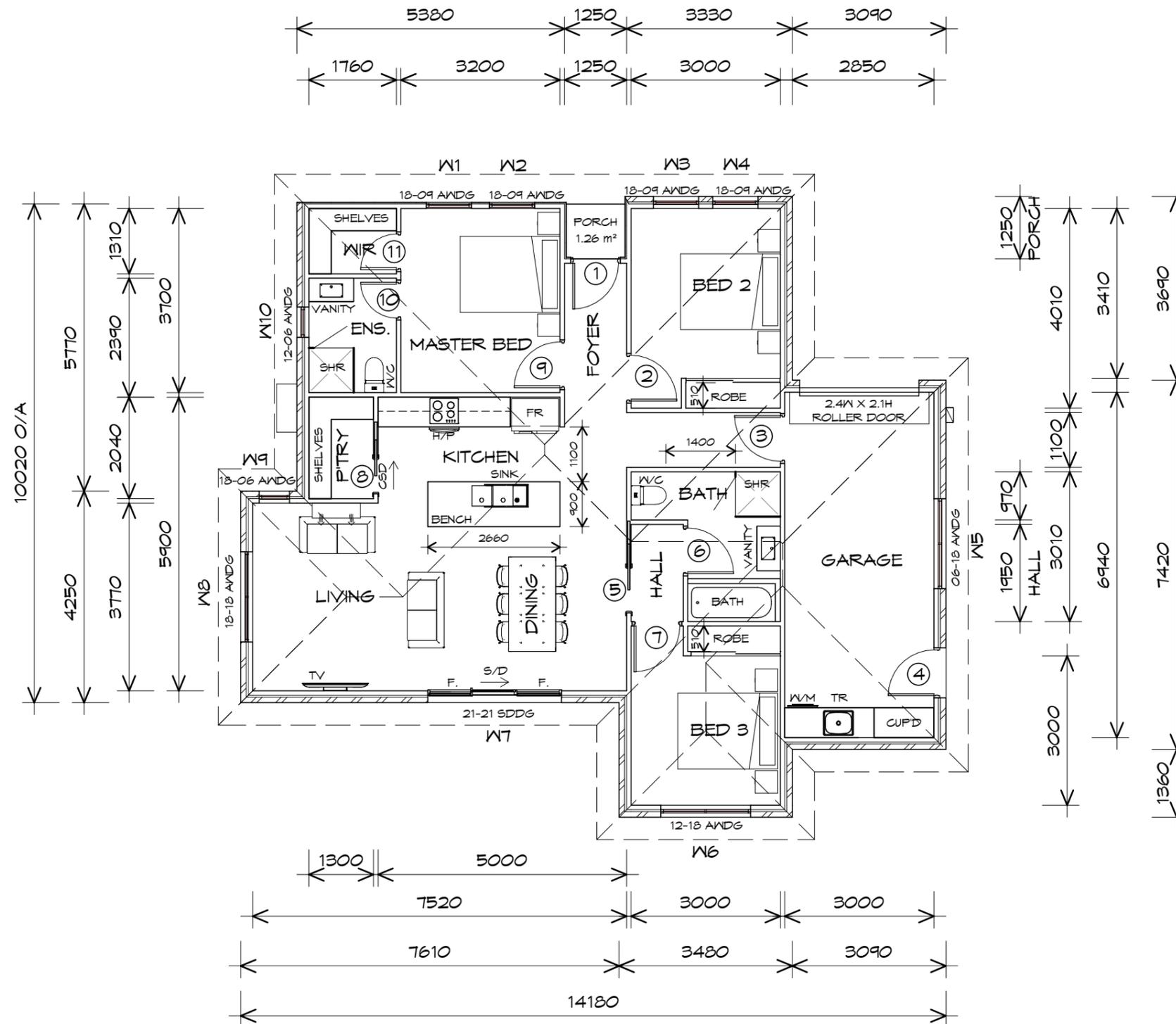
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# LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN



## FLOOR PLAN

1 : 100

FLOOR AREA	110.64 m2	( 11.91 SQUARES )
GARAGE AREA	24.36 m2	( 2.62 SQUARES )
TOTAL AREA	135.00	14.53

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



Client name:  
CUNIC HOMES

Project:  
PROPOSED RESIDENCE  
61 DOLINA DRIVE,  
ROKEBY

Drawing:  
FLOOR PLAN

REV. DATE	DESCRIPTION

**PLANNING**  
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Date:	Drafted by:	Approved by:
29.01.2026	J.M	Approver

Project/Drawing no:	Scale:	Revision:
PD25425 - 04	1 : 100	03

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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	EXTERNAL SOLID DOOR	
5	920	CAVITY SLIDING DOOR	
6	920	INTERNAL TIMBER DOOR	
7	920	INTERNAL TIMBER DOOR	
8	720	CAVITY SLIDING DOOR	
9	920	INTERNAL TIMBER DOOR	
10	720	INTERNAL TIMBER DOOR	
11	720	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1800	910	AWNING WINDOW	
W4	1800	910	AWNING WINDOW	
W5	600	1810	AWNING WINDOW	
W6	1200	1810	AWNING WINDOW	
W7	2100	2690	SLIDING DOOR	
W8	1800	1810	AWNING WINDOW	
W9	1800	610	AWNING WINDOW	
W10	1200	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS **DOUBLE GLAZING COMPLETE**  
WITH **LOW REFLECTIVE, GREY TINT & FLY SCREENS.**  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING



REV.	DATE	DESCRIPTION

Client name:  
CUNIC HOMES

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED RESIDENCE  
61 DOLINA DRIVE,  
ROKEBY

Drawing:  
DOOR AND WINDOW SCHEDULES



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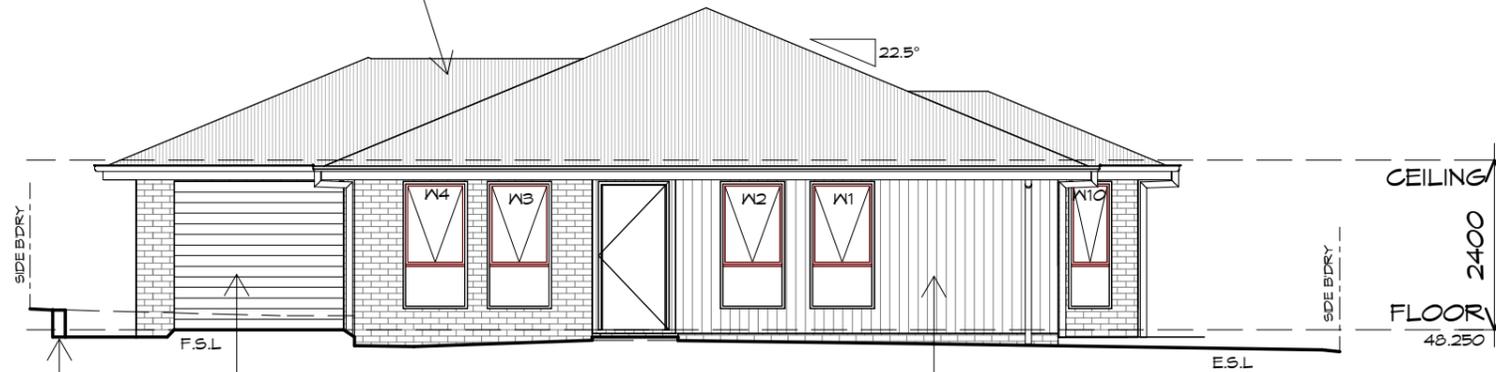


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ROOF CLADDING  
COLORBOND CUSTOM ORB  
TO CLIENTS SPECS.



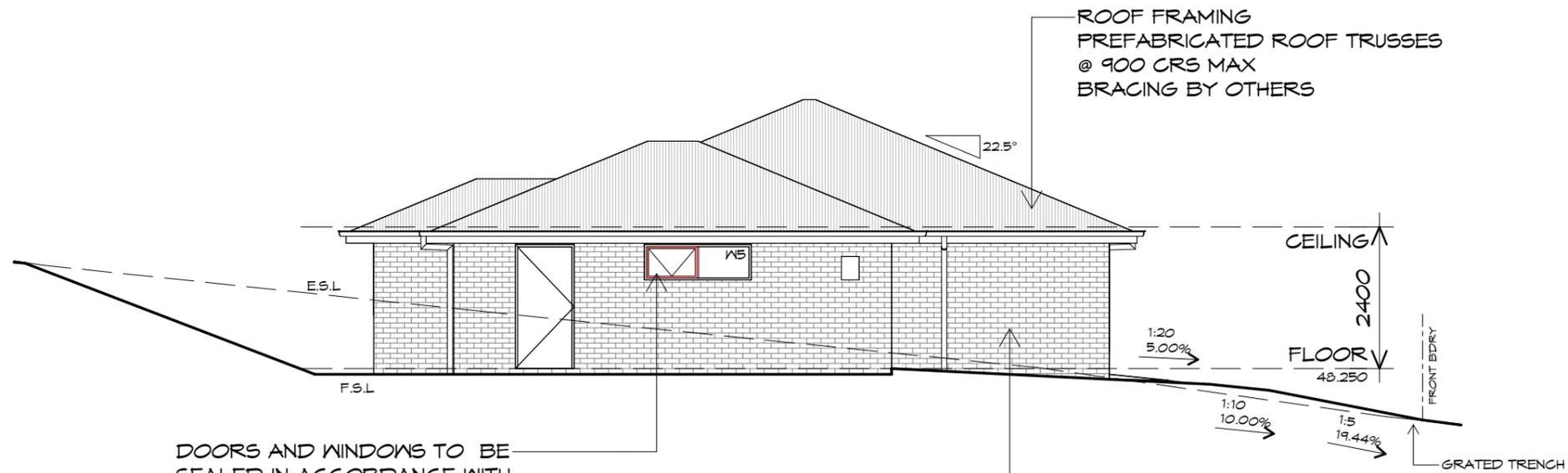
LANDSCAPE RETAINING WALL  
INSTALL PER MANUFACTURERS SPEC.

ROLLER DOOR 2400 WIDE x 2100 HIGH  
FIXED IN ACCORDANCE WITH  
MANUFACTURERS SPEC

SCYON AXON 133 VERTICAL  
(ON BATTENS)  
INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS.

### EASTERN ELEVATION

1 : 100



DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 13.4

ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS

BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH ABCB HOUSING PROVISIONS PART 5

### SOUTHERN ELEVATION

1 : 100



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:  
CUNIC HOMES

Project:  
PROPOSED RESIDENCE  
61 DOLINA DRIVE,  
ROKEBY

Drawing:  
ELEVATIONS

**PLANNING**  
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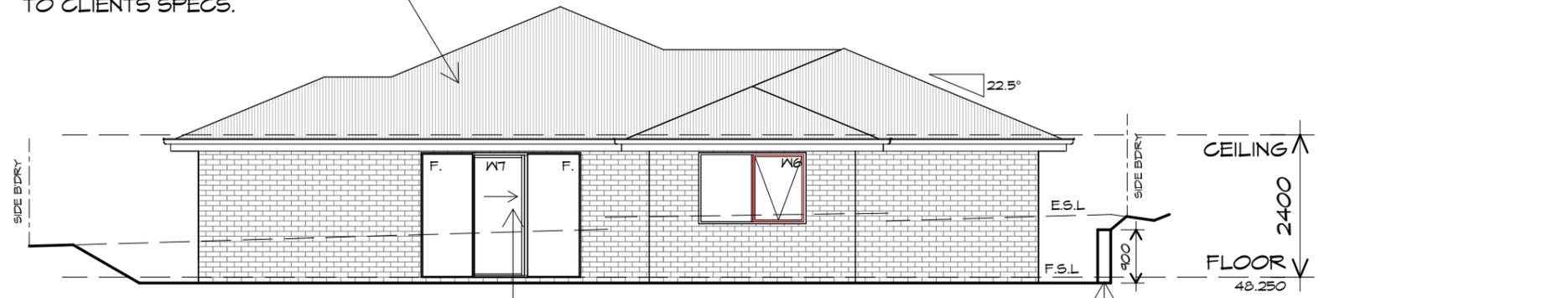


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ROOF CLADDING  
COLORBOND CUSTOM ORB  
TO CLIENTS SPECS.



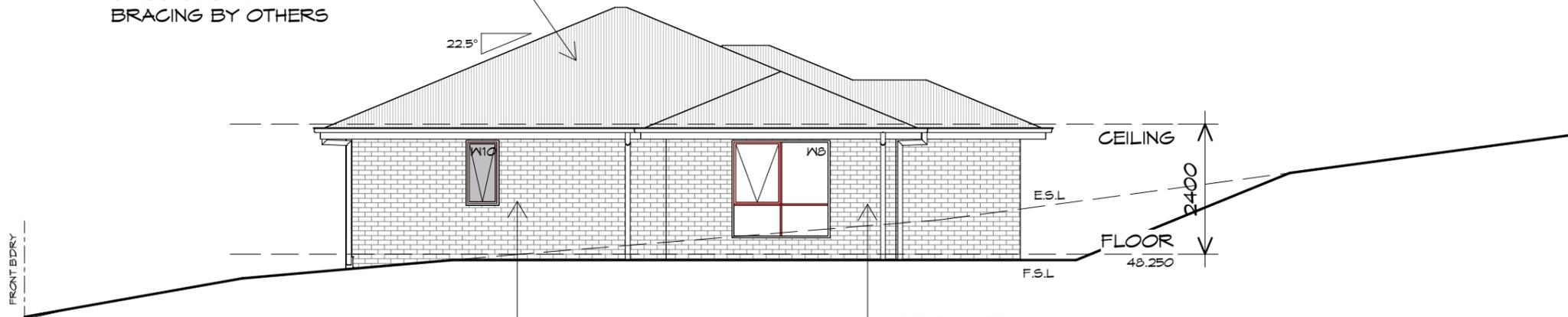
DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 13.4

LANDSCAPE RETAINING WALL  
INSTALL PER MANUFACTURERS SPEC.

## WESTERN ELEVATION

1 : 100

ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS



SCYON AXON 133 VERTICAL  
(ON BATTENS)  
INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS.

BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH ABCB HOUSING PROVISIONS PART 5

## NORTHERN ELEVATION

1 : 100



Client name:  
CUNIC HOMES

Project:  
PROPOSED RESIDENCE  
61 DOLINA DRIVE,  
ROKEBY

Drawing:  
ELEVATIONS

# PLANNING

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ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.4 WITH FALL NO LESS THAN 1:500 FOR EAVES GUTTER BOX GUTTERS IN ACCORDANCE WITH AS33500.3:2021

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

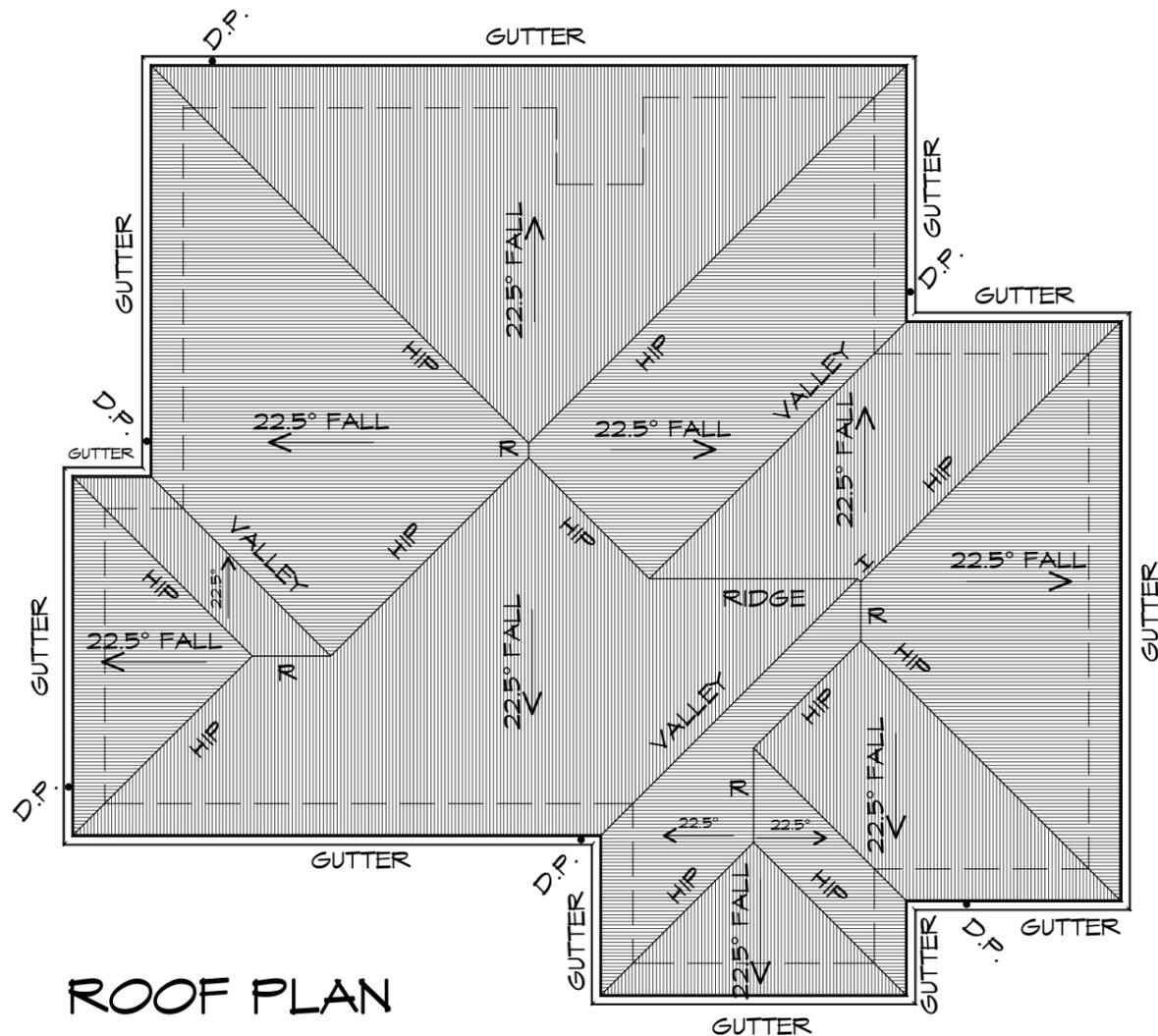
- A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
- B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNSPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P.'S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS. SPACING BETWEEN DOWNSPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



**ROOF PLAN**

1 : 100

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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Project:  
PROPOSED RESIDENCE  
61 DOLINA DRIVE,  
ROKEBY

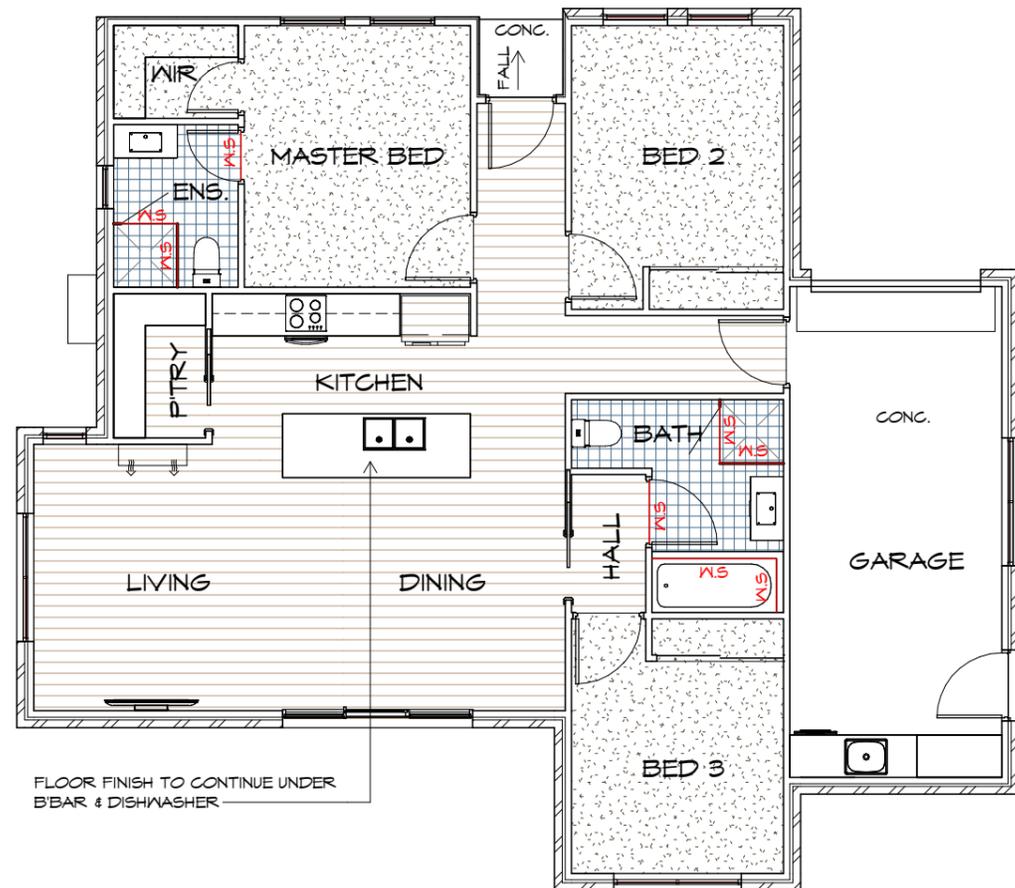
Drawing:  
ROOF PLAN

REV.	DATE	DESCRIPTION

**PLANNING**

NOTE: DO NOT SCALE OFF DRAWINGS





**LEGEND**

-  CARPET
-  TILES
-  TIMBER
-  WATERSTOP

**FLOOR FINISHES PLAN**

1 : 100

**IMPORTANT:**

PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.  
ENERGY ASSESSMENT IS BASED ON FLOOR TYPES AS NOTED IN THE REPORT.

IF AN ALTERNATIVE FLOORING IS CHOSEN OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

REFER TO ELECTRICAL PLAN AND REFLECTED CEILING PLAN FOR CEILING PENETRATIONS.



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Client name:  
CUNIC HOMES

Project:  
PROPOSED RESIDENCE  
61 DOLINA DRIVE,  
ROKEBY

Date: 29.01.2026  
Drafted by: Author  
Approved by: Approver

REV. DATE DESCRIPTION

**PLANNING**

NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:  
FLOOR FINISHES PLAN

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# ELECTRICAL INDEX

## LIGHTING

-  FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE\*
  -  L.E.D. - SEALED DOWN LIGHT \*
  -  TWIN TUBE FLUORESCENT LIGHT
- \*INSTALL AS PER MANUFACTURERS SPECIFICATION

## OTHER

-  240V SMOKE ALARM
-  SWITCH BOX
-  EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
-  RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

## SWITCH TYPE

-  ONE-WAY SWITCH

## WALL OUTLETS

-  GENERAL PURPOSE OUTLET (DOUBLE)
-  WEATHER PROOF OUTLET
-  HOTPLATE SAFETY CUT-OFF
-  T.V. OUTLET

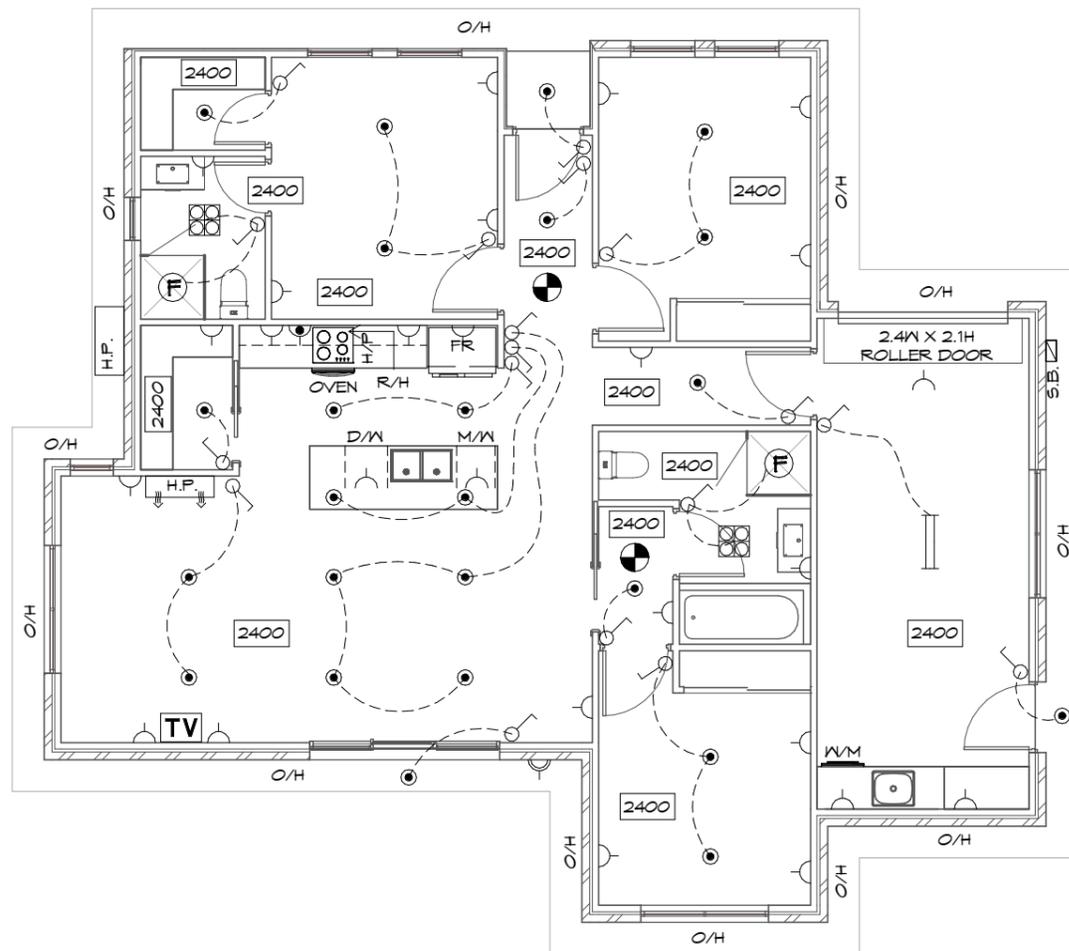
NOTE:  
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

## CEILING

-  DENOTES CEILING HEIGHT
-  ROOF OVERHANG/EAVES

## HEATING

-  HEAT PUMP
-  HEAT PUMP, OUTDOOR UNIT



# ELECTRICAL/ REFLECTED CEILING PLAN

1 : 100

**IMPORTANT:**  
PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.  
ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT.  
IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

## ELECTRICAL

ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000

## EXHAUST FANS

EXHAUST FANS TO ACHIEVE FLOW RATE TO COMPLY WITH HOUSING PROVISIONS 10.8.2

## SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

## BATHROOMS WITHOUT NATURAL VENTILATION

EXHAUST FAN WITH 10 MINUTE TIMED FAN CONNECTED TO LIGHT SWITCH. UNDERCUT DOOR 20mm TO PROVIDE MAKE UP AIR, TO COMPLY WITH HOUSING PROVISIONS 10.8.2

## ARTIFICIAL LIGHTING

RESIDENCES TO BE IN COMPLIANCE WITH NCC 2019 PART 3.12.5.5.

## ARTIFICIAL LIGHTING MUST NOT EXCEED:

- 5W/m<sup>2</sup> FOR CLASS 1 BUILDING
- 4W/m<sup>2</sup> FOR VERANDAHS & BALCONIES
- 3W/m<sup>2</sup> FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.



REV.	DATE	DESCRIPTION
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Client name:  
CUNIC HOMES

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED RESIDENCE  
61 DOLINA DRIVE,  
ROKEBY

Drawing:  
ELECTRICAL/REFLECTED CEILING PLAN



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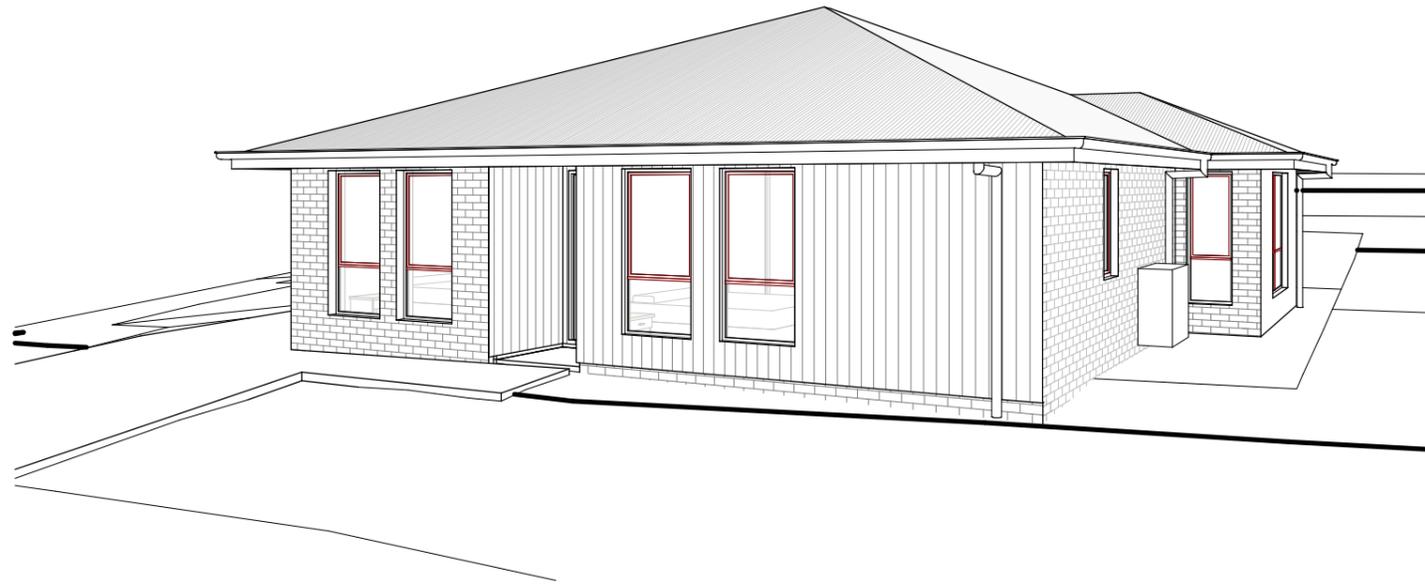


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Drafted by: Author  
Approved by: Approver

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Accredited building practitioner: Frank Geskus - No CC246A  
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REV. DATE	DESCRIPTION
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Client name:  
CUNIC HOMES

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED RESIDENCE  
61 DOLINA DRIVE,  
ROKEBY

Drawing:  
PERSPECTIVES



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Date: 29.01.2026	Drafted by: J.M	Approved by: Approver
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2 February 2026

Att: Planning Department  
Clarence City Council

Dear Sir/Madam,

**61 Dolina Drive, Rokeby**  
**New residential dwelling development**

Please find enclosed application for development for a single residential dwelling development at 61 Dolina Drive, Rokeby. In support of this application the following documents are provided:

- Title documents
- DA plans

**8.0 General Residential Zone**

**8.1 Zone Purpose**

8.1.1 The proposal is for the construction of a single residential dwelling located on a lot with full infrastructure and services available.

8.1.2 The proposed development is located in close proximity to public transport and other services and complies.

**8.2 Use Table**

A single residential dwelling is a no permit required, permitted or discretionary use. Our assessment of the development, as below, assess this proposed development as a “discretionary” application.

**8.4 Development Standards for Dwellings**

8.4.1 Residential density for multiple dwellings

A1 NA

8.4.2 Setbacks and building envelope for all dwellings

A1(a) The proposed dwelling is set back >4500mm from the frontage boundary and complies with A1(a).

A2 The proposed dwelling includes a garage with >5500 from the frontage and complies.

A3(a) The proposed dwelling is contained within the building envelope, as demonstrated on elevations and complies with A3(a).

A3(b) The proposed dwelling is located >1500mm from the side and rear boundaries, however, the landscaping retaining is located within 1500mm side setback and does not comply with A3(b) and so has been assessed against P3.

P3 The retaining wall along the southern boundary facilitates necessary site level adjustments due to slope, and its height is under 1000mm, and location have been designed to avoid overshadowing any habitable room of the adjoining property and can meet the requirements to comply with P3.

#### 8.4.3 Site coverage and private open space for all dwellings

A1(a) The proposed dwelling has a site coverage of 25% and complies.

A1(b) NA

A2(a) The proposed dwelling has a POS of 24m<sup>2</sup> and complies.

A2(b) The proposed dwelling has a POS with minimum width of 4000mm and complies with A2(b).

A2(c) The POS is located to the rear side of the property and complies with A2 (c).

A2(d) The POS for the proposed dwelling has a gradient of not more than 1 in 10 and complies with A2(d).

#### 8.4.4 Sunlight to private open space of multiple dwellings

A1(a) NA

#### 8.4.5 Width of openings for garages and carports for all dwellings

A1 The proposed dwelling's garage has the width opening <6000mm from the frontage and complies with A1.

#### 8.4.6 Privacy for all dwellings

A1 The proposed dwelling does not include the landing, deck, carport with a FFL>1000mm and complies.

A2 The proposed dwelling has windows on northern and southern side of boundaries within 3000mm with a FFL<1000mm and therefore it complies with A2.

#### 8.4.7 Frontage fences for all dwellings

A1 NA

#### 8.4.8 Waste storage for multiple dwellings

A1(a) NA

## **C2.0 Parking and Access Code**

### **C2.5 Use Standards**

#### C2.5.1 Car parking numbers

A1 The proposed development is for a 3-bedroom dwelling with single garage and in accordance with Table C2.1, 2 car parking spaces are required. The proposed development provides for two car parking spaces and complies with A1.

#### C2.5.2 Bicycle parking numbers

A1 NA

- C2.5.3 Motorcycle parking numbers
  - A1 NA
- C2.5.4 Loading Bays
  - A1 NA
- C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone
  - A1 NA

**C2.6 Development Standards for Buildings and Works**

- C2.6.1 Construction of parking areas
  - A1(a) & (c) The parking and driveway for the proposed dwelling will be constructed from concrete and complies with A1(a) & (c).
  - A1(b) The driveway is designed to be drained to the council stormwater system and complies with A1(b).
- C2.6.2 Design and layout of parking areas
  - A1.1 The driveway and parking areas have been designed to comply with *AS2890- Parking facilities Parts 1-6* and complies.
  - A1.2 NA
- C2.6.3 Number of accesses for vehicles
  - A1 One access has been designed for this proposal and complies with A1.
  - A2 NA
- C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone
  - A1 NA
- C2.6.5 Pedestrian access
  - A1.1 NA
- C2.6.6 Loading bays
  - A1 NA
  - A2 NA
- C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone
  - A1 NA
  - A2 NA
- C2.6.8 Siting of parking and turning areas
  - A1 NA

**C13.0 Bushfire-Prone Areas Code**

The proposed dwelling is located within the Bushfire-Prone Areas Code and will be constructed to the assessed BAL.

**C16.0 Safeguarding of Airports Code**

The proposed dwelling is located within safeguarding of airports (obstacle limitation area). The proposal complies with the height restriction requirements of this code.

Please contact me via email should you require any additional information to assist Council's assessment of the application

Yours faithfully  
Cunic Homes

A handwritten signature in black ink, appearing to read 'Domonee van Heerden', written in a cursive style.

Domonee van Heerden  
Planning & Building Manager