



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056193

PROPOSAL: Two warehouses (One Storage & One Manufacturing & Processing)

LOCATION: 7 & 9 Cherokee Drive, Cambridge

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 13/05/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 13/05/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 13/05/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Proposed Warehouses & Offices (X2)

Location:

7 & 9 Cherokee Drive, Cambridge TASMANIA 7170

Personal Information Removed

Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

Vacant Land

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 176911	FOLIO 15
EDITION 4	DATE OF ISSUE 28-Jun-2023

SEARCH DATE : 12-Feb-2024

SEARCH TIME : 02.58 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 15 on Sealed Plan 176911
 Derivation : Part of 1654 Acres Granted to Robert Pitcairn and
 Thomas Young
 Prior CT 164757/1

SCHEDULE 1

N138559 TRANSFER to BENJAMIN RICHMOND REX of ten undivided
 1/100 shares and RUSTICI PTY LTD of ninety undivided
 1/100 shares as tenants in common Registered
 28-Jun-2023 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP176911 EASEMENTS in Schedule of Easements
 SP176911 COVENANTS in Schedule of Easements
 SP176911 FENCING PROVISION in Schedule of Easements
 SP164757 COVENANTS in Schedule of Easements
 SP164757 FENCING PROVISION in Schedule of Easements
 C686912 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 02-Dec-2005 at noon

UNREGISTERED DEALINGS AND NOTATIONS

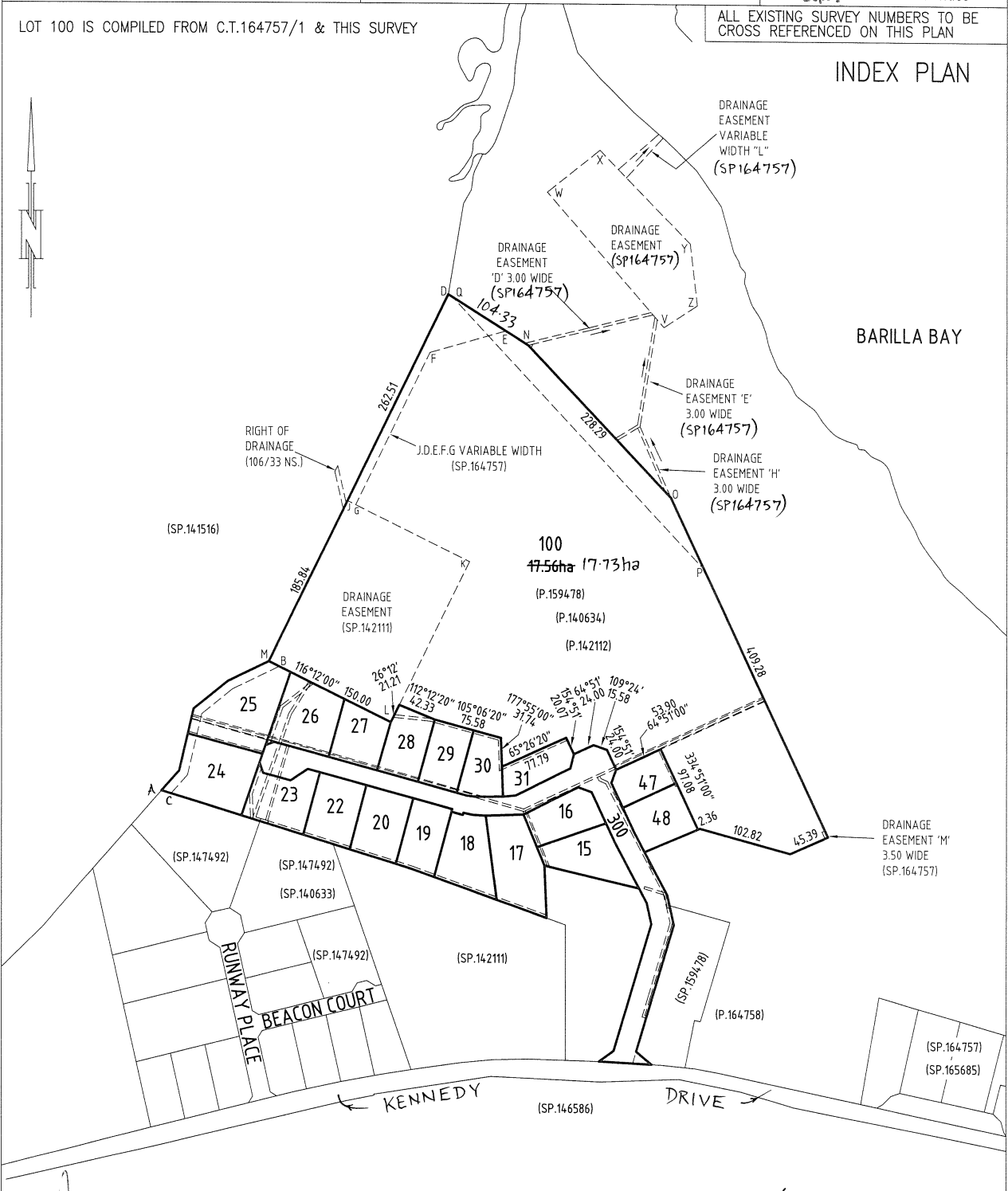
No unregistered dealings or other notations

OWNER AIRPORT INDUSTRIAL PTY LTD	<p align="center">PLAN OF SURVEY</p> <p align="center">BY SURVEYOR CRAIG BRADLEY ROGERSON ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0418-120-796</p> <p align="center">CITY OF CLARENCE</p>	<p align="center">REGISTERED NUMBER</p> <p align="center">SP176911</p>
FOLIO REFERENCE C.T.164757/1		<p>APPROVED EFFECTIVE FROM 28 JUN 2019</p> <p align="right">Deputy Recorder of Titles</p>
GRANTEE PART OF 1654 ACRES GTD TO ROBERT PITCAIRN AND THOMAS YOUNG	SCALE 1: 4000 LENGTHS IN METRES	

LOT 100 IS COMPILED FROM C.T.164757/1 & THIS SURVEY

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

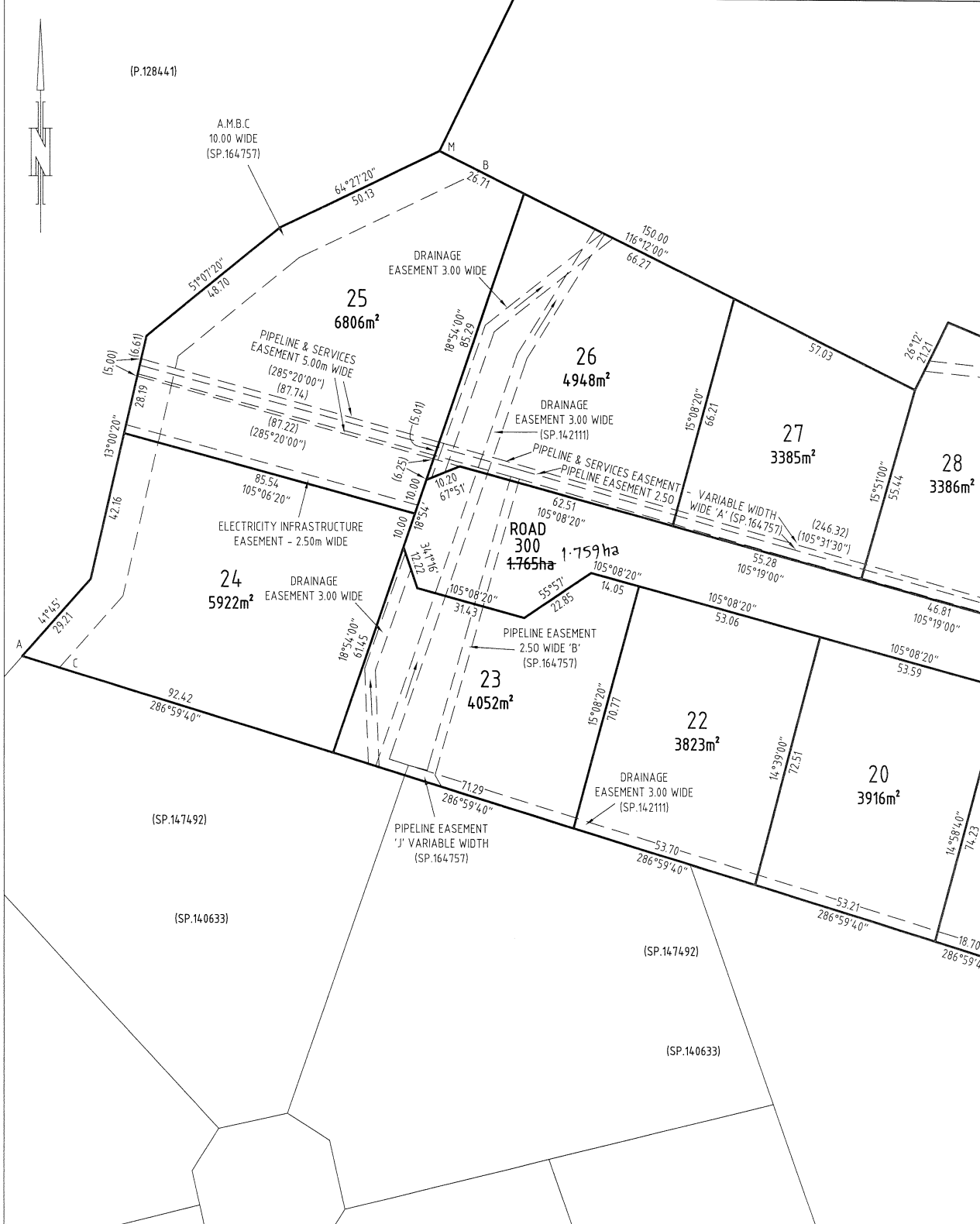
INDEX PLAN



Registered Land Surveyor *[Signature]* Date 10-5-19

COUNCIL DELEGATE *[Signature]* DATE 6/6/2019

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 3 SHEETS</p>	<p>OWNER: AIRPORT INDUSTRIAL PTY LTD</p> <p>FOLIO REFERENCE: C.T.164757/1</p> <p>SCALE 1:1000 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 176911</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 6/6/2019 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 10-5-2019 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 28 JUN 2019</p> <p><i>[Signature]</i> Deputy Recorder of Titles</p>

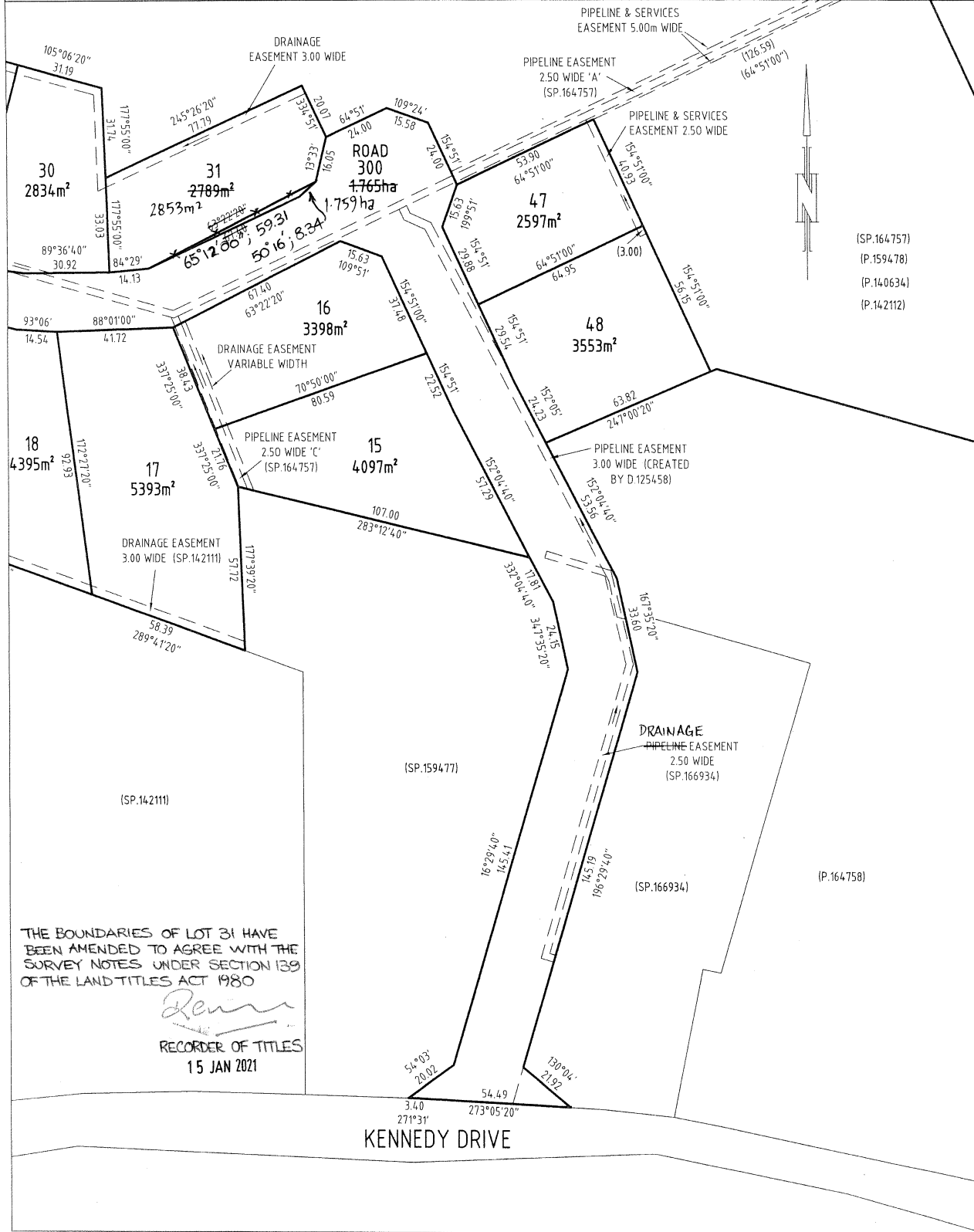


<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 2 OF 3 SHEETS</p>	<p>OWNER: AIRPORT INDUSTRIAL PTY LTD</p> <p>FOLIO REFERENCE: C.T.164757/1</p> <p>SCALE 1:1000 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 1769 11</p>
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<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 3 OF 3 SHEETS</p>	<p>OWNER: AIRPORT INDUSTRIAL PTY LTD</p> <p>FOLIO REFERENCE: C.T.164757/1</p> <p>SCALE 1:1250 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 1769 11</p>
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<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 6/6/2019 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN</p> <p><i>[Signature]</i> 10.5.2019 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 28 JUN 2019</p> <p><i>[Signature]</i> Deputy Recorder of Titles</p>
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THE BOUNDARIES OF LOT 31 HAVE BEEN AMENDED TO AGREE WITH THE SURVEY NOTES UNDER SECTION 139 OF THE LAND TITLES ACT 1980

[Signature]
RECORDER OF TITLES
15 JAN 2021

SEARCH OF TORRENS TITLE

VOLUME 176911	FOLIO 16
EDITION 4	DATE OF ISSUE 28-Jun-2023

SEARCH DATE : 12-Feb-2024

SEARCH TIME : 03.02 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 16 on Sealed Plan 176911
 Derivation : Part of 1654 Acres Granted to Robert Pitcairn and
 Thomas Young
 Prior CT 164757/1

SCHEDULE 1

N137223 TRANSFER to RUSTICI PTY LTD of ninety undivided 1/100
 shares and SARAH JANE REX of ten undivided 1/100
 shares as tenants in common Registered 28-Jun-2023
 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP176911 EASEMENTS in Schedule of Easements
 SP176911 COVENANTS in Schedule of Easements
 SP176911 FENCING PROVISION in Schedule of Easements
 SP164757 COVENANTS in Schedule of Easements
 SP164757 FENCING PROVISION in Schedule of Easements
 C686912 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 02-Dec-2005 at noon

UNREGISTERED DEALINGS AND NOTATIONS

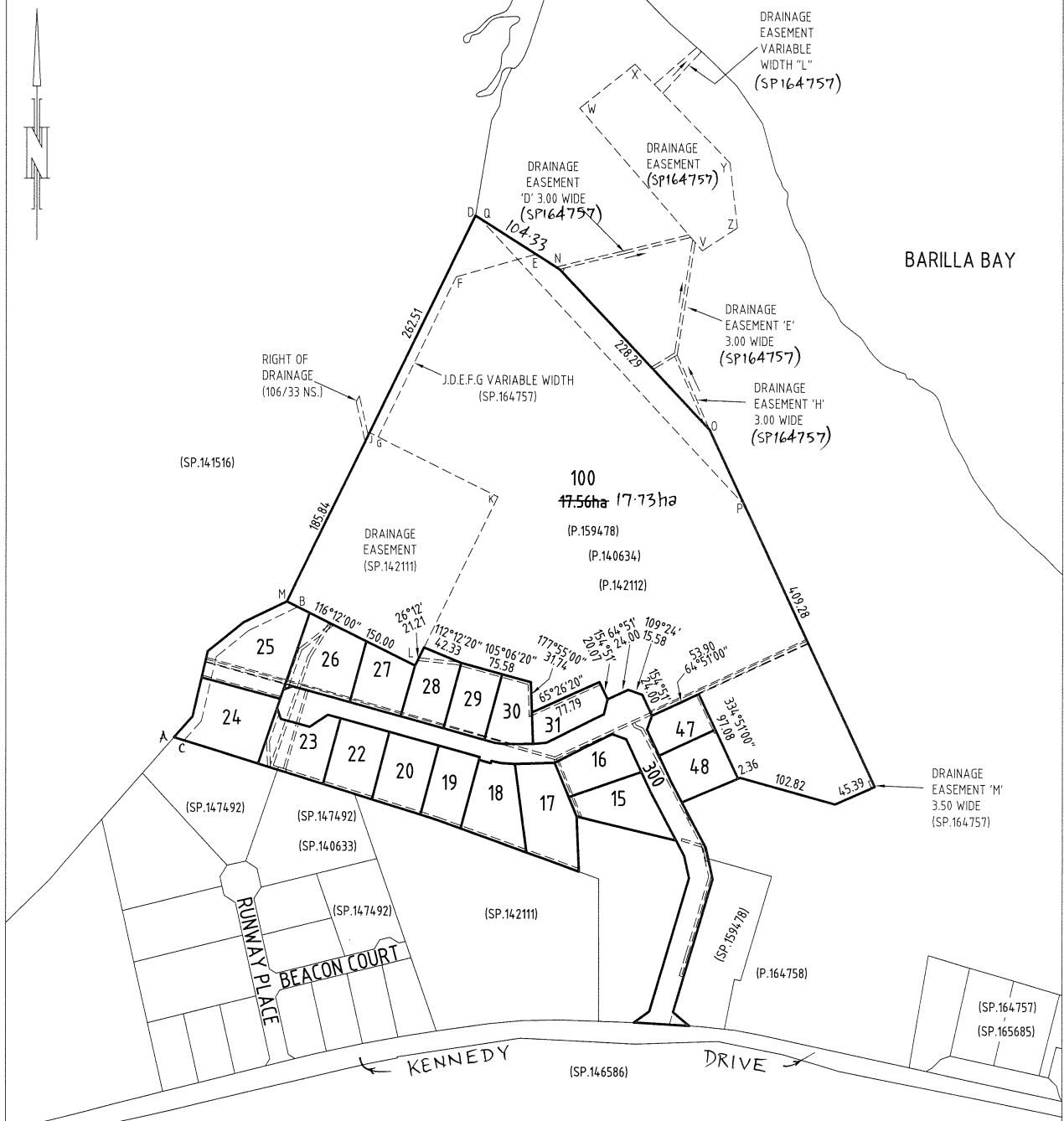
No unregistered dealings or other notations

OWNER AIRPORT INDUSTRIAL PTY LTD	PLAN OF SURVEY	REGISTERED NUMBER SP176911
FOLIO REFERENCE C.T.164757/1		BY SURVEYOR CRAIG BRADLEY ROGERSON ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0418-120-796
GRANTEE PART OF 1654 ACRES GTD TO ROBERT PITCAIRN AND THOMAS YOUNG	CITY OF CLARENCE	Deputy Recorder of Titles
SCALE 1: 4000 LENGTHS IN METRES		

LOT 100 IS COMPILED FROM C.T.164757/1 & THIS SURVEY

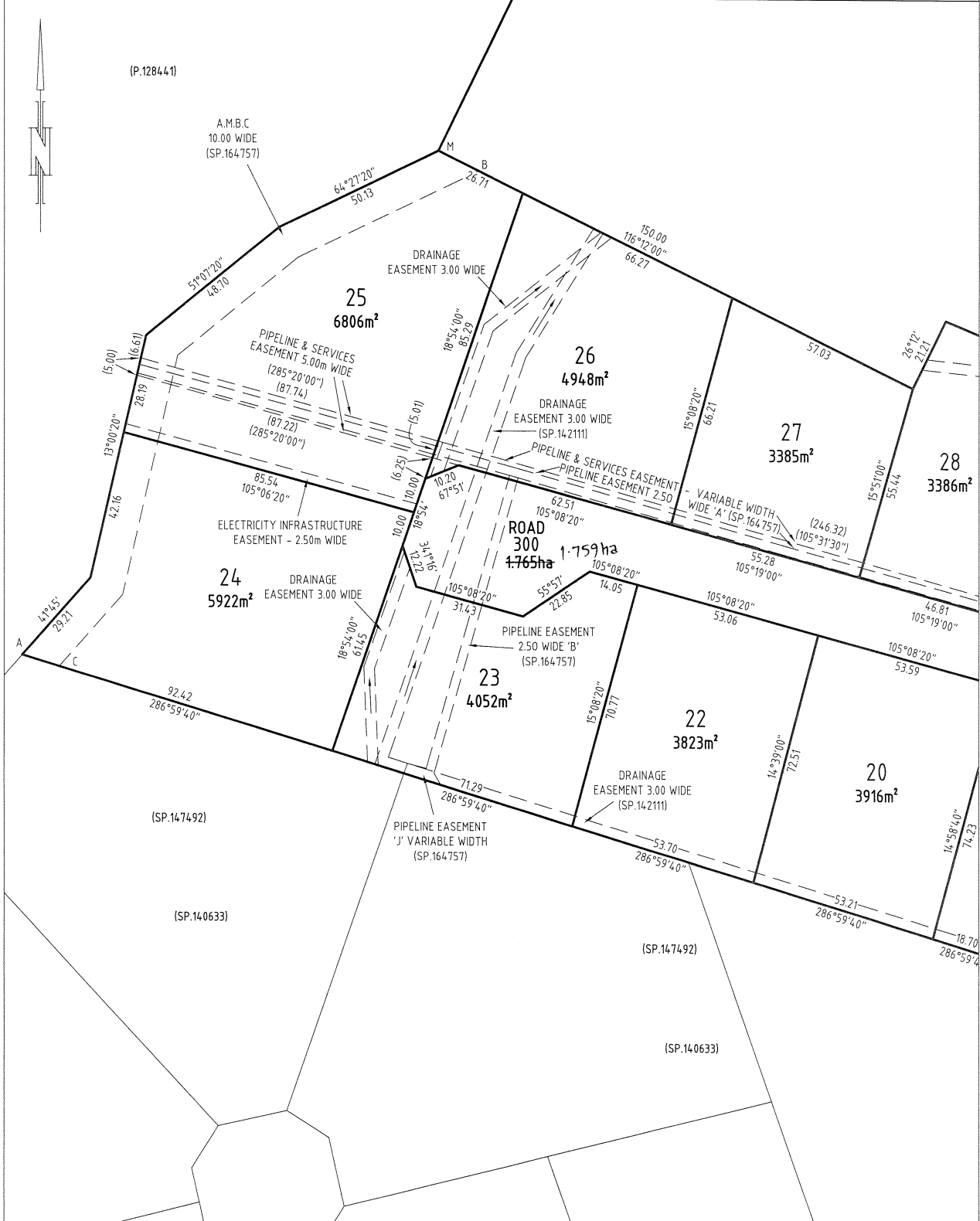
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

INDEX PLAN



 Registered Land Surveyor	10-5-19 Date	 COUNCIL DELEGATE	6/6/2019 DATE
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<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 3 SHEETS</p>	<p>OWNER: AIRPORT INDUSTRIAL PTY LTD</p> <p>FOLIO REFERENCE: C.T.164757/1</p> <p>SCALE 1:1000 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 176911</p>
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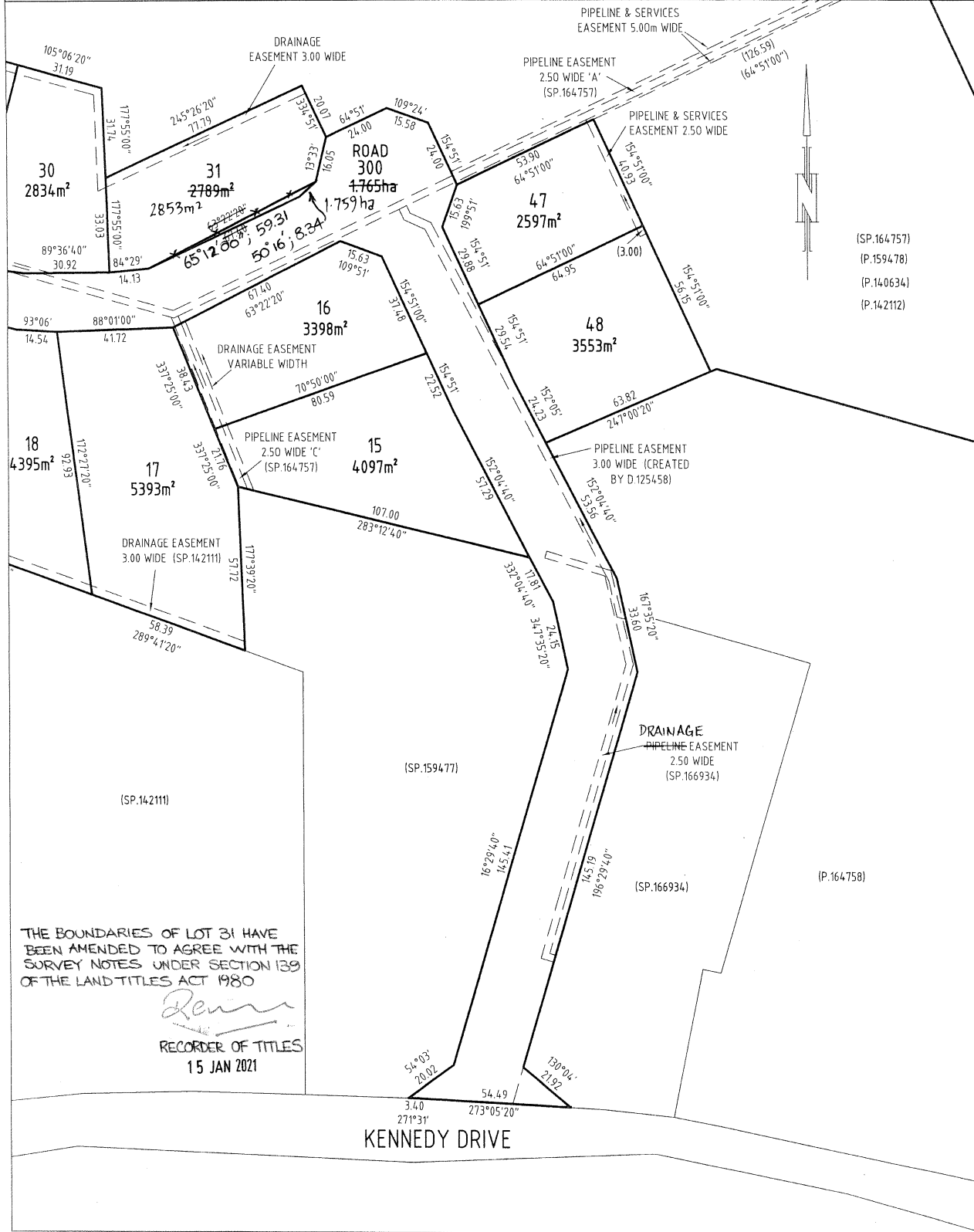


<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 2 OF 3 SHEETS</p>	<p>OWNER: AIRPORT INDUSTRIAL PTY LTD</p> <p>FOLIO REFERENCE: C.T.164757/1</p> <p>SCALE 1:1000 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 1769 11</p>
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<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 3 OF 3 SHEETS</p>	<p>OWNER: AIRPORT INDUSTRIAL PTY LTD</p> <p>FOLIO REFERENCE: C.T.164757/1</p> <p>SCALE 1:1250 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 1769 11</p>
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THE BOUNDARIES OF LOT 31 HAVE BEEN AMENDED TO AGREE WITH THE SURVEY NOTES UNDER SECTION 139 OF THE LAND TITLES ACT 1980

[Signature]
RECORDER OF TITLES
15 JAN 2021

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 176911

PAGE 1 OF 12 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lot 100 on the Plan is subject to a right of drainage appurtenant to Lot 2 on Sealed Plan 142111 over the **DRAINAGE EASEMENT (SP.142111) "JKLM"** on the Plan.

Lots 17, 18, 19, 20, 22, 23, 26 and 300 on the Plan are subject to a right of drainage appurtenant to Lot 2 on Sealed Plan 142111 over the **DRAINAGE EASEMENT 3.00 WIDE (SP.142111)** on the Plan.

Lots 25, 26, 27, 28, 29, 30, 100 and 300 on the Plan are subject to a Pipeline Easement (as defined) in gross in favour of the Tasmanian Water and Sewerage Corporation (Southern Region) Pty Limited over the **PIPELINE EASEMENT 2.50 WIDE 'A' (SP.164757)** shown on the Plan

Lots 15 and 16 on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT VARIABLE WIDTH** on the Plan.

Lot 23 on the Plan is subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT 3.00 WIDE** on the Plan.

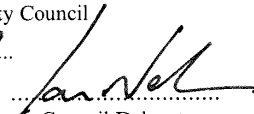
Lot 26 on the Plan is subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT 3.00 WIDE** on the Plan.

Lots 28, 29, 30 and 31 on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT 3.00 WIDE** on the Plan.

Lots 23, 26 and 300 on the Plan are subject to a Pipeline Easement (as defined) in gross in favour of the Tasmanian Water and Sewerage Corporation (Southern Region) Pty Limited over the **PIPELINE EASEMENT 2.50 WIDE 'B' (SP.164757)** shown on the Plan.

Lots 15, 16 and 300 on the Plan are subject to a Pipeline Easement (as defined) in gross in favour of the Tasmanian Water and Sewerage Corporation (Southern Region) Pty Limited over the **PIPELINE EASEMENT 2.50 WIDE 'C' (SP.164757)** shown on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REF: CT 164757-1 SOLICITOR & REFERENCE: Page Seager (DAS 120166)	PLAN SEALED BY: Clarence City Council DATE: <u>6 JUNE 2019</u> _____ REF NO. SD-2008/95
 Council Delegate	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 12 PAGES</p>	<p>Registered Number</p> <p>SP 176911</p>
<p>SUBDIVIDER: Airport Industrial Pty Ltd</p> <p>FOLIO REFERENCE: CT 164757-1</p>	

Lot 23 on the Plan is subject to a Pipeline Easement (as defined) in gross in favour of the Tasmanian Water and Sewerage Corporation (Southern Region) Pty Limited over the **PIPELINE EASEMENT ‘J’ VARIABLE WIDTH (SP.164757)** shown on the Plan.

Lot 25 on the Plan is subject to a Electricity Infrastructure Easement (as defined) in gross in favour of Tasmanian Networks Pty Ltd over the land marked **ELECTRICITY INFRASTRUCTURE EASEMENT – 2.50M WIDE** on the Plan.

Lots 47, 48 and 100 (“the Lots”) are subject to a **PIPELINE AND SERVICES EASEMENT** (as defined) in gross in favour of the Tasmanian Water & Sewerage Corporation Pty Ltd, its successors and assigns (“TasWater”) over the land marked **PIPELINE & SERVICES EASEMENT 2.50 WIDE** shown on the Plan (“the Easement Land”).

Lot 100 on the Plan is together with the right to construct and maintain upon the piece of land marked Right of Drainage on P159487 a drain for the purpose of draining storm and surface water from the said Lot 100 and also the right at all times hereafter to enter into and upon the said land for the purpose of cleansing and repairing the said drain and as shown on the Plan as **RIGHT OF DRAINAGE (106/33 NS.)**.

Lot 100 on the Plan is together with a right of drainage over the **DRAINAGE EASEMENT “VWXYZ”** shown on the Plan.

Lot 100 on the Plan is together with a right of drainage over the **DRAINAGE EASEMENT ‘D’ 3.00 WIDE, DRAINAGE EASEMENT ‘E’ 3.00 WIDE, DRAINAGE EASEMENT ‘H’ 3.00 WIDE** and **DRAINAGE EASEMENT VARIABLE WIDTH “L”** shown on the Plan

Lot 100 on the Plan is subject to a right of drainage appurtenant to Lot 1 on ~~Sealed~~ Plan 166935 over the **DRAINAGE EASEMENT “M” 3.50 WIDE** shown on the Plan.

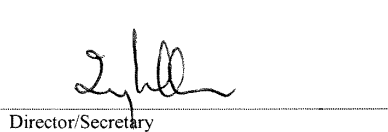
Lot 300 on the Plan is subject to a right of drainage appurtenant to Lot 1 on Sealed Plan 166934 over the ^{DRAINAGE}~~PIPELINE~~ **EASEMENT 2.50 WIDE (SP.166934)** shown on the Plan.

Lot 300 on the Plan is subject to a right of drainage and a TasWater Pipeline Easement (as defined) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd over the **PIPELINE EASEMENT 3.00 WIDE (CREATED BY D.125458)** shown on the Plan.

Lots 25 and 100 on the Plan (“the Lots”) are subject to a **PIPELINE AND SERVICES EASEMENT** (as defined) in gross in favour of the Tasmanian Water & Sewerage Corporation Pty Limited, its successors and assigns (“TasWater”) over the land marked **PIPELINE & SERVICES EASEMENT 5.00m WIDE** shown on the Plan (“the Easement Land”).

Lots 26, 27, 28, 29 and 30 on the Plan (“the Lots”) are subject to a **PIPELINE AND SERVICES EASEMENT** (as defined) in gross in favour of the Tasmanian Water & Sewerage Corporation Pty Limited, its successors and assigns (“TasWater”) over the land marked **PIPELINE & SERVICES EASEMENT – VARIABLE WIDTH** shown on the Plan (“the Easement Land”).


Director


Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 12 PAGES</p>	<p>Registered Number</p> <p>SP 176911</p>
<p>SUBDIVIDER: Airport Industrial Pty Ltd</p> <p>FOLIO REFERENCE: CT 164757-1</p>	

COVENANTS

The owners of each lot on the Plan covenant with the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

- 1) Not to develop any such lot for any use which is inconsistent with airport activity and which results in the attraction of birds or vermin.
- 2) Not to permit the external surfaces of any building or structure to be finished with external materials other than non-glare external colours and finishes.
- 3) Not to permit any external lighting for any development on any of the lots unless it is shielded to prevent upward illuminations,

The owners of lots 24 and 25 on the Plan covenant with the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

- 1) Not to develop any part of the lot within the area marked on the Plan as **A.M.B.C 10.00 WIDE** other than by way of driveway and services access and landscaping.

The owner of lot 100 on the Plan covenants with the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

- 1) Not to develop any part of the lot within the area marked on the Plan as **J.D.E.F.G VARIABLE WIDTH** other than by way of driveway and services access and landscaping.
- 2) Not to erect or cause to be erected or place any building or structure which exceeds a height of 8 metres above the Australian Height Datum (AHD) on that area of Lot 100 shown marked "**NO PQ**" on the Plan.

FENCING PROVISION

In respect of the Lots shown on the plan the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234)) shall not be required to fence.

DEFINITIONS

In this Schedule of Easements, the following terms have the meanings ascribed to them below:




Director Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 5 OF 12 PAGES</p>	<p>Registered Number</p> <p>SP 176911</p>
<p>SUBDIVIDER: Airport Industrial Pty Ltd</p> <p>FOLIO REFERENCE: CT 164757-1</p>	

- (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by Southern Water or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) Southern Water is not required to fence any part of the Easement Land.
 - (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
 - (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide Southern Water with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide Southern Water with that key or the key provided does not fit the lock, Southern Water may cut the lock from the gate.
 - (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to Southern Water of the repair of the Infrastructure damaged.
 - (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, Southern Water may:
 - (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace anything that supported, protected or covered the Infrastructure.

Interpretation:

In this definition of Pipeline Easement:

“Easement Land” means the land which is subject to this easement.

“Infrastructure” means infrastructure owned or for which Southern Water is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;


Director


Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 6 OF 12 PAGES</p>	<p>Registered Number</p> <p>SP 176911</p>
<p>SUBDIVIDER: Airport Industrial Pty Ltd</p> <p>FOLIO REFERENCE: CT 164757-1</p>	

- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

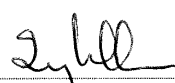
“Owner” means the registered proprietors of the Lot in the folio of the Register from time to time.

“Southern Water” means Tasmanian Water and Sewerage Corporation (Southern Region) Pty Ltd.

TasWater Pipeline Easement means THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage and water through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and


Director


Director/Secretary

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 7 OF 12 PAGES</p>	<p>Registered Number</p> <p>SP 176911</p>
<p>SUBDIVIDER: Airport Industrial Pty Ltd</p> <p>FOLIO REFERENCE: CT 164757-1</p>	

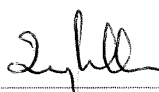
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) Each registered proprietor or a Lot (each an "Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
- (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (c) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (d) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (d) reinstate the ground level of the Easement Land; or
 - (e) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or



Director



Director/Secretary

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 8 OF 12 PAGES</p>	<p>Registered Number</p> <p>SP 176911</p>
<p>SUBDIVIDER: Airport Industrial Pty Ltd</p> <p>FOLIO REFERENCE: CT 164757-1</p>	

(f) replace anything that supported, protected or covered the Infrastructure.

In this definition of TasWater Pipeline Easement:

“Easement Land” means the area marked PIPELINE EASEMENT 3.00 WIDE (CREATED BY D.125458) on the Plan.

“Lot” means the land comprised in certificate of title Volume 164757 Folio 1.

“TasWater” means Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns.

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (1) sewer pipes and water pipes and associated valves;
- (2) telemetry and monitoring devices;
- (3) inspection and access pits;
- (4) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (5) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (6) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water through the Easement Land or monitoring or managing that activity; and
- (7) where the context permits, any part of the Infrastructure.

The **Pipeline and Services Easement** is defined as follows:

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;

Director

Director/Secretary

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 9 OF 12 PAGES</p>	<p>Registered Number</p> <p>SP 176911</p>
<p>SUBDIVIDER: Airport Industrial Pty Ltd</p> <p>FOLIO REFERENCE: CT 164757-1</p>	

- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained (which cannot be unreasonably refused) and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.




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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 11 OF 12 PAGES</p>	<p>Registered Number</p> <p>SP 176911</p>
<p>SUBDIVIDER: Airport Industrial Pty Ltd</p> <p>FOLIO REFERENCE: CT 164757-1</p>	

registered proprietors in the above folio of the Register (the “said land”) and to erect construct place inspect alter add repair renew maintain and use in upon over and along and remove from the servient land towers poles wires cables apparatus appliances and other ancillary work (all of which are hereinafter collectively referred to as “the said lines”) for the transmission and distribution of electrical energy and for purposes incidental thereto:-

- (b) TO cause or permit electrical energy to flow or be transmitted through and along the said lines;
- (c) TO cut away remove and keep clear of the said lines all trees and all other obstructions or erections of any nature whatsoever which may at any time overhang encroach or be in or on the servient land and which may in any way endanger or interfere with the proper operation of the said lines; and making good all damage occasioned thereby;
- (d) TO enter into and upon the servient land and if necessary to cross the remainder of the said land for the purpose of access and regress to and from the servient land for all or any of the above purposes with or without all necessary plant equipment machinery and vehicles of every kind, and making good all damage occasioned thereby.

SECONDLY the benefit of a covenant for Tasmanian Networks Pty Ltd and its successors with the registered proprietor/s for themselves and their successors in title of the servient land not to erect any buildings or place any structures, objects or vegetation that could interfere with the proper and safe operation of the said lines to the intent

that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement first hereinbefore described.

 Director
 Director/Secretary

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 12 OF 12 PAGES</p>	<p>Registered Number</p> <p>SP 176911</p>
<p>SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REFERENCE: CT 164757-1</p>	

EXECUTED by AIRPORT INDUSTRIAL PTY LTD)
 (ACN 159 442 234) pursuant to Section 127 of the)
 Corporations Act 2001 (Cth) by:)

.....
 Director Signature

Ronald Aulben Brooks

Director Full Name (print)

.....
 Director/Secretary Signature


Anthony William Easter

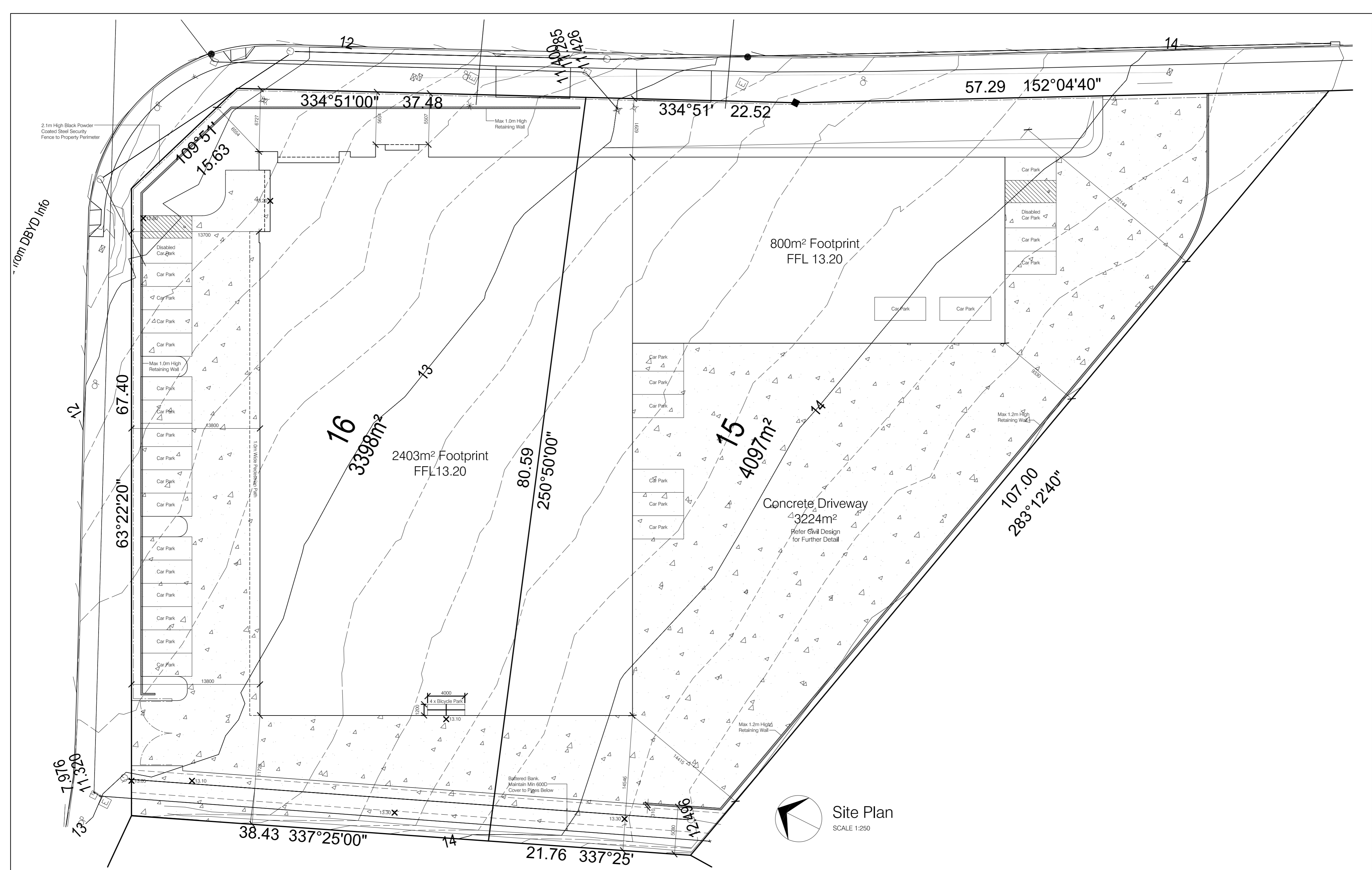
Director/Secretary Full Name (print)

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Drawing Schedule:

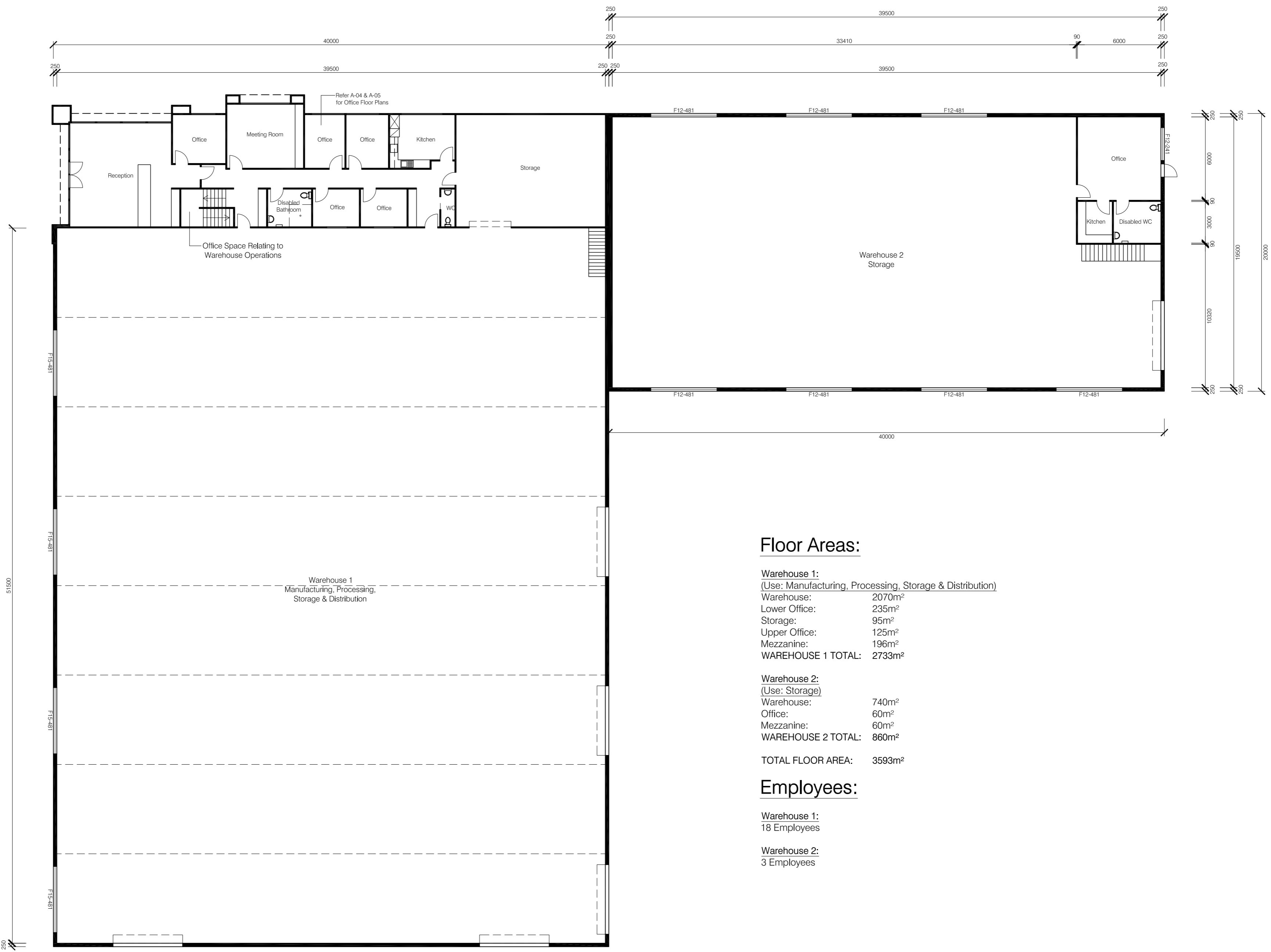
A-01	Cover Page
A-02	Site Plan
A-03	Warehouse Plan
A-04	Lower Office Floor Plan
A-05	Upper Office Floor Plan
A-06	Elevations
A-07	Landscape Plan
A-08	Landscape Overlay Location Plan

Rev	Amendment:	Date:	Accredited Practitioner:	 <p>DIREEN HOMES PTY LTD 5 Cessna Way, Cambridge, 7170 P: 03 62484366 E: info@direenhomes.com.au</p>	Client Name:	Drawing Title:	Date:	Sheet Size:
			Narelle Walker - CC1661W 5 Cessna Way Cambridge TAS 7170 P: 03 62484366 E: narelle@direenhomes.com.au		Van Dieman's Property	Cover Sheet	17-Sep-25	A2
					Project Address:	File Name:	Drawing Scale:	Drawing No:
				7 & 9 Cherokee Drive Cambridge TASMANIA 7170	25 DHD-14, 7 & 9 Cherokee Dr.dwg	N/A	A-01	



Site Plan
SCALE 1:250

Rev	Amendment:	Date:	Accredited Practitioner: Narelle Walker - CC1661W 5 Cessna Way Cambridge TAS 7170 P: 03 62484366 E: narelle@direenhomes.com.au	 DIREEN HOMES PTY LTD 5 Cessna Way, Cambridge, 7170 P: 03 62484366 E: info@direenhomes.com.au	Client Name: Van Dieman's Property	Drawing Title: Site Plan	Date: 17-Sep-25	Sheet Size: A2
					Project Address: 7 & 9 Cherokee Drive Cambridge TASMANIA 7170	File Name: 25 DHD-14, 7 & 9 Cherokee Dr.dwg	Drawing Scale: 1:250	Drawing No: A-02



Floor Areas:

Warehouse 1:
 (Use: Manufacturing, Processing, Storage & Distribution)
 Warehouse: 2070m²
 Lower Office: 235m²
 Storage: 95m²
 Upper Office: 125m²
 Mezzanine: 196m²
WAREHOUSE 1 TOTAL: 2733m²

Warehouse 2:
 (Use: Storage)
 Warehouse: 740m²
 Office: 60m²
 Mezzanine: 60m²
WAREHOUSE 2 TOTAL: 860m²

TOTAL FLOOR AREA: 3593m²

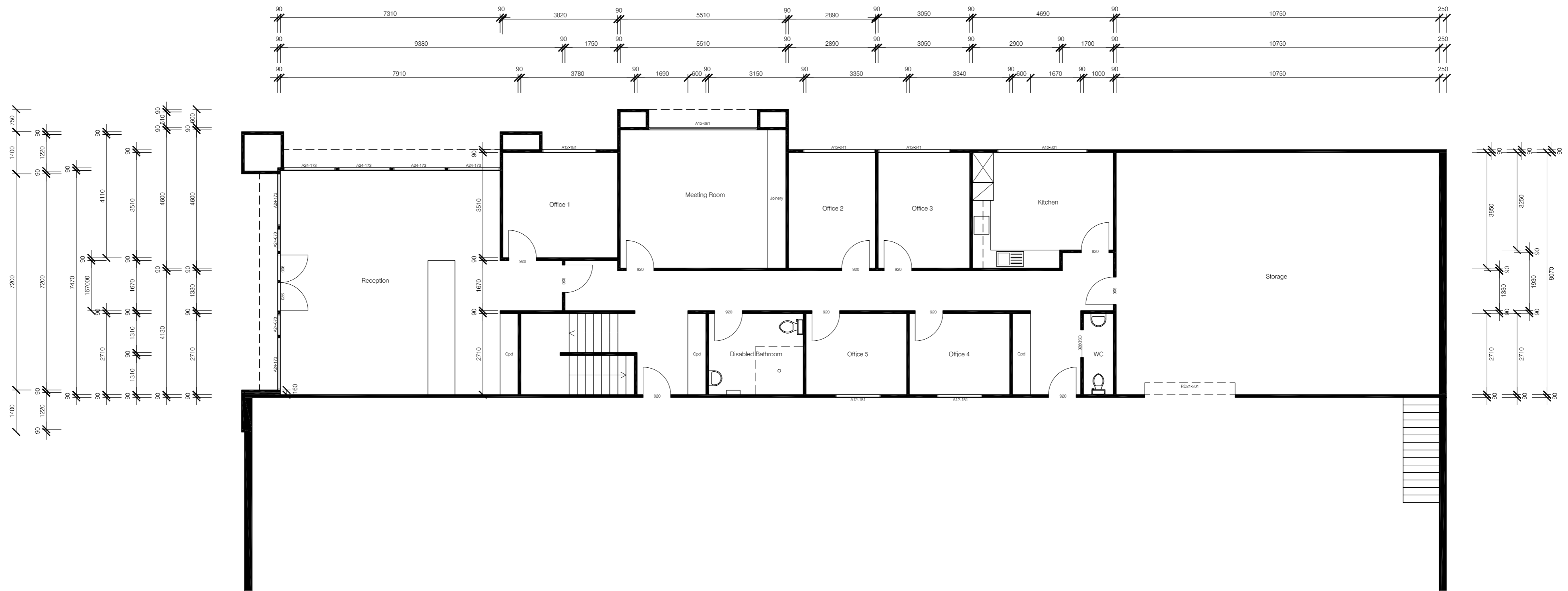
Employees:

Warehouse 1:
 18 Employees

Warehouse 2:
 3 Employees




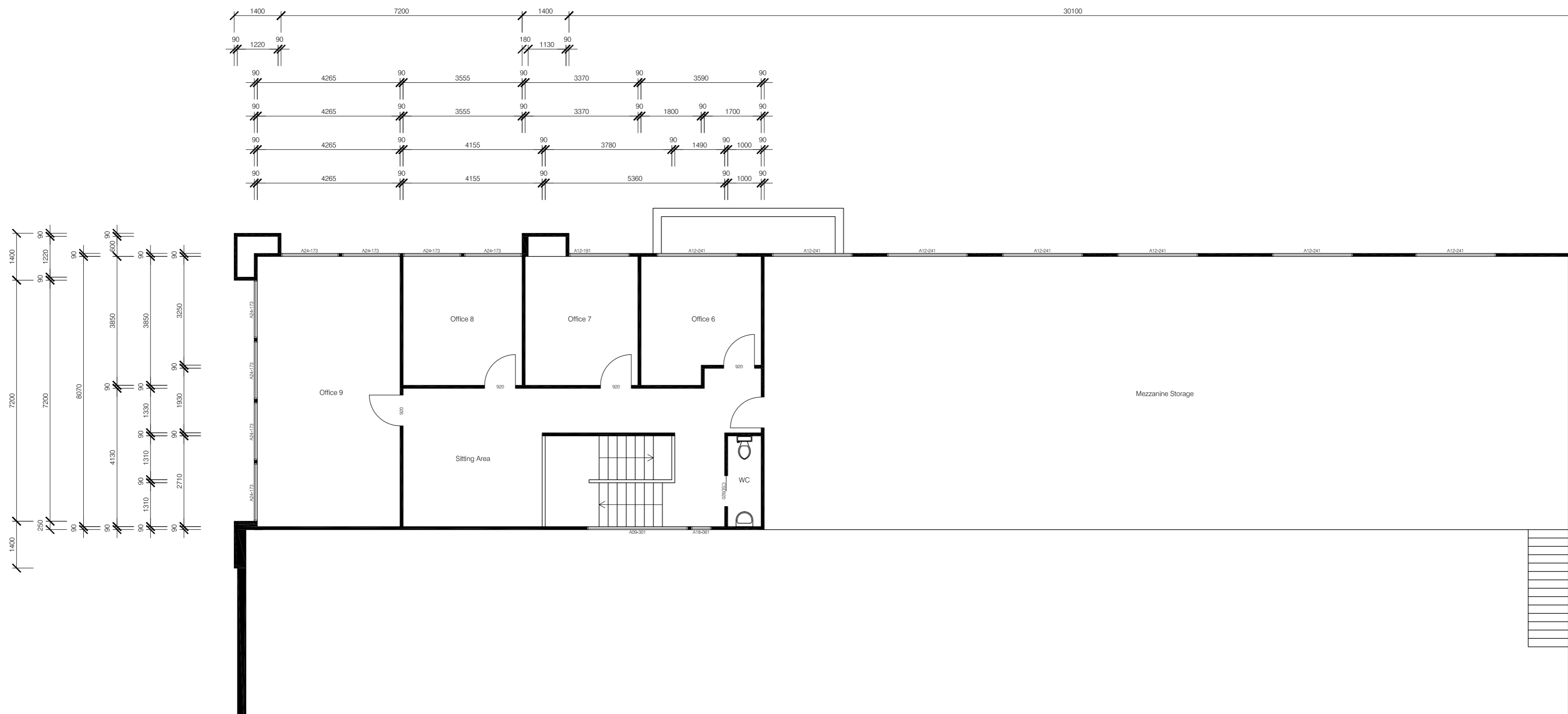
Rev	Amendment:	Date:	Accredited Practitioner: Narelle Walker - CC1661W 5 Cessna Way Cambridge TAS 7170 P: 03 62484366 E: narelle@direenhomes.com.au	 DIREEN HOMES PTY LTD 5 Cessna Way, Cambridge, 7170 P: 03 62484366 E: info@direenhomes.com.au	Client Name: Van Dieman's Property	Drawing Title: Warehouse Plan	Date: 17-Sep-25	Sheet Size: A2
					Project Address: 7 & 9 Cherokee Drive Cambridge TASMANIA 7170	File Name: 25 DHD-14, 7 & 9 Cherokee Drive.dwg	Drawing Scale: 1:200	Drawing No: A-03




Lower Level
Warehouse 1 Office Floor Plan

SCALE 1:100

Rev	Amendment:	Date:	Accredited Practitioner: Narelle Walker - CC1661W 5 Cessna Way Cambridge TAS 7170 P: 03 62484366 E: narelle@direenhomes.com.au	 5 Cessna Way, Cambridge, 7170 P: 03 62484366 E: info@direenhomes.com.au	Client Name: Van Dieman's Property	Drawing Title: Lower Office Floor	Date: 17-Sep-25	Sheet Size: A2
					Project Address: 7 & 9 Cherokee Drive Cambridge TASMANIA 7170	File Name: 25 DHD-14, 7 & 9 Cherokee Drive.dwg	Drawing Scale: 1:100	Drawing No: A-04

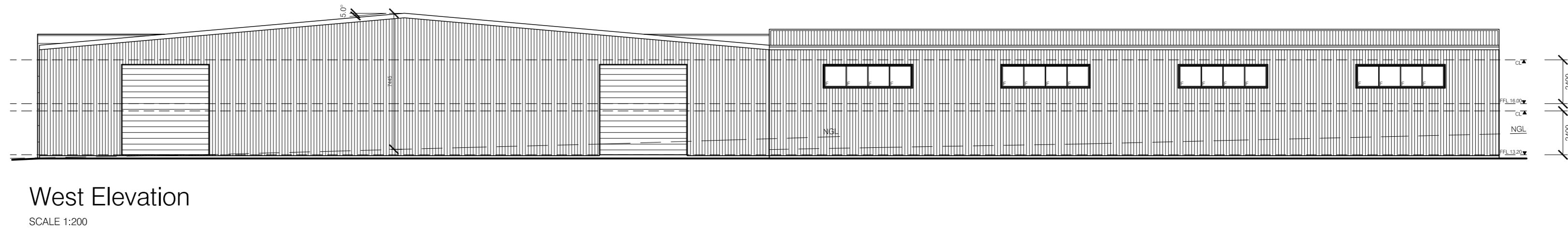
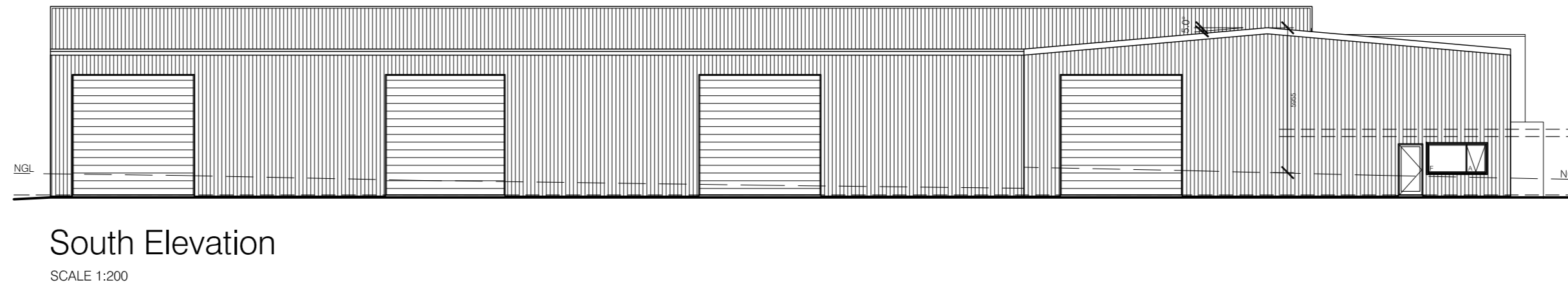
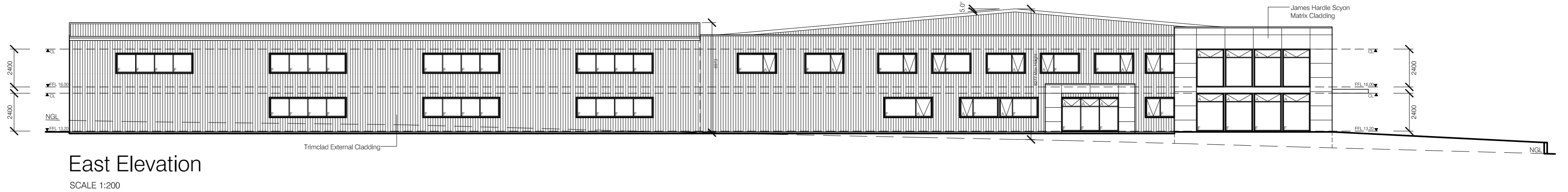
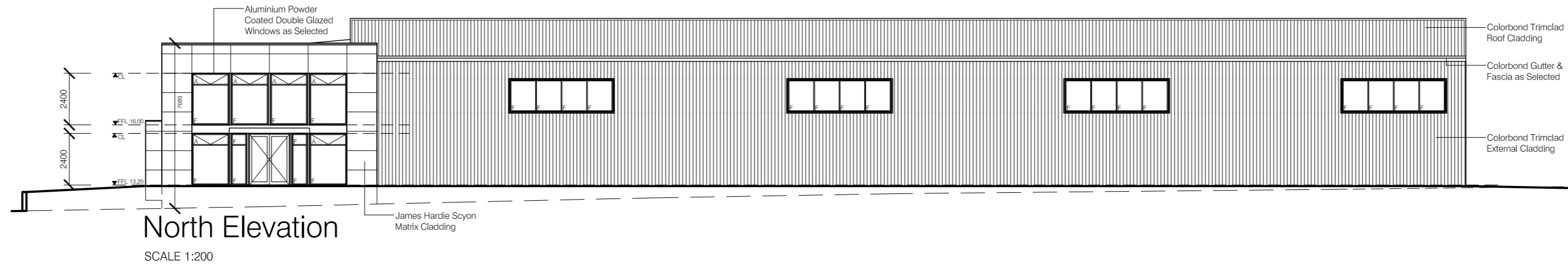



Upper Level
Warehouse 1 Office Floor Plan
SCALE 1:100

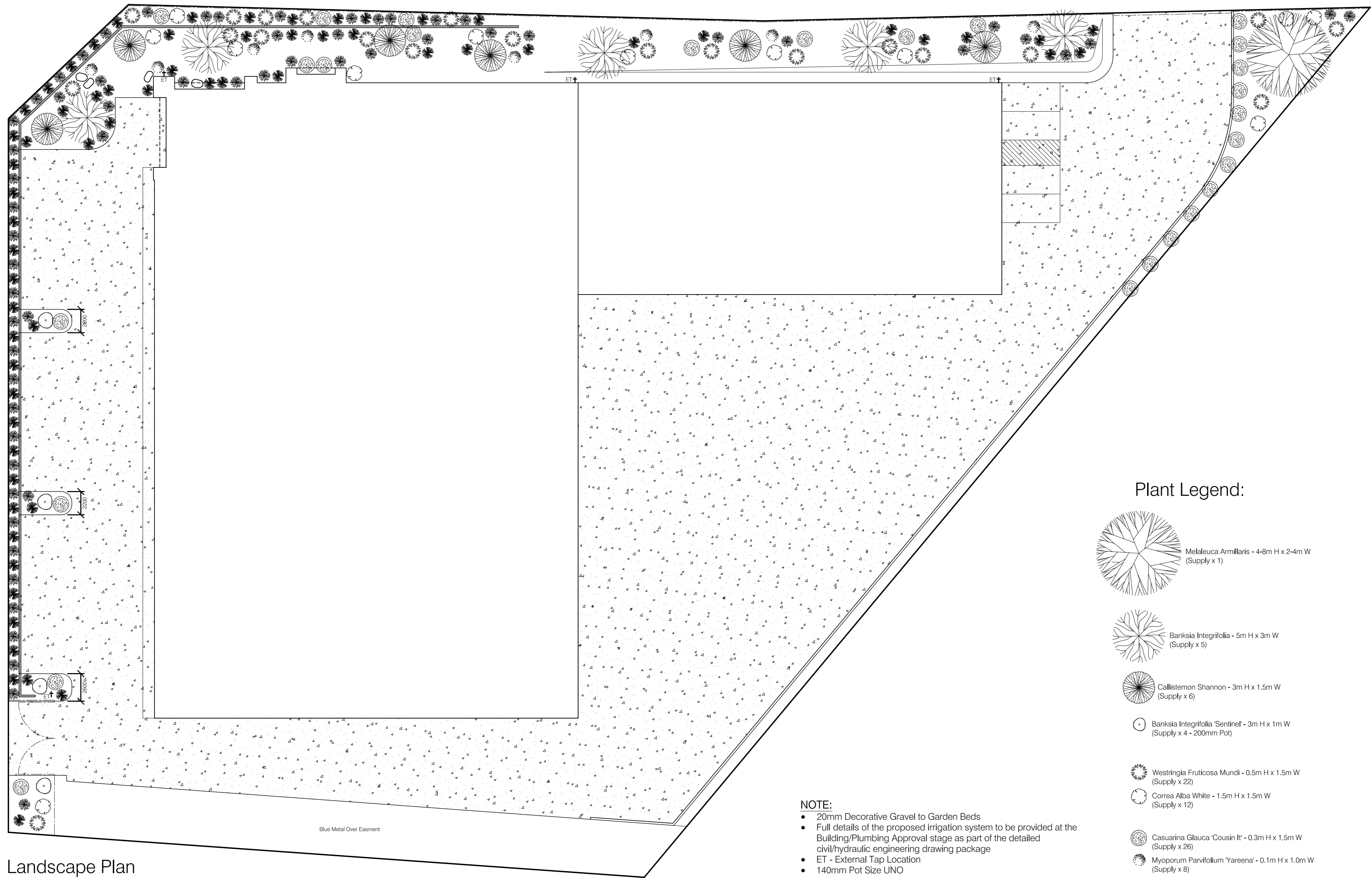
Rev	Amendment:	Date:	Accredited Practitioner: Narelle Walker - CC1661W 5 Cessna Way Cambridge TAS 7170 P: 03 62484366 E: narelle@direenhomes.com.au	 5 Cessna Way, Cambridge, 7170 P: 03 62484366 E: info@direenhomes.com.au	Client Name: Van Dieman's Property	Drawing Title: Upper Office Floor	Date: 17-Sep-25	Sheet Size: A2
					Project Address: 7 & 9 Cherokee Drive Cambridge TASMANIA 7170	File Name: 25 DHD-14, 7 & 9 Cherokee Drive.dwg	Drawing Scale: 1:100	Drawing No: A-05

COLOUR SELECTION:

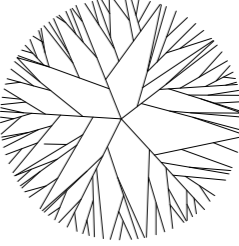
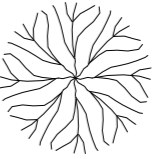
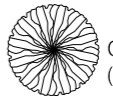







- Option 2:
- Roof Cladding Monument
 - Gutter & Fascia Monument
 - Wall Cladding Monument
 - Wall Cladding (Between Windows) Monument
 - Window Frames Monument
 - Reception Cladding Tempress - Dulux (Burnt Orange)
 - Reception Windows Monument



Rev	Amendment:	Date:	Accredited Practitioner: Narelle Walker - CC1661W 5 Cessna Way Cambridge TAS 7170 P: 03 62484366 E: narelle@direenhomes.com.au	 DIREEN HOMES PTY LTD 5 Cessna Way, Cambridge, 7170 P: 03 62484366 E: info@direenhomes.com.au	Client Name: Van Dieman's Property	Drawing Title: Elevations	Date: 17-Sep-25	Sheet Size: A2
					Project Address: 7 & 9 Cherokee Drive Cambridge TASMANIA 7170	File Name: 25 DHD-14, 7 & 9 Cherokee Drive.dwg	Drawing Scale: 1:200	Drawing No: A-06




Plant Legend:

-  Melaleuca Armillaris - 4-8m H x 2-4m W (Supply x 1)
-  Banksia Integrifolia - 5m H x 3m W (Supply x 5)
-  Callistemon Shannon - 3m H x 1.5m W (Supply x 6)
-  Banksia Integrifolia 'Sentinel' - 3m H x 1m W (Supply x 4 - 200mm Pot)
-  Westringia Fruticosa Mundi - 0.5m H x 1.5m W (Supply x 22)
-  Correa Alba White - 1.5m H x 1.5m W (Supply x 12)
-  Casuarina Glauca 'Cousin It' - 0.3m H x 1.5m W (Supply x 26)
-  Myoporum Parvifolium 'Yareena' - 0.1m H x 1.0m W (Supply x 8)
-  Lomandra Longifolia Confertifolia 'Lime Tuff' - Max 1m H (Supply x 60)
-  Dianella Tasmanica 'Blue Berry Lily' - Max 1.m H (Spreading) (Supply x 60)

- NOTE:**
- 20mm Decorative Gravel to Garden Beds
 - Full details of the proposed irrigation system to be provided at the Building/Plumbing Approval stage as part of the detailed civil/hydraulic engineering drawing package
 - ET - External Tap Location
 - 140mm Pot Size UNO

Landscape Plan


SCALE 1:250

Rev	Amendment:	Date:	Accredited Practitioner: Narelle Walker - CC1661W 5 Cessna Way Cambridge TAS 7170 P: 03 62484366 E: narelle@direenhomes.com.au	 DIREEN HOMES PTY LTD 5 Cessna Way, Cambridge, 7170 P: 03 62484366 E: info@direenhomes.com.au	Client Name: Van Dieman's Property	Drawing Title: Landscape Plan	Date: 17-Sep-25	Sheet Size: A2
					Project Address: 7 & 9 Cherokee Drive Cambridge TASMANIA 7170	File Name: 25 DHD-14, 7 & 9 Cherokee Dr.dwg	Drawing Scale: 1:250	Drawing No: A-07



Landscape Location Plan

SCALE 1:1000

Rev	Amendment:	Date:	Accredited Practitioner:	Client Name:	Drawing Title:	Date:	Sheet Size:
			Narelle Walker - CC1661W 5 Cessna Way Cambridge TAS 7170 P: 03 62484366 E: narelle@direenhomes.com.au	Van Dieman's Property	Landscape Plan (2)	17-Sep-25	A2
			 <p>DIREEN HOMES PTY.LTD 5 Cessna Way, Cambridge, 7170 P: 03 62484366 E: info@direenhomes.com.au</p>	Project Address:	File Name:	Drawing Scale:	Drawing No:
				7 & 9 Cherokee Drive Cambridge TASMANIA 7170	25 DHD-14, 7 & 9 Cherokee Dr.dwg	1:1000	A-07

**CIVIL DRAWINGS
DIREEN HOMES
7 & 9 CHEROKEE DRIVE
CAMBRIDGE**

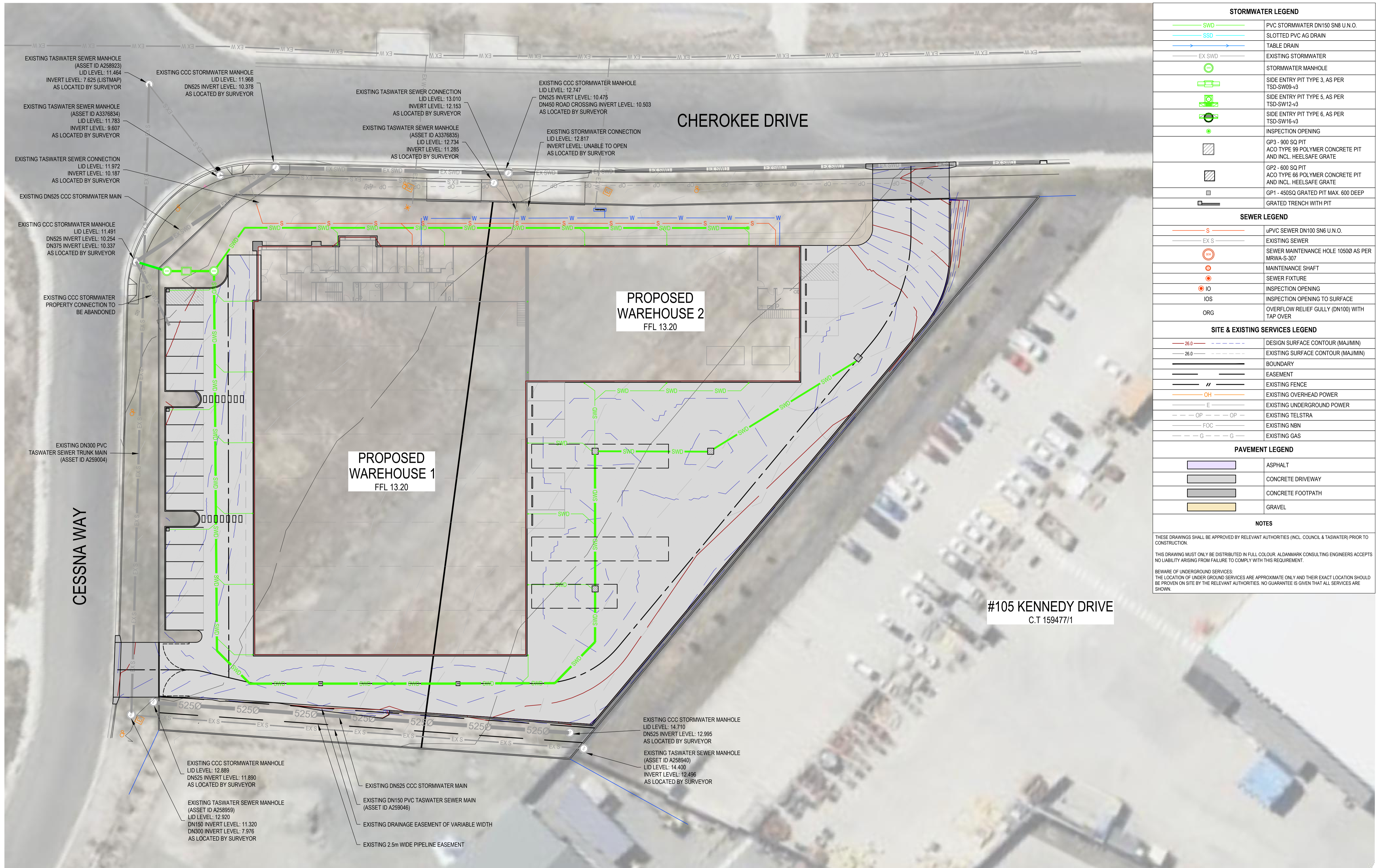
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C101	SITE PLAN	C	3/02/2026
C102	ROAD AND STORMWATER PLAN - SHEET 1	C	3/02/2026
C103	ROAD AND STORMWATER PLAN - SHEET 2	C	3/02/2026
C104	ROAD AND STORMWATER PLAN - SHEET 3	C	3/02/2026
C105	ROAD AND STORMWATER PLAN - SHEET 4	C	3/02/2026
C106	SEWER AND WATER PLAN	C	3/02/2026
C107	TURNPATH PLAN - SHEET 1	C	3/02/2026
C108	TURNPATH PLAN - SHEET 2	C	3/02/2026
C201	LONG SECTIONS - SHEET 1	C	3/02/2026
C202	LONG SECTIONS - SHEET 2	C	3/02/2026
C203	CROSS SECTIONS	C	3/02/2026

			DRAWN:	DE
			CHECKED:	NM
C	PLANNING APPROVAL	3/02/2026	DESIGN:	DE
B	PLANNING APPROVAL	6/10/2025	CHECKED:	NM
A	PRELIMINARY FOR COMMENT	3/10/2025	VERIFIED:	
REV	ISSUE	DATE	APPROVAL	



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT:	DIREEN HOMES	ADDRESS:	7 & 9 CHEROKEE DRIVE CAMBRIDGE	SHEET:	COVER
CLIENT:	DIREEN HOMES	SCALE:	AS INDICATED	TOTAL SHEETS:	12
		PROJECT No:	25 E 08 - 5	SHEET:	C001
				REV:	C
				SIZE:	A1

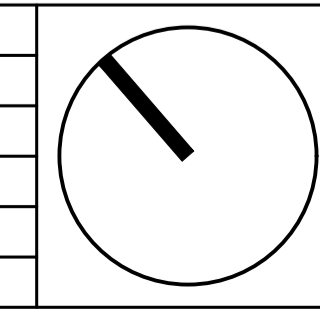


STORMWATER LEGEND	
	PVC STORMWATER DN150 SN8 U.N.O.
	SLOTTED PVC AG DRAIN
	TABLE DRAIN
	EXISTING STORMWATER
	STORMWATER MANHOLE
	SIDE ENTRY PIT TYPE 3, AS PER TSD-SW09-v3
	SIDE ENTRY PIT TYPE 5, AS PER TSD-SW12-v3
	SIDE ENTRY PIT TYPE 6, AS PER TSD-SW16-v3
	INSPECTION OPENING
	GP3 - 900 SQ PIT ACO TYPE 99 POLYMER CONCRETE PIT AND INCL. HEELSAFE GRATE
	GP2 - 600 SQ PIT ACO TYPE 66 POLYMER CONCRETE PIT AND INCL. HEELSAFE GRATE
	GP1 - 450SQ GRATED PIT MAX. 600 DEEP GRATED TRENCH WITH PIT
SEWER LEGEND	
	uPVC SEWER DN100 SN6 U.N.O.
	EXISTING SEWER
	SEWER MAINTENANCE HOLE 1050Ø AS PER MRWA-S-307
	MAINTENANCE SHAFT
	SEWER FIXTURE
	INSPECTION OPENING
	INSPECTION OPENING TO SURFACE
	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJ/MIN)
	EXISTING SURFACE CONTOUR (MAJ/MIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING GAS
PAVEMENT LEGEND	
	ASPHALT
	CONCRETE DRIVEWAY
	CONCRETE FOOTPATH
	GRAVEL
NOTES	
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SITE PLAN
SCALE 1:250 (A1)

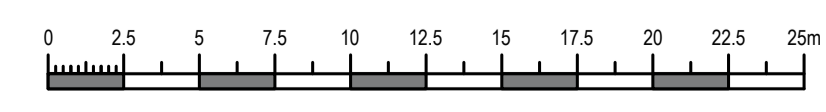


REV	ISSUE	DATE	APPROVAL
C	PLANNING APPROVAL	3/02/2026	DE
B	PLANNING APPROVAL	6/10/2025	DE
A	PRELIMINARY FOR COMMENT	3/10/2025	NM



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT:	DIREEN HOMES
ADDRESS:	7 & 9 CHEROKEE DRIVE CAMBRIDGE
CLIENT:	DIREEN HOMES

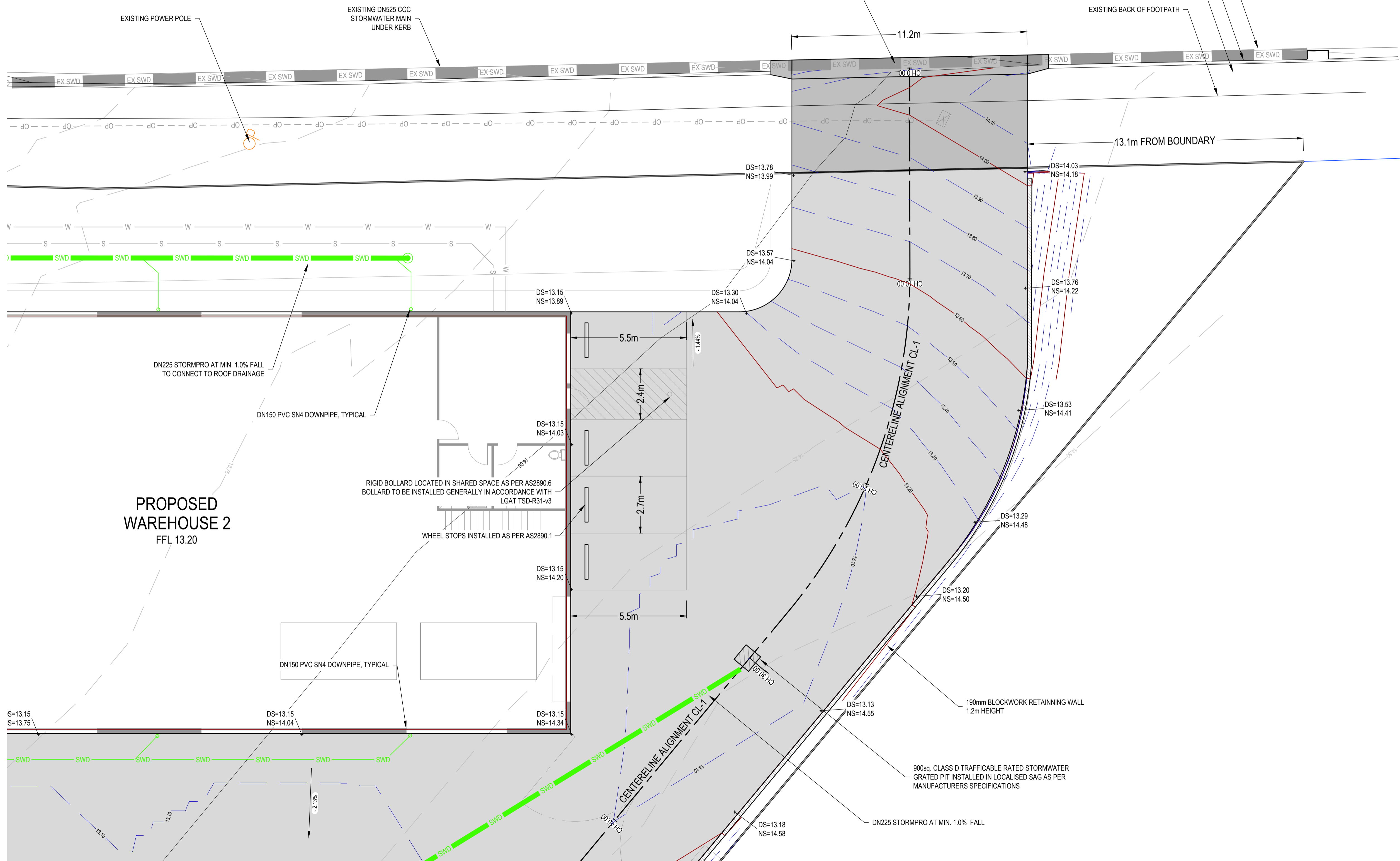


SHEET:	SITE PLAN
SCALE:	AS INDICATED
PROJECT No:	25 E 08 - 5

TOTAL SHEETS:	12	SIZE:	A1
SHEET:	C101	REV:	C

CHEROKEE DRIVE

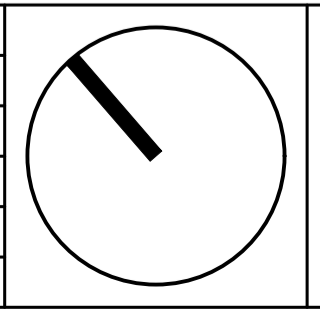
BREAK OUT AND REMOVE EXISTING KERB AND CHANNEL AND REPLACE WITH NEW CROSSOVER GENERALLY IN ACCORDANCE WITH LGAT TSD-R09-v3. CROSSOVER KERB TO BE TYPE KCR AS PER LGAT TSD-R16-v3



STORMWATER LEGEND	
	PVC STORMWATER DN150 SN8 U.N.O.
	SLOTTED PVC AG DRAIN
	TABLE DRAIN
	EXISTING STORMWATER
	STORMWATER MANHOLE
	SIDE ENTRY PIT TYPE 3, AS PER TSD-SW09-v3
	SIDE ENTRY PIT TYPE 5, AS PER TSD-SW12-v3
	SIDE ENTRY PIT TYPE 6, AS PER TSD-SW16-v3
	INSPECTION OPENING
	GRATED PIT
	GRATED TRENCH WITH PIT
SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJIMIN)
	EXISTING SURFACE CONTOUR (MAJIMIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING GAS
NOTES	
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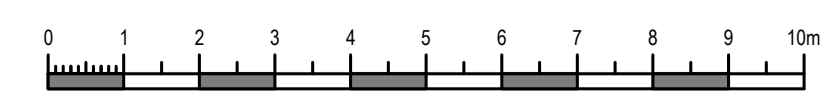
ROAD AND STORMWATER PLAN - SHEET 1
SCALE 1:100 (A1)

REV	ISSUE	DATE	APPROVAL
C	PLANNING APPROVAL	3/02/2026	DE
B	PLANNING APPROVAL	6/10/2025	DE
A	PRELIMINARY FOR COMMENT	3/10/2025	NM



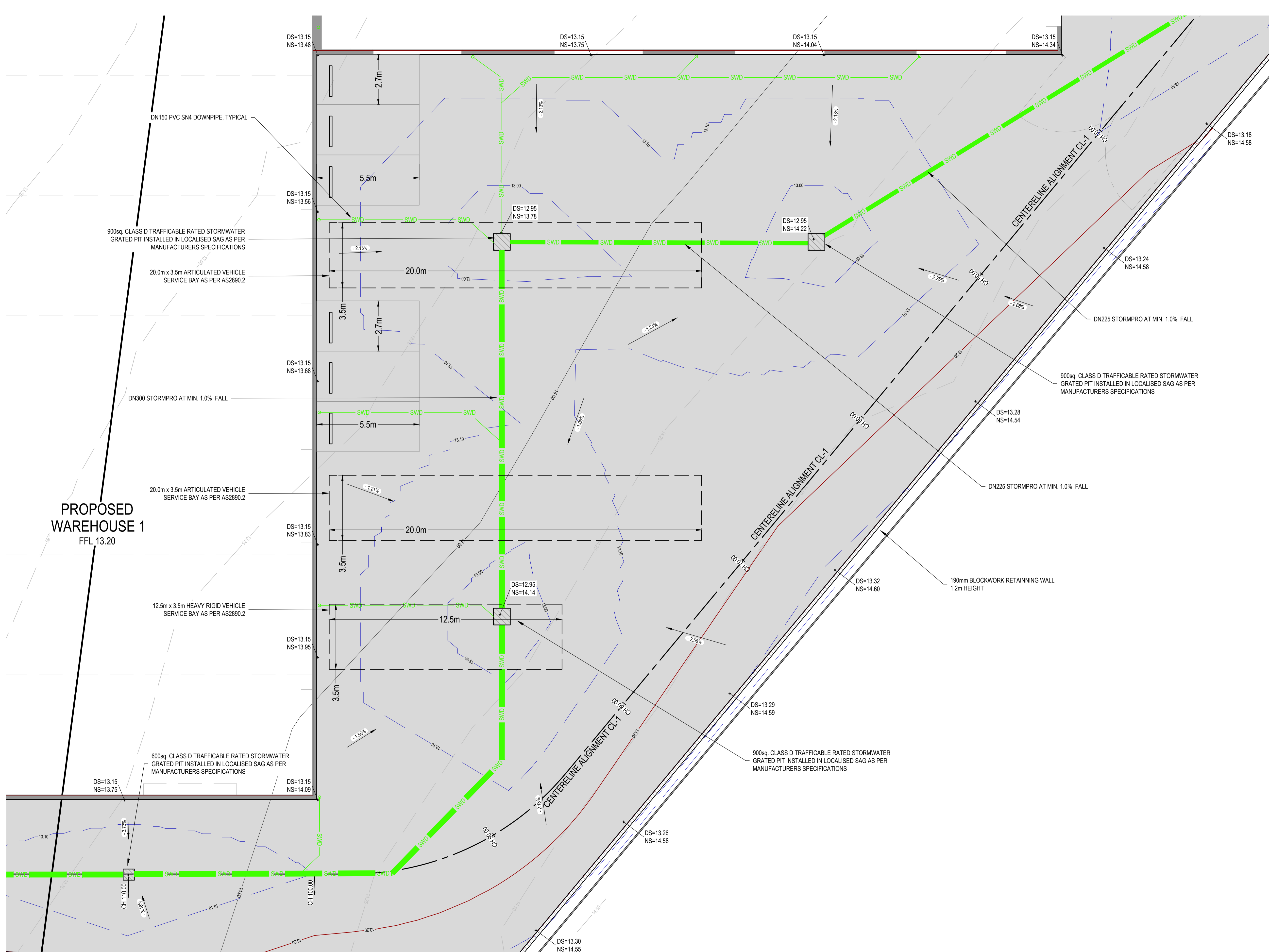
Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT:	DIREEN HOMES
ADDRESS:	7 & 9 CHEROKEE DRIVE CAMBRIDGE
CLIENT:	DIREEN HOMES



SHEET:	ROAD AND STORMWATER PLAN - SHEET 1		
SCALE:	AS INDICATED	TOTAL SHEETS:	12
PROJECT No:	25 E 08 - 5	SHEET:	C102
SIZE:	A1	REV:	C





STORMWATER LEGEND	
	PVC STORMWATER DN150 S/N8 U.N.O.
	SLOTTED PVC AG DRAIN
	TABLE DRAIN
	EXISTING STORMWATER
	STORMWATER MANHOLE
	SIDE ENTRY PIT TYPE 3, AS PER TSD-SW09-v3
	SIDE ENTRY PIT TYPE 5, AS PER TSD-SW12-v3
	SIDE ENTRY PIT TYPE 6, AS PER TSD-SW16-v3
	INSPECTION OPENING
	GRATED PIT
	GRATED TRENCH WITH PIT

SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJIMIN)
	EXISTING SURFACE CONTOUR (MAJIMIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING GAS

NOTES

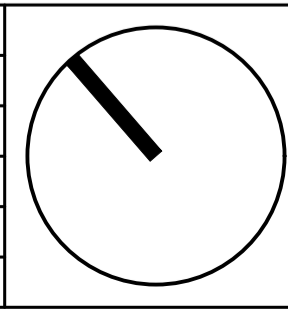
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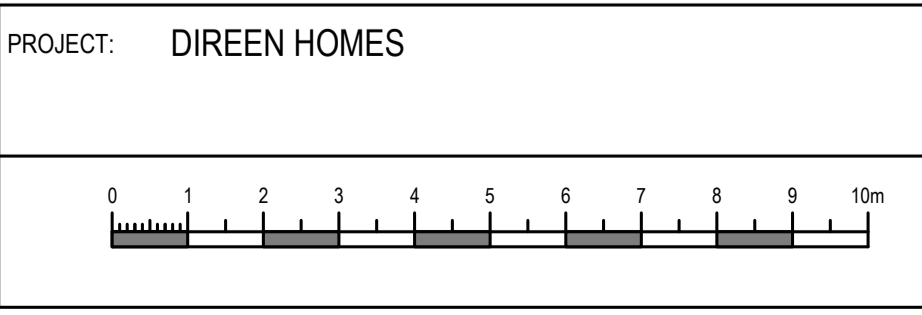
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ROAD AND STORMWATER PLAN - SHEET 2
SCALE 1:100 (A1)

REV	ISSUE	DATE	APPROVAL
C	PLANNING APPROVAL	3/02/2026	DE
B	PLANNING APPROVAL	6/10/2025	DE
A	PRELIMINARY FOR COMMENT	3/10/2025	NM



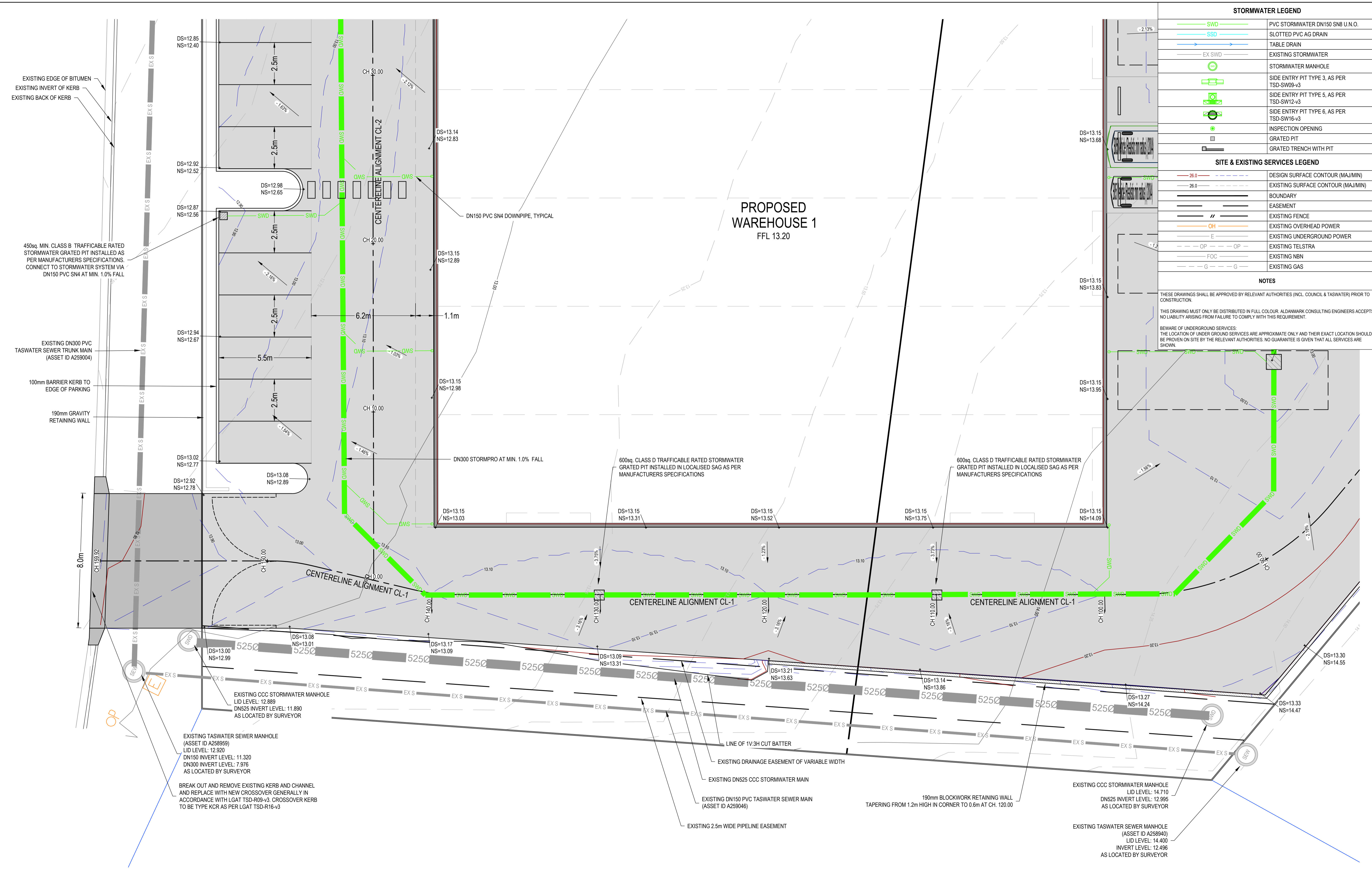
Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au



PROJECT:	DIREEN HOMES
ADDRESS:	7 & 9 CHEROKEE DRIVE CAMBRIDGE
CLIENT:	DIREEN HOMES

SHEET:	ROAD AND STORMWATER PLAN - SHEET 2		
SCALE:	AS INDICATED	TOTAL SHEETS:	12
PROJECT No:	25 E 08 - 5	SHEET:	C103
REV:	C	SIZE:	A1





STORMWATER LEGEND	
	PVC STORMWATER DN150 SN8 U.N.O.
	SLOTTED PVC AG DRAIN
	TABLE DRAIN
	EXISTING STORMWATER
	STORMWATER MANHOLE
	SIDE ENTRY PIT TYPE 3, AS PER TSD-SW09-v3
	SIDE ENTRY PIT TYPE 5, AS PER TSD-SW12-v3
	SIDE ENTRY PIT TYPE 6, AS PER TSD-SW16-v3
	INSPECTION OPENING
	GRATED PIT
	GRATED TRENCH WITH PIT

SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJIMIN)
	EXISTING SURFACE CONTOUR (MAJIMIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING GAS

NOTES

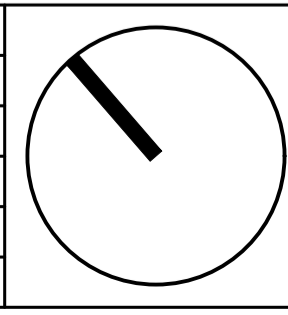
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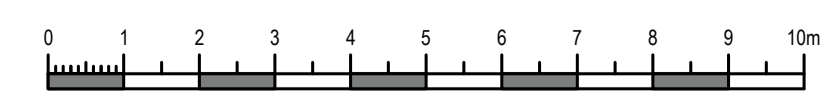
ROAD AND STORMWATER PLAN - SHEET 3
SCALE 1:100 (A1)

REV	ISSUE	DATE	APPROVAL
C	PLANNING APPROVAL	3/02/2026	DE
B	PLANNING APPROVAL	6/10/2025	NM
A	PRELIMINARY FOR COMMENT	3/10/2025	VERIFIED:



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mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT:	DIREEN HOMES
ADDRESS:	7 & 9 CHEROKEE DRIVE CAMBRIDGE
CLIENT:	DIREEN HOMES



SHEET:	ROAD AND STORMWATER PLAN - SHEET 3
SCALE:	AS INDICATED
TOTAL SHEETS:	12
SIZE:	A1
PROJECT No:	25 E 08 - 5
SHEET:	C104
REV:	C

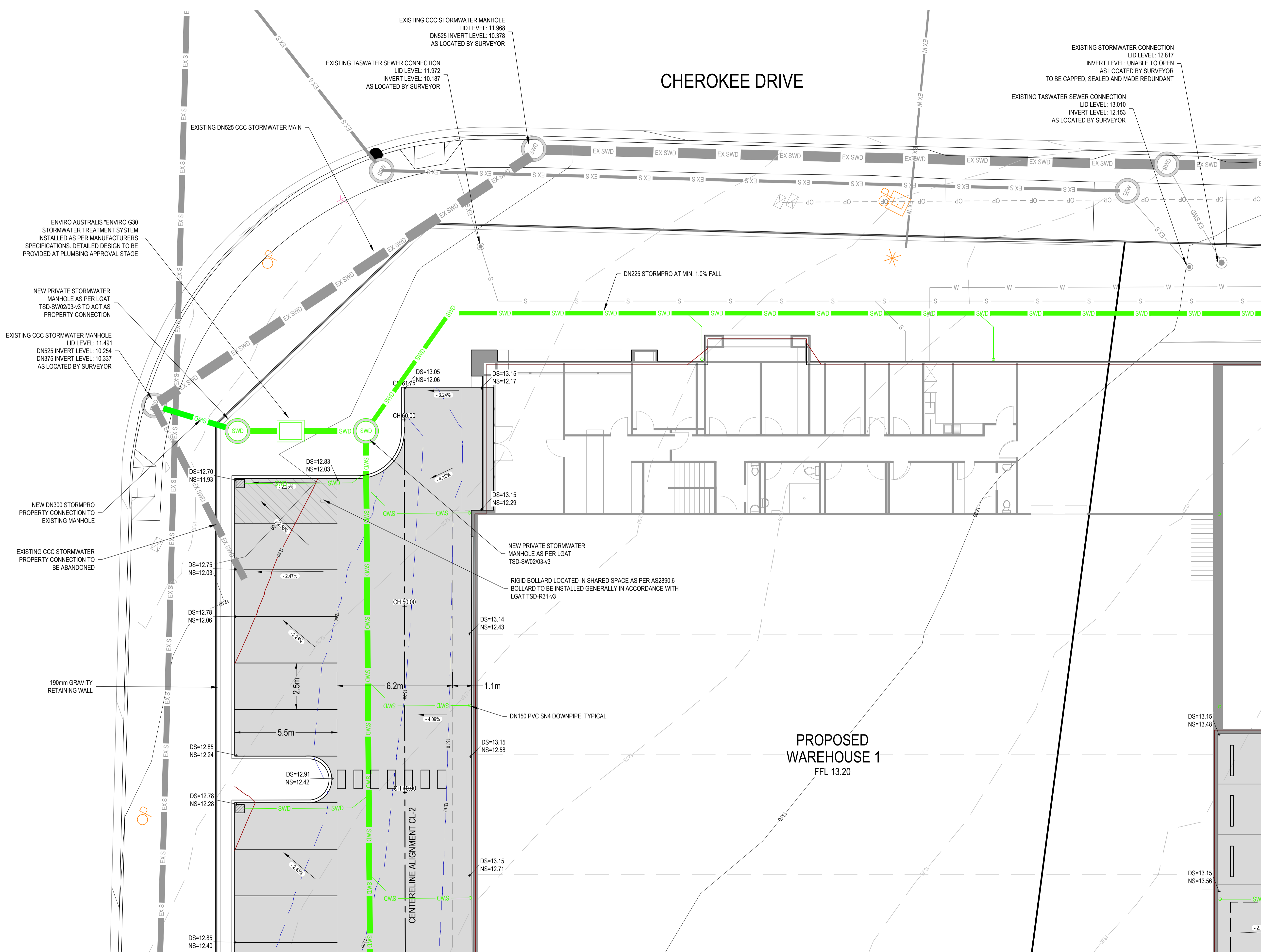


CHEROKEE DRIVE

STORMWATER LEGEND	
	SWD PVC STORMWATER DN150 SN8 U.N.O.
	SSD SLOTTED PVC AG DRAIN
	TABLE DRAIN
	EX SWD EXISTING STORMWATER
	STORMWATER MANHOLE
	SIDE ENTRY PIT TYPE 3, AS PER TSD-SW09-v3
	SIDE ENTRY PIT TYPE 5, AS PER TSD-SW12-v3
	SIDE ENTRY PIT TYPE 6, AS PER TSD-SW16-v3
	INSPECTION OPENING
	GRATED PIT
	GRATED TRENCH WITH PIT

SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJIMIN)
	EXISTING SURFACE CONTOUR (MAJIMIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING GAS

NOTES	
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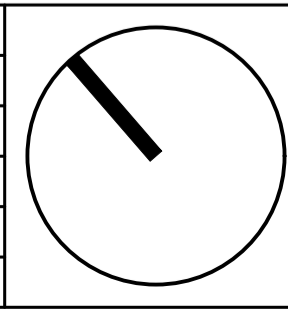


PROPOSED WAREHOUSE 2
FFL 13.20

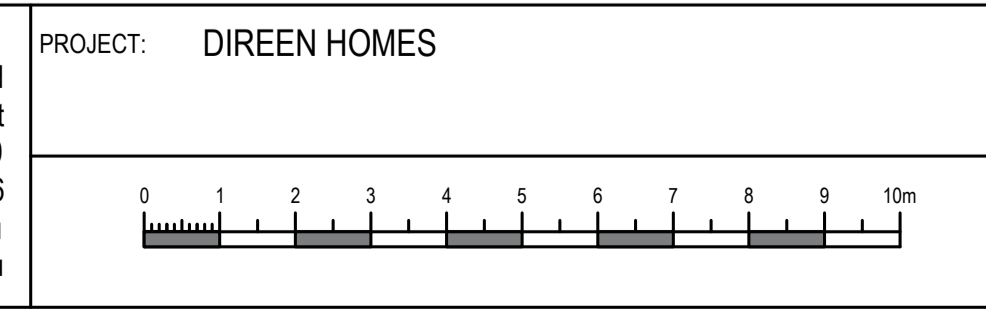
PROPOSED WAREHOUSE 1
FFL 13.20

ROAD AND STORMWATER PLAN - SHEET 4
SCALE 1:100 (A1)

REV	ISSUE	DATE	APPROVAL
C	PLANNING APPROVAL	3/02/2026	CHECKED: DE
B	PLANNING APPROVAL	6/10/2025	CHECKED: NM
A	PRELIMINARY FOR COMMENT	3/10/2025	VERIFIED: DE



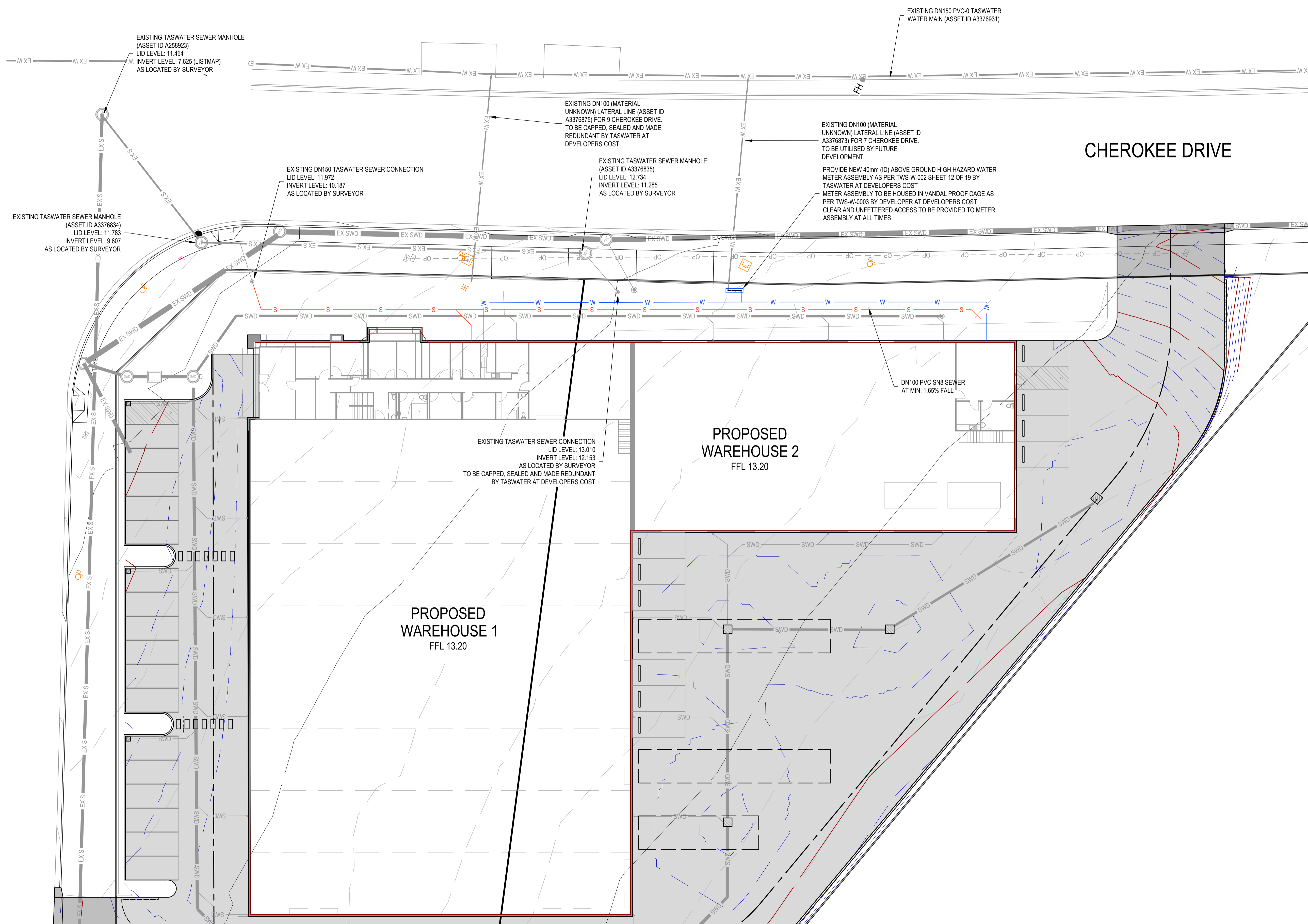
Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au



PROJECT: DIREEN HOMES
ADDRESS: 7 & 9 CHEROKEE DRIVE CAMBRIDGE
CLIENT: DIREEN HOMES

SHEET: ROAD AND STORMWATER PLAN - SHEET 4	SCALE: AS INDICATED	TOTAL SHEETS: 12	SIZE: A1
PROJECT No: 25 E 08 - 5	SHEET: C105	REV: C	





SEWER LEGEND	
	uPVC SEWER DN100 SN6 U.N.O.
	EXISTING SEWER
	SEWER MAINTENANCE HOLE 10500 AS PER MRWA-S-307
	MAINTENANCE SHAFT
	SEWER FIXTURE
	INSPECTION OPENING
	INSPECTION OPENING TO SURFACE
	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER

WATER SERVICES LEGEND	
	DN150 O-PVC PN16 WATER MAIN OR APPROVED EQUIVALENT UNO
	HDPE WATER
	EXISTING WATER MAIN
	250D POLY (20ID) CONNECTION WITH 20mm WATER METER INCL. OF BACKFLOW PREVENTION AS PER TWS-W-0002
	DN100 CONDUIT TO ROAD CROSSING
	CHECK VALVE
	WATER VALVE
	HYDRANT

SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJ/MIN)
	EXISTING SURFACE CONTOUR (MAJ/MIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING GAS

NOTES

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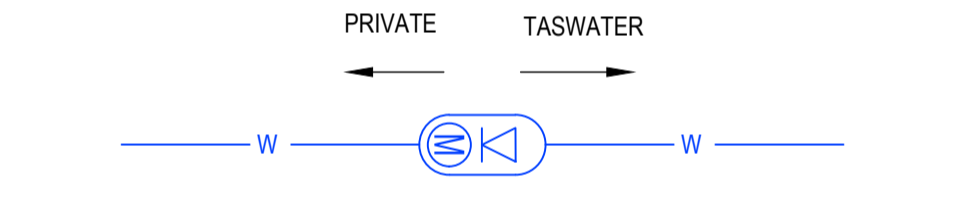
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WATER & SEWER NOTES

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 - 2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02 - 2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES

WATER METER ASSEMBLY TO BE HOUSED IN VANDAL PROOF CAGE AS PER TWS-W-0003. DEVELOPER TO LIAISE WITH TASWATER FOR SUPPLY OF ABOUY LOCK AND PIN AT DEVELOPERS COST

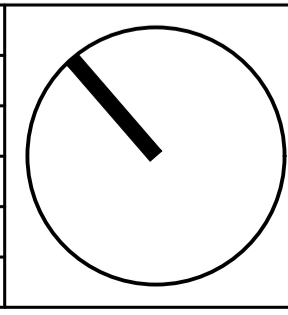


GENERAL NOTES:

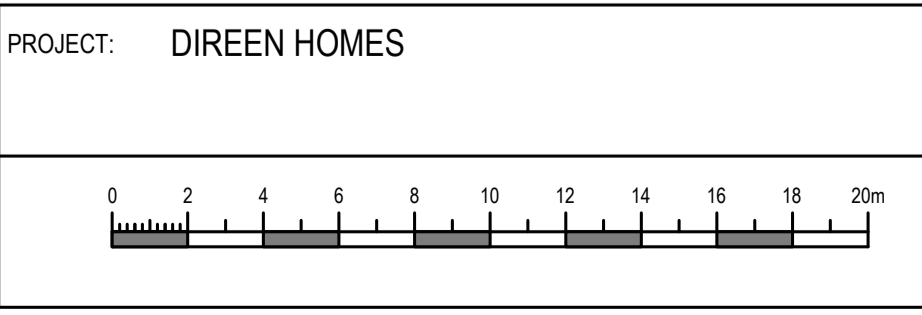
- TWO LOTS TO BE ADHERED TO FORM ONE SINGLE LOT
- WATER METER ASSEMBLY TO BE POSITIONED SUCH THAT IS NOT BEHIND A FENCE OR PERMANENTLY CLOSED GATE

SEWER AND WATER PLAN - SHEET 1
SCALE 1:200 (A1)

REV	ISSUE	DATE	APPROVAL
C	PLANNING APPROVAL	3/02/2026	DE
B	PLANNING APPROVAL	6/10/2025	NM
A	PRELIMINARY FOR COMMENT	3/10/2025	DE



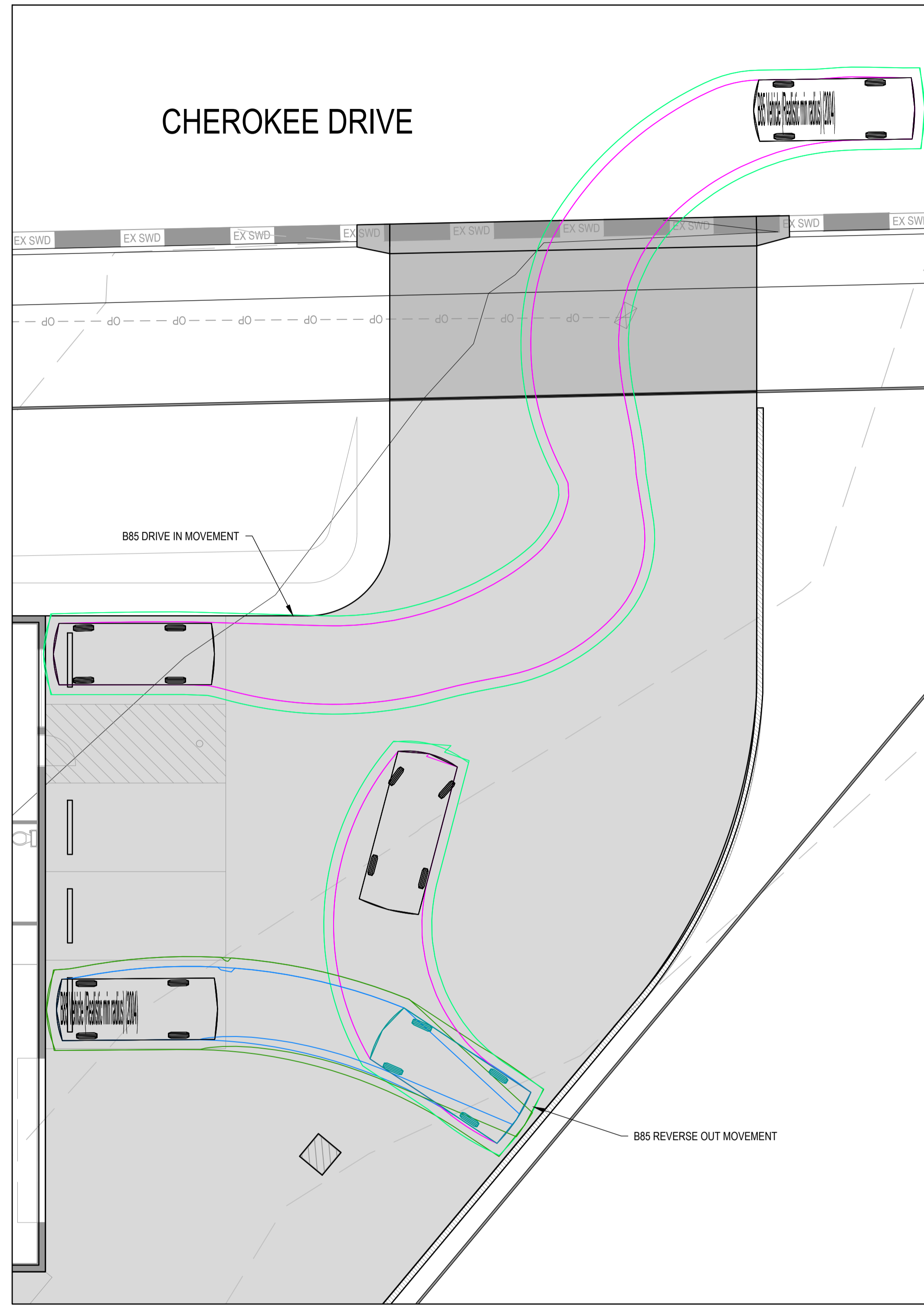
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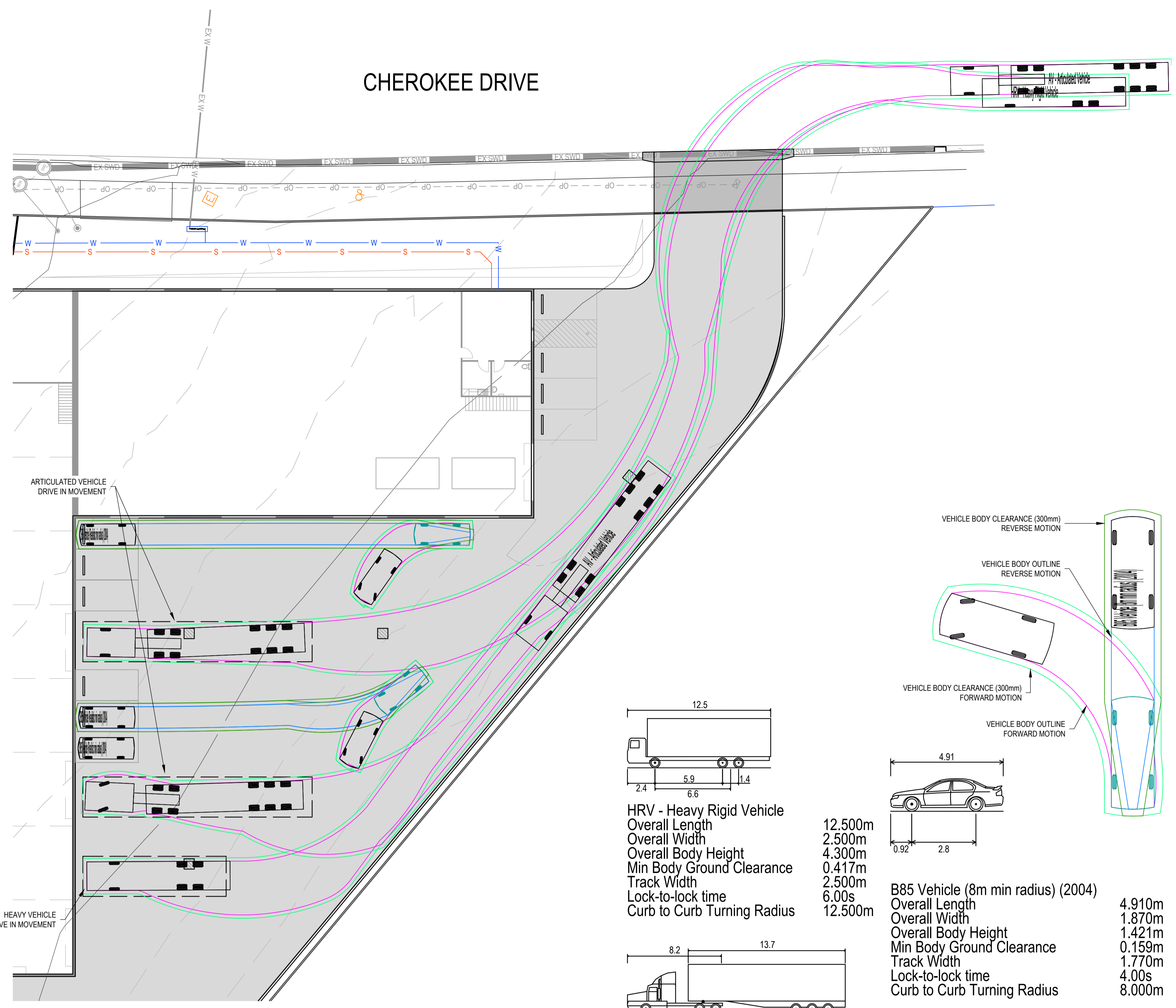
PROJECT: DIREEN HOMES
ADDRESS: 7 & 9 CHEROKEE DRIVE CAMBRIDGE
CLIENT: DIREEN HOMES

SHEET: SEWER AND WATER PLAN	SCALE: AS INDICATED	TOTAL SHEETS: 12	SIZE: A1
PROJECT No: 25 E 08 - 5	SHEET: C106	REV: C	

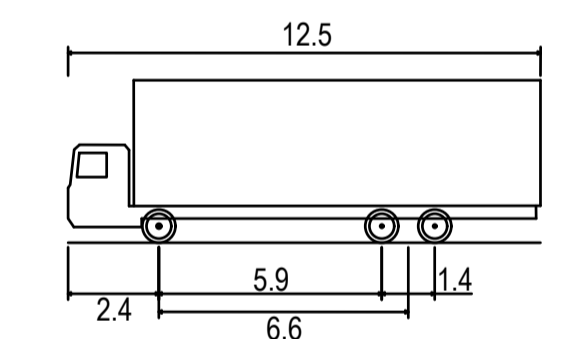




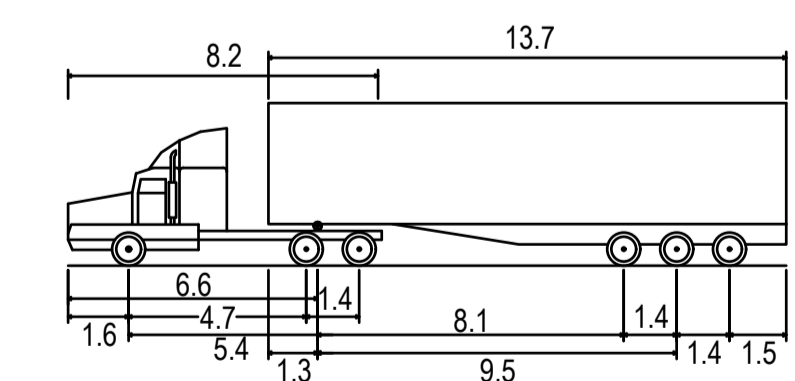
B85 TURNING
SCALE 1:100 (A1)



ARTICULATED/HEAVY VEHICLE TURNING
SCALE 1:200 (A1)



HRV - Heavy Rigid Vehicle
 Overall Length 12.500m
 Overall Width 2.500m
 Overall Body Height 4.300m
 Min Body Ground Clearance 0.417m
 Track Width 2.500m
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 12.500m

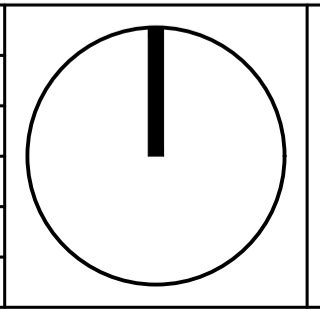


B85 Vehicle (8m min radius) (2004)
 Overall Length 4.910m
 Overall Width 1.870m
 Overall Body Height 1.421m
 Min Body Ground Clearance 0.159m
 Track Width 1.770m
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 8.000m

VEHICLE TURNPATH - LEGEND
 SCALE 1:100 (A1)
 FROM AUTOCAD CIVIL 3D VEHICLE TRACKING SOFTWARE

TURNPATH PLAN - SHEET 1
SCALE AS INDICATED

REV	ISSUE	DATE	APPROVAL
C	PLANNING APPROVAL	3/02/2026	
			DRAWN: DE CHECKED: NM DESIGN: DE CHECKED: NM VERIFIED:

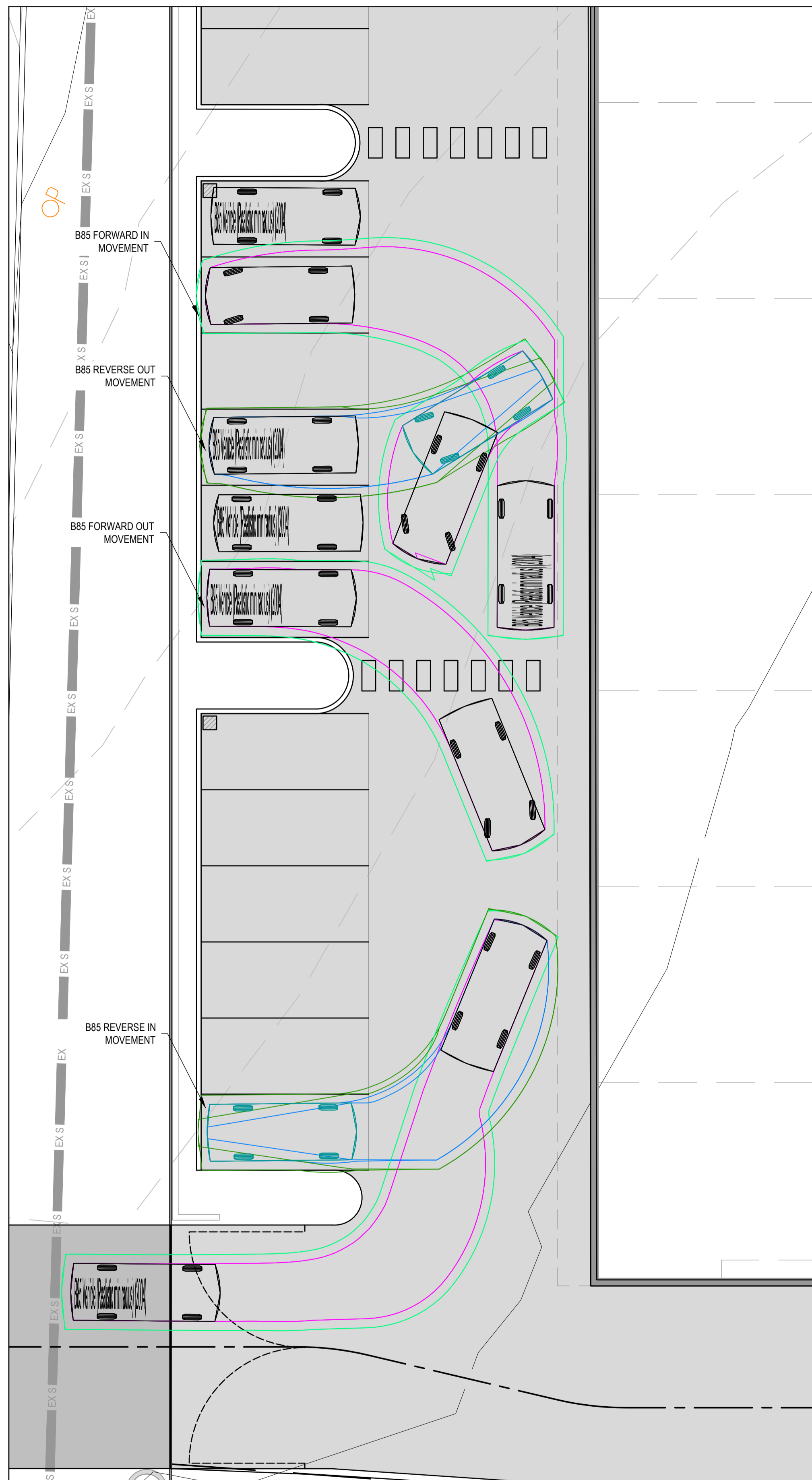


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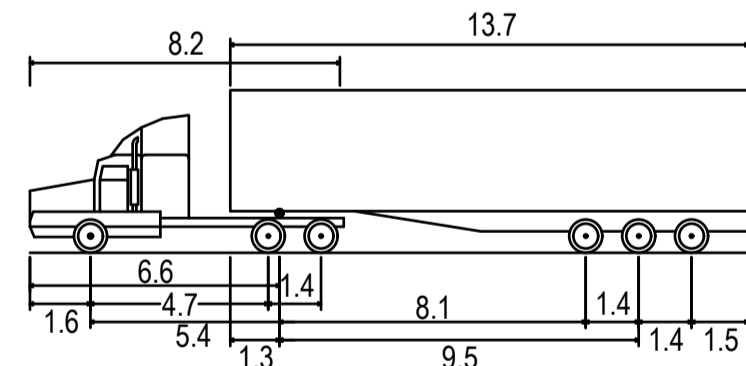
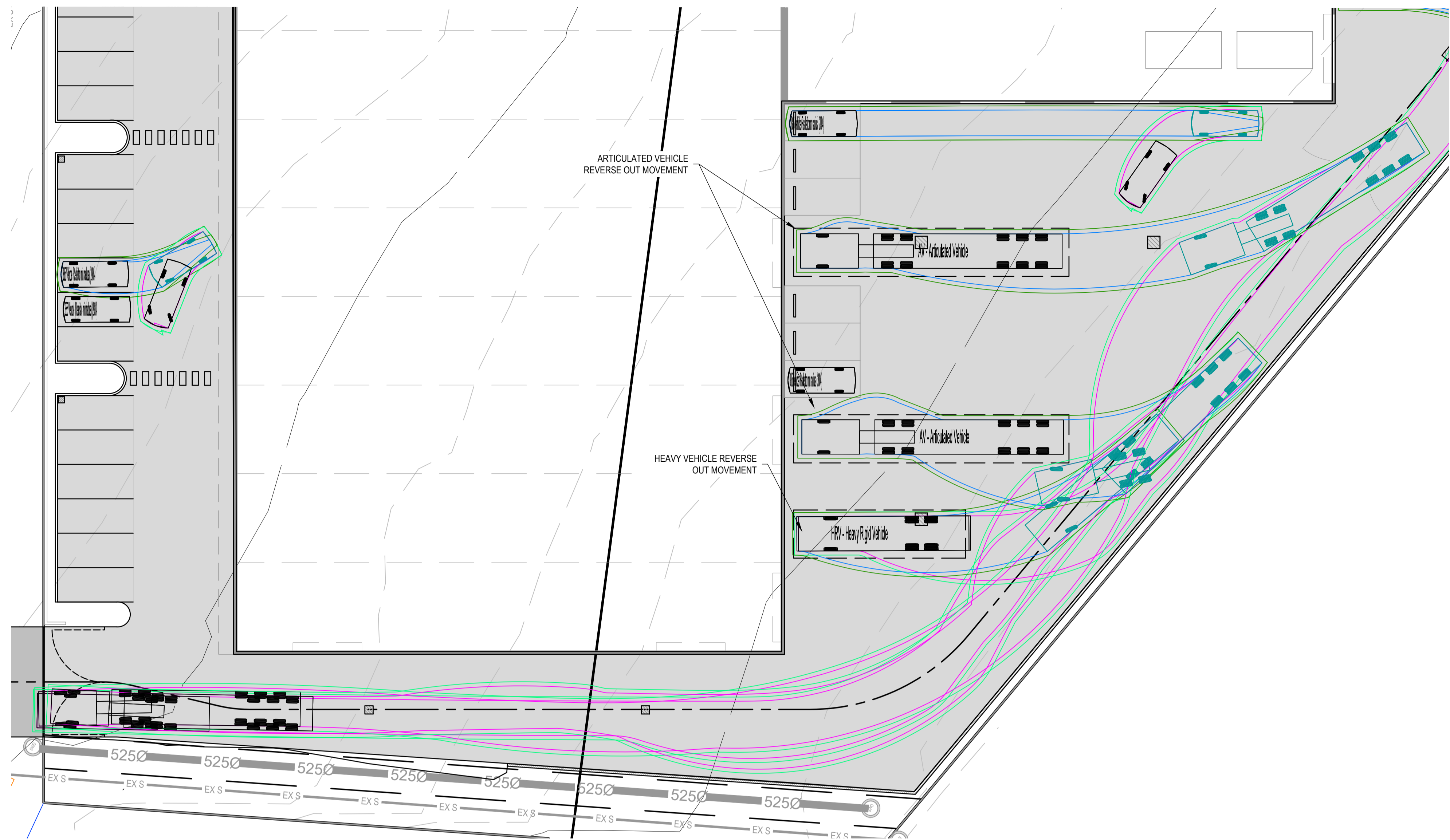
PROJECT:	DIREEN HOMES
ADDRESS:	7 & 9 CHEROKEE DRIVE CAMBRIDGE
CLIENT:	DIREEN HOMES
	AS INDICATED

SHEET:	TURNPATH PLAN - SHEET 1
SCALE:	AS INDICATED
TOTAL SHEETS:	12
SIZE:	A1
PROJECT No:	25 E 08 - 5
SHEET:	C107
REV:	C

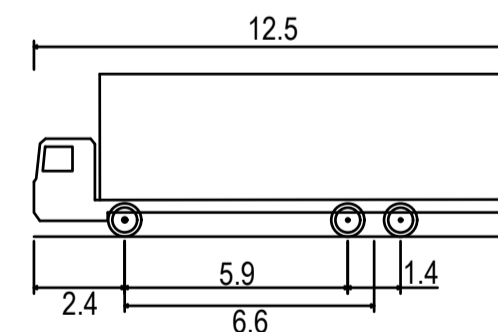
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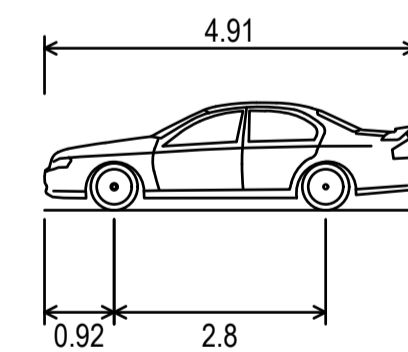
B85 TURNING
SCALE 1:100 (A1)



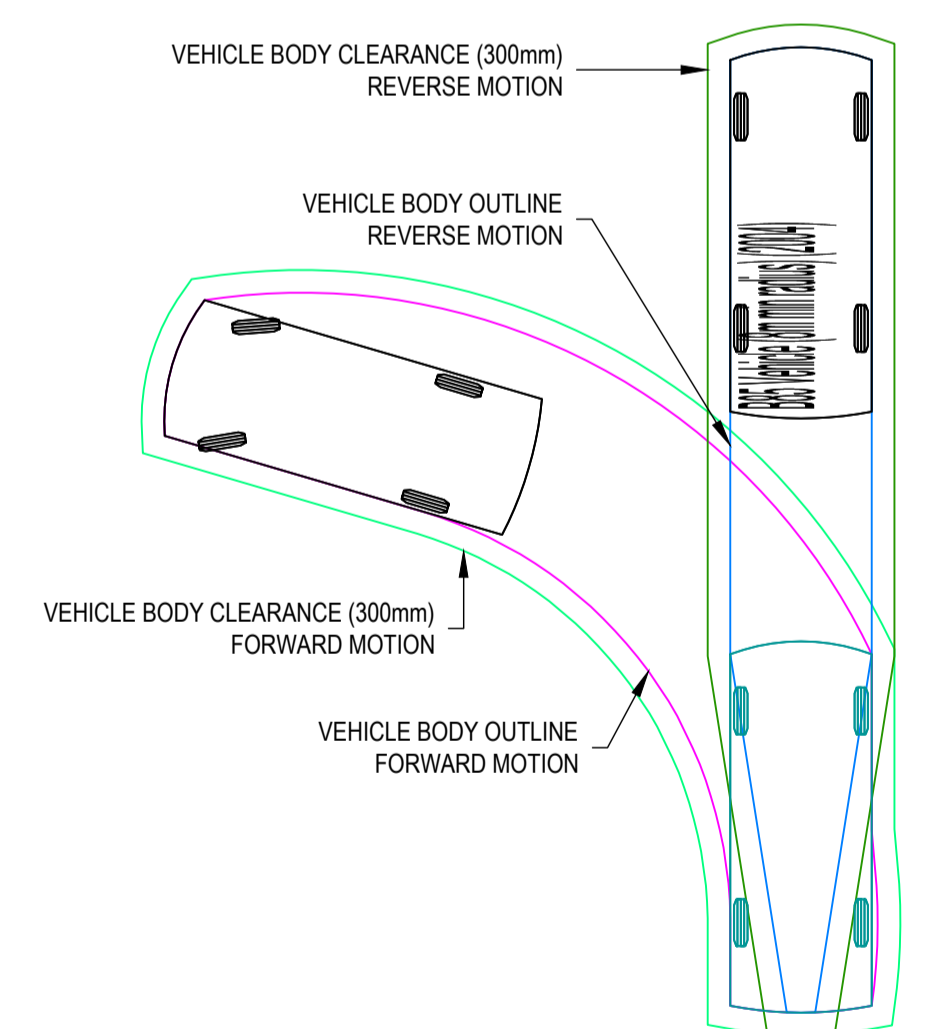
AV - Articulated Vehicle
 Overall Length 19.000m
 Overall Width 2.500m
 Overall Body Height 4.301m
 Min Body Ground Clearance 0.418m
 Track Width 2.500m
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 12.500m



HRV - Heavy Rigid Vehicle
 Overall Length 12.500m
 Overall Width 2.500m
 Overall Body Height 4.300m
 Min Body Ground Clearance 0.417m
 Track Width 2.500m
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 12.500m



B85 Vehicle (8m min radius) (2004)
 Overall Length 4.910m
 Overall Width 1.870m
 Overall Body Height 1.421m
 Min Body Ground Clearance 0.159m
 Track Width 1.770m
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 8.000m



VEHICLE TURNPATH - LEGEND

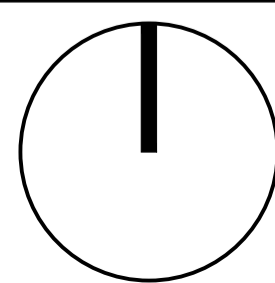
SCALE 1:100 (A1)
FROM AUTOCAD CIVIL 3D VEHICLE TRACKING SOFTWARE

NOTES

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TURNPATH PLAN - SHEET 2
SCALE AS INDICATED

REV	ISSUE	DATE	APPROVAL
C	PLANNING APPROVAL	3/02/2026	DE
			NM
			DE
			NM



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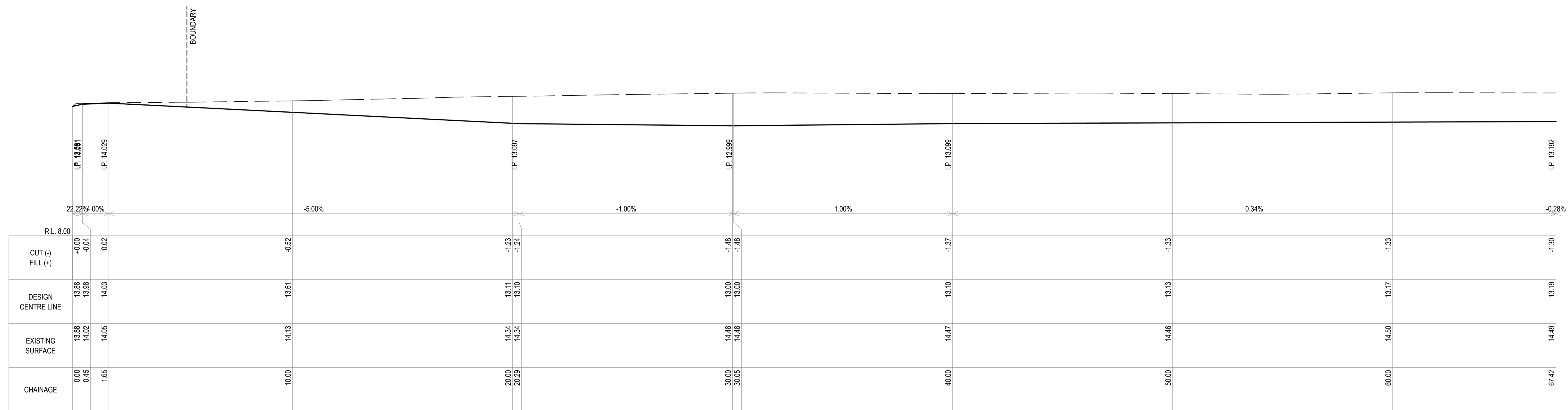
PROJECT: DIREEN HOMES
ADDRESS: 7 & 9 CHEROKEE DRIVE CAMBRIDGE
CLIENT: DIREEN HOMES
AS INDICATED

PROJECT No: 25 E 08 - 5
SHEET: C108
REV: C

SCALE: AS INDICATED	TOTAL SHEETS: 12	SIZE: A1
PROJECT No: 25 E 08 - 5	SHEET: C108	REV: C

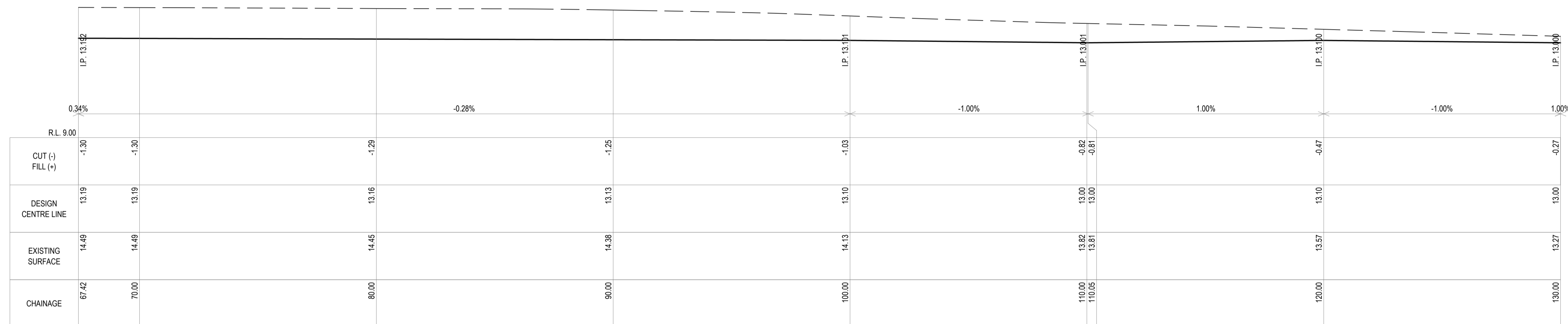
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CENTRELINE ALIGNMENT CL-1: CH. 0.00 TO CH. 67.421

From 0.000m To 67.421m Scales: H 1:100 V 1:100



CENTRELINE ALIGNMENT CL-1: CH. 37.421 TO CH. 130.00

From 67.421m To 130.000m Scales: H 1:100 V 1:100

LONG SECTIONS - SHEET 1
SCALE 1:100 (A1)

REV	ISSUE	DATE	APPROVAL
			DRAWN: DE
			CHECKED: NM
C	PLANNING APPROVAL	3/02/2026	DESIGN: DE
B	PLANNING APPROVAL	6/10/2025	CHECKED: NM
A	PRELIMINARY FOR COMMENT	3/10/2025	VERIFIED:



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PROJECT: DIREEN HOMES

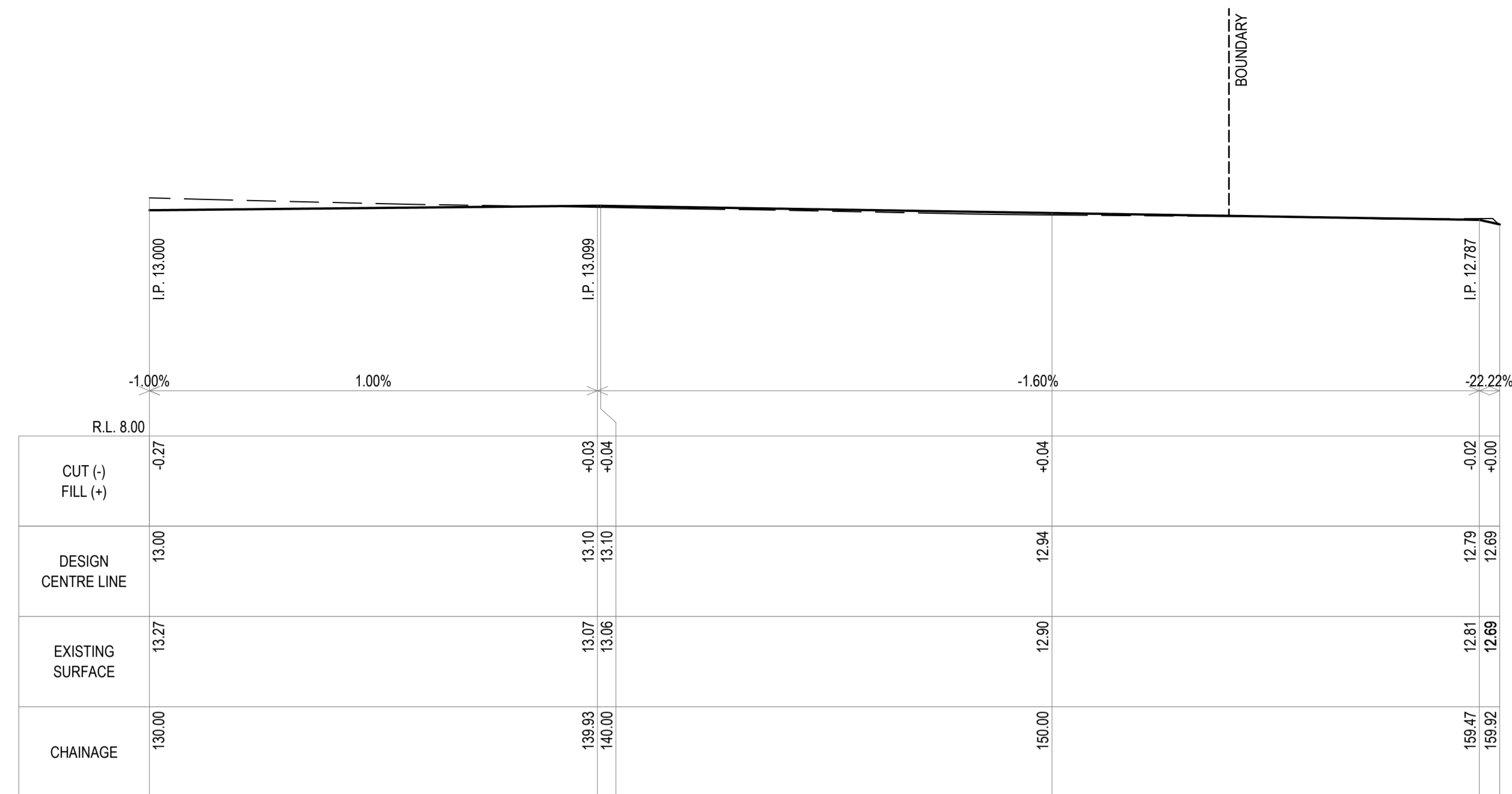
ADDRESS: 7 & 9 CHEROKEE DRIVE CAMBRIDGE

CLIENT: DIREEN HOMES

SHEET: LONG SECTIONS - SHEET 1	
SCALE: AS INDICATED	TOTAL SHEETS: 12
PROJECT No: 25 E 08 - 5	SHEET: C201
SIZE: A1	REV: C

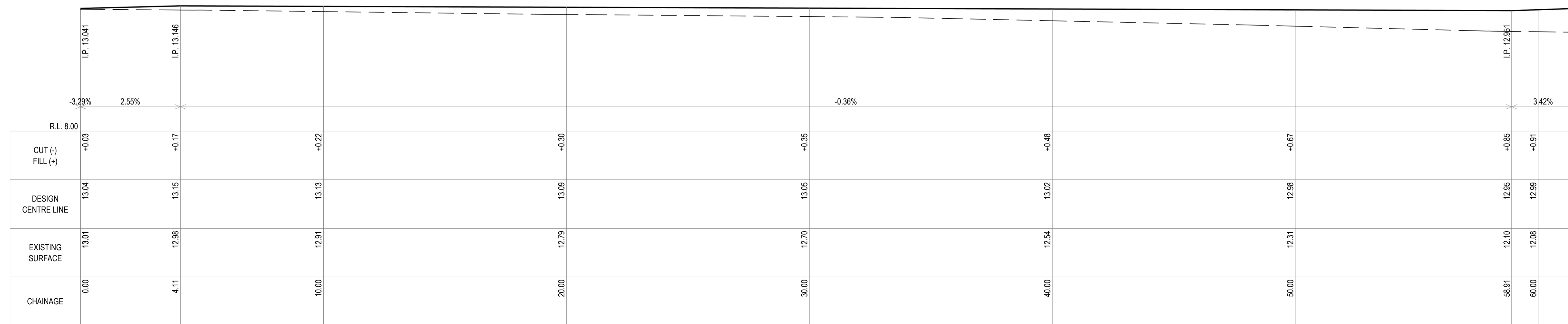
NOTES

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CENTRELINE ALIGNMENT CL-1: CH. 130.00 TO CH. 159.923

From 130.000m To 159.923m Scales: H 1:100 V 1:100



CENTRELINE ALIGNMENT CL-2: CH. 0.00 TO CH. 61.753

From 0.000m To 61.753m Scales: H 1:100 V 1:100

LONG SECTIONS - SHEET 2

SCALE 1:100 (A1)

REV	ISSUE	DATE	APPROVAL
A	PRELIMINARY FOR COMMENT	3/10/2025	VERIFIED:
B	PLANNING APPROVAL	6/10/2025	CHECKED: NM
C	PLANNING APPROVAL	3/02/2026	DESIGN: DE

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PROJECT: DIREEN HOMES

ADDRESS: 7 & 9 CHEROKEE DRIVE
CAMBRIDGE

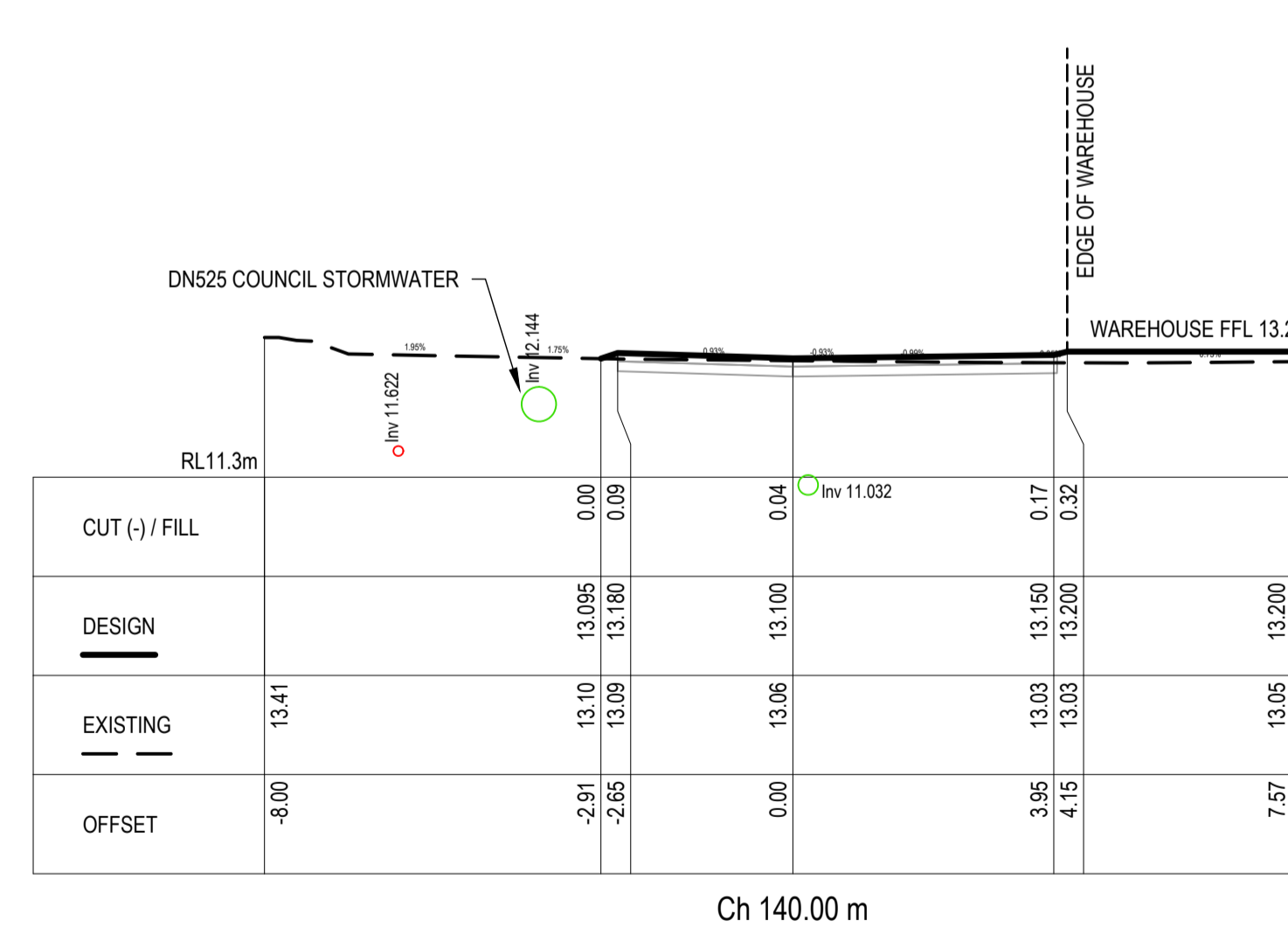
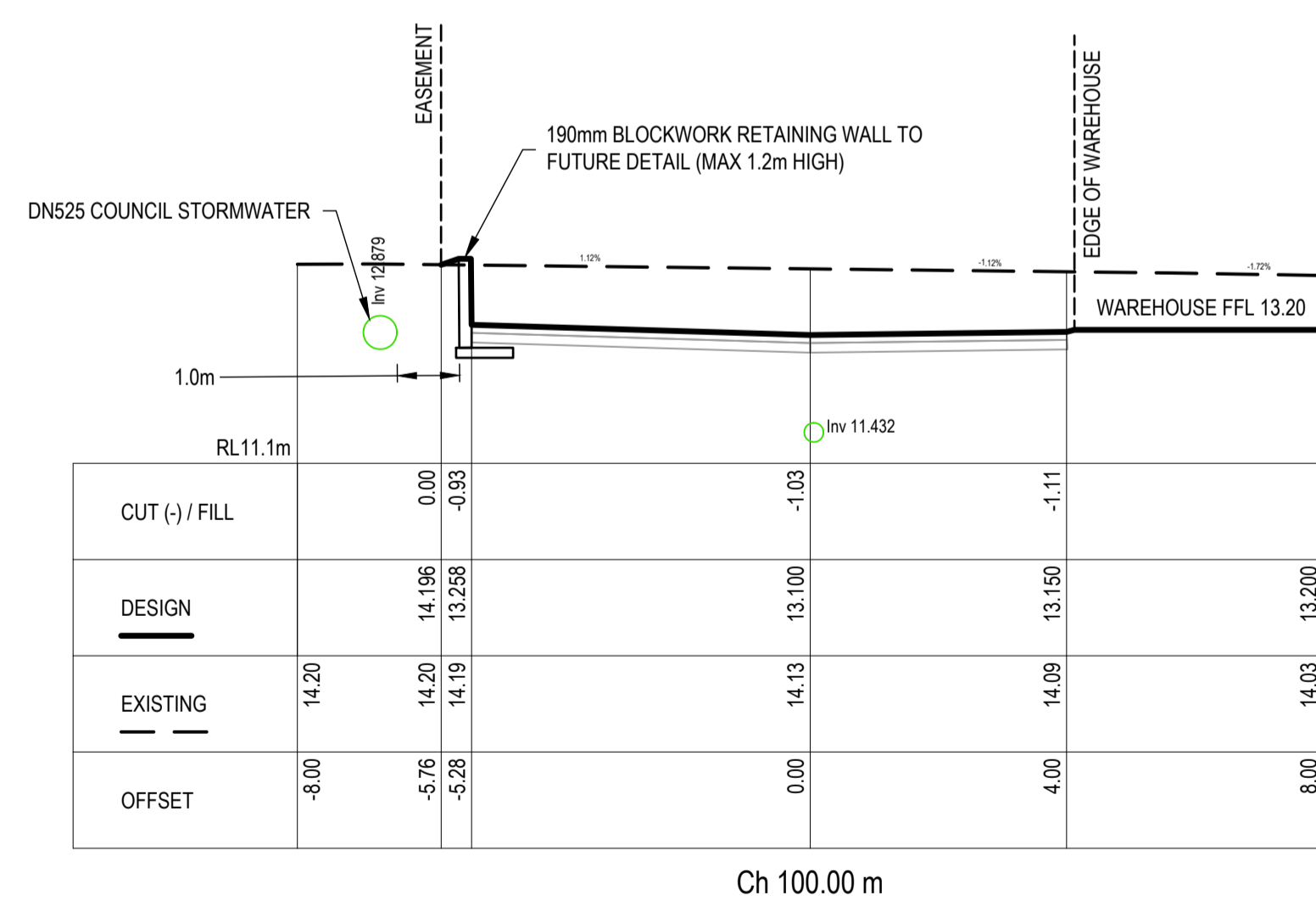
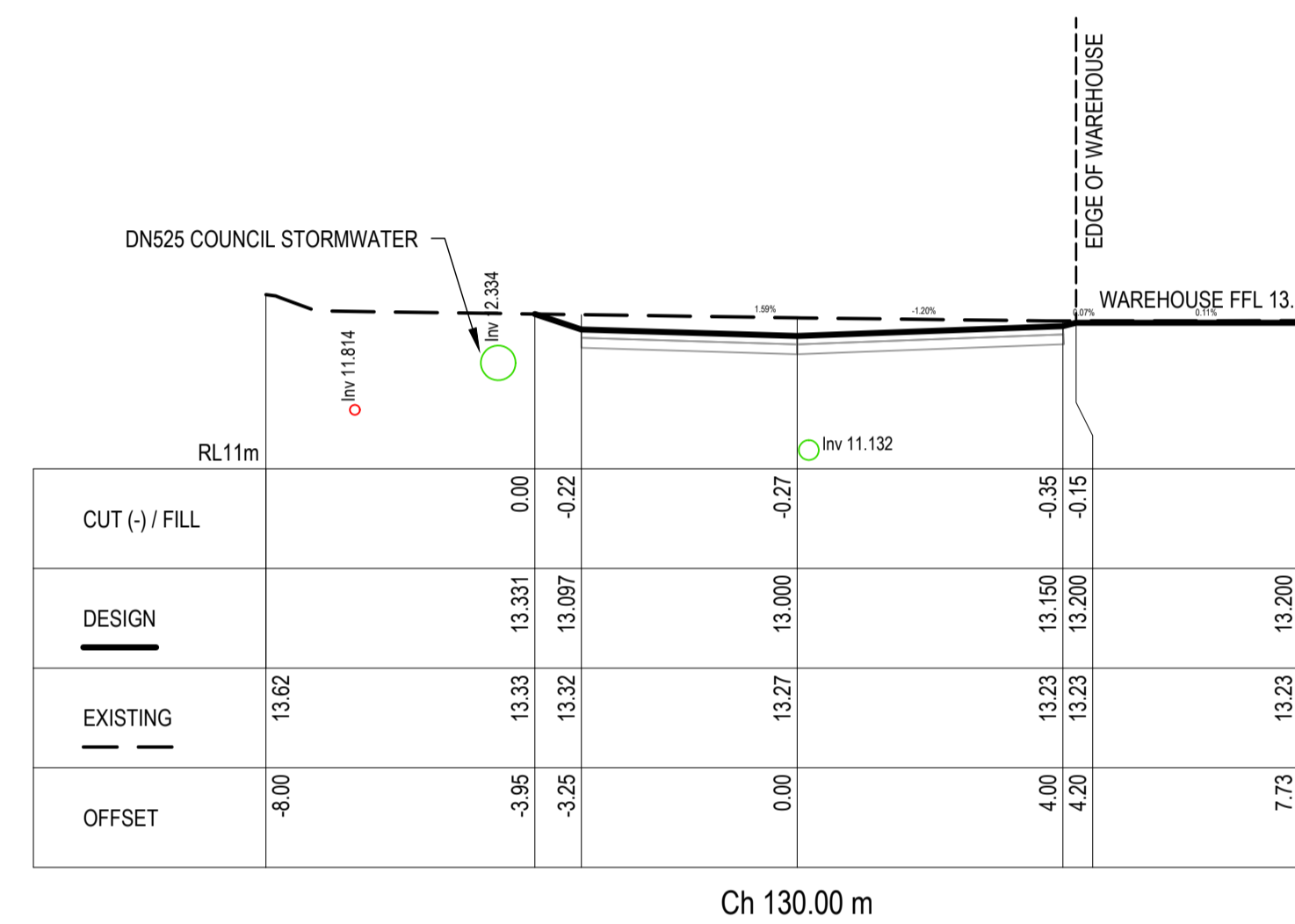
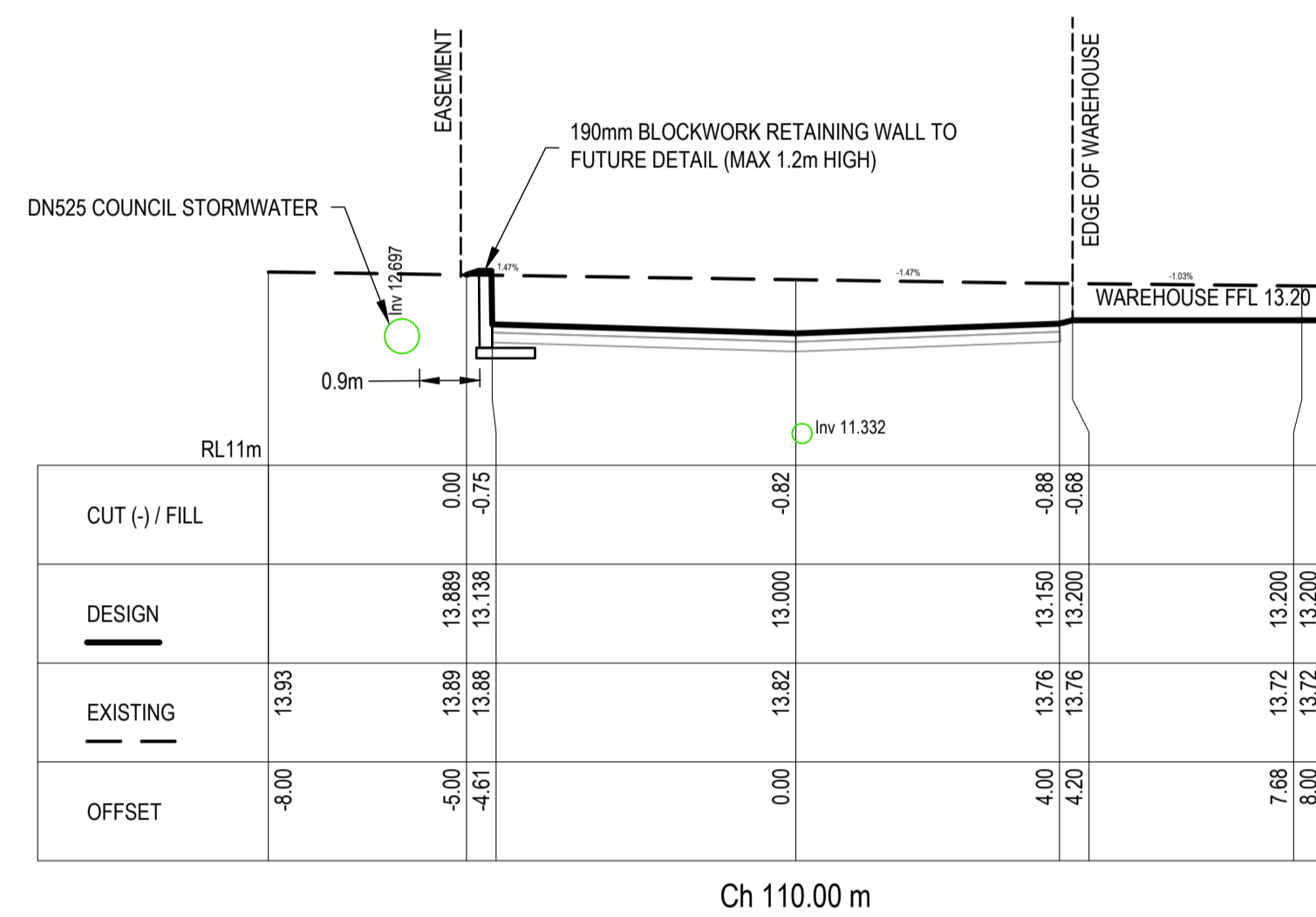
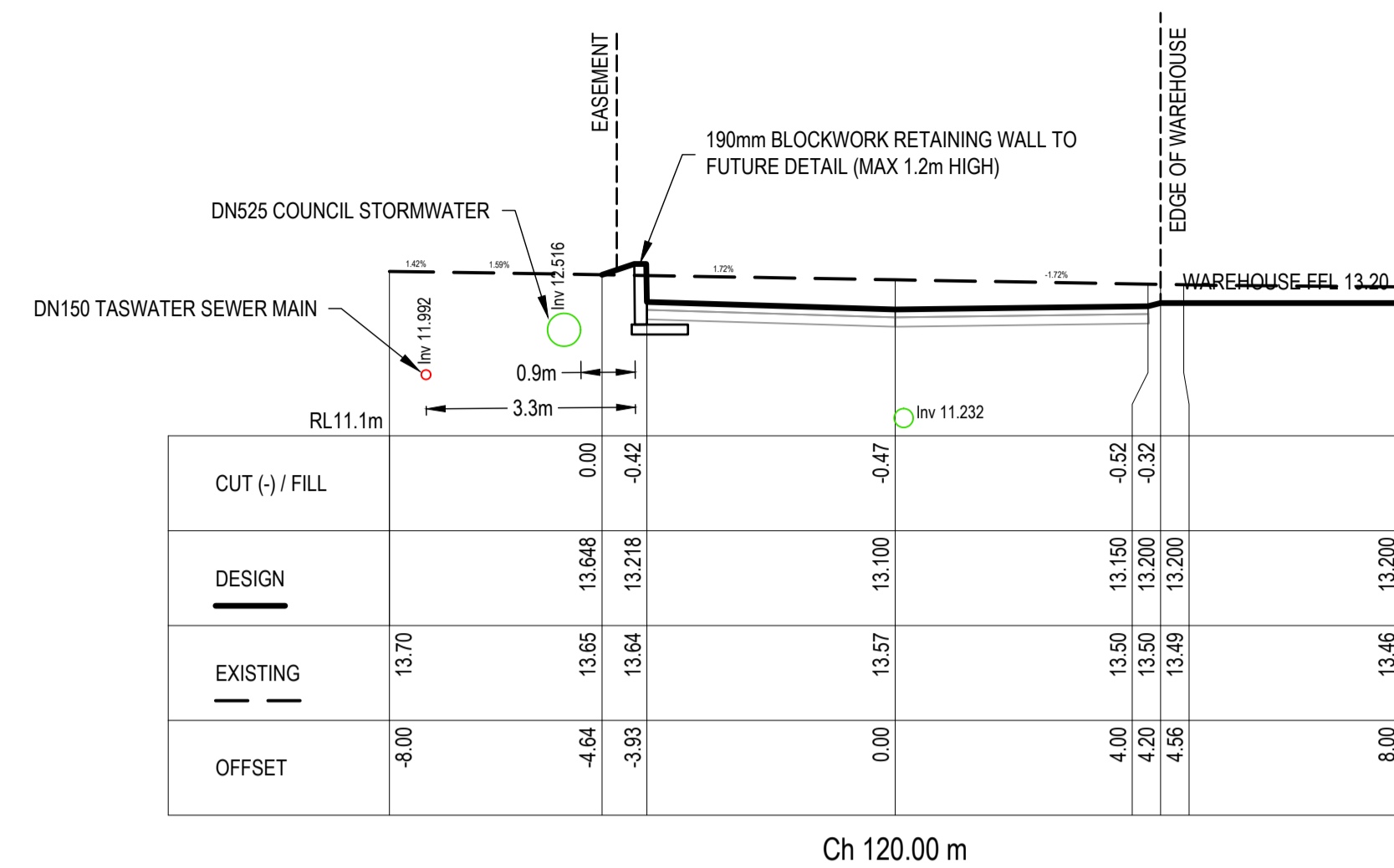
CLIENT: DIREEN HOMES

H1:100
V1:100

SHEET: LONG SECTIONS - SHEET 2		
SCALE: AS INDICATED	TOTAL SHEETS: 12	SIZE: A1
PROJECT No: 25 E 08 - 5	SHEET: C202	REV: C

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CROSS SECTIONS
SCALE 1:100 (A1)

REV	ISSUE	DATE	APPROVAL
C	PLANNING APPROVAL	3/02/2026	DE
B	PLANNING APPROVAL	6/10/2025	NM
A	PRELIMINARY FOR COMMENT	3/10/2025	VERIFIED:

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CONSULTING ENGINEERS

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PROJECT: DIREEN HOMES

ADDRESS: 7 & 9 CHEROKEE DRIVE
CAMBRIDGE

CLIENT: DIREEN HOMES

SHEET: CROSS SECTIONS	SCALE: AS INDICATED	TOTAL SHEETS: 12	SIZE: A1
PROJECT No: 25 E 08 - 5	SHEET: C203	REV: C	