



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2026/059878**

**PROPOSAL:** Dwelling

**LOCATION:** 18 Ploughman Road, Howrah

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 04/05/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 04/05/2026. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 04/05/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

## Planning Application

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Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: [New Dwelling](#)

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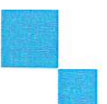
Location: [18 Ploughmans Road, Howrah](#)

**Personal Information Removed**

Is the property on the Tasmanian Heritage Register?

Yes  No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

N/A

Current use of site: **Vacant**

Does the proposal involve land administered or owned by the Crown or Council? Yes  No

#### Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

#### Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.



Date: 12 March 2026



## Planning Application checklist

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### Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

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- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

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### Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

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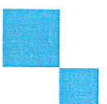
- Site analysis and site plan, including where relevant:
    - Existing and proposed use(s) on site.
    - Boundaries and dimensions of the site.
    - Topography, including contours showing AHD levels and major site features.
    - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
    - Soil type.
    - Vegetation types and distribution, and trees and vegetation to be removed.
    - Location and capacity of any existing services or easements on/to the site.
    - Existing pedestrian and vehicle access to the site.
    - Location of existing and proposed buildings on the site.
    - Location of existing adjoining properties, adjacent buildings and their uses.
    - Any natural hazards that may affect use or development on the site.
    - Proposed roads, driveways, car parking areas and footpaths within the site.
    - Any proposed open space, communal space, or facilities on the site.
- 



- Main utility service connection points and easements.
  - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
  - Private open space for each dwelling.
  - External storage spaces.
  - Car parking space location and layout.
  - Major elevations of every building to be erected.
  - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
  - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
  - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
  - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
  - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

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This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 187824	FOLIO 18
EDITION 1	DATE OF ISSUE 15-Nov-2024

SEARCH DATE : 27-Feb-2026

SEARCH TIME : 01.27 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 18 on Sealed Plan [187824](#)

Derivation : Part of 730 Acres Gtd. to Francis Butler & Justin

McCarthy Browne

Prior CT [176944/2](#)

SCHEDULE 1

[B775024](#) TRANSFER to TRANMERE POINT PTY LTD

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP187824](#) EASEMENTS in Schedule of Easements

[SP187824](#) FENCING PROVISION in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER: TRANMERE POINT PTY LTD</p> <p>FOLIO REFERENCE: CT.176944-2</p> <p>GRANTEE: PART OF 730 ACRES GRANTED TO FRANCIS BUTLER &amp; JUSTIN MCCARTHY BROWNE</p>	<p align="center"><b>PLAN OF SURVEY</b></p> <p align="center">BY SURVEYOR TIMOTHY LEIGH GOWLLAND  <b>ROGERSON AND BIRCH SURVEYORS</b>          UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK          PH 6248-5898 MOB. 0419-594-966</p> <p align="center"><b>CITY OF CLARENCE</b></p> <p>SCALE 1:1000      LENGTHS IN METRES</p>	<p>REGISTERED NUMBER  <b>SP187824</b></p> <p>APPROVED EFFECTIVE FROM <b>15 NOV 2024</b></p> <p><i>Deena</i>          Recorder of Titles</p>
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ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

**PRIORITY FINAL PLAN**



*Timothy Leigh Gowlland*  
 Registered Land Surveyor      **4-10-24**  
 Date

*Deena*  
 Council Delegate      **29.10.2024**  
 Date

<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	<b>SP 187824</b>

PAGE 1 OF 7 PAGES

**EASEMENTS AND PROFITS**

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**EASEMENTS**

Lot 15 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.

Lot 16 is:

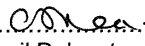
SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675 FOLIO REF: 176944/2 SOLICITOR & REFERENCE: GCYG 2203595	PLAN SEALED BY: <del>COUNCIL SEALING PLAN</del> DATE: 29 <sup>th</sup> October 2024 SD-2018/43 REF NO.
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CLARENCE CITY  
COUNCIL  
  
  
 Council Delegate  
 Clare Shea

**NOTE:** The Council Delegate must sign the Certificate for the purposes of identification.

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 2 OF 7 PAGES</p>	<p>Registered Number</p> <p><b>SP 187824</b></p>
<p>SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675 FOLIO REFERENCE: 176944/2</p>	

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.

Lot 17 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.

Lot 18 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of Drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.

Lot 19 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Pipeline & Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 2.50 WIDE on the Plan.

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.



**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 3 OF 7 PAGES</p>	<p>Registered Number</p> <p><b>SP 187824</b></p>
<p>SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675 FOLIO REFERENCE: 176944/2</p>	

Lot 20 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan

Lot 21 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 2.50 WIDE on the Plan.

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

Lot 22 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan

**FENCING PROVISION**

In respect to each lot shown on the Plan the Vendor (Tranmere Point Pty Ltd ACN 055 471 675) shall not be required to fence.

**DEFINITIONS**

“**Easement Land**” means the land which is subject to an easement in favour of TasWater.

“**Infrastructure**” means-

Infrastructure owned or for which TasWater is responsible and includes but is not limited to-

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;



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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 4 OF 7 PAGES</p>	<p>Registered Number</p> <p><b>SP 187824</b></p>
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- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“Owner” means the registered proprietors of the lot in the folio of the Register from time to time.

“Pipeline and Services Easement” means-

FIRSTLY, THE FULL RIGHT AND LIBERTY for the TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and



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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 5 OF 7 PAGES</p>	<p>Registered Number</p> <p><b>SP 187824</b></p>
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(8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

“**TasWater**” means the Tasmanian Water and Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors & assigns.

“**Electricity Infrastructure Easement**” means –

**FIRSTLY** all the full and free right and liberty for Aurora Energy Pty Ltd and its successors and its and their servants agents and contractors (hereinafter called “Aurora”) at all times hereafter:

- (1) **TO** maintain, lay, and install underground cables, in connection with the distribution of electricity (hereinafter called “electricity infrastructure”) of such materials and type as Aurora may determine under the land respectively marked “Electricity Infrastructure” on Plan 129646 (hereinafter called the “servient land”).
- (2) **TO** enter into and upon the servient land for the purpose of examining, operating, maintaining, repairing, modifying, adding to or replacing electricity infrastructure without doing unnecessary damage to the said servient land and making good all damage occasioned thereby.
- (3) **TO** erect fencing, signs, barriers or other protective structures upon the servient land if in the opinion of Aurora these are necessary for reasons of safety.
- (4) **TO** cause or permit electrical energy to flow or be transmitted or distributed through the electricity infrastructure.



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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 6 OF 7 PAGES</p>	<p>Registered Number</p> <p><b>SP 187824</b></p>
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- (5) **TO** enter into and upon the servient land for all or any of the above purposes with or without all necessary plant equipment and machinery and the means of transporting the same and if necessary and in consultation with the registered proprietor/s for the purpose of access and regress to and from the servient land.
- (6) **NOTHING** herein contained shall prevent the registered proprietor/s for themselves and their successors in title from using the servient land **PROVIDED THAT** such use does not derogate from this grant or, in the reasonable opinion of Aurora compromise the safe operation of Aurora electricity infrastructure located on, above or under the servient land.

**SECONDLY** the benefit of a covenant for Aurora and its successors with the registered proprietor/s for themselves and their successors in title of the servient land not to erect any buildings or place any structures or objects within the said easement without the prior written consent of Aurora to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement hereinbefore described.

“Vendor” means Tranmere Point Pty Ltd ACN 055 471 675.




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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 7 OF 7 PAGES</p>	<p>Registered Number</p> <p><b>SP 187824</b></p>
<p>SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675 FOLIO REFERENCE: 176944/2</p>	

Signed by **TRANMERE POINT PTY LTD ACN 005 471 675** by their Attorney **ANGELO PAVLIDES** under Power of Attorney PA38210 (and the said Angelo Pavlides declares that he has received no notice of revocation of the said Power of Attorney) as registered proprietor of the land comprised in Certificate of Title Volume 176944 Folio 2 in the presence of:



WITNESS: 

FULL NAME: **Gina Goh Chia Yii**

ADDRESS: **10 Victoria Street  
Hobart Tas 7000**

OCCUPATION: **awyer**

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UNREGISTERED AND RECENTLY REGISTERED DEALINGS REPORT

SEARCH DATE : 12-Mar-2026

SEARCH TIME : 12:22 pm

CT: 187824/18

<u>Lodge Date</u>	<u>Type</u>	<u>DealingNo</u>	<u>Reg Date</u>
11-Mar-2026	PRIORITY	N161589	

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Search covers any dealings registered in the last 90 days and any dealings yet to be registered.

UNREGISTERED DEALINGS REPORT

SEARCH DATE : 12-Mar-2026

SEARCH TIME : 12:22 pm

CT: 187824/18

N161589 PRIORITY NOTICE reserving priority for 90 days  
TRANSFER TRANMERE POINT PTY LTD to JOY GRACE SEVILLA  
CHENG and PATRICK ADRIAN CHENG  
MORTGAGE JOY GRACE SEVILLA CHENG and PATRICK ADRIAN  
CHENG to WESTPAC BANKING CORPORATION Lodged by TAS  
CONVEYANCING PTY LTD on 11-Mar-2026 BP: N161589

# PROPOSED RESIDENCE

## 18 PLOUGHMAN ROAD

### HOWRAH

JOY SEVILLA

#### GENERAL PROJECT INFORMATION

TITLE REFERENCE: 187824/18  
SITE AREA: 701m<sup>2</sup>  
DESIGN WIND SPEED: TBC  
SOIL CLASSIFICATION: TBC  
CLIMATE ZONE: 7  
ALPINE AREA: NO  
CORROSIVE ENVIRONMENT: TBC  
BAL RATING: EXEMPT  
OTHER KNOWN HAZARDS: NONE.

#### BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	SOIL & WATER MANAGEMENT PLAN
05	FLOOR PLAN
06	ROOF PLAN
07	ELEVATIONS
08	ELEVATIONS
09	DOOR AND WINDOW SCHEDULES
10	PERSPECTIVES



FEBRUARY 2026

**SURVEY NOTES:**

- WHILE ALL REASONABLE EFFORT HAS BEEN MADE TO LOCATE ALL VISIBLE ABOVE GROUND SERVICES, THERE MAY BE OTHER SERVICES WHICH WERE NOT LOCATED DURING THE FIELD SURVEY.
- THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY EXISTING TITLE DIMENSIONS AND OCCUPATION (WHERE AVAILABLE) ONLY AND NOT BY FIELD SURVEY, AND AS A RESULT ARE CONSIDERED APPROXIMATE ONLY. THIS PLAN SHOULD NOT BE USED FOR BUILDING TO BOUNDARY OR TO PRESCRIBED SET-BACKS, WITHOUT FURTHER SURVEY.
- PRIOR TO ANY DEMOLITION, EXCAVATION, FINAL DESIGN OR CONSTRUCTION ON THIS SITE, A FULL SITE INSPECTION SHOULD BE COMPLETED BY THE RELEVANT ENGINEERS.
- ALL SURVEY DATA IS 3D. THE LEVEL (Z-VALUE) OF ANY SPECIFIC FEATURE CAN BE INTERROGATED WITH A SUITABLE CAD PACKAGE. SPOT HEIGHTS OF ALL FEATURES, INCLUDING PIPE INVERTS, ARE INCLUDED IN THE MODEL SPACE BUT ARE NOT DISPLAYED ON THE PDF. SPOT HEIGHTS ARE ORGANISED INTO APPROPRIATE LAYERS, AND CAN BE DISPLAYED AS REQUIRED.
- DATUM - VERTICAL : AHD PER SPM10990 WITH REPUTED AHD LEVEL OF 80.417 FROM SURCOM ON 05/02/2026
- AT THE TIME OF THIS SURVEY, CT.187824/18 WAS OWNED BY TRANMERE POINT PTY LTD DATE OF SURVEY : 02/02/2026

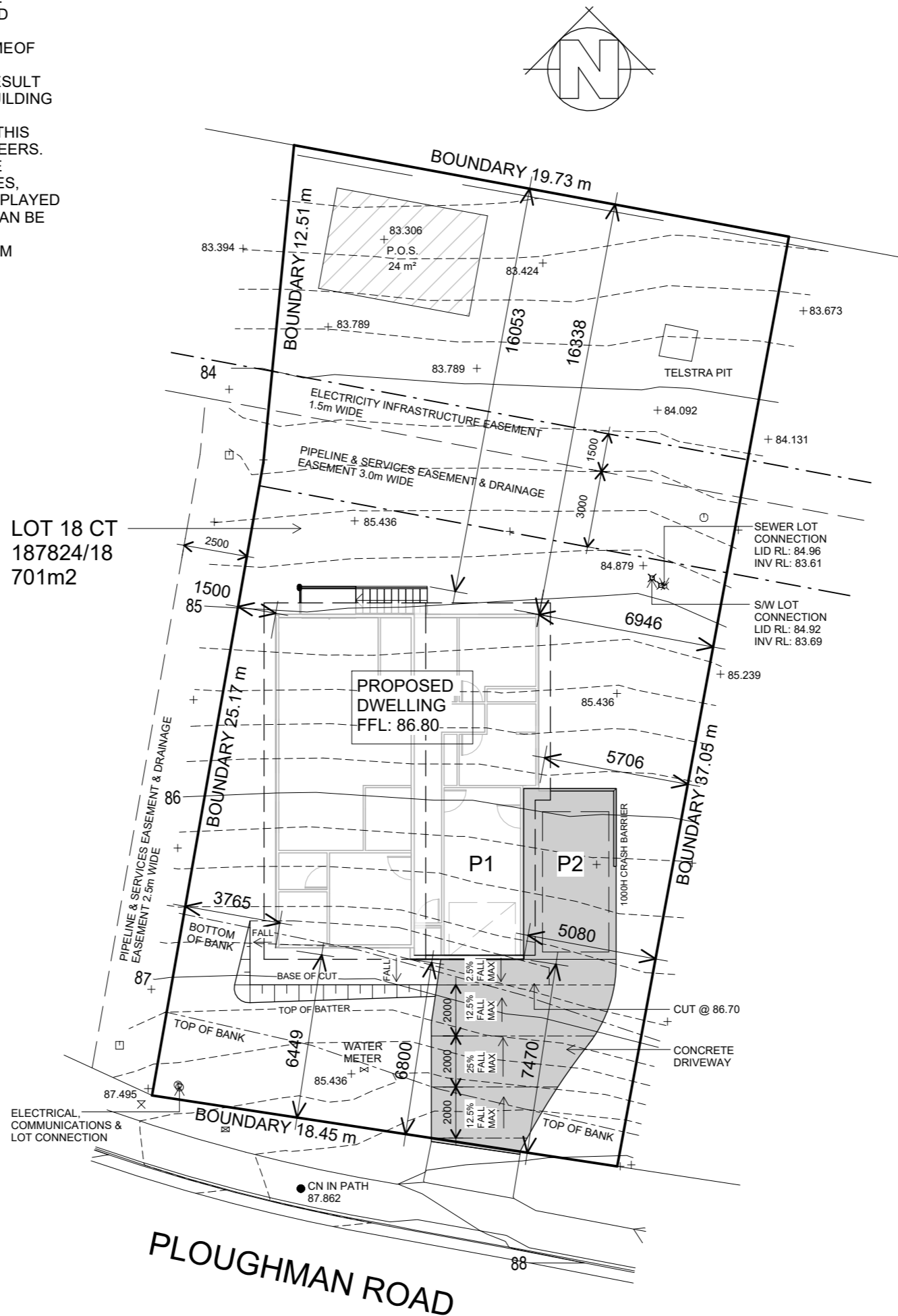
BOUNDARY OFFSETS TO PROPOSED BUILDING ARE TO EXTERNAL CLADDING U.N.O.

**GENERAL NOTES**

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL EXEMPT** ALL CONSTRUCTION MUST COMPLY WITH 3959. THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

LOT 18 CT  
187824/18  
701m<sup>2</sup>



PLOUGHMAN ROAD

**SETBACKS**

REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

**PRIVATE OPEN SPACE**

24m<sup>2</sup> MINIMUM, WITH A MINIMUM DIMENSION OF 4m GRADIENT NO STEEPER THAN 1:10

**BATTER NOTE**

BATTER AS PER ABCB HOUSING PROVISIONS PART 3.2.1. REFER TO STANDARD DETAILS TABLE

**DRIVEWAY GRADIENT**

MAXIMUM GRADIENT 1:4 (25%) TO AS 2890

**SITE COVERAGE**

BUILDING FOOTPRINT 132.0 / SITE AREA 701.0 = 0.1883 TOTAL SITE COVERAGE 18.83%



Project:  
**PROPOSED RESIDENCE  
18 PLOUGHMAN ROAD  
HOWRAH**

Client name:  
**JOY SEVILLA**

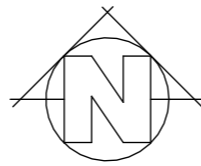
Drawing:  
**SITE PLAN**

Drafted by:  
**DB**

Date: 16-02-2026 Scale: 1 : 200

Project/Drawing no: -01 Revision: C

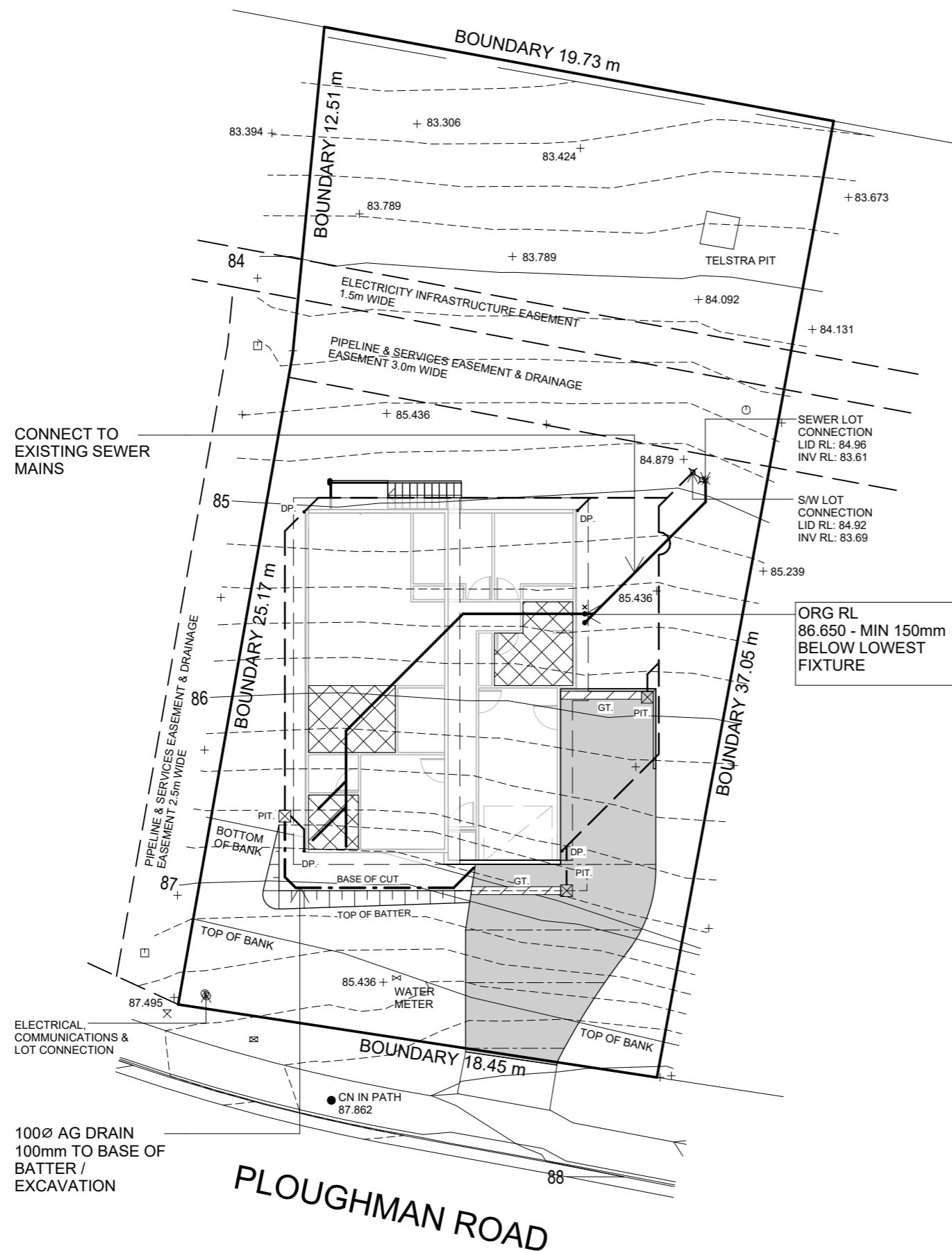
**SITE PLAN**



# LEGEND

- 450X 450 SURFACE DRAINAGE PIT
- INTERNAL WET AREAS
- SEWER LINE
- STORMWATER LINE
- 100ø AG DRAIN
- GT. = GRATED TRENCH - FALL TO STORMWATER MAINS
  
- DP. 90DIA DOWNPIPE, FALL TO S/W MAINS
- ORG. OVERFLOW RELIEF GULLY WITH TAP OVER, MIN 150mm BELOW LOWEST SANITARY FIXTURE
- × GARDEN TAP

**PLUMBING NOTES:**  
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.  
 ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.



Project:  
**PROPOSED RESIDENCE  
 18 PLOUGHMAN ROAD  
 HOWRAH**

Client name:  
**JOY SEVILLA**

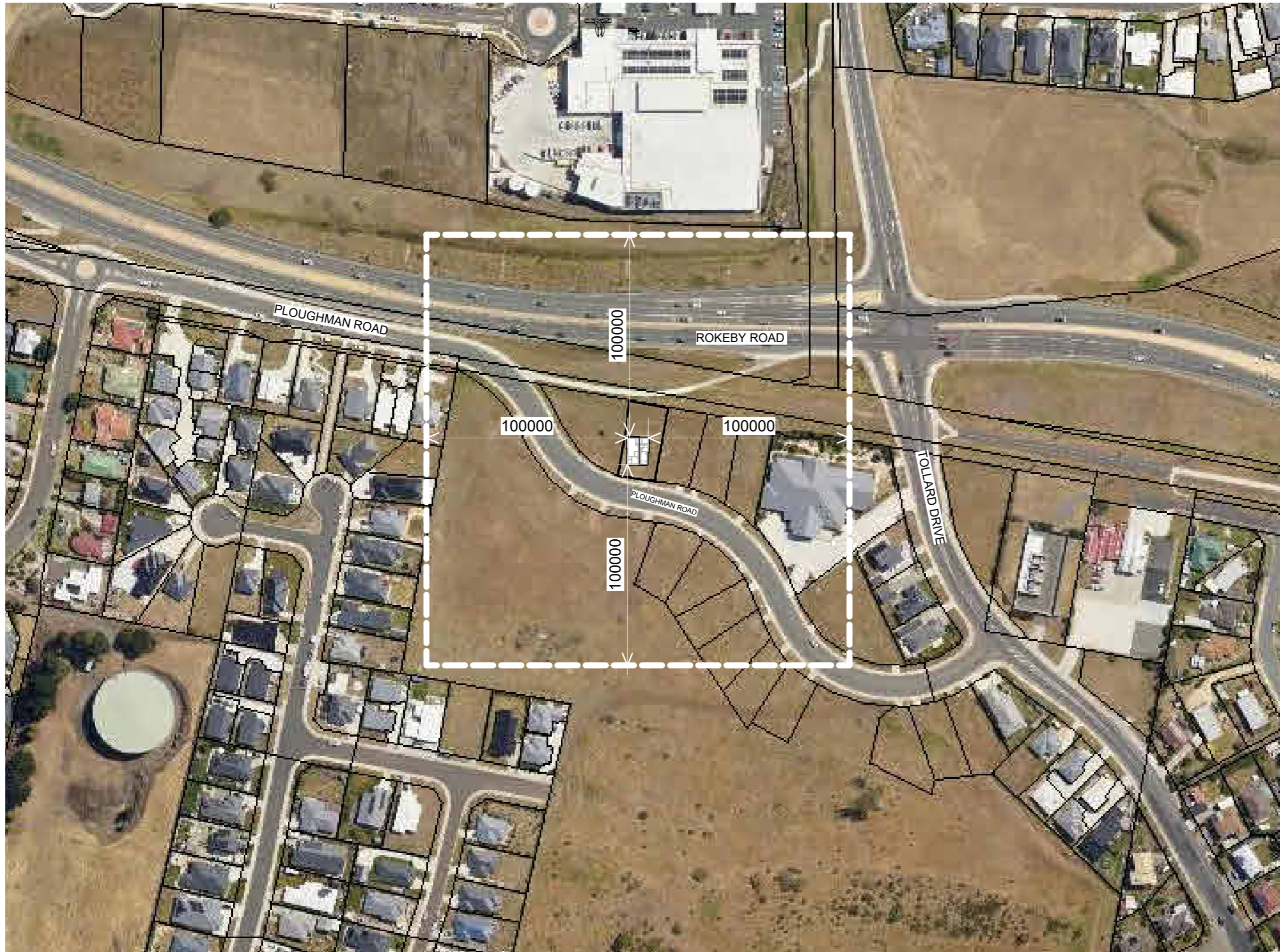
Drafted by:  
**DB**      Approved by:  
**Approver**

Drawing:  
**SITE DRAINAGE PLAN**

Date: **16-02-2026**      Scale: **As indicated**

Project/Drawing no: **-02**      Revision: **C**

# SITE DRAINAGE PLAN



Project:  
**PROPOSED RESIDENCE  
 18 PLOUGHMAN ROAD  
 HOWRAH**

Client name:  
**JOY SEVILLA**

Drawing:  
**LOCALITY PLAN**

Drafted by:  
**DB**

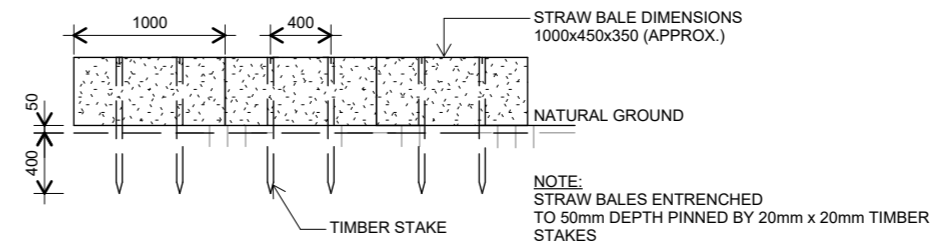
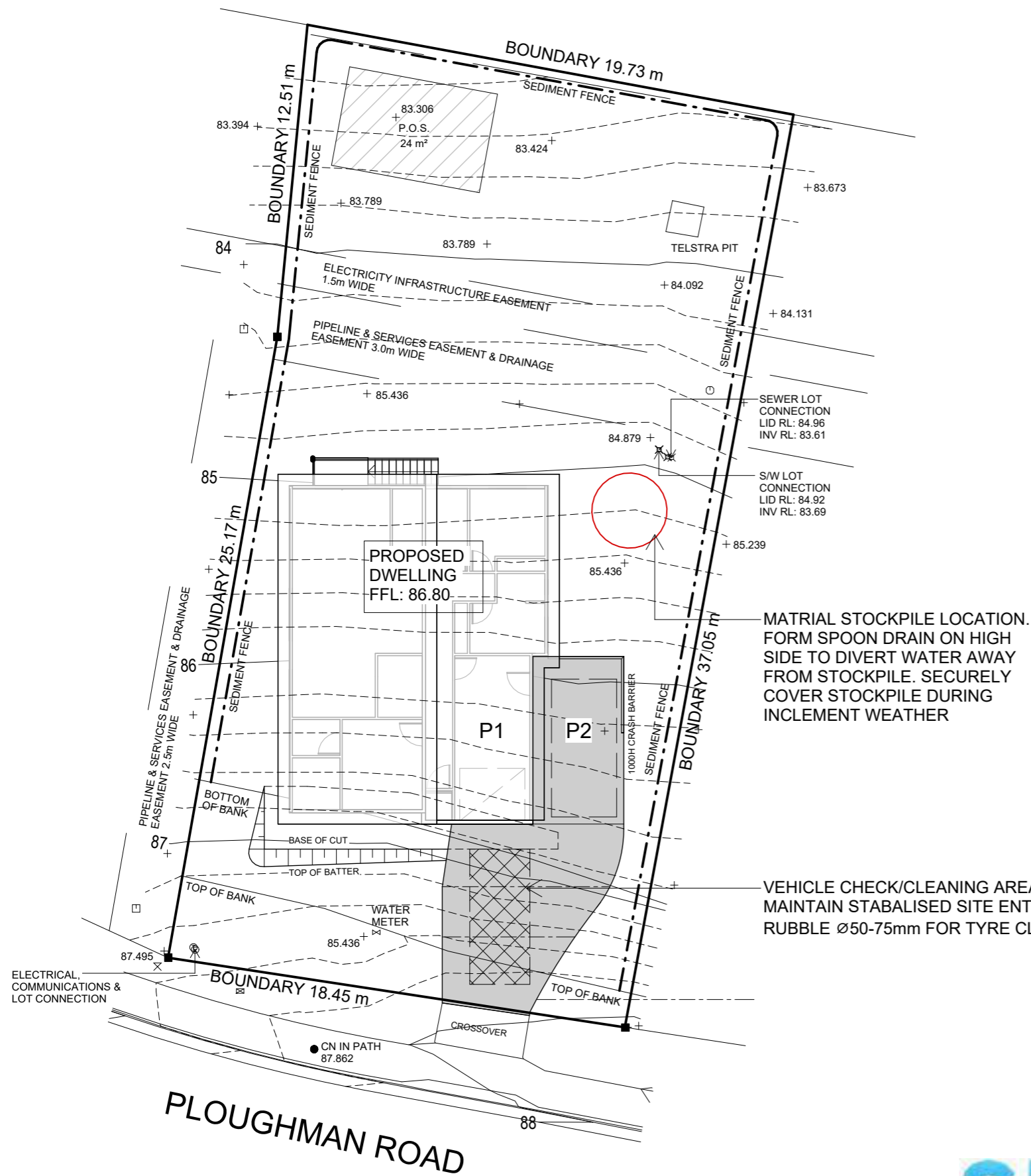
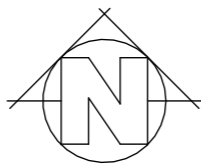
Date: **16-02-2026**      Scale: **1 : 2000**

Project/Drawing no: **-03**      Revision: **C**

# LOCATION PLAN

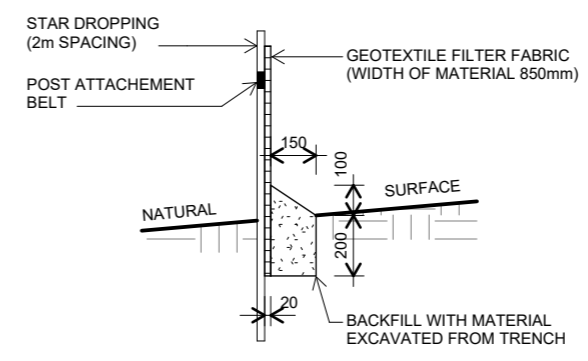
1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **DOES NOT REQUIRE** A BUSHFIRE ASSESSMENT.  
 RESIDENCE IS OVER **100m** FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.



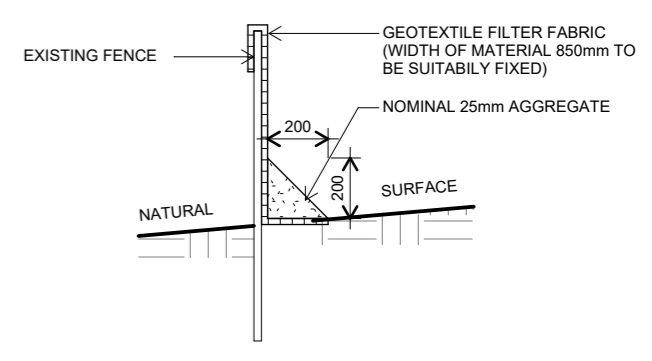
### STRAW BALE SEDIMENT TRAP SECTION DETAILS

NTS



### SILT STOP TYPE 1

TEMPORARY FENCE



### SILT STOP TYPE 2

EXISTING FENCE

**NOTES:**  
 SEDIMENT & EROSION CONTROL MEASURES SUFFICIENT TO PREVENT SEDIMENT FROM LEAVING THE SITE MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO SITE

- NOTES:**
1. ALL EROSION & SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY & MAINTAINED IN GOOD WORKING ORDER.
  2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING BUILDING PHASE.
  3. ALL EROSION AND SEDIMENT CONTROL MEASURE TO BE INSTALL PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
  4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
  5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE WATER CONNECTION AS SOON AS PRACTICALE AFTER THE ROOF IS LAID

- NOTES:**
1. DIVERSION DRAINS ARE TO BE CONNECTED TO LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM)
  2. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS

Project:  
**PROPOSED RESIDENCE  
 18 PLOUGHMAN ROAD  
 HOWRAH**

Client name:  
**JOY SEVILLA**

Drawing:  
**SOIL & WATER MANAGEMENT  
 PLAN**

Drafted by:  
**D.B.**

Date: **16-02-2026**      Scale: **As indicated**

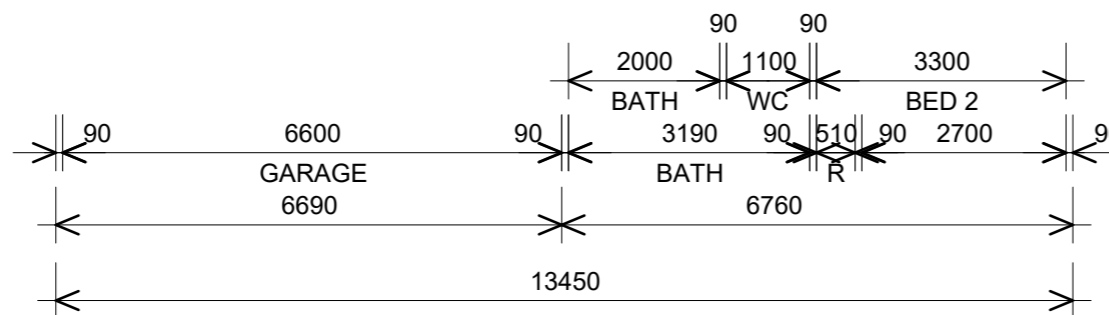
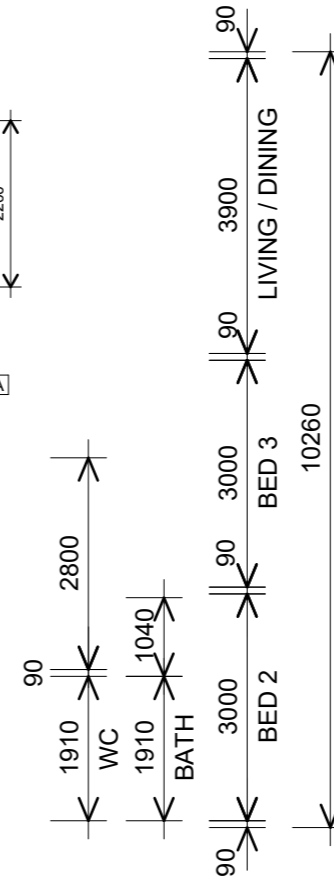
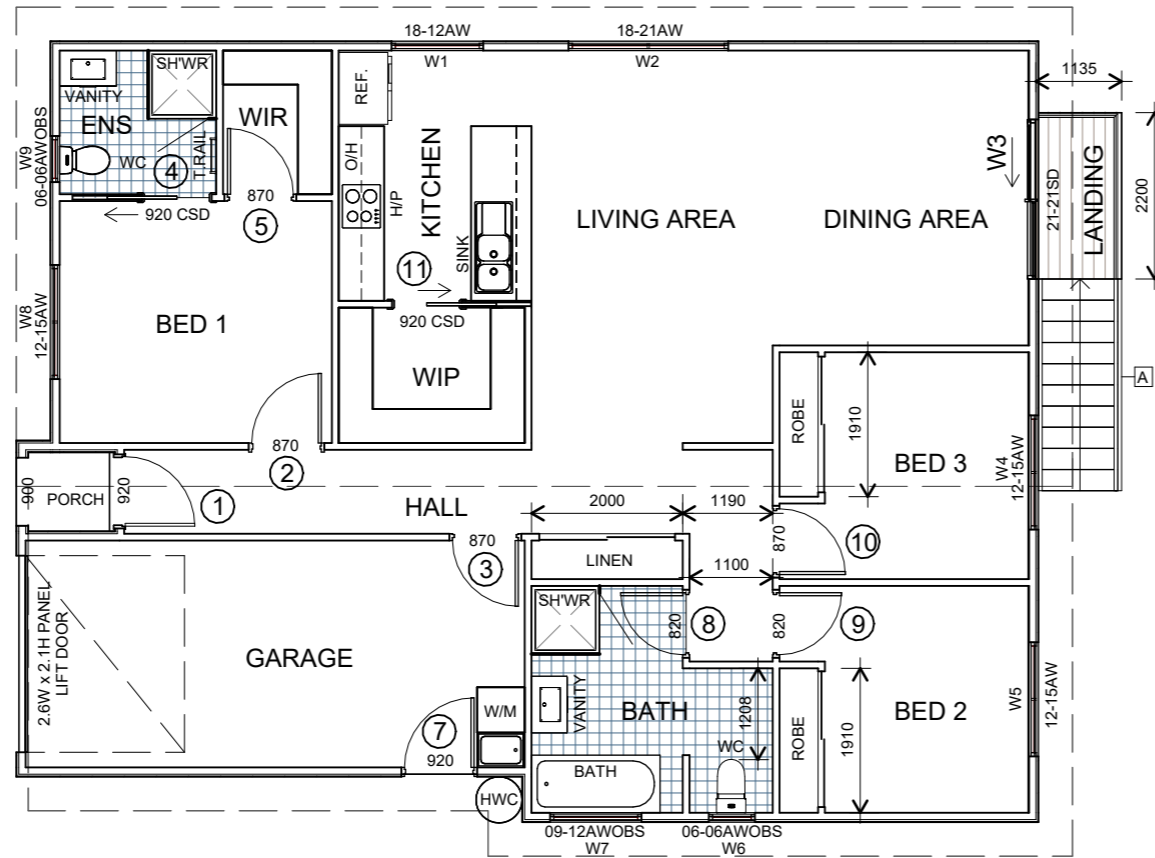
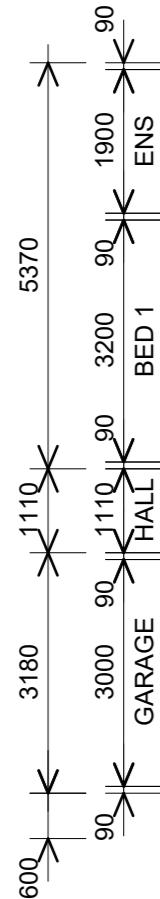
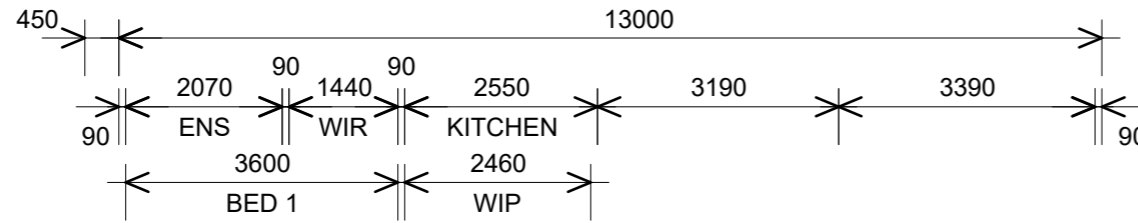
Project/Drawing no: **-04**      Revision: **C**

## SOIL & WATER MANAGEMENT PLAN



**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - EXEMPT REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.



**WINDOW WITHIN WET AREA**  
C/W SAFETY GLASS AS PER AS1288.2021  
BEVEL WINDOW SEAL  
RETURN TILES OR LAMPANEL TO WINDOW (TYPICAL)

STAIRS			
STAIR	No RISERS	RISER HT	TREAD DEPTH
A	11	173	280

NON SLIP TO COMPLY NCC 2022

**HANDRAIL**  
HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY ABCB HOUSING PROVISIONS PART 11.3

**SANITARY COMPARTMENTS**  
MAINTAIN A CLEAR SPACE OF AT LEAST 1.2m BETWEEN THE CLOSET PAN AND NEAREST PART OF THE DOORWAY. OTHERWISE ENSURE REMOVABLE HINGES ARE INSTALLED TO SWING DOORS TO COMPLY ABCB HOUSING PROVISIONS PART 10.4

**NOTE:**  
FLOOR AREAS ARE MEASURED TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED & NOTED SEPARATELY.

FLOOR AREA = 132m<sup>2</sup>  
PORCH AREA = 1m<sup>2</sup>  
LANDING = 2m<sup>2</sup>



**FLOOR PLAN**

1 : 100

Project:  
**PROPOSED RESIDENCE  
18 PLOUGHMAN ROAD  
HOWRAH**

Client name:  
**JOY SEVILLA**

Drawing:  
**FLOOR PLAN**

Drafted by:  
**DB**

Date: **16-02-2026** Scale: **1 : 100**

Project/Drawing no: **-05** Revision: **C**

ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:500 FOR EAVES GUTTER  
BOX GUTTERS IN ACCORDANCE WITH AS33500.3:2021

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE  
TO VALLEY GUTTERS

METAL ROOF

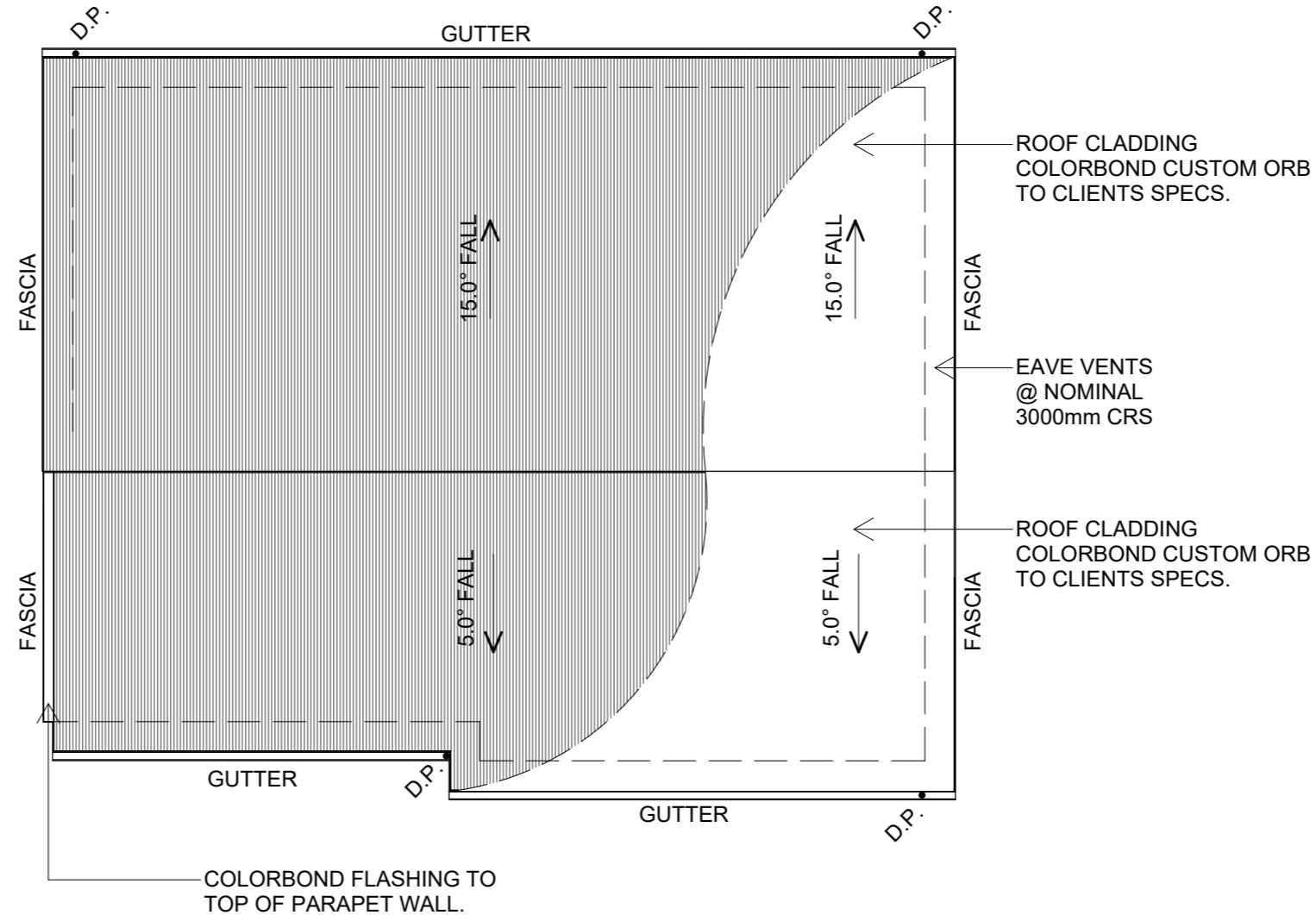
METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO  
TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION  
FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR  
ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT  
ROOFING MATERIALS. FOR FIXING, SHEET LAYING  
SEQUENCE, FASTENER FREQUENCY FOR TRANVERSE  
FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS,  
FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS  
PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7.  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB  
HOUSING PROVISIONS PART 7.2.8

OVERFLOW MEASURES

INSTALL **FRONT FACE SLOTTED GUTTER OR**  
10mm CONTROLLED BACK GAP, STAND OFF  
BRACKET WITH SPACER.  
BACK OF GUTTER INSTALLED A MINIMUM OF 10mm  
BELOW THE TOP OF FASCIA  
INSTALL IN ACCORDANCE WITH ABCB HOUSING  
PROVISIONS PART 7.4.6

# ROOF PLAN

1 : 100



Project:  
**PROPOSED RESIDENCE  
18 PLOUGHMAN ROAD  
HOWRAH**

Client name:  
**JOY SEVILLA**

Drawing:  
**ROOF PLAN**

Drafted by:  
**DB**

Date: 16-02-2026 Scale: 1 : 100

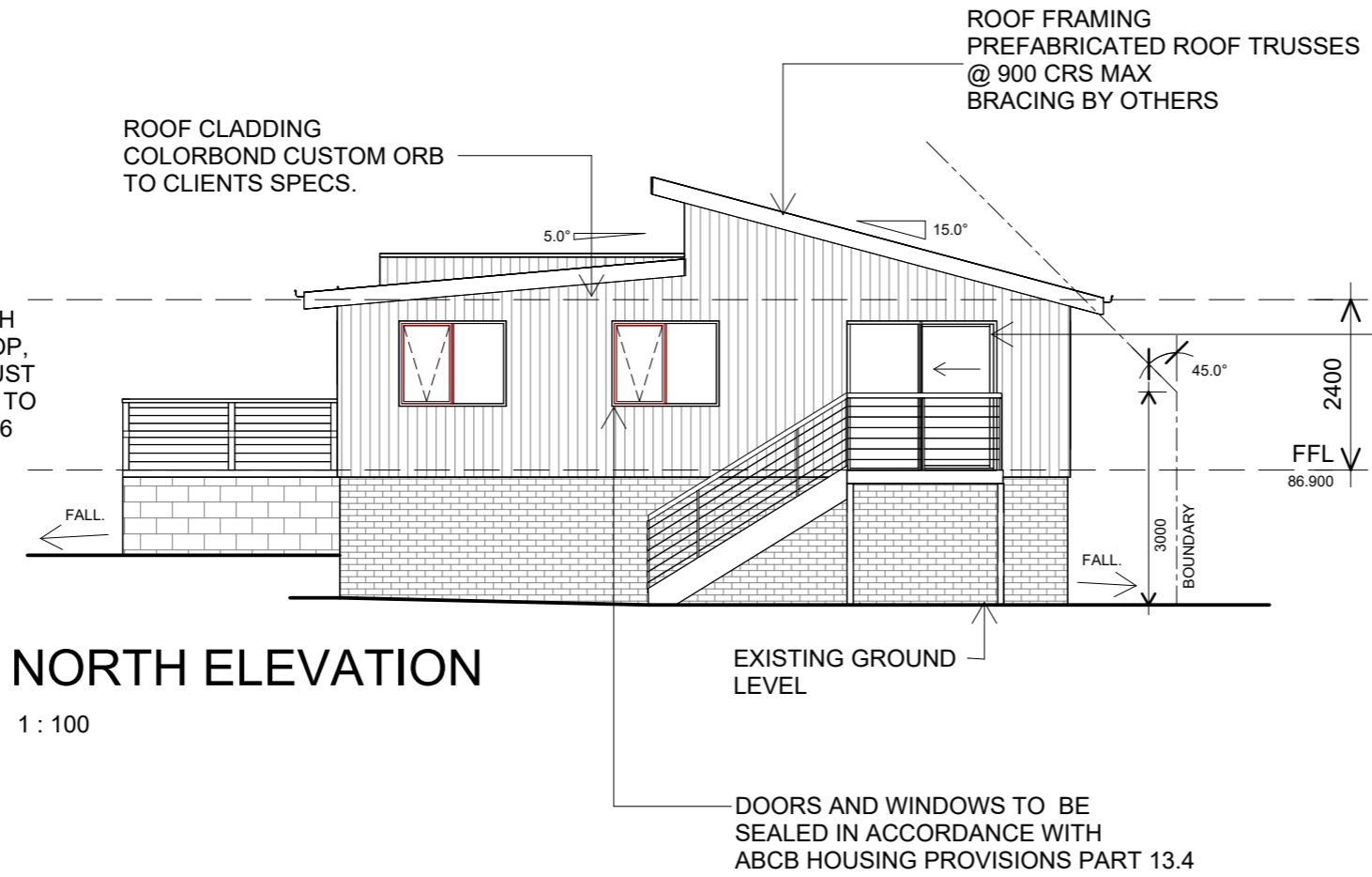
Project/Drawing no: -06 Revision: C

**DAMP PROOF COURSE**  
 TO BE INSTALLED UNDER EXTERNAL  
 MASONRY ON SLABS OR FOOTINGS,  
 SHALL BE OF SUFFICIENT WIDTH TO  
 PROJECT PAST THE EXTERNAL FACE  
 OF THE WALL.  
 ABCB HOUSING PROVISIONS PART 5.7.3 & 5.7.4

**FLASHINGS TO WALL OPENINGS**  
 OPENINGS IN EXTERNAL WALL CLADDING  
 EXPOSED TO WEATHER MUST BE FLASHED WITH  
 MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP,  
 BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST  
 BE SUITABLE FOR FRAMING & CLADDING USED. TO  
 COMPLY ABCB HOUSING PROVISIONS PART 7.5.6

**BATTER NOTE**  
 BATTER AS PER  
 ABCB HOUSING PROVISIONS  
 PART 3.2.1.  
 REFER TO STANDARD  
 DETAILS TABLE

**BUILDING MEMBRANE**  
 IN ACCORDANCE WITH ABCB HOUSING  
 PROVISIONS PART 10.8.1  
 Pliable BUILDING MEMBRANE INSTALLED TO  
 EXTERIOR OF FRAMEWORK, TO BE VAPOUR  
 PERMEABLE TO COMPLY WITH AS4200.1 & BE  
 INSTALLED TO AS4200.2



**NORTH ELEVATION**

1 : 100

**BALUSTRADE**  
 HANDRAIL TO BE 1020mm HIGH  
 MINIMUM 865 MINIMUM FOR STAIRS  
 POSTS AT A MAXIMUM SPACING OF 1800mm  
 90x19 VERTICALS  
 WITH 125mm GAP OR LESS  
 90x45 TOP AND BOTTOM RAIL  
 TO COMPLY WITH ABCB HOUSING PROVISIONS  
 PART 11.3

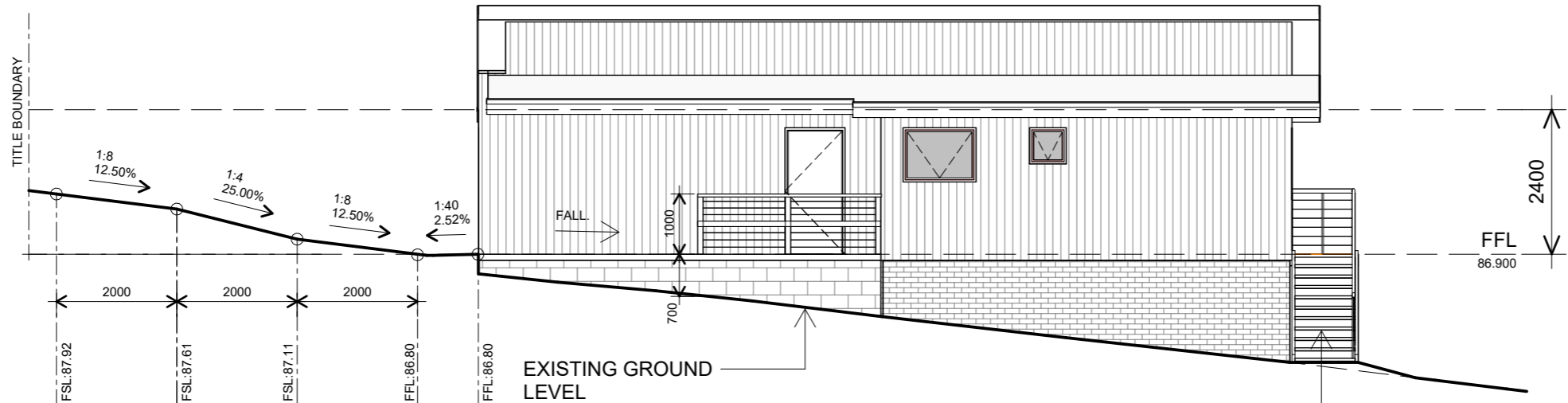
**GLAZING**  
 ALL GLAZING IS TO COMPLY WITH ABCB  
 HOUSING PROVISIONS PART 8  
 IN PARTICULAR THAT THE GLAZING IN  
 THE WINDOW LOCATED OVER THE BATH/  
 SHOWER INSTALLATION TO COMPLY WITH  
 HUMAN IMPACT SAFETY REQUIREMENTS,  
 SECTION 5.8 OF AS1288  
 WINDOWS TO BE SEALED IN  
 ACCORDANCE WITH AS2047  
 ALL GLASS INSTALLATIONS INCLUDING  
 ROOFS, WINDOW AND DOORS TO BE  
 TAGGED ON-SITE OR GLAZIER TO  
 SUPPLY COMPLIANCE CERTIFICATE  
 AT FINAL INSPECTION.

**WINDOWS**  
 POWDER COATED ALUMINIUM WINDOW  
 FRAMES **AWNING** OPENING  
 REVEALS AND TRIMS TO CLIENTS SPEC.  
 ALL FLASHING TO MANUFACTURERS  
 SPECIFICATION  
 BRICK ON EDGE EXTERNAL SILLS  
 REFER AS 1288, AS 2047 & ABCB HOUSING  
 PROVISIONS PART 8.2

**MINIMUM CLEARANCE BETWEEN CLADDING & GROUND**

- 150mm
- 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY.  
 CONC. OR PAVED

WALL CLADDING MUST EXTEND MIN 50mm BELOW BEARER  
 OR LOWEST POINT OF SUSPENDED FLOOR FRAMING. TO  
 COMPLY WITH ABCB HOUSING PROVISIONS PART 7.5.7



**EAST ELEVATION**

1 : 100

**TIMBER DECK**  
 ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH  
 THE REQUIREMENTS OF A.S.1684  
 ALL EXTERNAL DECK COMPONENTS TO BE  
 TAN E TREATED PINE (F5)  
 ALL EXPOSED FIXTURES, BOLTS ETC. TO BE  
 HOT DIPPED GALVANIZED.  
 REFER AS 1684, AS1720.1 & NCC 2022 H1D6  
 FIXING TO EXTERNAL WALL TO COMPLY WITH ABCB  
 HOUSING PROVISIONS PART 12.3.2

Project:  
**PROPOSED RESIDENCE**  
**18 PLOUGHMAN ROAD**  
**HOWRAH**

Client name:  
**JOY SEVILLA**

Drawing:  
**ELEVATIONS**

Drafted by:  
**DB**

Date: 16-02-2026 Scale: 1 : 100

Project/Drawing no: -07 Revision: C



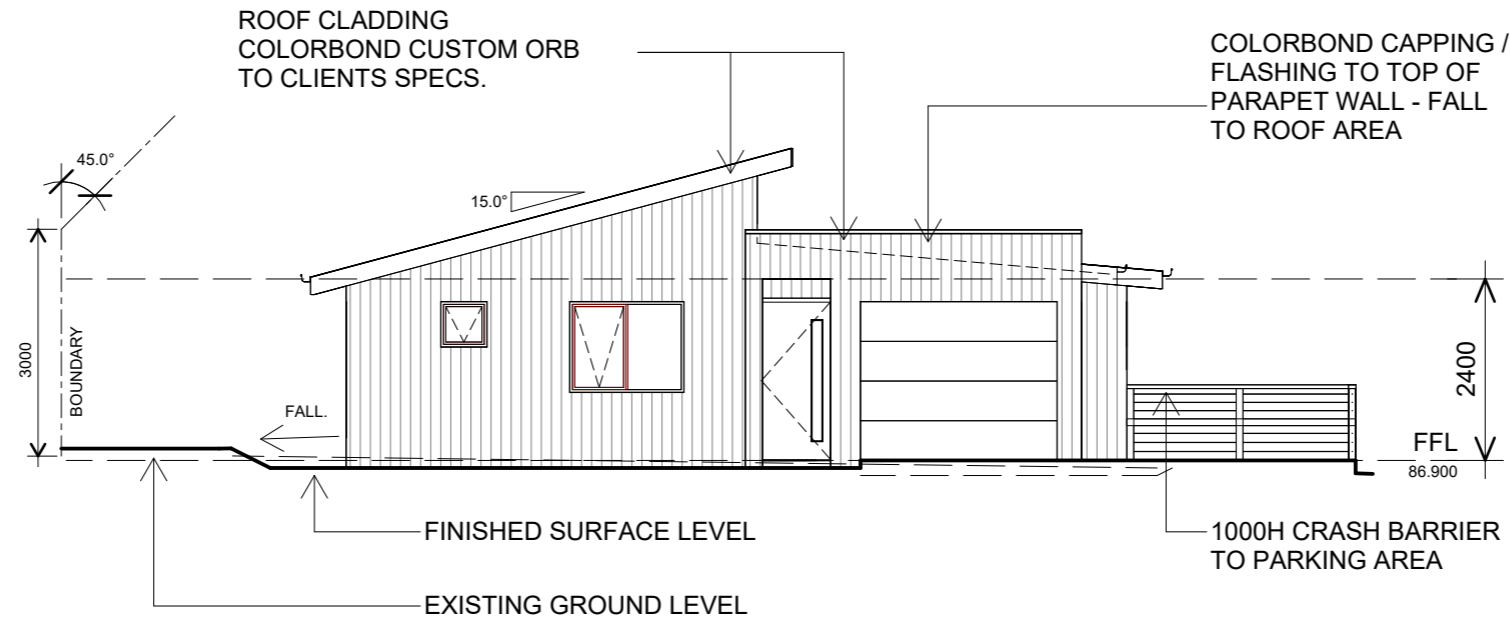
**DAMP PROOF COURSE**  
 TO BE INSTALLED UNDER EXTERNAL MASONRY ON SLABS OR FOOTINGS, SHALL BE OF SUFFICIENT WIDTH TO PROJECT PAST THE EXTERNAL FACE OF THE WALL.  
 ABCB HOUSING PROVISIONS PART 5.7.3 & 5.7.4

**FLASHINGS TO WALL OPENINGS**  
 OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY ABCB HOUSING PROVISIONS PART 7.5.6

**BATTER NOTE**  
 BATTER AS PER ABCB HOUSING PROVISIONS PART 3.2.1.  
 REFER TO STANDARD DETAILS TABLE

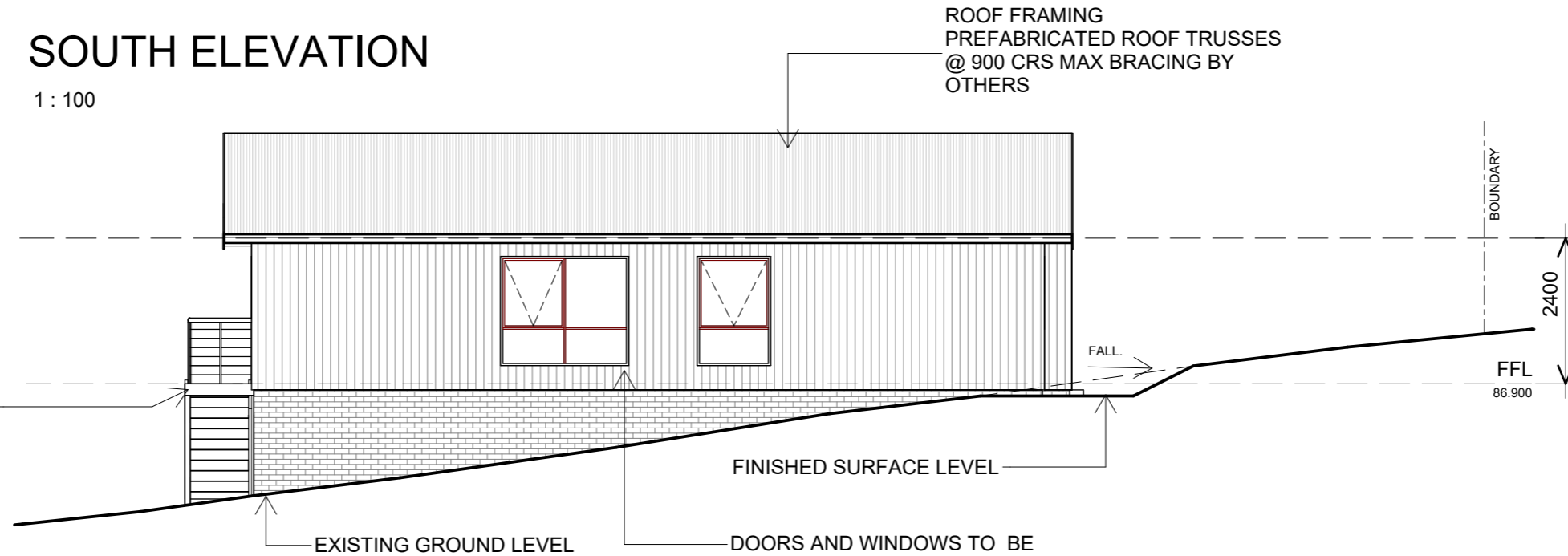
**BUILDING MEMBRANE**  
 IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.1  
 PLIABLE BUILDING MEMBRANE INSTALLED TO EXTERIOR OF FRAMEWORK, TO BE VAPOUR PERMEABLE TO COMPLY WITH AS4200.1 & BE INSTALLED TO AS4200.2

**TIMBER DECK**  
 ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF A.S.1684  
 ALL EXTERNAL DECK COMPONENTS TO BE TAN E TREATED PINE (F5)  
 ALL EXPOSED FIXTURES, BOLTS ETC. TO BE HOT DIPPED GALVANIZED.  
 REFER AS 1684, AS1720.1 & NCC 2022 H1D6  
 FIXING TO EXTERNAL WALL TO COMPLY WITH ABCB HOUSING PROVISIONS PART 12.3.2



## SOUTH ELEVATION

1 : 100



## WEST ELEVATION

1 : 100

**MINIMUM CLEARANCE BETWEEN CLADDING & GROUND**

- 150mm
- 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY. CONC. OR PAVED

WALL CLADDING MUST EXTEND MIN 50mm BELOW BEARER OR LOWEST POINT OF SUSPENDED FLOOR FRAMING. TO COMPLY WITH ABCB HOUSING PROVISIONS PART 7.5.7

**WINDOWS**  
 POWDER COATED ALUMINIUM WINDOW FRAMES **AWNING** OPENING  
 REVEALS AND TRIMS TO CLIENTS SPEC.  
 ALL FLASHING TO MANUFACTURERS SPECIFICATION  
 BRICK ON EDGE EXTERNAL SILLS  
 REFER AS 1288, AS 2047 & ABCB HOUSING PROVISIONS PART 8.2

**BALUSTRADE**  
 HANDRAIL TO BE 1020mm HIGH  
 MINIMUM 865 MINIMUM FOR STAIRS  
 POSTS AT A MAXIMUM SPACING OF 1800mm  
 90x19 VERTICALS  
 WITH 125mm GAP OR LESS  
 90x45 TOP AND BOTTOM RAIL  
 TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3

**GLAZING**  
 ALL GLAZING IS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 8  
 IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/ SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.8 OF AS1288  
 WINDOWS TO BE SEALED IN ACCORDANCE WITH AS2047  
 ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION.



Project:  
**PROPOSED RESIDENCE**  
**18 PLOUGHMAN ROAD**  
**HOWRAH**

Client name:  
**JOY SEVILLA**

Drawing:  
**ELEVATIONS**

Drafted by:  
**DB**

Date: 16-02-2026  
 Scale: 1 : 100

Project/Drawing no: -08  
 Revision: C

GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL ENTRY DOOR	
2	920	EXTERNAL SOLID DOOR	
3	870	INTERNAL TIMBER DOOR	
4	920	CAVITY SLIDING DOOR	
5	870	INTERNAL TIMBER DOOR	
7	920	EXTERNAL SOLID DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	INTERNAL TIMBER DOOR	
10	870	INTERNAL TIMBER DOOR	
11	920	CAVITY SLIDING DOOR	

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1210	AWNING WINDOW	
W2	1800	2110	AWNING WINDOW	
W3	2100	2110	SLIDING DOOR	
W4	1200	1510	AWNING WINDOW	
W5	1200	1510	AWNING WINDOW	
W6	600	610	AWNING WINDOW	OBSCURE
W7	900	1210	AWNING WINDOW	OBSCURE
W8	1200	1510	AWNING WINDOW	
W9	600	610	AWNING WINDOW	OBSCURE

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE  
WITH FLY SCREENS. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

Project:  
PROPOSED RESIDENCE  
18 PLOUGHMAN ROAD  
HOWRAH

Client name:  
JOY SEVILLA

Drafted by: DB  
Approved by: Approver

Drawing:  
DOOR AND WINDOW  
SCHEDULES

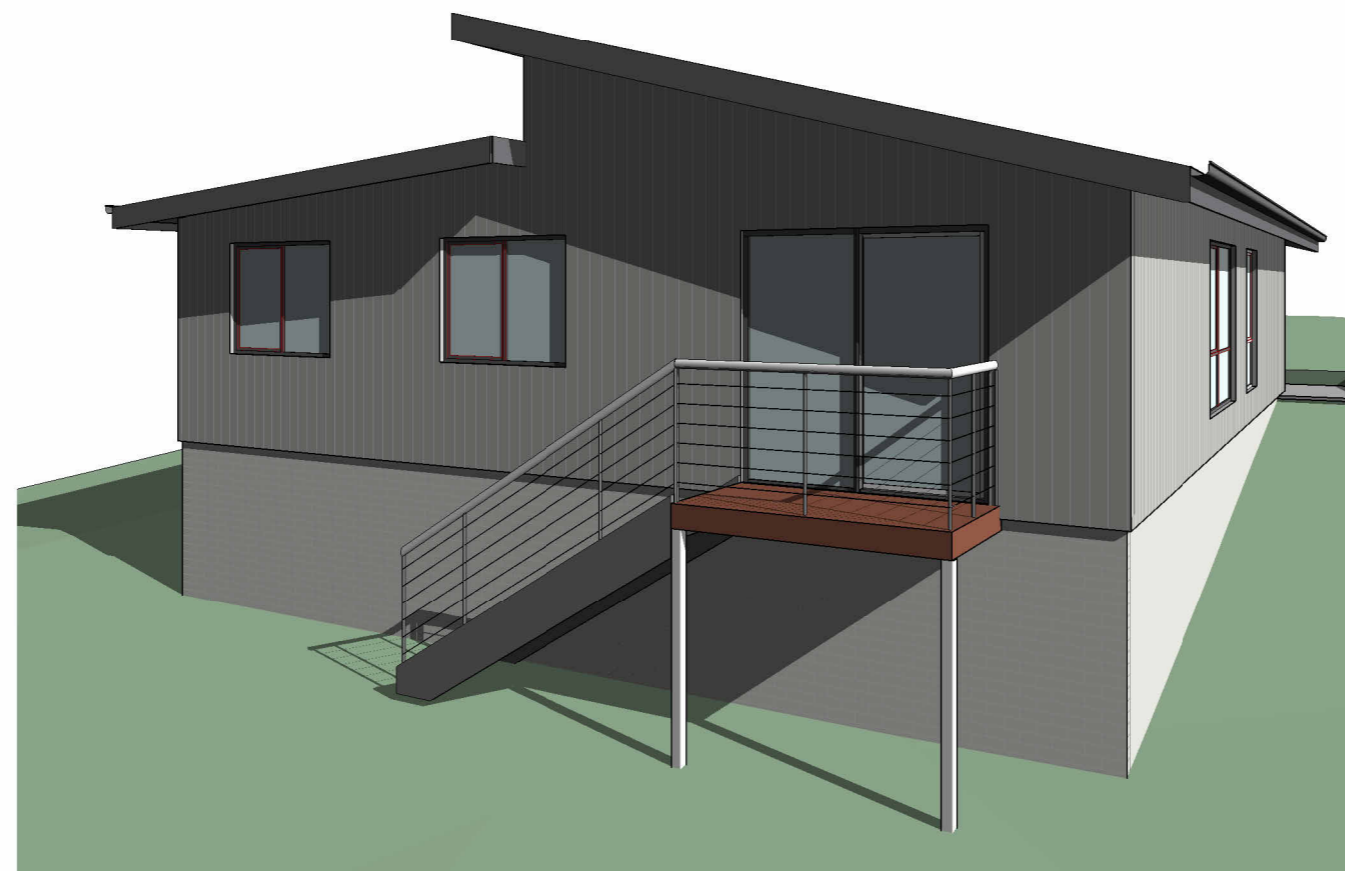
Date: 16-02-2026  
Scale:

Project/Drawing no: -09  
Revision: C



PERSPECTIVE 01

NTS



PERSPECTIVE 02

NTS



---

Project:  
PROPOSED RESIDENCE  
18 PLOUGHMAN ROAD  
HOWRAH

Client name:  
JOY SEVILLA

---

Drawing:  
PERSPECTIVES

Drafted by:  
DB

Date: 16-02-2026

Scale:

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Project/Drawing no:  
-10

Revision:  
C

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