



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/060018

PROPOSAL: Dwelling

LOCATION: 18 Florelyn Terrace, Geilston Bay (with access over 18A & 18B Florelyn Terrace, Geilston Bay & 19 Oscars Place, Geilston Bay)

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 13/05/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 13/05/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 13/05/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: double storey single dwelling

Location: 18 florelyn terrace Geilston Bay 7015

Personal Information Removed



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **vacant land with a shed**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 184344	FOLIO 4
EDITION 2	DATE OF ISSUE 26-Jul-2025

SEARCH DATE : 08-Aug-2025

SEARCH TIME : 11.57 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 4 on Sealed Plan 184344

Derivation : Part of 2560 Acres Gtd. to Thomas George Gregson

Prior CTs 146117/1 and 146117/4

SCHEDULE 1

N263731 TRANSFER to ALYCE CLAIRE FENTON-CLARK and BRADLEY FENTON-CLARK Registered 26-Jul-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP184344 EASEMENTS in Schedule of Easements

SP184344 COVENANTS in Schedule of Easements

SP184344 FENCING PROVISION in Schedule of Easements

SP146117 COVENANTS in Schedule of Easements

SP146117 FENCING PROVISION in Schedule of Easements

SP146117 COUNCIL NOTIFICATION under Section 83(5) of the Local Government (Building and Miscellaneous Provisions) Act 1993.

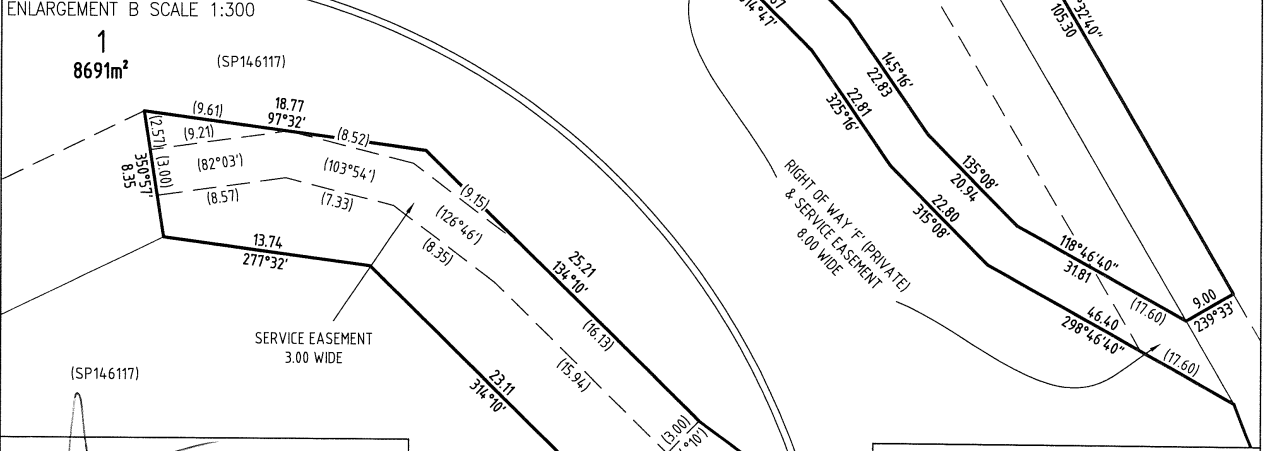
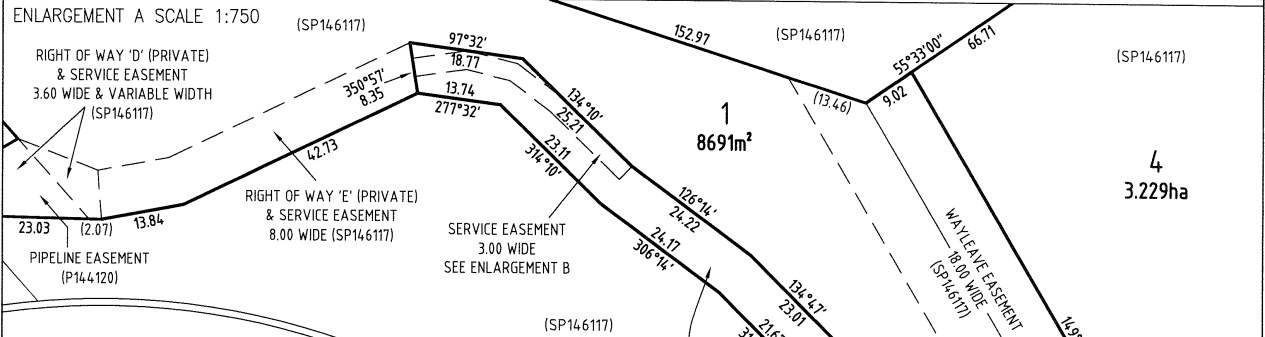
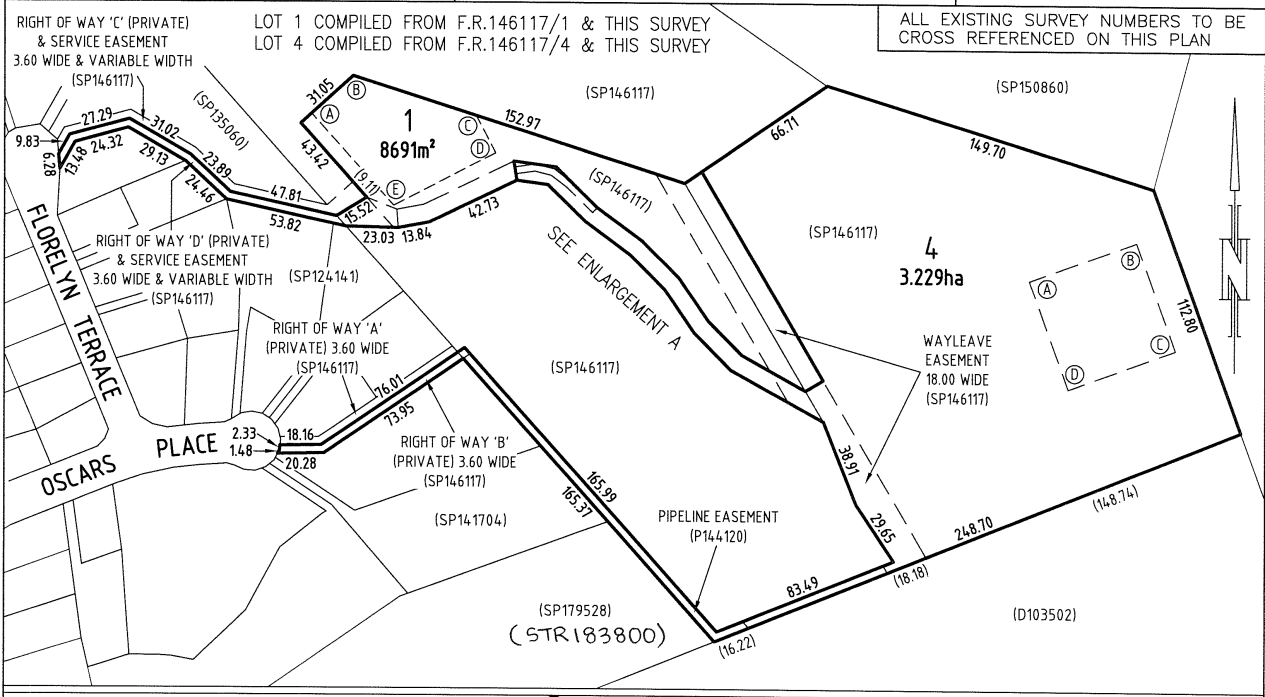
SP124141 WATER SUPPLY RESTRICTION

E421102 MORTGAGE to Commonwealth Bank of Australia Registered 26-Jul-2025 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

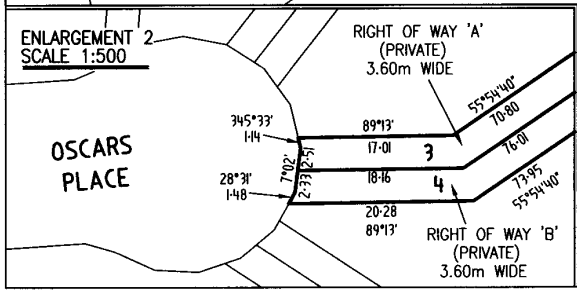
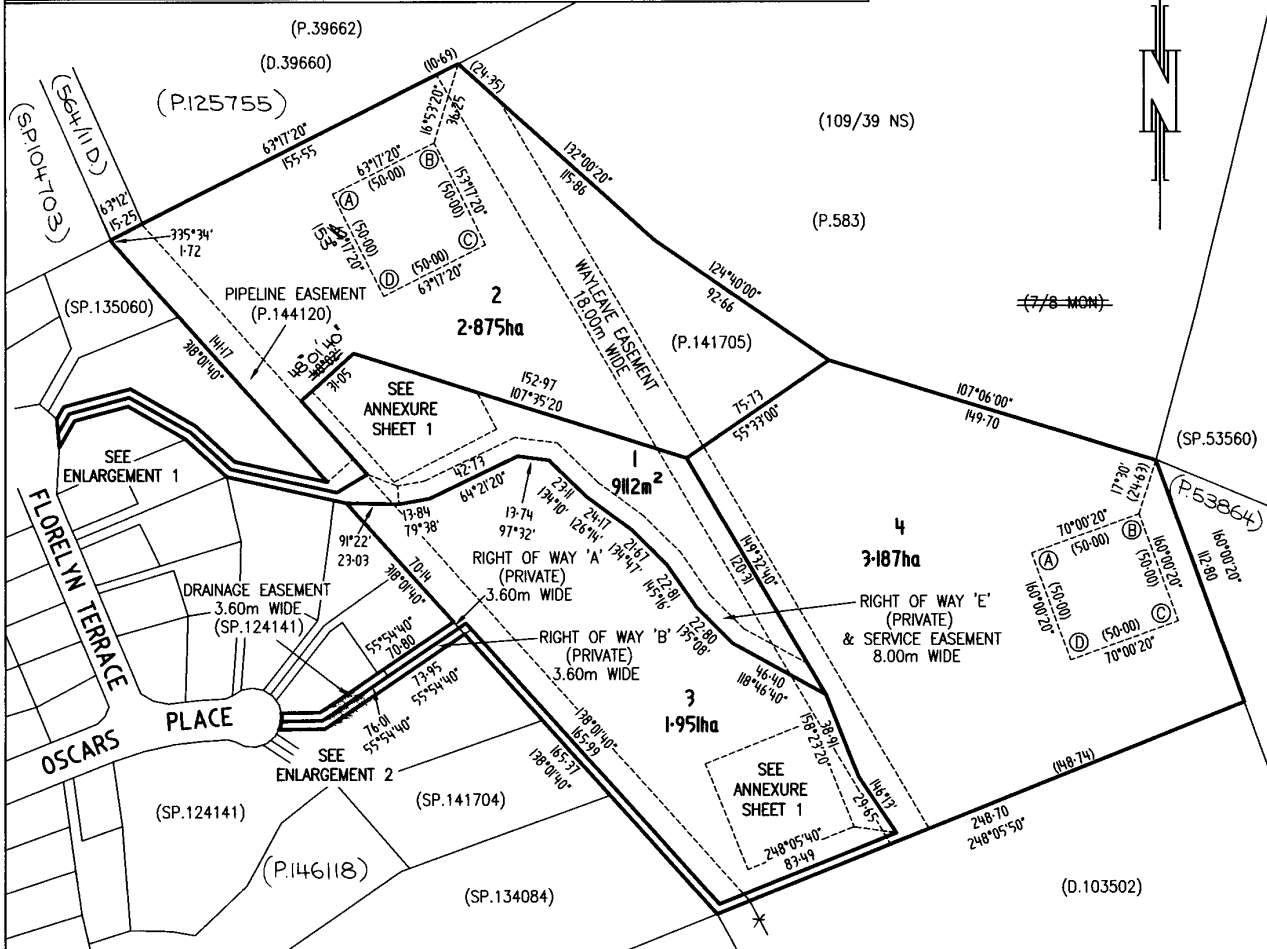
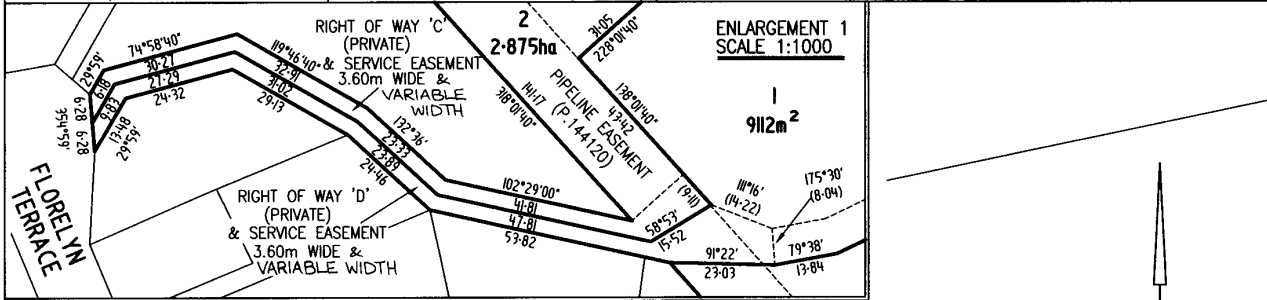
OWNER MURRAY GORDON SEABROOK PAMELA ANNE SEABROOK; KOORBAES PTY LTD	<h2>PLAN OF SURVEY</h2> BY SURVEYOR CRAIG BRADLEY ROGERSON ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0418-120-796	Registered Number <h1>SP184344</h1>
FOLIO REFERENCE 146117/1; 146117/4	<h2>CITY OF CLARENCE</h2> SCALE 1: 2,000 LENGTHS IN METRES	APPROVED EFFECTIVE FROM 27 JUN 2023 Recorder of Titles
GRANTEE PART OF 2560 ACRES GTD TO THOMAS GEORGE GREGSON		



 Registered Land Surveyor	15/06/2022 Date	 Council Delegate Clare Shea	16.12.2022 Date
------------------------------	--------------------	---------------------------------	--------------------

OWNER KOORBAES PTY LTD	<p>PLAN OF SURVEY BY SURVEYOR ANDREW STEPHEN BIRCH CRAIG ROGERSON SURVEYORS UNIT 1B 120 CAMBRIDGE ROAD ROSNY PARK PH 6244-6256 FAX 6244-6221 MOB. 0418-120-796</p>	REGISTERED NUMBER SP146117
FOLIO REFERENCE C.T.144120/1		APPROVED 28 JUN 2006 EFFECTIVE FROM
GRANTEE PART OF 2560 ACRES GTD TO THOMAS GEORGE GREGSON	LOCATION CITY OF CLARENCE	Recorder of Titles <i>Alice Kawa</i>
SCALE 1: 2000 LENGTHS IN METRES		

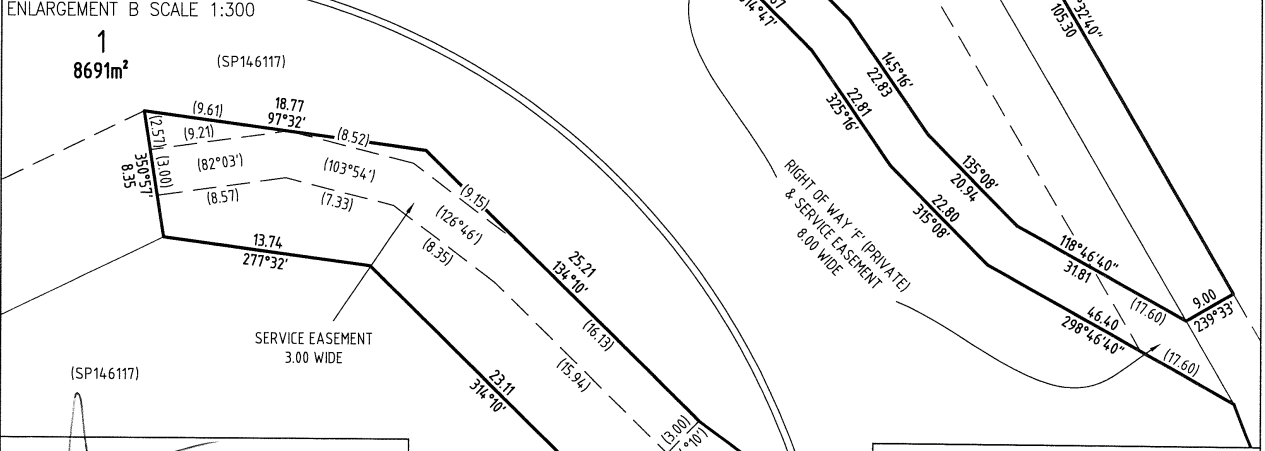
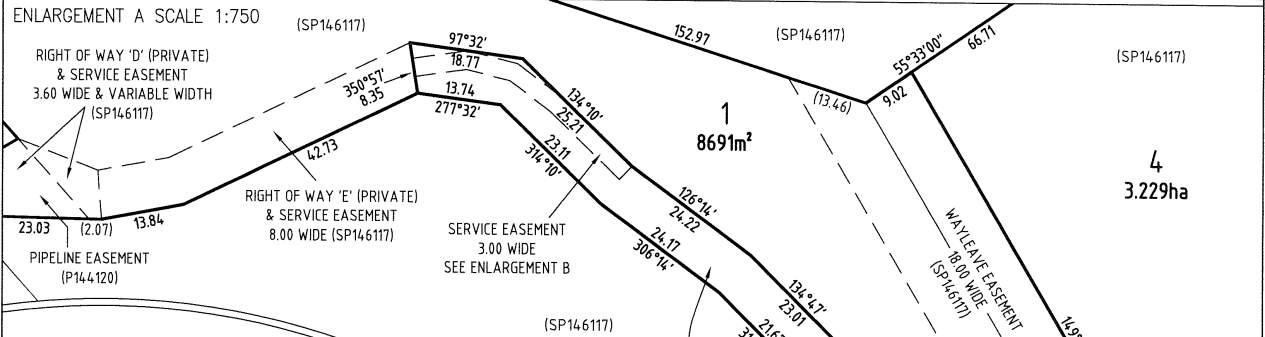
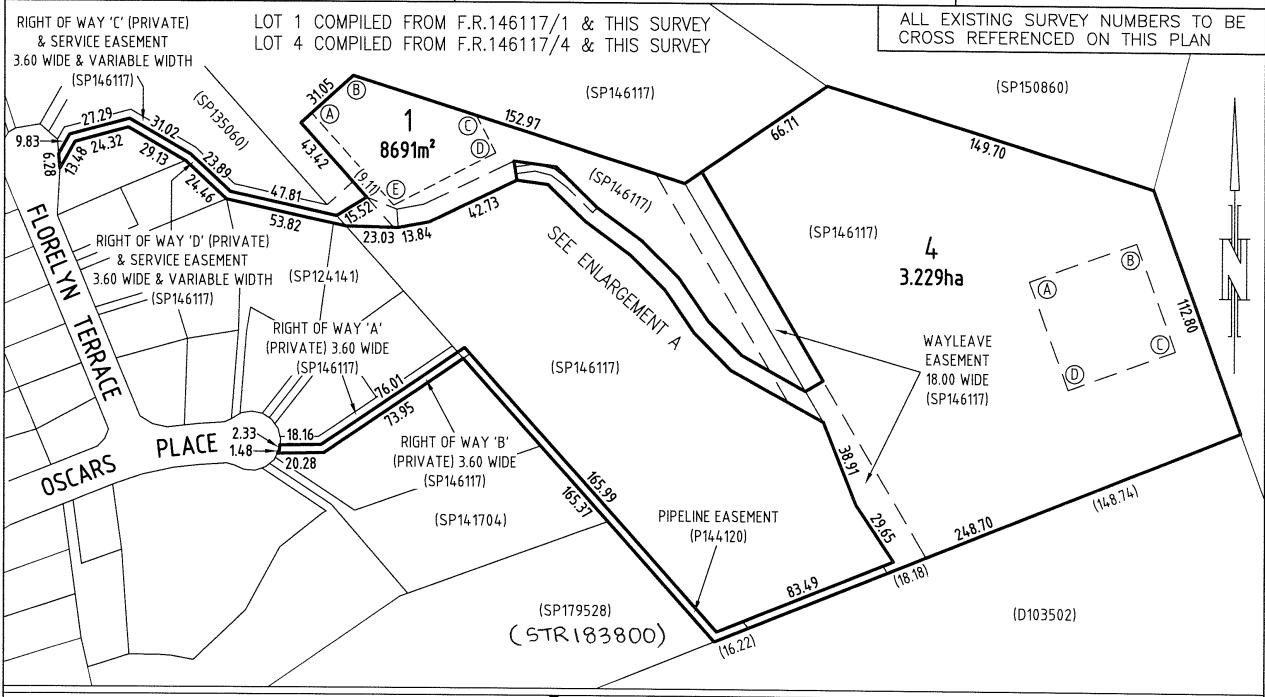
MAPSHEET MUNICIPAL CODE No.(107) 5225-23	LAST UPI No. GHZ90	LAST PLAN No. P.144120	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
--	--------------------	------------------------	---



[Signature]
 COUNCIL DELEGATE

 DATE

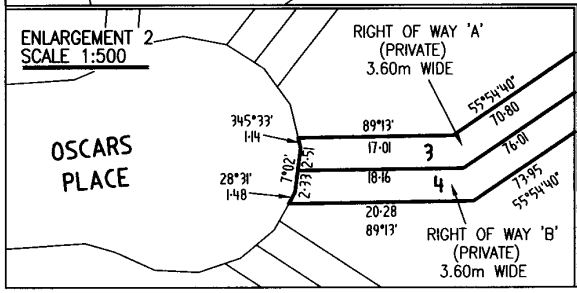
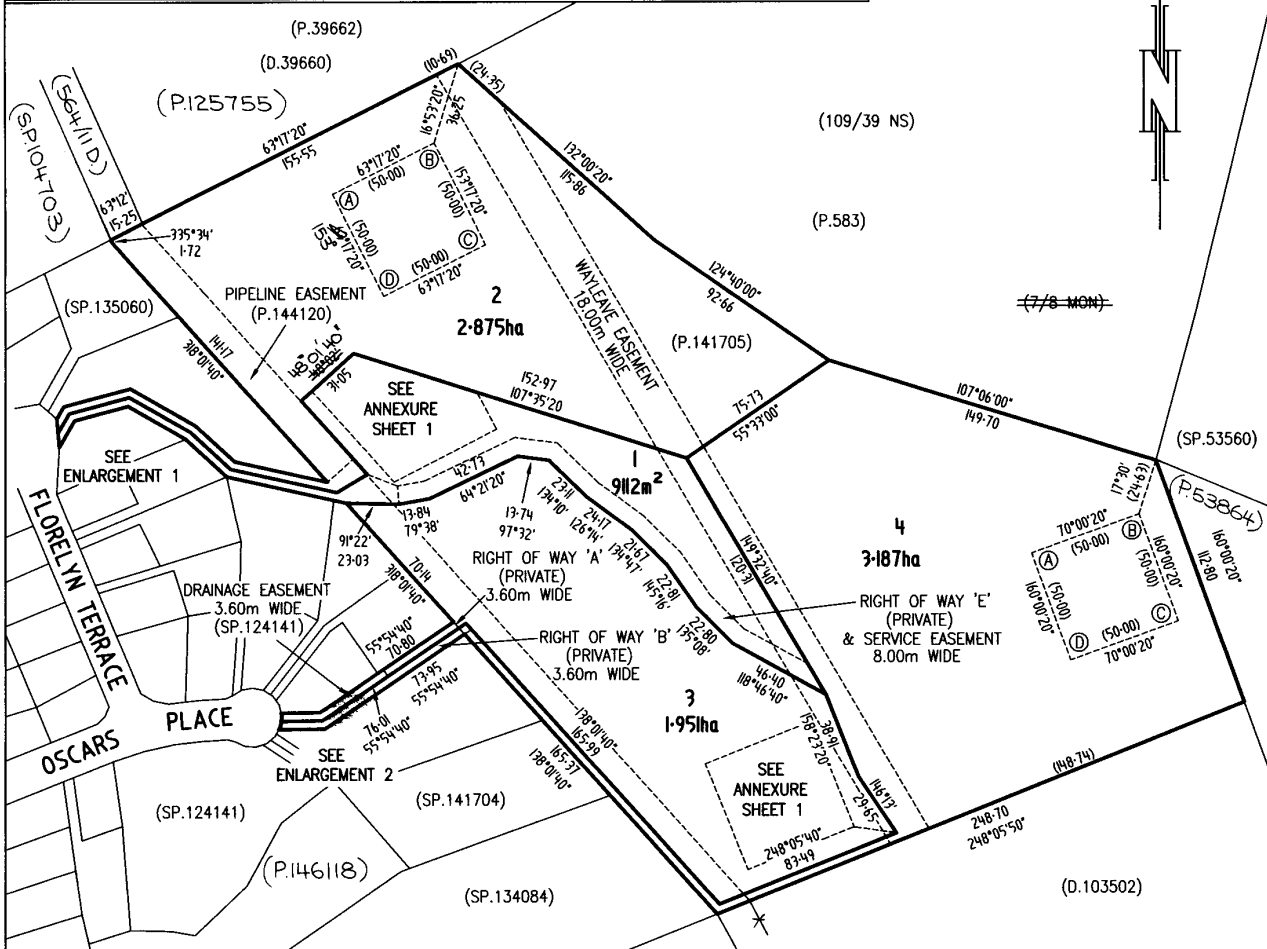
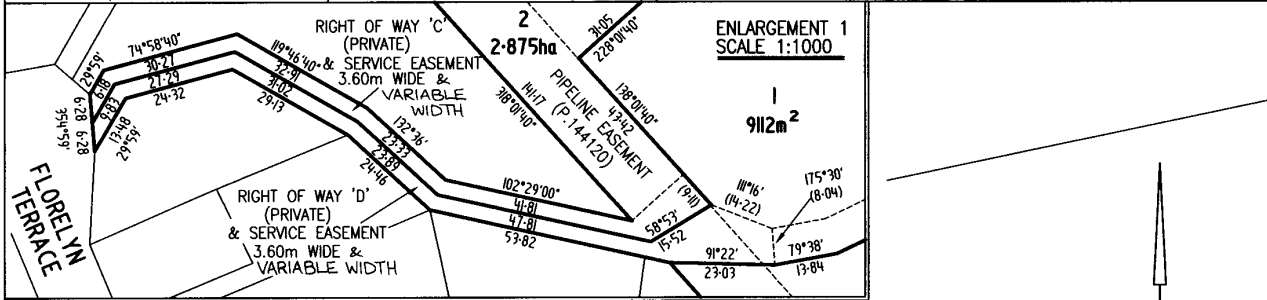
OWNER MURRAY GORDON SEABROOK PAMELA ANNE SEABROOK; KOORBAES PTY LTD	<h3>PLAN OF SURVEY</h3>	Registered Number <h1>SP184344</h1>
FOLIO REFERENCE 146117/1; 146117/4	BY SURVEYOR CRAIG BRADLEY ROGERSON ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0418-120-796	APPROVED EFFECTIVE FROM 27 JUN 2023
GRANTEE PART OF 2560 ACRES GTD TO THOMAS GEORGE GREGSON	<h2>CITY OF CLARENCE</h2>	Recorder of Titles
SCALE 1: 2,000 LENGTHS IN METRES		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



Registered Land Surveyor	15/06/2022 Date	Council Delegate Clare Shea Date
--------------------------	-----------------	----------------------------------

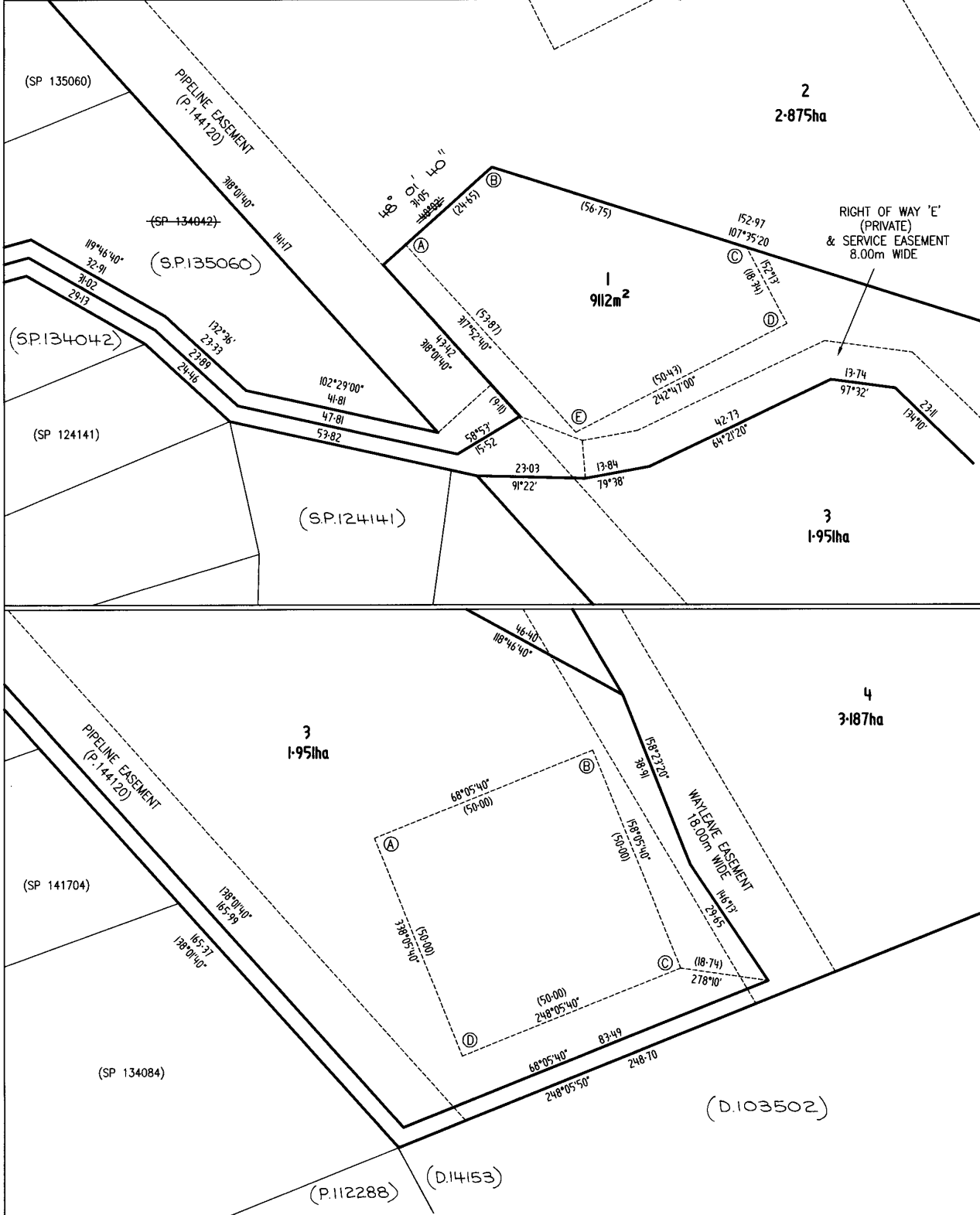
OWNER KOORBAES PTY LTD	<p>PLAN OF SURVEY BY SURVEYOR ANDREW STEPHEN BIRCH CRAIG ROGERSON SURVEYORS UNIT 1B 120 CAMBRIDGE ROAD ROSNY PARK PH 6244-6256 FAX 6244-6221 MOB. 0418-120-796</p>	REGISTERED NUMBER SP146117
FOLIO REFERENCE C.T.144120/1		APPROVED 28 JUN 2006 EFFECTIVE FROM
GRANTEE PART OF 2560 ACRES GTD TO THOMAS GEORGE GREGSON	LOCATION CITY OF CLARENCE	Recorder of Titles <i>Alice Kawa</i>
SCALE 1: 2000		LENGTHS IN METRES

MAPSHEET MUNICIPAL CODE No.(107) 5225-23	LAST UPI No. GHZ90	LAST PLAN No. P.144120	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
--	--------------------	------------------------	---

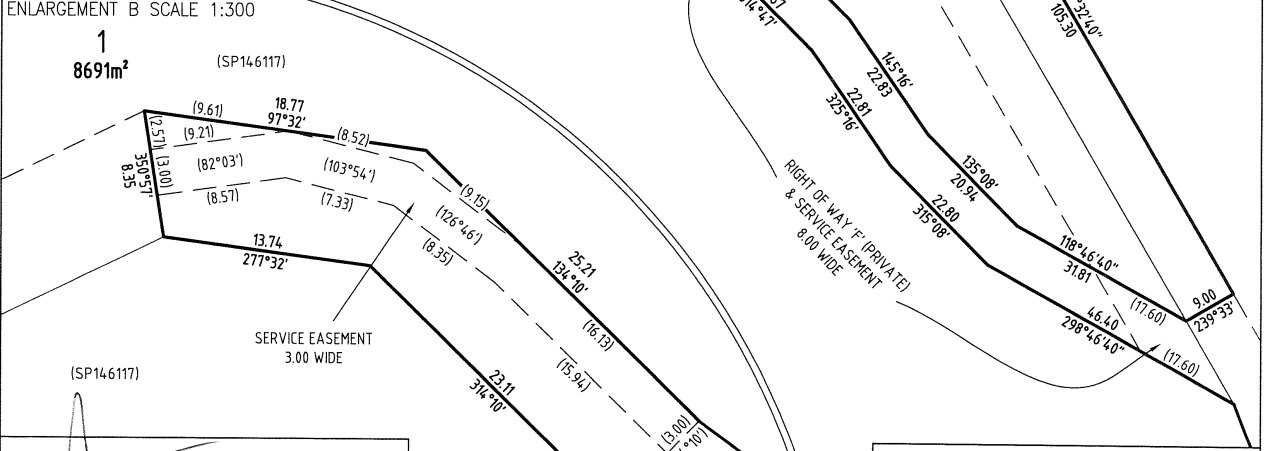
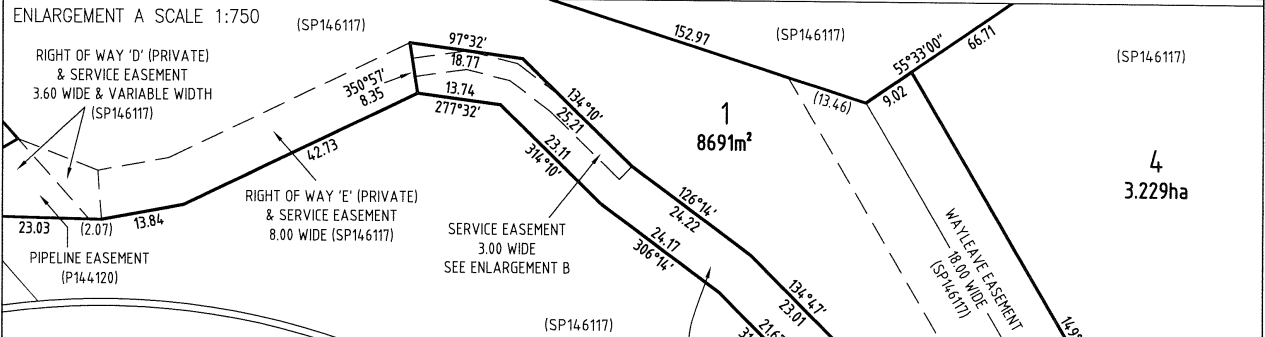
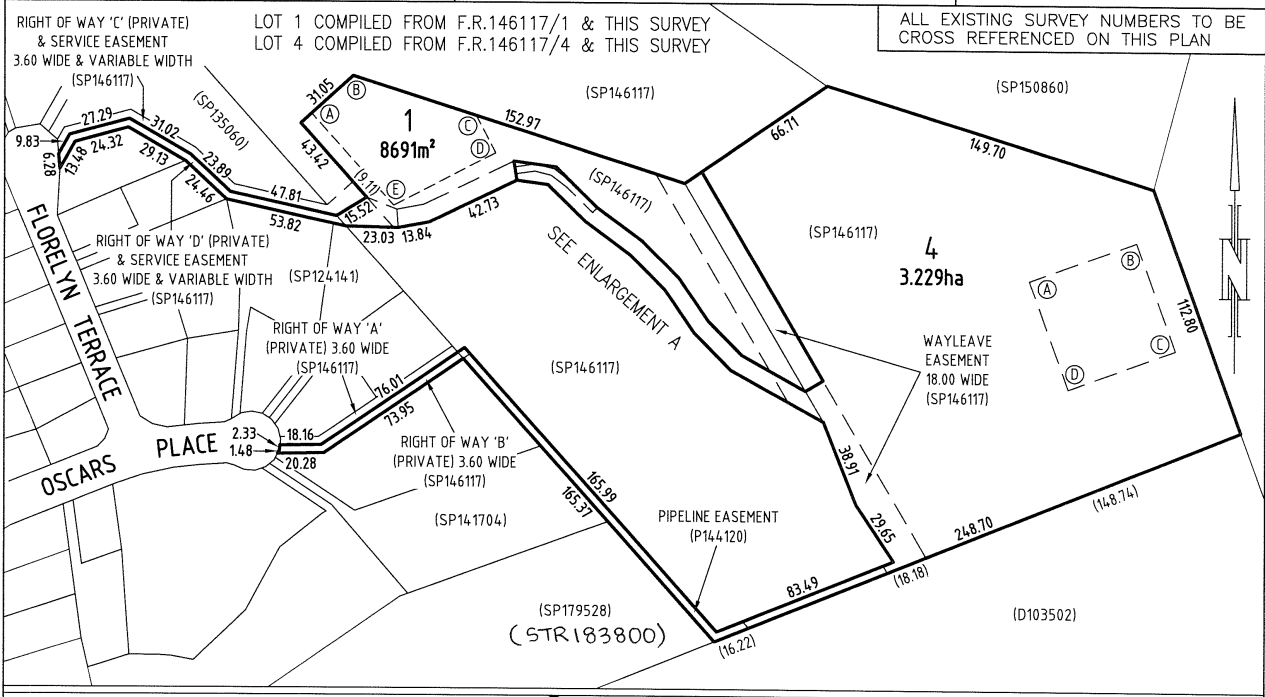


[Signature]
 COUNCIL DELEGATE
 DATE

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 1 SHEETS</p>	<p>OWNER KOORBAES PTY LTD FOLIO REFERENCE C.T.144120/1 SCALE 1: 750</p>	<p>Registered Number SP146117</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> Council Delegate</p> <p><i>[Signature]</i> Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p><i>[Signature]</i> Registered Land Surveyor</p> <p>10-8-2005 Date</p>	<p>APPROVED EFFECTIVE FROM 2.8 JUN 2006</p> <p><i>[Signature]</i> Recorder of Titles</p>



OWNER MURRAY GORDON SEABROOK PAMELA ANNE SEABROOK; KOORBAES PTY LTD	<h2 style="text-align: center;">PLAN OF SURVEY</h2>	Registered Number <h1 style="text-align: center;">SP184344</h1>
FOLIO REFERENCE 146117/1; 146117/4	BY SURVEYOR CRAIG BRADLEY ROGERSON ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0418-120-796	APPROVED EFFECTIVE FROM 27 JUN 2023
GRANTEE PART OF 2560 ACRES GTD TO THOMAS GEORGE GREGSON	<h2 style="text-align: center;">CITY OF CLARENCE</h2>	 Recorder of Titles
SCALE 1: 2,000 LENGTHS IN METRES		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



 Registered Land Surveyor	15/06/2022 Date	 Council Delegate Clare Shea	16.12.2022 Date
------------------------------	--------------------	---------------------------------	--------------------

SEARCH OF TORRENS TITLE

VOLUME 146117	FOLIO 2
EDITION 5	DATE OF ISSUE 27-Jan-2022

SEARCH DATE : 12-Apr-2026

SEARCH TIME : 08.40 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 2 on Sealed Plan [146117](#)

Derivation : Part of 2560 Acres Gtd. to T.G. Gregson

Prior CT [144120/1](#)

SCHEDULE 1

[M938952](#) TRANSFER to JUSTIN RYAN SUMMERS Registered
27-Jan-2022 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP146117](#) EASEMENTS in Schedule of Easements

[SP146117](#) COVENANTS in Schedule of Easements

[SP146117](#) FENCING PROVISION in Schedule of Easements

[SP146117](#) COUNCIL NOTIFICATION under Section 83(5) of the Local Government (Building and Miscellaneous Provisions) Act 1993.

[SP124141](#) WATER SUPPLY RESTRICTION

[E194312](#) MORTGAGE to AFSH Nominees Pty Ltd Registered
27-Jan-2022 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 146117	FOLIO 3
EDITION 2	DATE OF ISSUE 10-Nov-2006

SEARCH DATE : 12-Apr-2026

SEARCH TIME : 08.34 pm

DESCRIPTION OF LAND

City of CLARENCE
 Lot 3 on Sealed Plan [146117](#)
 Derivation : Part of 2560 Acres Gtd. to T.G. Gregson
 Prior CT [144120/1](#)

SCHEDULE 1

[C676181](#) TRANSFER to SUSAN JANE MADDEN Registered
 10-Nov-2006 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP146117](#) EASEMENTS in Schedule of Easements
[SP146117](#) COVENANTS in Schedule of Easements
[SP146117](#) FENCING PROVISION in Schedule of Easements
[SP146117](#) COUNCIL NOTIFICATION under Section 83(5) of the Local
 Government (Building and Miscellaneous Provisions)
 Act 1993.
[SP124141](#) WATER SUPPLY RESTRICTION

UNREGISTERED DEALINGS AND NOTATIONS

N148088 PRIORITY NOTICE reserving priority for 90 days
 TRANSFER SUSAN JANE MADDEN to ROHAN CRAIG
 HOLLINGSWORTH and TALISE-MARIANNE FLEMING
 MORTGAGE ROHAN CRAIG HOLLINGSWORTH and
 TALISE-MARIANNE FLEMING to NATIONAL AUSTRALIA BANK
 LIMITED Lodged by GOODMAN CONVEYANCING on
 19-Feb-2026 BP: N148088
 E452434 MORTGAGE to National Australia Bank Limited Lodged
 by DOBSON MITCHELL ALLPORT on 23-Mar-2026 BP: N148067
 N148067 TRANSFER to ROHAN CRAIG HOLLINGSWORTH and
 TALISE-MARIANNE FLEMING Lodged by DOBSON MITCHELL
 ALLPORT on 23-Mar-2026 BP: N148067

SEARCH OF TORRENS TITLE

VOLUME 184344	FOLIO 1
EDITION 2	DATE OF ISSUE 02-Oct-2023

SEARCH DATE : 12-Apr-2026

SEARCH TIME : 08.40 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Sealed Plan 184344

Derivation : Part of 2560 Acres Gtd. to Thomas George Gregson
Prior CTs 146117/1 and 146117/4

SCHEDULE 1

N154626 TRANSFER to DANIEL JOHN FOLLOWES and HAYLEY SHANNON
FOLLOWES Registered 02-Oct-2023 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP184344 EASEMENTS in Schedule of Easements
 SP184344 COVENANTS in Schedule of Easements
 SP184344 FENCING PROVISION in Schedule of Easements
 SP146117 COVENANTS in Schedule of Easements
 SP146117 FENCING PROVISION in Schedule of Easements
 SP146117 COUNCIL NOTIFICATION under Section 83(5) of the Local
 Government (Building and Miscellaneous Provisions)
 Act 1993.
 SP124141 WATER SUPPLY RESTRICTION
 E361307 MORTGAGE to Macquarie Bank Limited Registered
 02-Oct-2023 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 184344	FOLIO 4
EDITION 2	DATE OF ISSUE 26-July-2025

SEARCH DATE : 06-Apr-2026

SEARCH TIME : 12.38 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 4 on Sealed Plan 184344

Derivation : Part of 2560 Acres Gtd. to Thomas George Gregson
Prior CTs 146117/1 and 146117/4

SCHEDULE 1

N263731 TRANSFER to ALYCE CLAIRE FENTON-CLARK and BRADLEY
FENTON-CLARK Registered 26-July-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP184344 EASEMENTS in Schedule of Easements
 SP184344 COVENANTS in Schedule of Easements
 SP184344 FENCING PROVISION in Schedule of Easements
 SP146117 COVENANTS in Schedule of Easements
 SP146117 FENCING PROVISION in Schedule of Easements
 SP146117 COUNCIL NOTIFICATION under Section 83(5) of the Local
 Government (Building and Miscellaneous Provisions)
 Act 1993.
 SP124141 WATER SUPPLY RESTRICTION
 E421102 MORTGAGE to Commonwealth Bank of Australia
 Registered 26-July-2025 at 12.01 pm

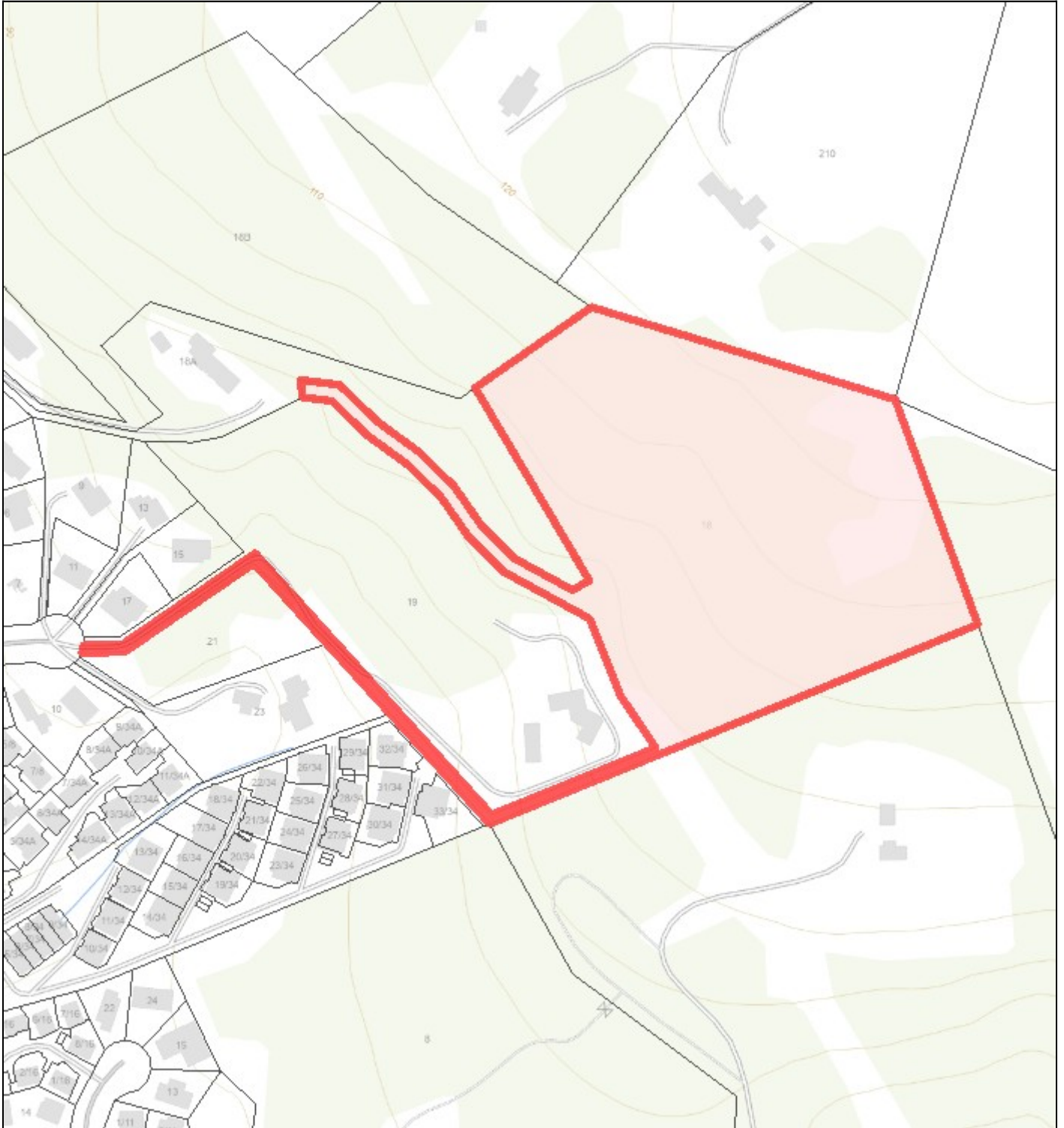
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

PROPERTY ID: 9960325

PROPERTY ADDRESS: 18 FLORELYN TERRACE
GEILSTON BAY TAS 7015

CONSTRUCTION YEAR:



PREMIUM PROPERTY Information Report

PROPERTY DETAILS - 18 FLORELYN TCE GEILSTON BAY

Property Name:			
Land Use:	Residential - VACANT-RURAL RESIDENTIAL (valuation purposes only)		
Improvements:	VACANT LAND		
Improvement Sizes (Top 3 by Size):	Improvement:	Area:	
Number of Bedrooms:			
Construction Year of Main Building:			
Roof Material:			
Wall Material:			
Land Area:	3.229 hectares		
Title References:	184344/4		
Municipality:	CLARENCE View Municipality Information Report		
Title owner:	184344/4 : ALYCE CLAIRE FENTON-CLARK, BRADLEY FENTON-CLARK		
Interested parties:	ALYCE CLAIRE FENTON-CLARK, BRADLEY FENTON-CLARK		
Postal address: (Interested Parties)	18 FLORELYN TCE GEILSTON BAY TAS 7015		

OWNERSHIP HISTORY - 18 FLORELYN TCE GEILSTON BAY

TYPE	NAME	ADDRESS	FROM	TO
Ownership	ALYCE CLAIRE FENTON-CLARK, BRADLEY FENTON-CLARK	18 FLORELYN TCE GEILSTON BAY TAS 7015	09/06/2025	
Ownership	KOORBAES PTY LTD	18A FLORELYN TCE GEILSTON BAY TAS 7015	20/05/2023	10/06/2025
Ownership	KOORBAES PTY LTD	PO BOX 65 LINDISFARNE TAS 7015	31/07/1995	20/05/2023

PROPERTY SALES - 18 FLORELYN TCE GEILSTON BAY

CONTRACT DATE	REAL ESTATE	CHATELS	OTHER	SETTLEMENT DATE
13/03/2025	\$657,000			10/06/2025

SALES STATISTICS - (Residential - VACANT-RURAL RESIDENTIAL) - GEILSTON BAY (Last 12 Months)

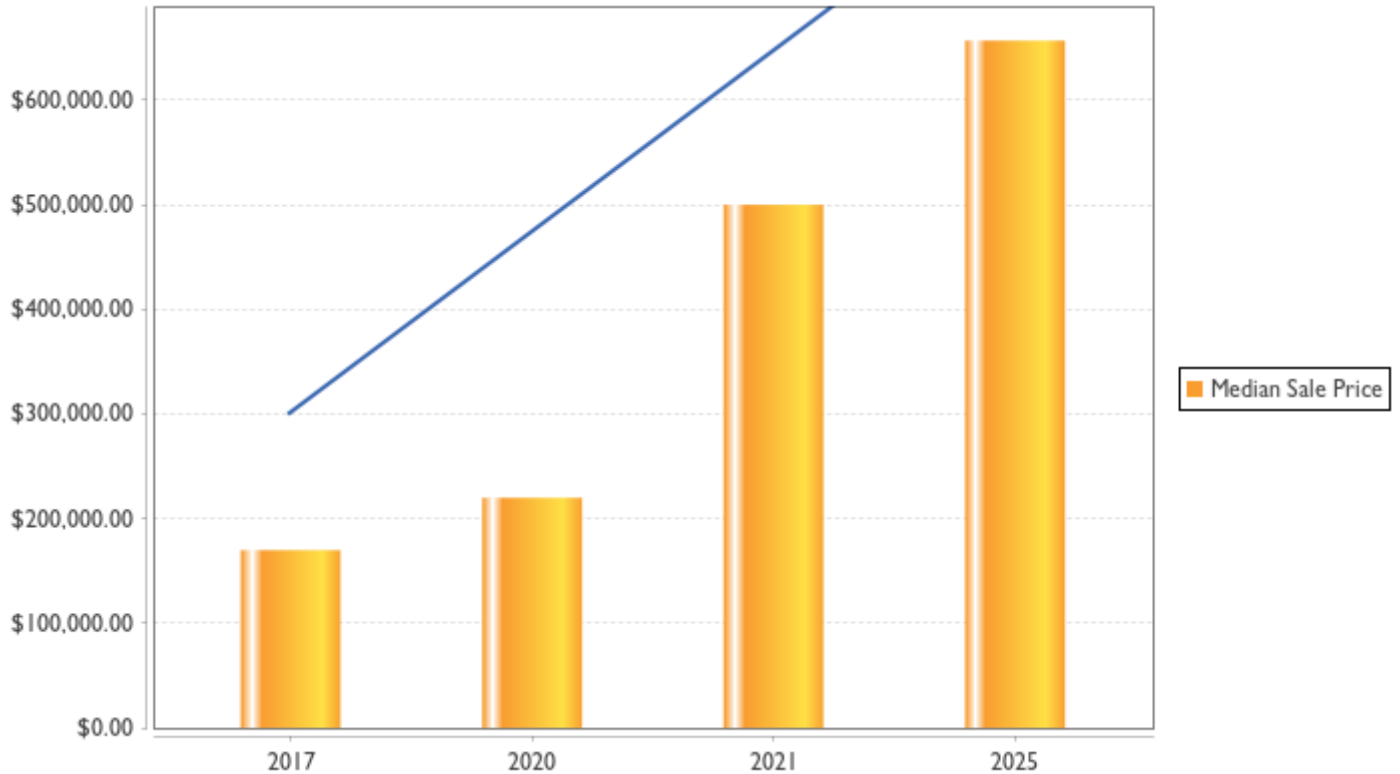
Number of Sales:	0
Highest Sales Price:	
Median Sales Price:	
Mean Sales Price:	
Lowest Sales Price:	

PREMIUM PROPERTY Information Report

LAST 5 SALES - (Residential) - GEILSTON BAY [View in LISTmap](#)

ADDRESS	CONTRACT DATE	SALE PRICE
15 ANDREAS PL GEILSTON BAY TAS 7015	26/09/2025	\$180,000
29 BELLEMONT CT GEILSTON BAY TAS 7015	18/08/2025	\$160,000
24 LOWLYNN CT GEILSTON BAY TAS 7015	17/07/2025	\$185,000
25 NAYUKA ST GEILSTON BAY TAS 7015	10/07/2025	\$190,000
23 NAYUKA ST GEILSTON BAY TAS 7015	20/06/2025	\$185,000

SALES TRENDS - (Residential - VACANT-RURAL RESIDENTIAL) - CLARENCE (Last 10 Years)



PREMIUM PROPERTY Information Report

PROPERTY VALUATIONS - 18 FLORELYN TCE GEILSTON BAY

DATE INSPECTED	LEVELS AT	LAND	CAPITAL	AAV	REASON
18/08/2023	01/07/2018	\$170,000	\$170,000	\$6,800	SPLIT FROM CANCELLED PID 2706242 AND PART ADDED FROM CANCELLED PID 2706218

AERIAL IMAGERY



PREMIUM PROPERTY Information Report

Explanation of Terms

Property ID	A unique number used for Valuation purposes.
Date Inspected	The date the property was inspected for the valuation.
Levels At	Levels At - or Levels of Valuation Date means the date at which values of properties are determined for all valuations in a Municipal Area.
Land Value	Land Value is the value of the property including drainage, excavation, filling, reclamation, clearing and any other invisible improvements made to the land. It excludes all visible improvements such as buildings, structures, fixtures, roads, standings, dams, channels, artificially established trees and pastures and other like improvements.
Capital Value	Capital Value is the total value of the property (including the land value), excluding plant and machinery.
AAV	Assessed Annual Value. AAV is the gross annual rental value of the property excluding GST, municipal rates, land tax and fixed water and sewerage, but cannot be less than 4% of the capital value.
Interested Parties	This is a list of persons who have been recorded by the Valuer-General as having interest in the property (ie owner or Government agency).
Postal Address	This is the last advised postal address for the interested parties.
Multiple Tenancies	Properties that have multiple tenants are assessed for separate AAV's. e.g. a house and flat.
Similar Criteria	Properties in the same locality with a Capital Value within a range of 10% of the property.

No information obtained from the LIST may be used for direct marketing purposes.

Much of this data is derived from the Valuation Rolls maintained by the Valuer-General under the provisions of the Valuation of Land Act 2001. The values shown on this report are as at the Levels At date.

While all reasonable care has been taken in collecting and recording the information shown above, this Department assumes no liability resulting from any errors or omissions in this information or from its use in any way.

© COPYRIGHT. Apart from any use permitted under the Copyright Act 1968, no part of the report may be copied without the permission of the General Manager, Land Tasmania, Department of Natural Resources and Environment Tasmania, GPO Box 44 Hobart 7001. [Personal Information Protection statement](#)

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP, 18 4 3 4 4

PAGE 1 OF 8 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 1 & 4 on the Plan are each subject to a pipeline and services easement as defined herein in favour of Tasmanian Water and Sewerage Corporation Pty Ltd over the land marked Pipeline Easement (P144120) shown passing through such Lots.

JKW
20-2-23

Lot 1 is together with a right of carriageway over the land marked RIGHT OF WAY "C" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH on the plan


Lot 1 is together with a service easement created by and more fully set forth in Sealed Plan 146117 over the land marked RIGHT OF WAY "C" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH on the plan

Lot 1 is together with a service easement as defined herein over the land marked SERVICE EASEMENT 3.00 WIDE on the plan

Lot 1 is subject to a wayleave easement more fully set forth in Sealed Plan 146117 (in favour of Tasmanian Networks Pty Ltd incorporating the former Hydro Electric Commission) over the land marked WAYLEAVE EASEMENT 18.00 WIDE passing through that lot on the plan

JKW
20-2-23

Lot 1 is subject to a pipeline and services easement more fully set forth in Sealed Plan 146117 (in favour of ~~Tasmanian Water and Sewerage Corporation Pty Ltd incorporating the former Hobart Water~~) over the land marked PIPELINE EASEMENT passing through that lot on the plan

ms *ps* *lae*  *Clare Shee*

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REF: 146117-1 & 4 SOLICITOR & REFERENCE: OGILVIE JENNINGS (LM)	PLAN SEALED BY: CLARENCE CITY COUNCIL DATE: <i>16th</i> December 2022 2021-024161 REF NO. <div style="text-align: right;"> <i>Clare Shee</i> Council Delegate </div>
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 8 PAGES	Registered Number SP. 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

Lot 1 is subject to a right of carriageway (appurtenant to lot 4^{on the Plan} and lot 2 on Sealed Plan 146117) over the land marked RIGHT OF WAY "D" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH passing through that lot on the plan —

Lot 1 is subject to a service easement created by and more fully defined in Sealed Plan 146117 (appurtenant to lot 4^{on the Plan} and lot 2 on Sealed Plan 146117) over the land marked RIGHT OF WAY "D" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH passing through that lot on the plan —

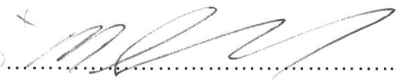
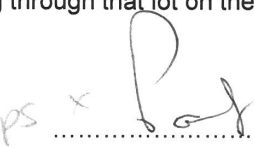



Lot 1 is subject to a right of carriageway (appurtenant to lot 4) over the land marked RIGHT OF WAY "E" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE passing through that lot on the plan —

Lot 1 is subject to a service easement created by and more fully defined in Sealed Plan 146117 (appurtenant to lot 4) over the land marked RIGHT OF WAY "E" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE passing through that lot on the plan —

Lot 4 is together with a right of carriageway over the land marked ~~RIGHT OF WAY "A" (PRIVATE) 3.60 WIDE~~, RIGHT OF WAY "C" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH, RIGHT OF WAY "D" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH and RIGHT OF WAY "E" (PRIVATE) 8.00 WIDE on the plan —

Lot 4 is together with a service easement created by and more fully set forth in Sealed Plan 146117 over the land marked ~~RIGHT OF WAY "A" (PRIVATE) 3.60 WIDE~~, RIGHT OF WAY "C" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH, RIGHT OF WAY "D" (PRIVATE) & SERVICE EASEMENT 3.60 WIDE & VARIABLE WIDTH and RIGHT OF WAY "E" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE on the plan —

Lot 4 is subject to a pipeline and services easement more fully set forth in Sealed Plan 146117 (in favour of ~~Tasmanian Water and Sewerage Corporation Pty Ltd incorporating the former Hobart Water~~) over the land marked PIPELINE EASEMENT passing through that lot on the plan

MS  PS    

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

Lot 4 is subject to a service easement as defined herein (appurtenant to lot 1) over the land marked SERVICE EASEMENT 3.00 WIDE passing through that lot on the plan

Lot 4 is subject to a wayleave easement more fully set forth in Sealed Plan 146117 (in favour of Tasmanian Networks Pty Ltd incorporating the former Hydro Electric Commission) over the land marked WAYLEAVE EASEMENT 18.00 WIDE passing through that lot on the plan

Lot 4 is subject to a right of carriageway (appurtenant to the portion of lot 4 formerly comprised in Folio 146117-4) over the land marked RIGHT OF WAY "F" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE passing through that lot on the plan

Lot 4 is subject to a service easement created by and more fully set forth in Sealed Plan 146117 (appurtenant to the portion of lot 4 formerly comprised in Folio 146117-4) over the land marked RIGHT OF WAY "F" (PRIVATE) & SERVICE EASEMENT 8.00 WIDE passing through that lot on the plan

Lot 4 is subject to a right of carriageway (appurtenant to lot 3 on Sealed Plan 146117) over the land marked RIGHT OF WAY "B" (PRIVATE) 3.60 WIDE passing through that lot on the plan

Lot 4 is subject to a right of carriageway more fully set forth in Transfer No C607722 (in favour of ~~Tasmanian Water and Sewerage Corporation Pty Ltd incorporating the former Hobart Regional Water Authority~~) over the land marked RIGHT OF WAY "B" (PRIVATE) 3.60 WIDE passing through that lot on the plan

That part of Lot 4 on the Plan formerly comprised in Lot 4 on Sealed Plan 146117 is together with a right of carriageway over the land marked Right of Way 'A' (Private) 3.60 wide shown on the Plan.

FENCING PROVISION

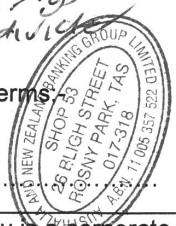
In respect to the lots on the plan the vendor (Murray Gordon Seabrook, Pamela Anne Seabrook and Koorbaes Pty Ltd) shall not be required to fence

COVENANTS

The owner of lot 1 is affected by covenants created by Sealed Plan 146117 in the following terms:

ms  ps  

Kimberley Mary Woolley
 20-2-23
 Agilite Jennings
 Solicitor to Subdividers



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 8 PAGES</p>	<p>Registered Number</p> <p>SP. 184344</p>
<p>SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4</p>	

1. Not to erect, place or maintain any structure or building upon the said lot unless firstly, it is placed within the building envelope marked ABCDE on the plan and secondly, it incorporates suitable building protection and fuel reduction zones in accordance with the requirements of Tasmania Fire Service
2. Not to remove any trees from the lot except those necessary for the construction of buildings, vehicular access and connection to services
3. Not to undertake any development on the lot except in accordance with Australian Standard AS 3959-1999, Construction of Buildings in Bushfire Prone Areas

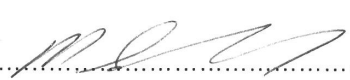
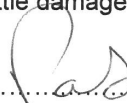

The owner of lot 4 is affected by covenants created by Sealed Plan 146117 in the following terms:-

1. Not to erect, place or maintain any structure or building upon the said lot unless firstly, it is placed within the building envelope marked ABCD on the plan and secondly, it incorporates suitable building protection and fuel reduction zones in accordance with the requirements of Tasmania Fire Service
2. Not to remove any trees from the lot except those necessary for the construction of buildings, vehicular access and connection to services
3. Not to undertake any development on the lot except in accordance with Australian Standard AS 3959-1999, Construction of Buildings in Bushfire Prone Areas

INTERPRETATION

“Service easement” means the right for the proprietor of the dominant tenement at any time with others and machinery:-

- (a) to enter upon the land marked "Service Easement 3.00 Wide" on the plan to lay pipes, pumps, drains, mains, channels, gutters, sewers, wires, cables and conducting media along and under the surface of the said land; and
- (b) to inspect, maintain, repair and amend the said infrastructure for the purpose of conveying water, stormwater, sewerage, electricity, gas and telecommunication media; and
- (c) to ensure that the rights granted are exercised in a proper manner so as to cause as little inconvenience as possible and to do as little damage as practicable to the said land

ms x  ps x  

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	


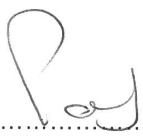


The Pipeline and Services Easement is defined as follows:-

THE FULL RIGHT AND LIBERTY for the Transferee at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;

ms  PS   

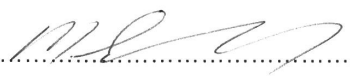
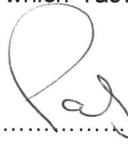
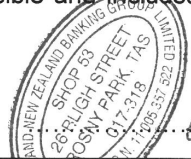

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 6 OF 8 PAGES</p>	<p>Registered Number</p> <p>SP 184344</p>
<p>SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4</p>	

- (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
 - (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
 - (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
 - (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
 - (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

msx  psx   

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 7 OF 8 PAGES</p>	<p>Registered Number</p> <p>SP 184344</p>
<p>SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4</p>	

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Signed by MURRAY GORDON SEABROOK)
 and PAMELA ANNE SEABROOK)
 being the registered proprietor of Folio of the)
 Register 146117/1 in the presence of:)

ms
ps


Witness signature: *[Signature]*
 Print Full Name: *Chris Murray Seabrook*
 Postal Address: *Unit 3/7 Simians Court*
Lindisfarne 7015

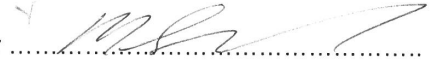
Executed by AUSTRALIA AND NEW ZEALAND BANKING
 GROUP LIMITED as mortgagee in Mortgage No C917051:

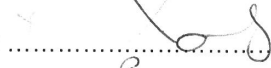
ms  *ps*   

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 8 OF 8 PAGES	Registered Number SP 184344
SUBDIVIDER: M G & P A SEABROOK, KOORBAES P/L FOLIO REFERENCE: 146117-1 & 4	

Signed for and on behalf of KOORBAES PTY LTD
 (ACN 070 223 540) being the registered proprietor of
 Folio of the Register 146117/4 pursuant to section 127
 Corporations Act 2001 by:


Signature: 
 Print Full Name: *Murray Gordon Seabrook*
 Office Held: *Director*

Signature: 
 Print Full Name: *Pamela Seabrook*
 Office Held: *Director*

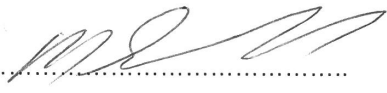
AUSTRALIA AND NEW ZEALAND
 BANKING GROUP LIMITED by BEING
 Additional Attorney


Hilda Wanigasuriya
 I hereby Certifies that he has
 had no notice of revocation of
 POWER OF ATTORNEY NO PA9653 under
 (this instrument is signed) in the
 presence of

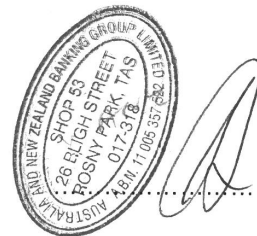
AUSTRALIA AND NEW ZEALAND
 BANKING GROUP LIMITED by Its
 Additional Attorney


Travis Wallace

Hilda Wanigasuriya
 Director, 4/833 Collins Street, Docklands Victoria 3008

MS 

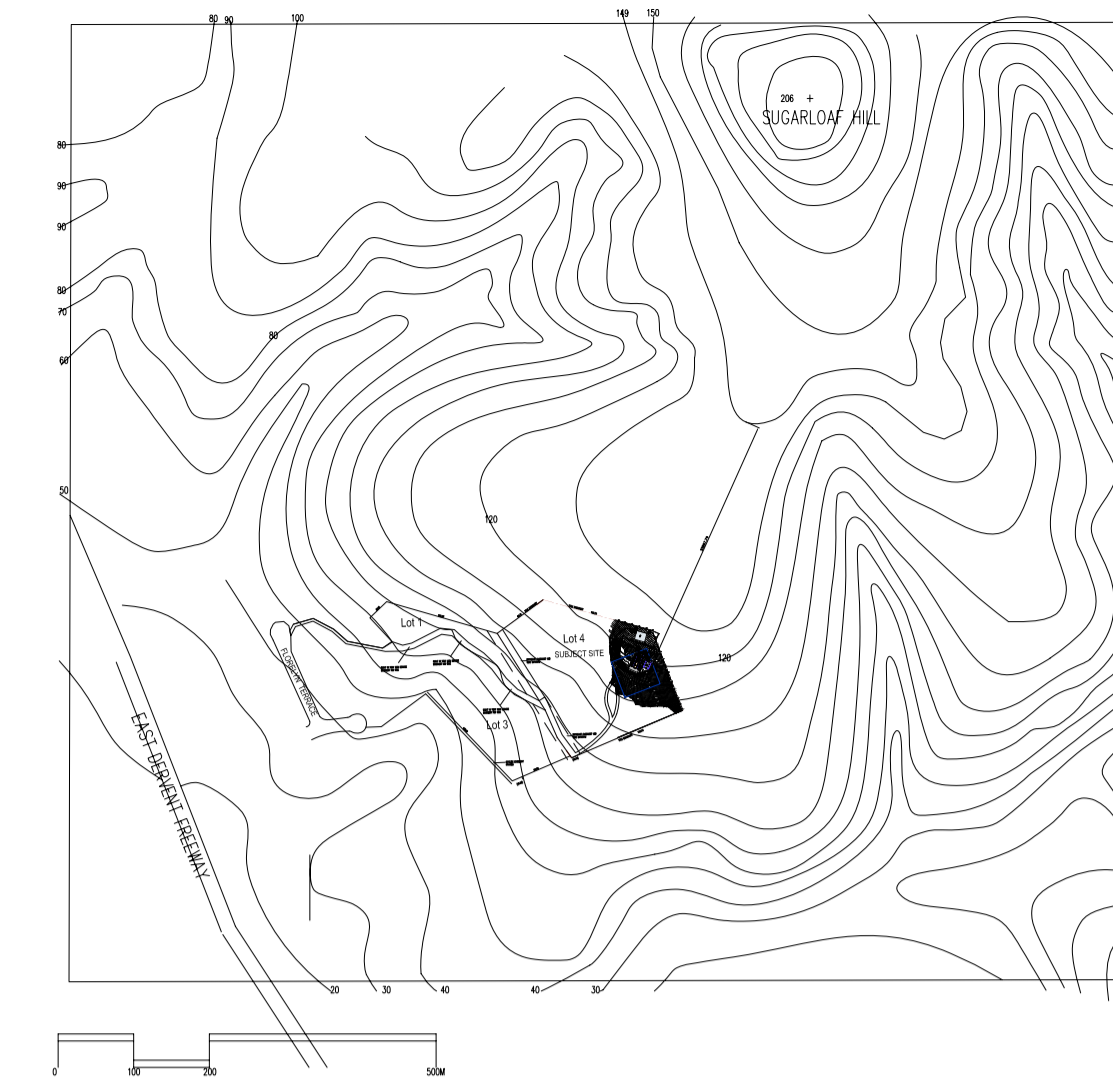
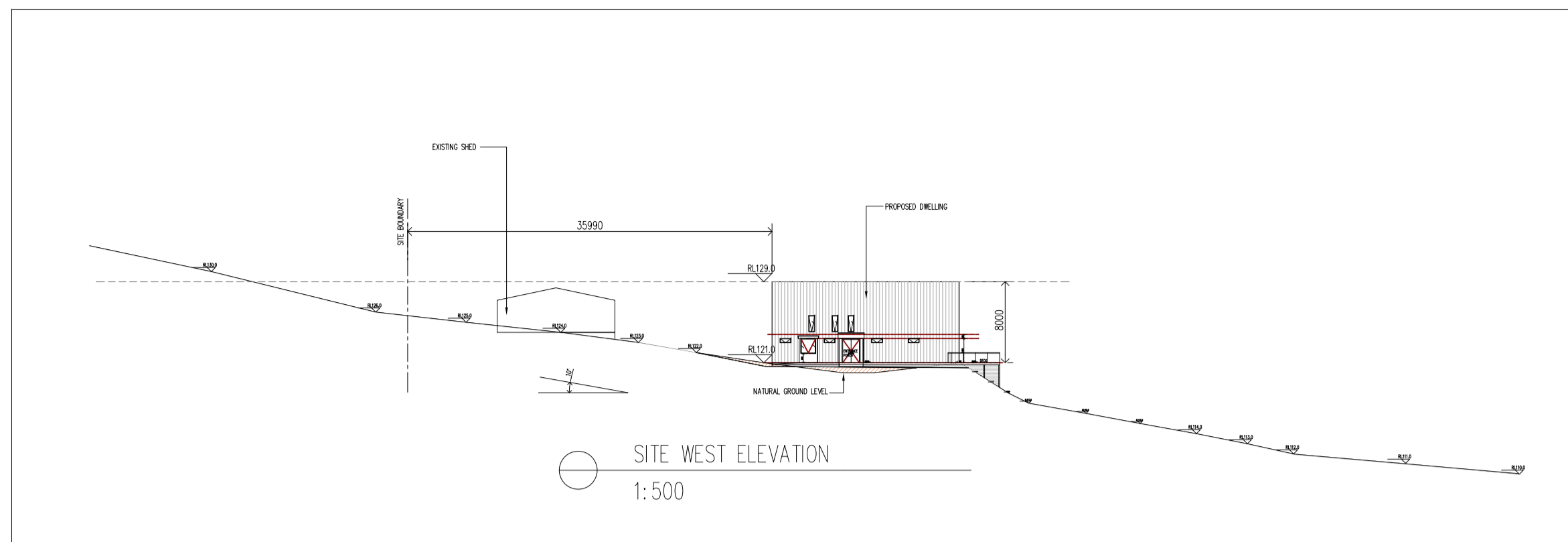
PS 



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing. *CA*

**PROPOSED DOUBLE STOREY
SINGLE DWELLING UNIT AT
18 FLORELYN TERRACE
GEILSTON BAY, TAS 7015**

21 APRIL 2026



BUSHFIRE ATTACK LEVEL
 A) THE BUSHFIRE ATTACK LEVEL FOR THE SITE HAS BEEN DETERMINED AS BAL-29. THE RISK IS CONSIDERED TO BE HIGH AND THERE IS AN INCREASED RISK OF EMBER ATTACK AND BURNING DEBRIS IGNITED BY WIND BORNE EMBERS AND A LIKELIHOOD OF EXPOSURE TO AN INCREASED LEVEL OF RADIANT HEAT AT THE SITE. THE CONSTRUCTION ELEMENTS ARE EXPECTED TO BE EXPOSED TO A HEAT FLUX NOT GREATER THAN 29 KW/M₂.

- PROPERTY ACCESS:**
 B) PROPERTY ACCESS LENGTH IS 30 METRES OR GREATER; OR ACCESS IS FOR A FIRE APPLIANCE TO A FIRE FIGHTING WATER POINT.
 THE FOLLOWING DESIGN AND CONSTRUCTION REQUIREMENTS APPLY TO PROPERTY ACCESS:
- 1) ALL WEATHER CONDITIONS
 - 2) LOAD CAPACITY OF AT LEAST 20 TONNES, INCLUDING BRIDGES AND CULVERTS
 - 3) MINIMUM 4.0M WIDTH
 - 4) MINIMUM 4.0M VERTICAL CLEARANCE
 - 5) MINIMUM HORIZONTAL CLEARANCE OF 0.5 METRES FROM THE EDGE OF THE CARRIAGEWAY;
 - 6) CROSS FALL OF LESS THAN 3" (1:20 OR 5%)
 - 7) DRIP LESS THAN 7" (1:8 OR 12.5%) ENTRY AND EXIT ANGLE
 - 8) CURVES WITH A MINIMUM INNER RADIUS OF 10 METRES
 - 9) MAXIMUM GRADIENT OF 15' (1:3.5 OR 28%) FOR SEALED ROADS, AND 10" (1:5.5 OR 18%) FOR UNSEALED ROADS; - GRADIENT IN ACCORDANCE WITH BUSHFIRE REPORT
 - 10) TERMINATE WITH A TURNING AREA FOR FIRE APPLIANCES PROVIDED BY ONE OF THE FOLLOWING:
 - i) A TURNING CIRCLE WITH A MINIMUM OUTER RADIUS OF 10 METRES;
 - ii) A PROPERTY ACCESS ENCIRCLING THE BUILDING; OR
 - iii) A HAMMERHEAD "T" OR "Y" TURNING HEAD 4 METRES WIDE AND 8 METRES LONG

PROPERTY ACCESS OTHER REQUIREMENT:
 C) PROPERTY ACCESS LENGTH IS 200 METRES OR GREATER.
 THE FOLLOWING DESIGN AND CONSTRUCTION REQUIREMENTS APPLY TO PROPERTY ACCESS:

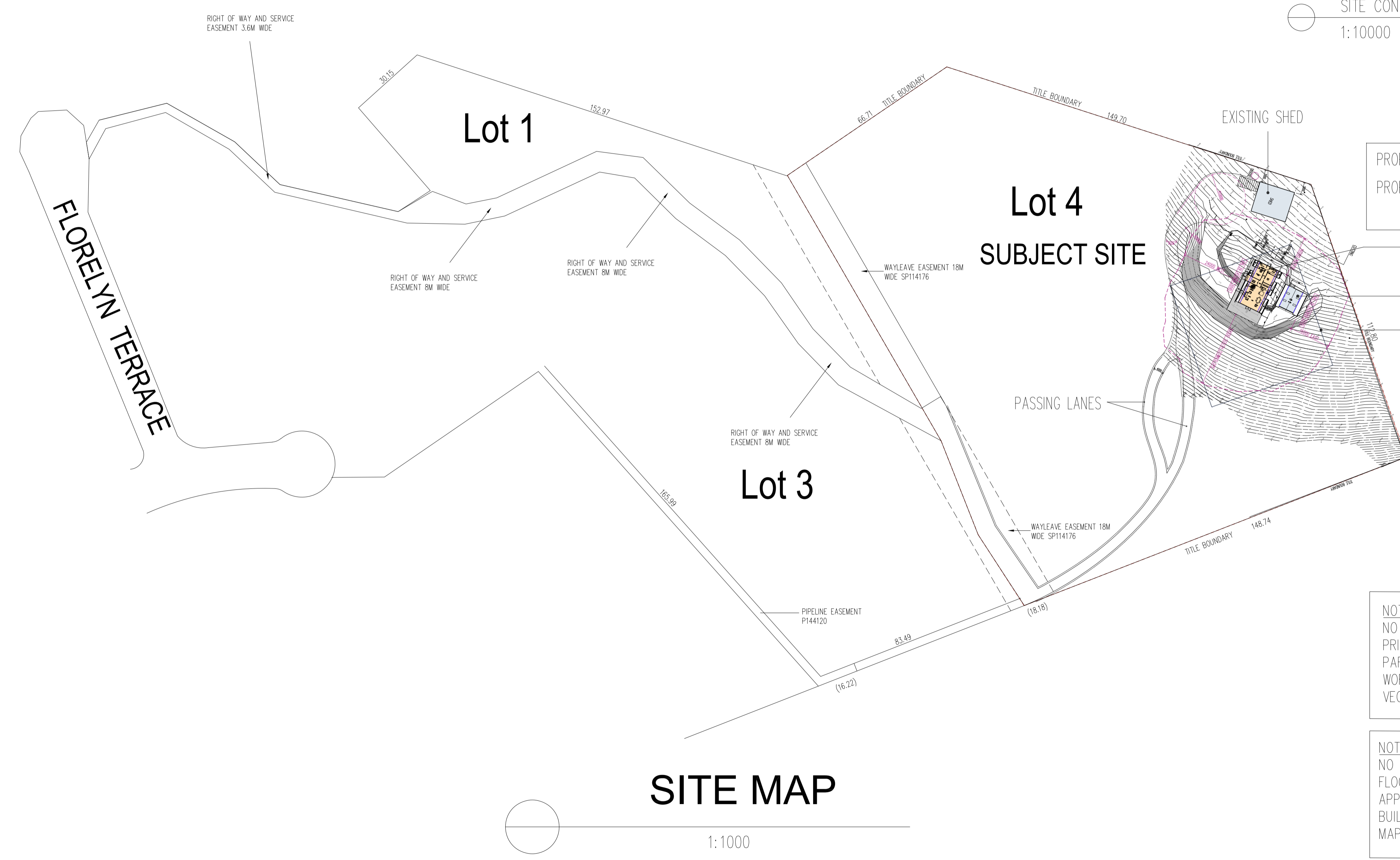
- 1) THE REQUIREMENTS FOR B ABOVE; AND
- 2) PASSING BAYS OF 2 METRES ADDITIONAL CARRIAGEWAY WIDTH AND 20 METRES LENGTH PROVIDED EVERY 200

PROPOSED DWELLING BUILDING AREA= 315.5 SQM
 PROPOSED GYM BUILDING AREA= 56 SQM
 TOTAL = 371.5 SQM

- PROPOSED 2-STOREY DWELLING
- PROPOSED GYM BUILDING
- BUILDING ENVELOPE CONTROL

NOTE:
 NO CLEARANCE OF VEGETATION WITHIN THE PRIORITY VEGETATION AREA IS PROPOSED AS PART OF THIS DEVELOPMENT. ALL BUILDINGS AND WORKS ARE LOCATED OUTSIDE MAPPED PRIORITY VEGETATION AREAS.

NOTE:
 NO ACCESS WORKS ARE PROPOSED WITHIN THE FLOOD-PRONE HAZARD AREA OVERLAY THAT APPLIES TO THE SITE. THE DRIVEWAY AND ALL BUILDING WORKS ARE LOCATED OUTSIDE THE MAPPED FLOOD OVERLAY.



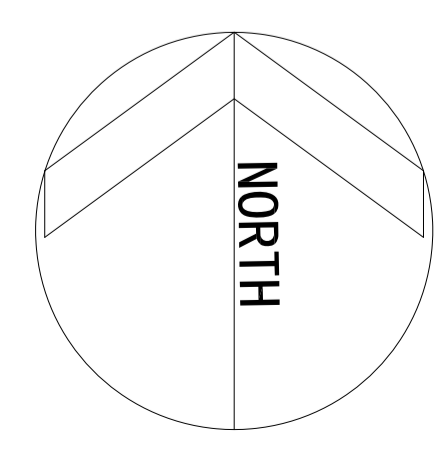
**KACE ARCHITECTS
 PTY LTD**
 U111B 1 COLOMBO STREET, MITCHAM, VIC 3132

These drawings are copyright of the Architect. The drawings and designs may not be used or reproduced without the express approval of the Architect. Do not scale drawings. Use given dimensions only. Any discrepancy in drawings or specifications to be referred to the Architect.

PROJECT: PROPOSED DOUBLE STOREY SINGLE DWELLING UNIT AT 18 FLORELYN TERRACE GEILSTON BAY, TAS 7015

CLIENT:	BRIBUILD
ARCHITECT:	KWAI CHOON MAK
REGISTRATION:	1434
FILE REF.	KA1A.DWG

PROJECT REF:	KA134
SCALE:	1:1000@A1
DATE:	20260307
DWG NO.	AR_01



BUSHFIRE ATTACK LEVEL
 A) THE BUSHFIRE ATTACK LEVEL FOR THE SITE HAS BEEN DETERMINED AS BAL-29. THE RISK IS CONSIDERED TO BE HIGH AND THERE IS AN INCREASED RISK OF EMBER ATTACK AND BURNING DEBRIS IGNITED BY WIND BORNE EMBERS AND A LIKELIHOOD OF EXPOSURE TO AN INCREASED LEVEL OF RADIANT HEAT AT THE SITE. THE CONSTRUCTION ELEMENTS ARE EXPECTED TO BE EXPOSED TO A HEAT FLUX NOT GREATER THAN 29 KW/M₂.

PROPOSED DWELLING BUILDING AREA= 315.5 SQM
 PROPOSED GYM BUILDING AREA= 56 SQM
 TOTAL = 371.5 SQM

PROPERTY ACCESS:
 B) PROPERTY ACCESS LENGTH IS 30 METRES OR GREATER; OR ACCESS IS FOR A FIRE APPLIANCE TO A FIRE FIGHTING WATER POINT.
 THE FOLLOWING DESIGN AND CONSTRUCTION REQUIREMENTS APPLY TO PROPERTY ACCESS:
 1) ALL WEATHER CONDITIONS
 2) LOAD CAPACITY OF AT LEAST 20 TONNES, INCLUDING BRIDGES AND CULVERTS
 3) MINIMUM 4.0M WIDTH
 4) MINIMUM 4.0M VERTICAL CLEARANCE
 5) MINIMUM HORIZONTAL CLEARANCE OF 0.5 METRES FROM THE EDGE OF THE CARRIAGEWAY;
 6) CROSS FALL OF LESS THAN 3° (1:20 OR 5%)
 7) DRIP LESS THAN 7° (1:8 OR 12.5%) ENTRY AND EXIT ANGLE
 8) CURVES WITH A MINIMUM INNER RADIUS OF 10 METRES
 9) MAXIMUM GRADIENT OF 15° (1:3.5 OR 28%) FOR SEALED ROADS, AND 10° (1:5.5 OR 18%) FOR UNSEALED ROADS; - GRADIENT IN ACCORDANCE WITH BUSHFIRE REPORT
 10) TERMINATE WITH A TURNING AREA FOR FIRE APPLIANCES PROVIDED BY ONE OF THE FOLLOWING:
 i) A TURNING CIRCLE WITH A MINIMUM OUTER RADIUS OF 10 METRES;
 ii) A PROPERTY ACCESS ENCIRCLING THE BUILDING; OR
 iii) A HAMMERHEAD "T" OR "Y" TURNING HEAD 4 METRES WIDE AND 8 METRES LONG

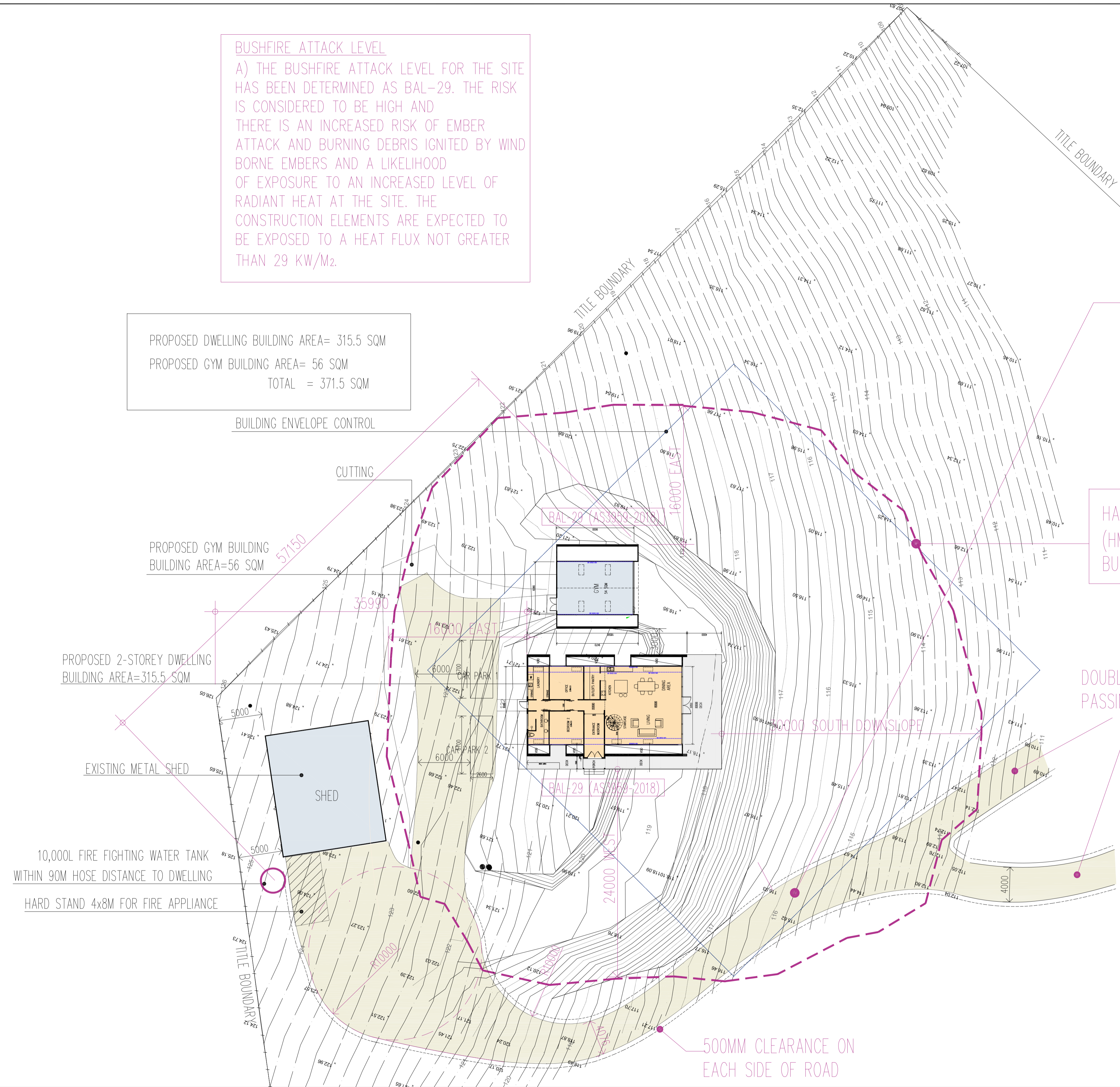
PROPERTY ACCESS OTHER REQUIREMENT:
 C) PROPERTY ACCESS LENGTH IS 200 METRES OR GREATER.
 THE FOLLOWING DESIGN AND CONSTRUCTION REQUIREMENTS APPLY TO PROPERTY ACCESS:
 1) THE REQUIREMENTS FOR B ABOVE; AND
 2) PASSING BAYS OF 2 METRES ADDITIONAL CARRIAGEWAY WIDTH AND 20 METRES LENGTH PROVIDED EVERY 200

HAZARD MANAGEMENT AREA (HMA) IN ACCORDANCE WITH BUSHFIRE HAZARD REPORT J6073

DOUBLE LANES FOR VEHICLE PASSING 2x 4M X20M

NOTE:
 NO CLEARANCE OF VEGETATION WITHIN THE PRIORITY VEGETATION AREA IS PROPOSED AS PART OF THIS DEVELOPMENT. ALL BUILDINGS AND WORKS ARE LOCATED OUTSIDE MAPPED PRIORITY VEGETATION AREAS.

NOTE:
 NO ACCESS WORKS ARE PROPOSED WITHIN THE FLOOD-PRONE HAZARD AREA OVERLAY THAT APPLIES TO THE SITE. THE DRIVEWAY AND ALL BUILDING WORKS ARE LOCATED OUTSIDE THE MAPPED FLOOD OVERLAY.



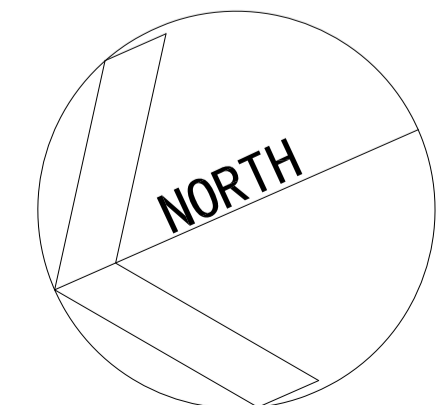
SITE PLAN

KACE ARCHITECTS PTY LTD
 U111B 1 COLOMBO STREET, MITCHAM, VIC 3132

These drawings are copyright of the Architect. The drawings and designs may not be used or reproduced without the express approval of the Architect. Do not scale drawings. Use given dimensions only. Any discrepancy in drawings or specifications to be referred to the Architect.

PROJECT: PROPOSED DOUBLE STOREY SINGLE DWELLING UNIT AT 18 FLORELYN TERRACE GEILSTON BAY, TAS 7015

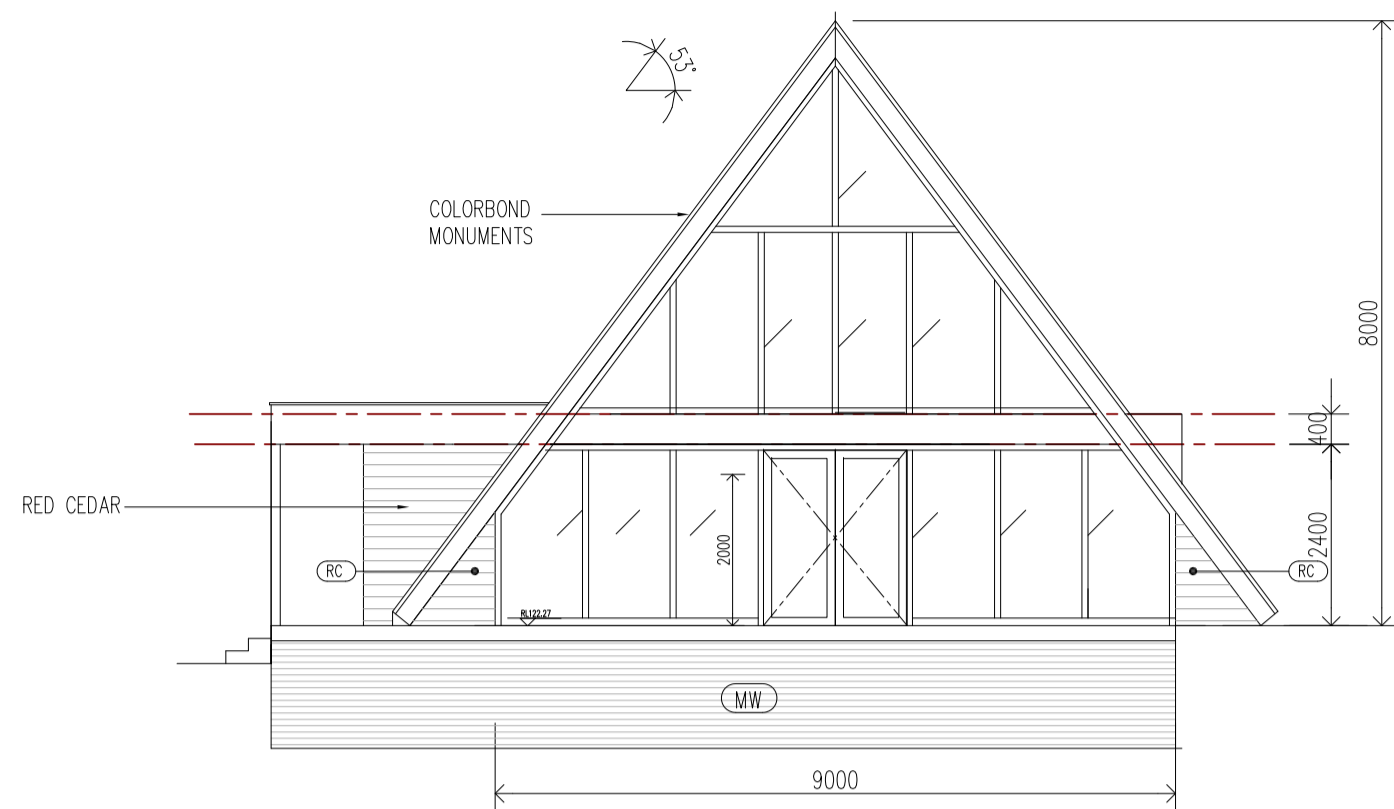
CLIENT:	BRIBUILD	PROJECT REF:	KA134
ARCHITECT:	KWAI CHOON MAK	SCALE:	1:250@A1
REGISTRATION:	1434	DATE:	20260307
FILE REF:	KA1A.DWG	DWG NO.	AR_02



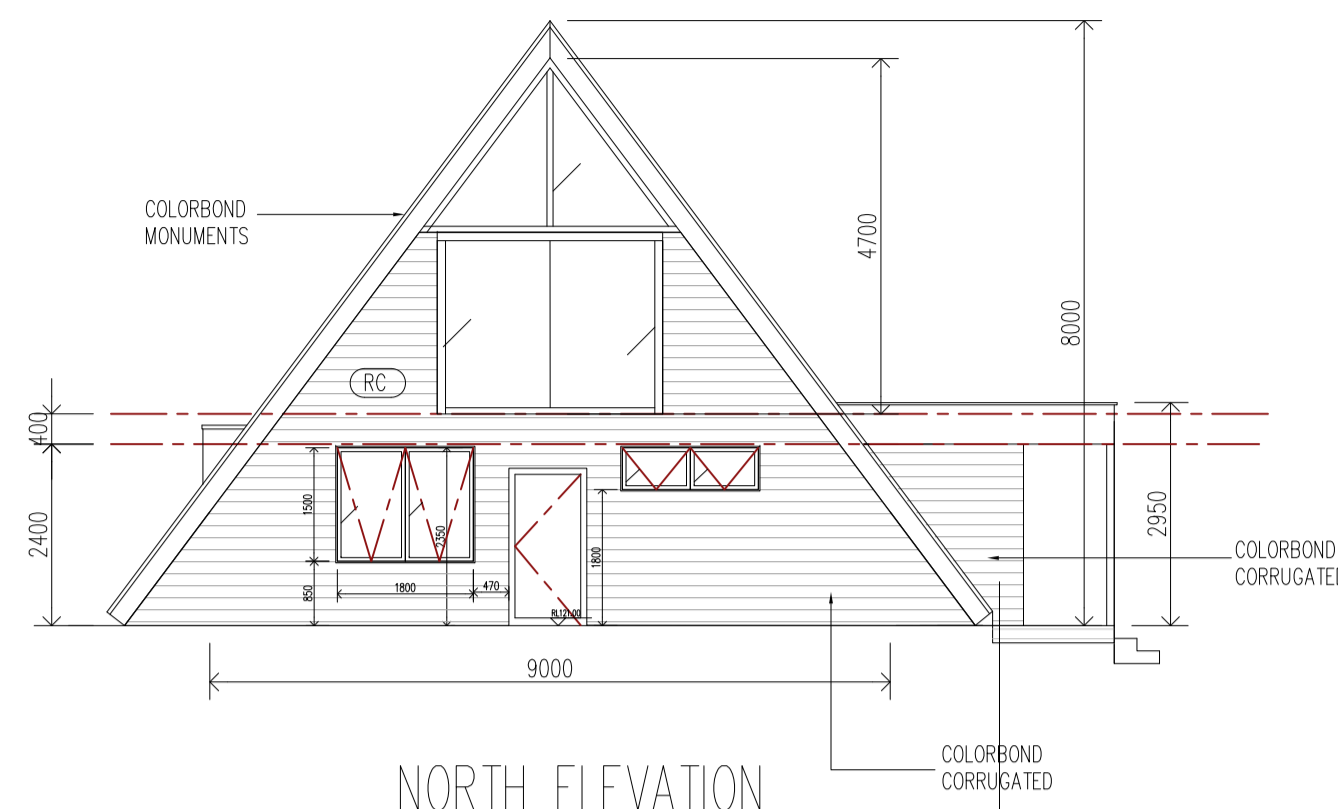
LEGEND

- COLORBOND ROOF PANELS
- RED CEDAR SHIPLAP TRIMS
- DECKING

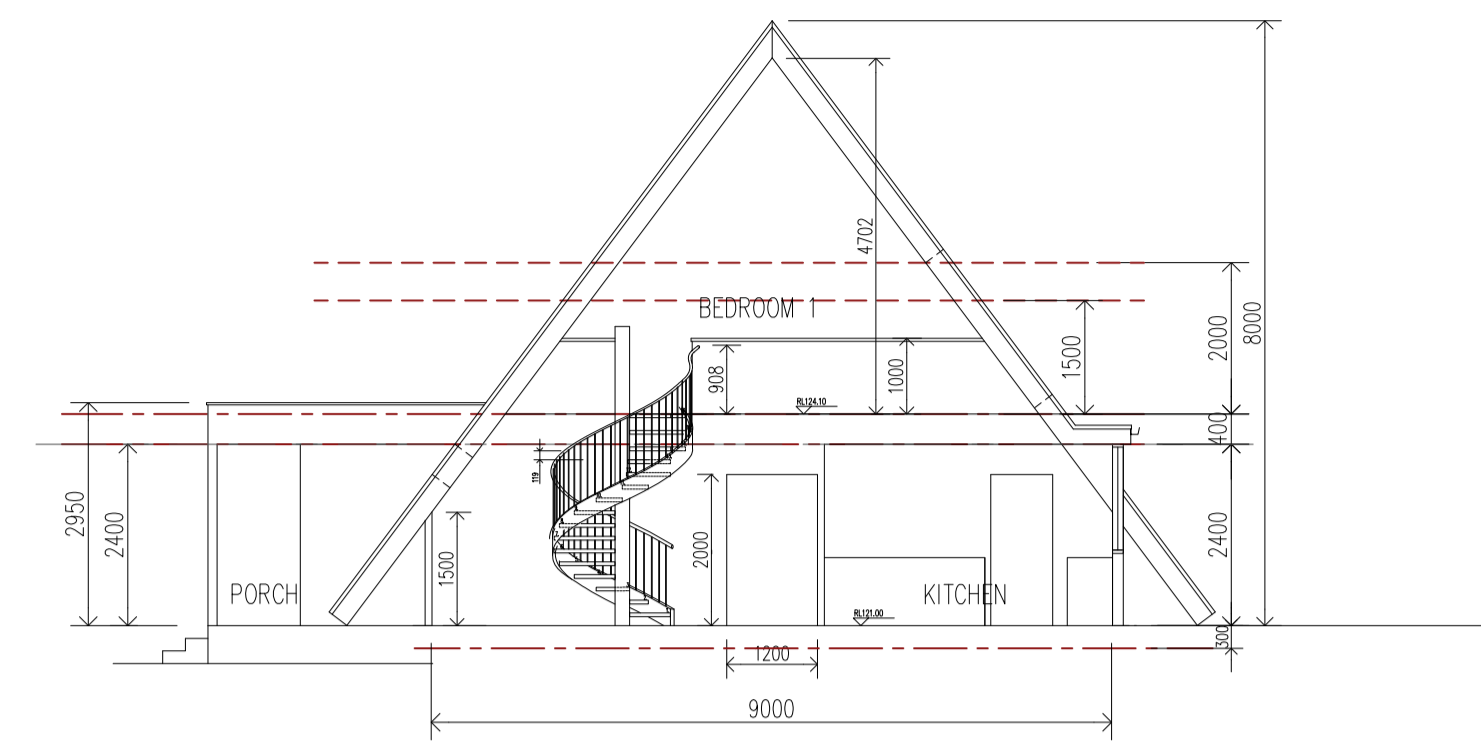
BUSHFIRE COMPLIANCE
 -BAL RATING: BAL-29
 -DEVELOPMENT IN ACCORDANCE WITH BUSHFIRE HAZARD REPORT J6073
 -HAZARD MANAGEMENT AREA AS DIMENSIONED ON PLAN
 -FIRE APPLIANCE ACCESS COMPLIANT WITH SECTION 6.1
 -10,000L DEDICATED FIRE FIGHTING WATER SUPPLY PROVIDED
 -CONSTRUCTION TO COMPLY WITH BAL-29 REQUIREMENT OF AS3959-2018



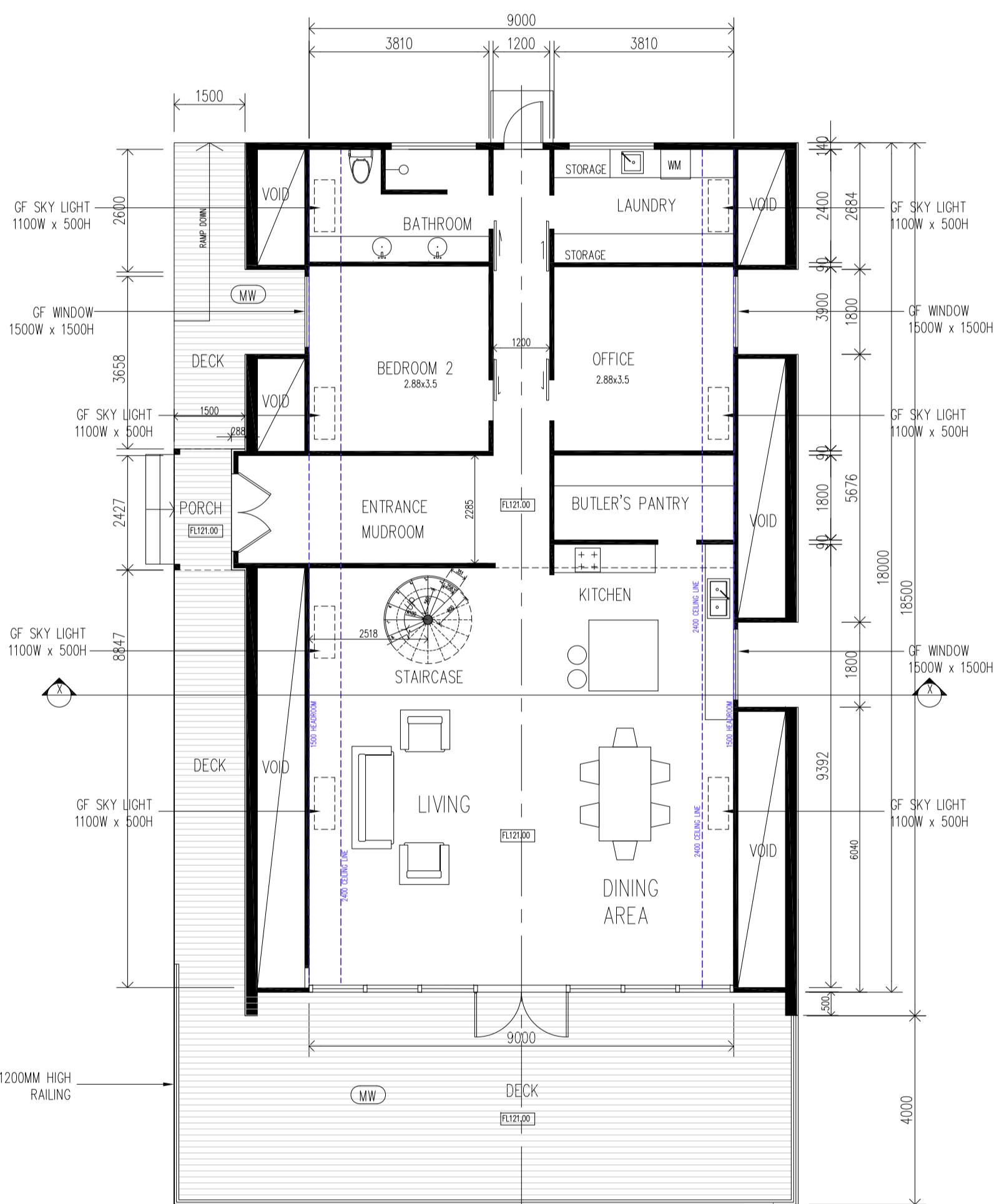
SOUTH ELEVATION



NORTH ELEVATION

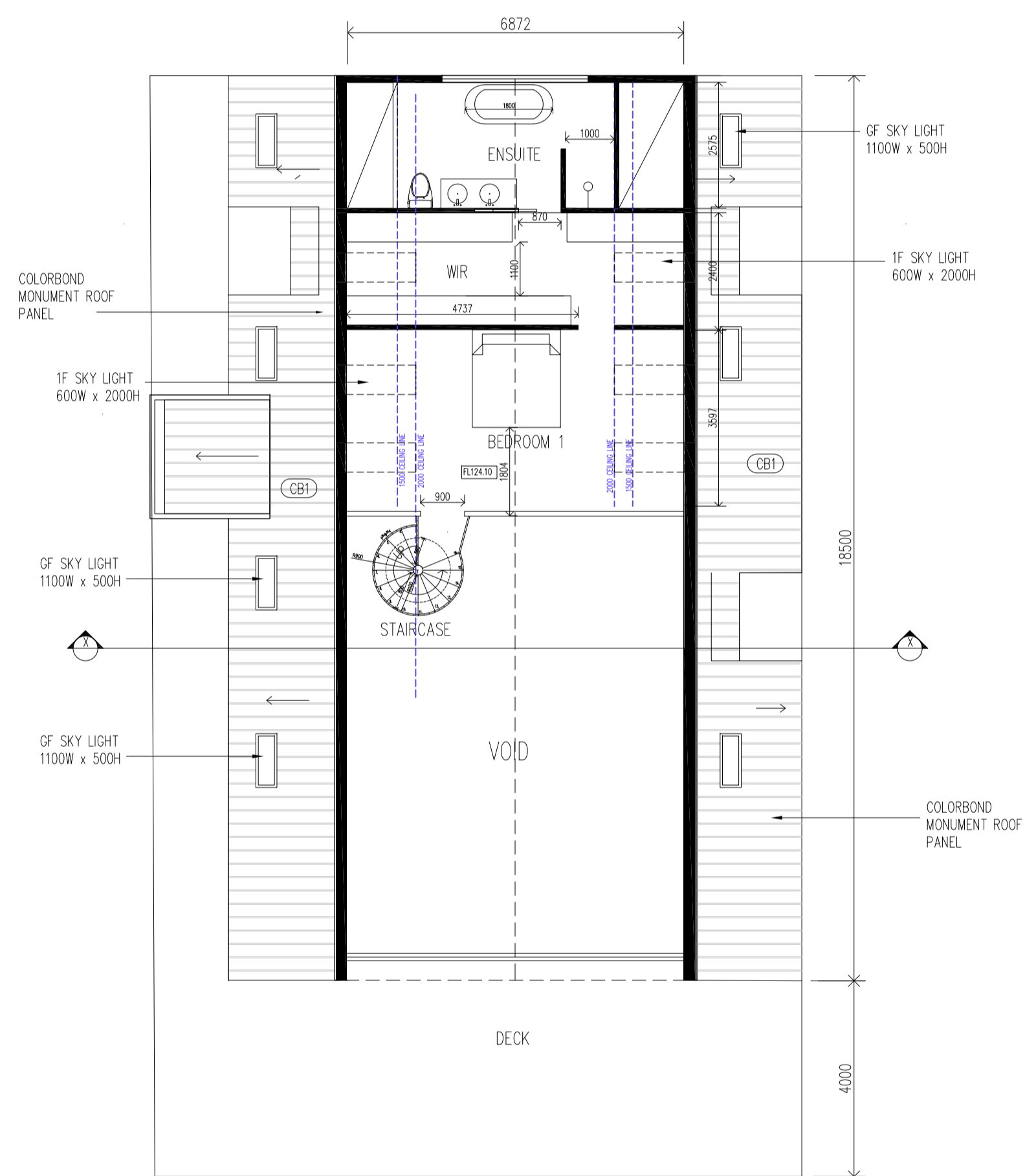


SECTION XX



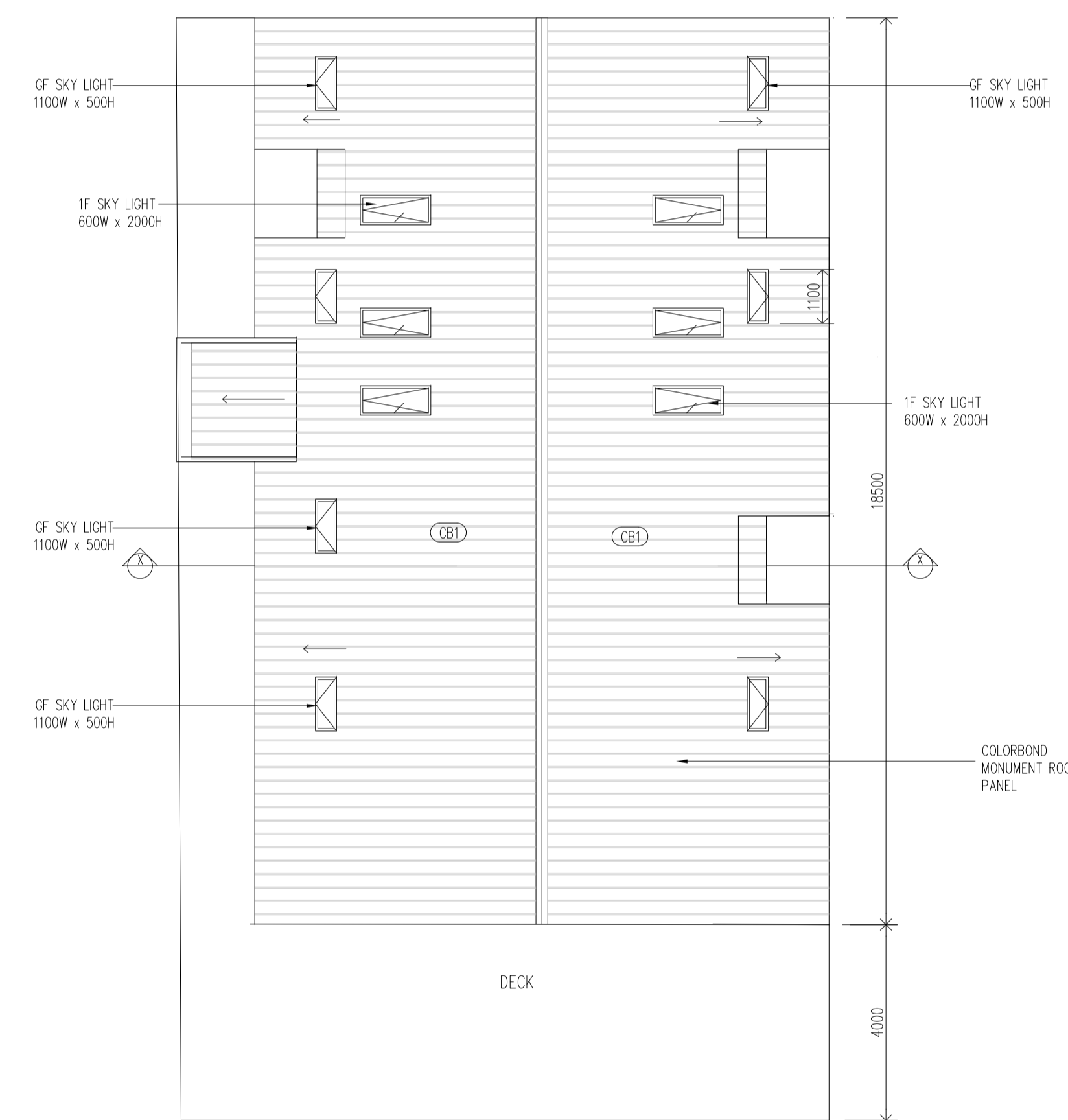
GROUND FLOOR PLAN

BUILDING AREA= 162.0 SQM
 DECK AREA= 86.8 SQM



FIRST FLOOR PLAN

BUILDING AREA= 66.7 SQM



ROOF PLAN

MAIN DWELLING

TOTAL BUILDING AREA= 315.5 SQM

**KACE ARCHITECTS
 PTY LTD**

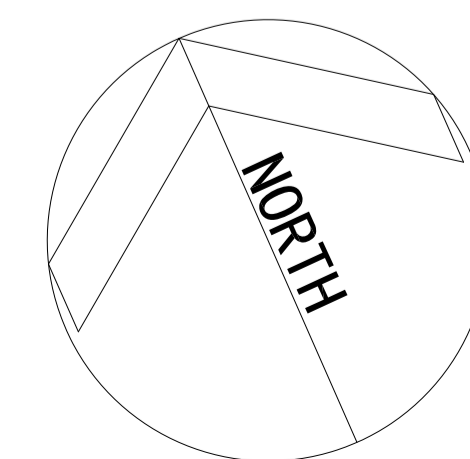
U111B 1 COLOMBO STREET, MITCHAM, VIC 3132

These drawings are copyright of the Architect. The drawings and designs may not be used or reproduced without the express approval of the Architect. Do not scale drawings. Use given dimensions only. Any discrepancy in drawings or specifications to be referred to the Architect.

PROJECT: PROPOSED DOUBLE STOREY SINGLE DWELLING UNIT AT 18 FLORELYN TERRACE GEILSTON BAY, TAS 7015

CLIENT: BRIBUILD
 ARCHITECT: KWAI CHOON MAK
 REGISTRATION: 1434
 FILE REF: KA1A.DWG

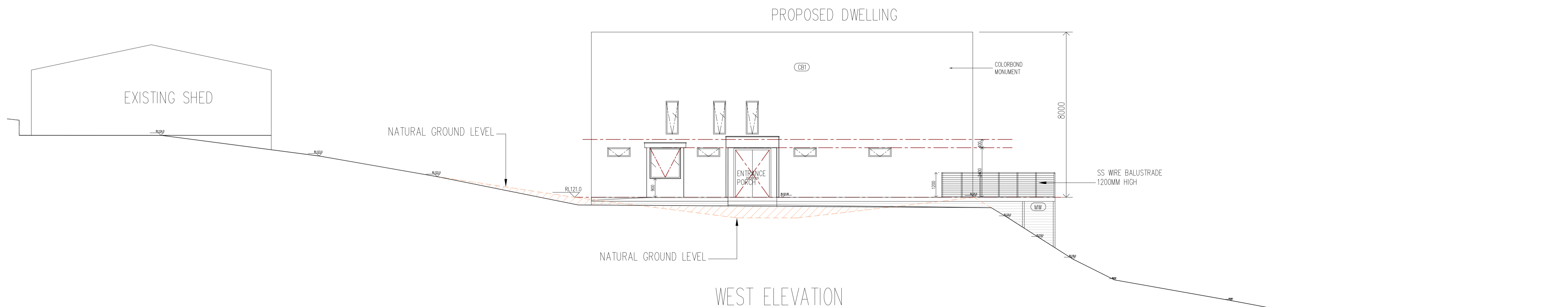
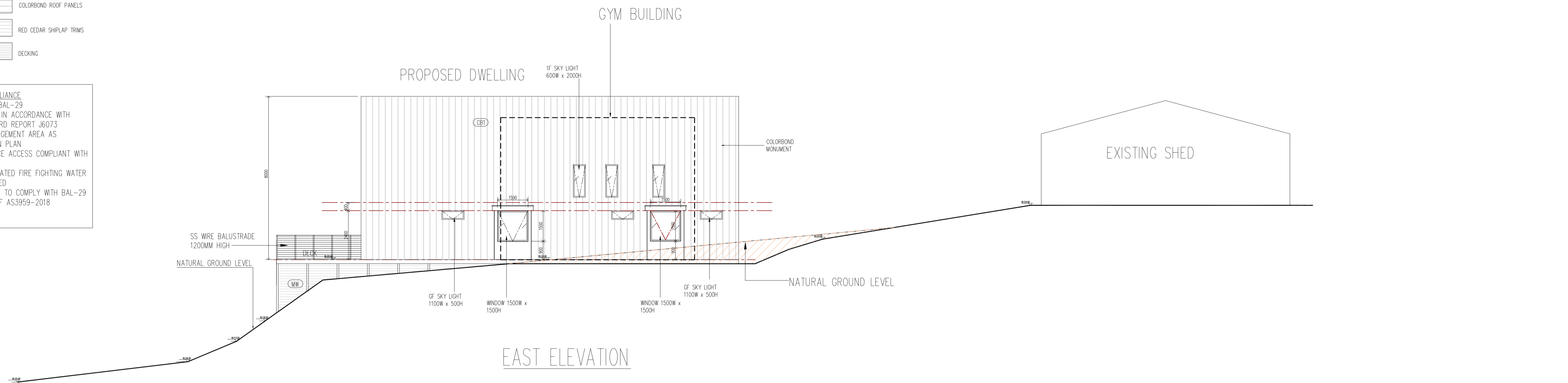
PROJECT REF: KA134
 SCALE: 1:100@A1
 DATE: 20260307
 DWG NO. AR_03



LEGEND

- CBI COLORBOND ROOF PANELS
- RC RED CEDAR SHIPLAP TRIMS
- MW DECKING

BUSHFIRE COMPLIANCE
 -BAL RATING: BAL-29
 -DEVELOPMENT IN ACCORDANCE WITH BUSHFIRE HAZARD REPORT J6073
 -HAZARD MANAGEMENT AREA AS DIMENSIONED ON PLAN
 -FIRE APPLIANCE ACCESS COMPLIANT WITH SECTION 6.1
 -10,000L DEDICATED FIRE FIGHTING WATER SUPPLY PROVIDED
 -CONSTRUCTION TO COMPLY WITH BAL-29 REQUIREMENT OF AS3959-2018



MAIN DWELLING

**KACE ARCHITECTS
PTY LTD**

U111B 1 COLOMBO STREET, MITCHAM, VIC 3132

These drawings are copyright of the Architect. The drawings and designs may not be used or reproduced without the express approval of the Architect. Do not scale drawings. Use given dimensions only. Any discrepancy in drawings or specifications to be referred to the Architect.

PROJECT: PROPOSED DOUBLE STOREY SINGLE DWELLING UNIT AT 18 FLORELYN TERRACE GEILSTON BAY, TAS 7015

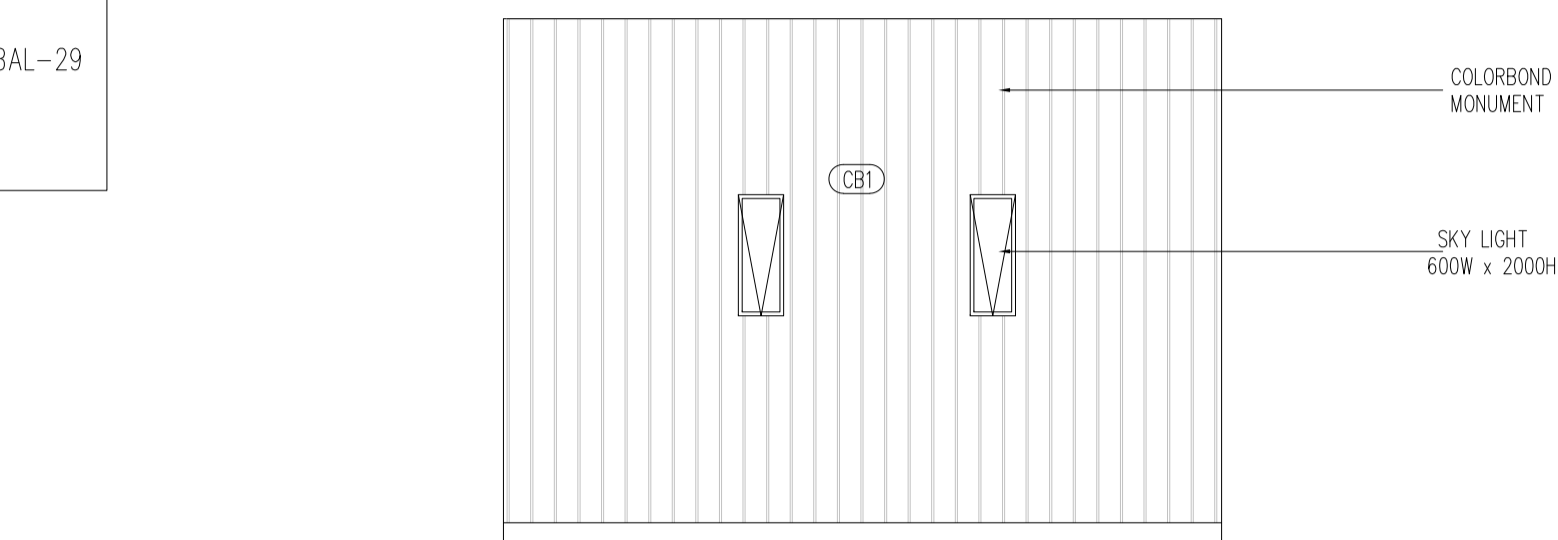
CLIENT: BRIBUILD
 ARCHITECT: KWAI CHOON MAK
 REGISTRATION: 1434
 FILE REF: KA1A.DWG

PROJECT REF: KA134
 SCALE: 1:100@A1
 DATE: 20260307
 DWG NO. AR_04

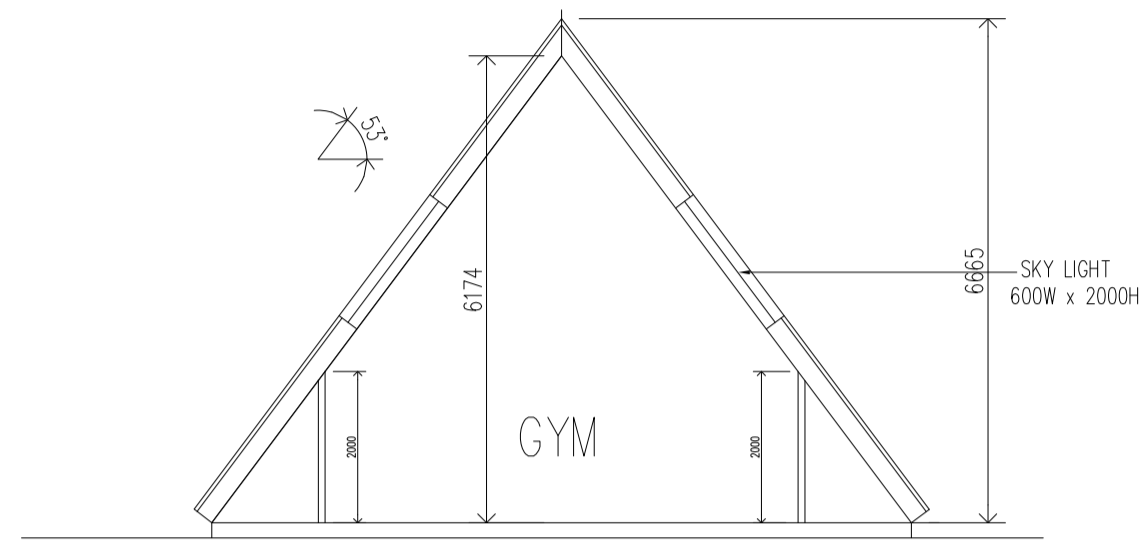
LEGEND

- CBI COLORBOND ROOF PANELS
- RC RED CEDAR SHIPLAP TRIMS
- MW DECKING

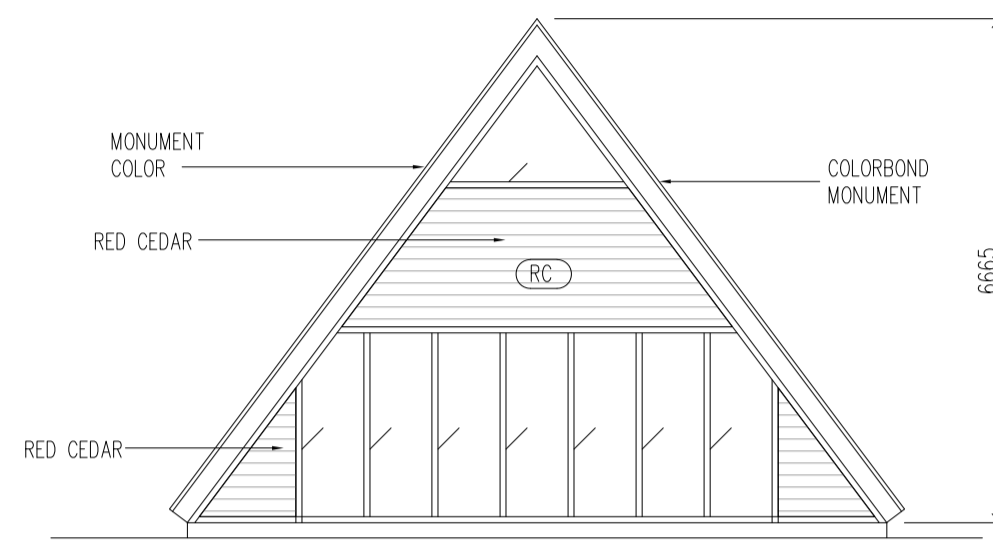
BUSHFIRE COMPLIANCE
 -BAL RATING: BAL-29
 -DEVELOPMENT IN ACCORDANCE WITH
 BUSHFIRE HAZARD REPORT J6073
 -HAZARD MANAGEMENT AREA AS
 DIMENSIONED ON PLAN
 -FIRE APPLIANCE ACCESS COMPLIANT WITH
 SECTION 6.1
 -10,000L DEDICATED FIRE FIGHTING WATER
 SUPPLY PROVIDED
 -CONSTRUCTION TO COMPLY WITH BAL-29
 REQUIREMENT OF AS3959-2018



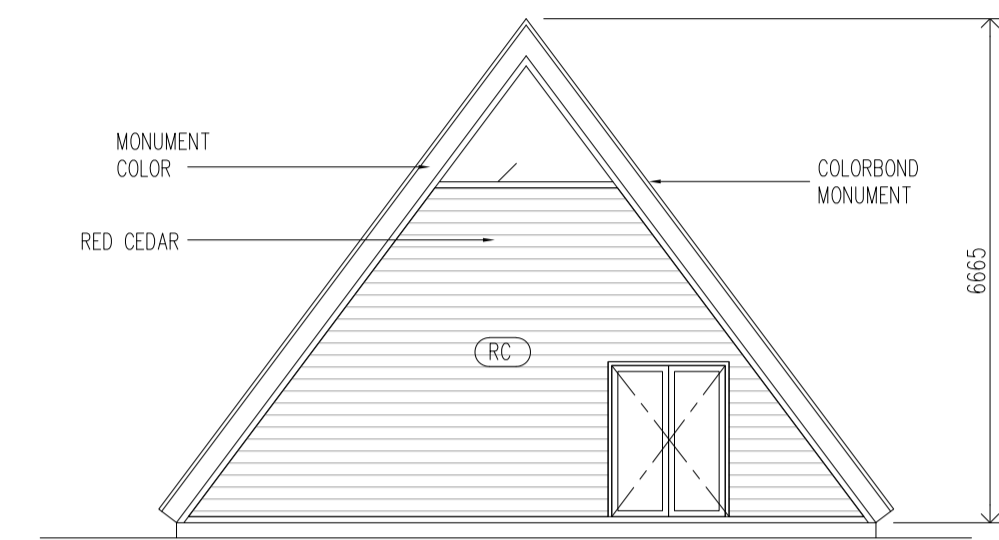
EAST ELEVATION



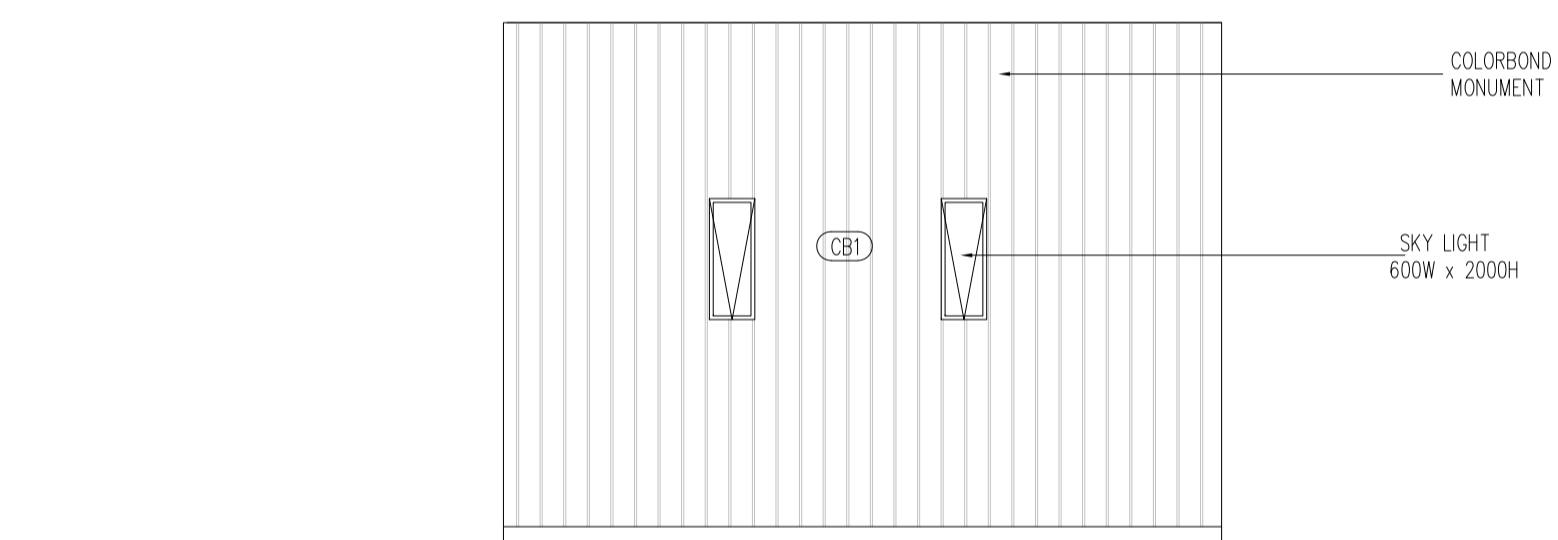
SECTION YY



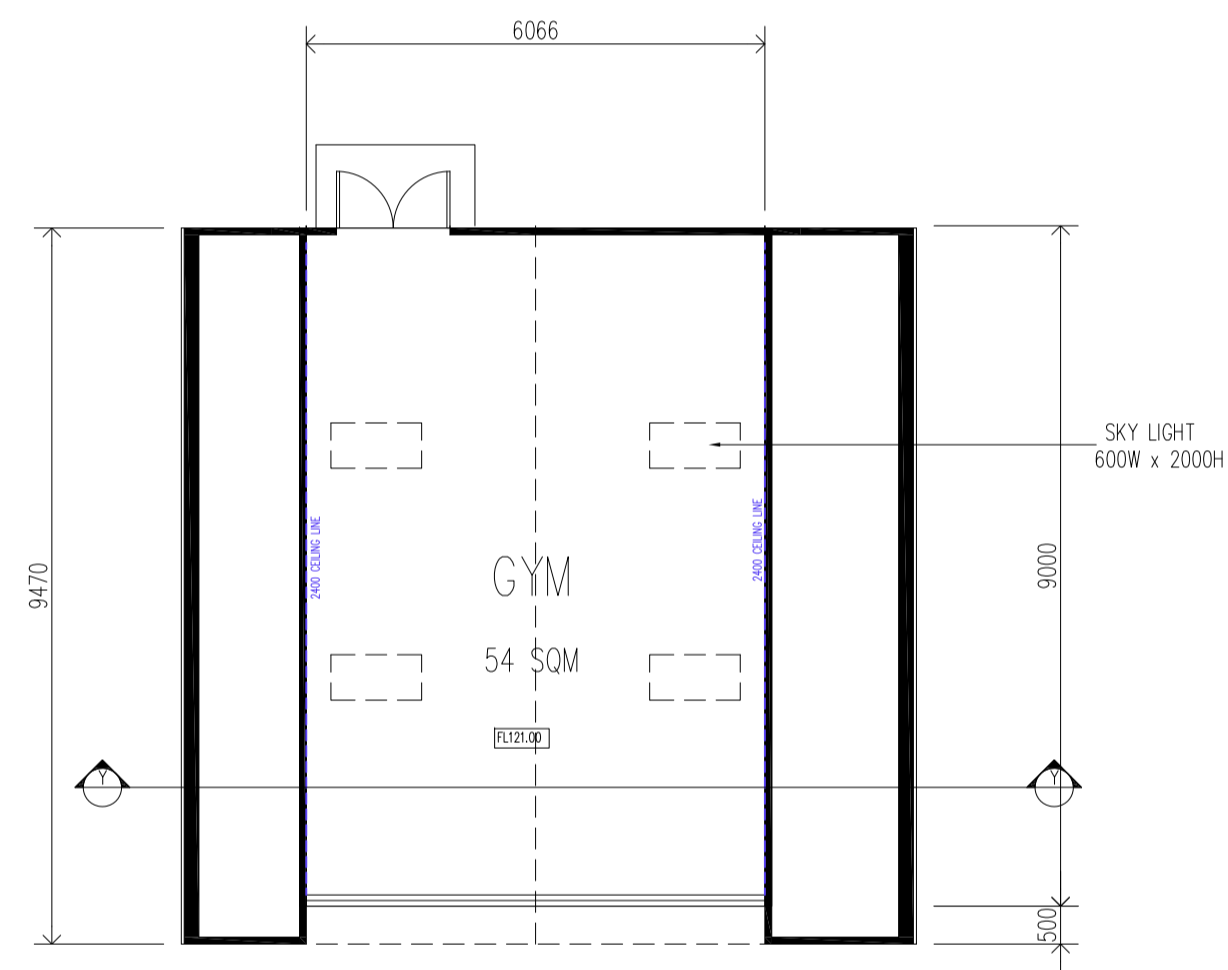
SOUTH ELEVATION



NORTH ELEVATION

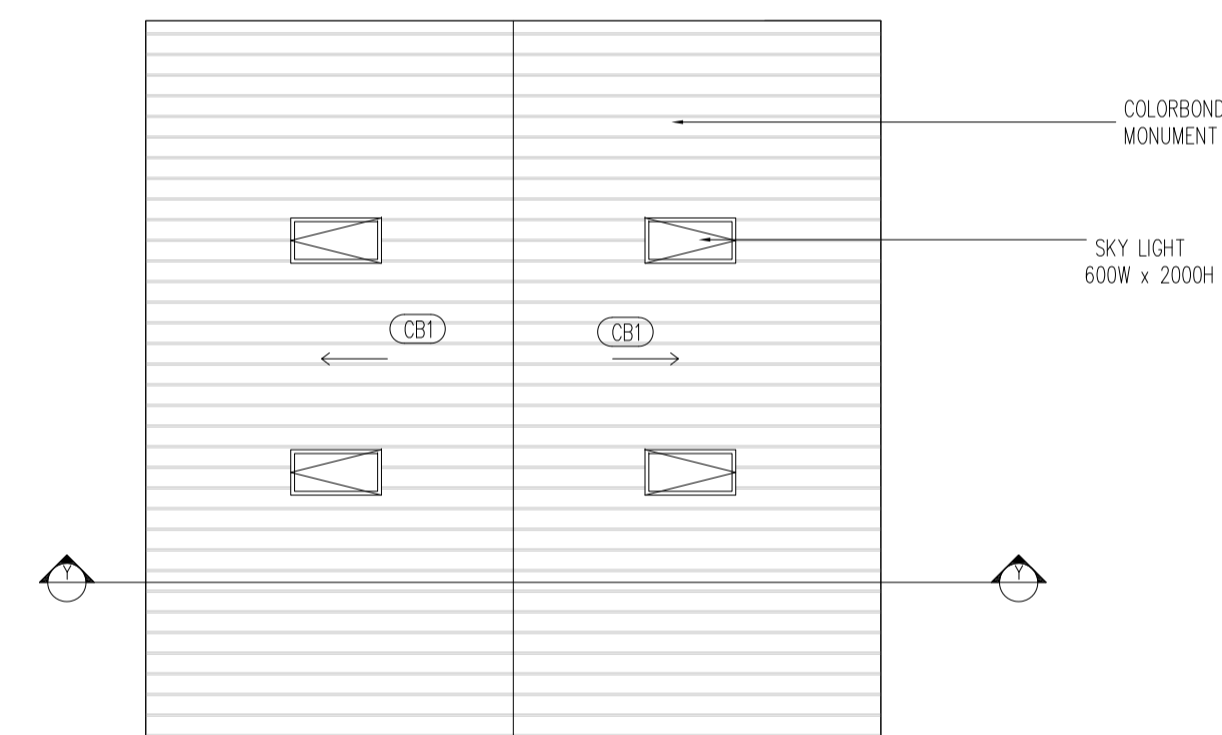


WEST ELEVATION



GROUND PLANVATION

BUILDING AREA= 56 SQM



ROOF PLAN

GYM

TOTAL BUILDING AREA= 56 SQM

**KACE ARCHITECTS
PTY LTD**

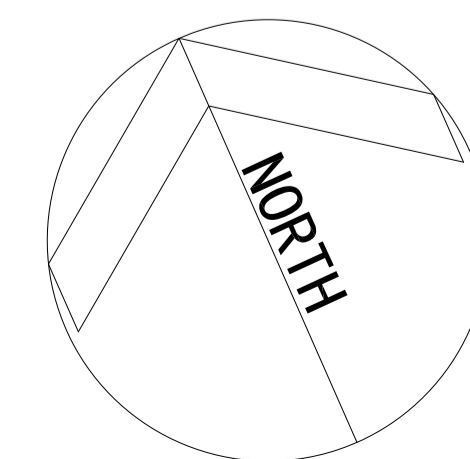
U111B 1 COLOMBO STREET, MITCHAM, VIC 3132

These drawings are copyright of the Architect. The drawings and designs may not be used or reproduced without the express approval of the Architect. Do not scale drawings. Use given dimensions only. Any discrepancy in drawings or specifications to be referred to the Architect.



PROJECT: PROPOSED DOUBLE STOREY
SINGLE DWELLING UNIT AT
18 FLORELYN TERRACE
GAILSTON BAY, TAS 7015


CLIENT: BRIBUILD
 ARCHITECT: KWAI CHOON MAK
 REGISTRATION: 1434
 FILE REF. KA1A.DWG


PROJECT REF: KA134
 SCALE: 1:100@A1
 DATE: 20260307
 DWG NO. AR_05



MATERIAL AND COLOUR SCHEDULE

Drawing C Item Name	Specification	Supplier	Color	Texture	Product Code	SRI	Dimension	Location	Sample Image	Color finish
CB1	Roof Cladding COLORBOND® steel can be used as part of a compliant system in most bushfire prone areas, including the most extreme, BAL-FZ	Colorbond or equals	Dark Grey	smooth	Monument	27	nil	Roofs		

RC	Wall Cladding Red Cedar Timber trim Western Cedar Shiplap Clear grade Smooth dress face rebated shiplap with drip edge, concealed lap joint		Red Cedar	smooth	Red cedar		135*18 typical 120mm exposed	External wall		
----	--	--	-----------	--------	-----------	--	---------------------------------	---------------	---	--

MW	Deck Modwood Extreme Guard Decks Natural Wood grain Collection Fade, Stain and Scratch resisting Ultra Low maintenance Mould and mildew resisting Won't split, rot or warp No paint, stain or oiling Long straight lengths with no defects Splinter free Highest achievable slip resistance P5 25 year# limited warranty for durability	Modwood or equals	Brown	Brushed	Jarrah		137mm width 23mm thickness for panels floor deck 88mm width 23mm thickness for substructure for ventilation and screening	Outdoor Deck		
----	---	-------------------	-------	---------	--------	--	--	--------------	--	--

PLANNING APPLICATION - PDPLANPMTD-2026/060018 - 18 Florelyn Terrace, Geilston

Bay I refer to your recent application for the above proposal.

Unfortunately, your submission was missing certain mandatory information which, under council's planning scheme must be provided for your submission to be considered a valid application under section 51(1AB) and (1AC) of the Land Use Planning and Approvals Act 1993 (LUPAA). The following information is therefore required to progress your application:

- Current Certificate of Title for all effected properties (18A Florelyn Terrace, 19 Oscars Place and 18B Florelyn Terrace).
- Copy of the Schedule of Easements for the property.

Until this information is submitted, the application is not considered to be valid and the statutory period within which Council has to assess the application will not commence until such time as the information is satisfactorily received.

For the purposes of section 51A of LUPAA, a valid application is considered to contain all of the above information and will be deemed to have been received on the date on which the application fees are paid.

Once the application becomes valid, Council may request additional information under section 54(1) of LUPAA which it considers necessary for assessment of the application. However, to save you time and to ensure your proposal is processed as efficiently as possible, the following has been identified as being required at this time:

6.1.3 Application Requirements

- A site plan showing the entirety of the site and all boundaries is required.
Please see attached Folio documents.

Landscape Conservation Zone

22.3.3 Discretionary use

- Please provide for a response addressing performance criterion P1 (a)-(e) regarding how the proposed development is compatible with landscape values.

Performance Criterion P1(a)-(e) - Discretionary Use

(a) Visual Impact

The proposed development minimises visual intrusion through careful siting within the natural contours of the land. The 2-storey dwelling is positioned to take advantage of the sloping site, with the lower level partially embedded into the hillside, reducing apparent bulk when viewed from surrounding properties and public areas.

External finishes incorporate muted, natural tones with low light reflectance values (LRV <40%) that blend with the surrounding bushland setting. The use of weatherboard cladding and recessive roof colours ensures the buildings do not visually dominate the landscape.

(b) Landscape Character

The development respects the established landscape character of the Florelyn Terrace area, which comprises low-density residential properties set within vegetated hillside lots. The proposed dwelling and gym building maintain generous separation from boundaries and retain the predominant vegetated character of the site.

The building footprints occupy a relatively small portion of the overall lot, preserving the majority of the site in its natural vegetated state. This is consistent with the pattern of development in the surrounding Landscape Conservation Zone.

(c) Natural Features

The development has been sited to avoid significant natural features including mature trees and rock outcrops. The building envelope has been positioned on previously cleared or modified areas of the site where practical, minimising disturbance to natural landforms.

Existing drainage lines and natural water flow paths have been identified and the building footprints are located clear of these features. Stormwater management will maintain natural flow patterns.

(d) Vegetation

Native vegetation will be retained to the maximum extent practical. The proposed buildings are sited on areas with minimal vegetation impact, and any vegetation

removal required for construction will be limited to the immediate building envelope.

A vegetation protection zone will be maintained around retained trees during construction. Landscaping will incorporate endemic native species to enhance the existing bushland character and provide screening.

(e) Scenic Values

The development maintains the scenic qualities of the area by:

- Using building forms and colours that recede into the landscape
- Retaining a vegetated buffer to boundaries and road frontage
- Limiting building heights to maintain views across and through the site
- Avoiding reflective materials that would create visual intrusion

The overall development will be perceived as a single residential property within a bushland setting, consistent with the scenic values of the Landscape Conservation Zone

22.4.1 Site Coverage

- The proposed site coverage exceeds 400m² and does not satisfy acceptable solution A1, please provide a response addressing performance criterion P1 (a)-(g).
Performance Criterion P1(a)-(g) - Site Coverage Exceeds 400m²

Total site coverage: 371.5m² (dwelling 315.5m² + gym 56m²) - site coverage no longer exceeds 400m² (see amended plans)

(a) Landscape Values

The site coverage does not exceed 400m², the development maintains the landscape values of the site and surrounding area. The total building footprint represents only 1.15% of the total lot area, with the majority of the site remaining in natural vegetation.

The buildings are consolidated in one area of the site rather than dispersed, minimising the overall visual and physical impact on landscape values.

(b) Visual Impact from Roads and Public Places

The buildings are set back from the road frontage with retained vegetation providing visual screening. The site's topography means the development sits below the sightline from Florelyn Terrace, with only the upper portions visible through filtered views.

(c) Visual Impact from Adjoining Properties

Setbacks from boundaries exceed minimum requirements, and the retained vegetation buffer ensures the development does not create unreasonable visual bulk when viewed from neighbouring properties.

(d) Overshadowing

Shadow diagrams demonstrate that the increased site coverage does not result in unreasonable overshadowing of adjoining properties. The site's orientation and topography ensure shadows fall predominantly within the subject site.

(e) Vegetation

The 371.5m² of site coverage does not require removal of significant native vegetation. Buildings have been sited on previously disturbed areas.

(f) Stormwater

The stormwater management system is designed to accommodate runoff from the total building area. On-site detention and infiltration will ensure post-development flows do not exceed pre-development levels.

(g) Site Suitability

The site is of sufficient size to accommodate the proposed coverage while retaining its landscape values. The consolidated building layout allows efficient use of the developable portion of the site while maximising retention of natural vegetation on the balance of the lot

22.4.2 Building Height, Siting and Exterior Finishes

- The proposed dwelling has a building height of greater than 6m and performance criterion P1 must be addressed. Please address performance criterion P1 (a)-(e).
- The proposed gym building and dwelling are within the rear setback, please provide for a response addressing performance criteria P3 (a)-(g).
- Please provide for details of the exterior building finish light reflectance value and colours for the proposed dwelling and gym building to satisfy acceptable solution A5 or otherwise provide a response addressing performance criteria P5.

Building Height (Clause 22.4.2)

Performance Criterion P1(a)-(e) - Building Height Exceeds 6m

Proposed building height: 8m

(a) Landscape Values

The building height is appropriate for the sloping site and does not detract from landscape values. The use of the natural topography means the building presents as single-storey when viewed from the upslope side, minimising apparent height.

(b) Visual Impact from Roads and Public Places

The building height does not result in the structure being visually prominent when viewed from Florelyn Terrace or other public places. The combination of setback, vegetation screening, and the site's topography ensures the building sits

comfortably within its setting.

(c) Visual Impact from Adjoining Properties

The building height has been managed through sensitive siting. The 2-storey form steps down the slope, reducing the perceived height from any single vantage point. Neighbours will not experience unreasonable visual bulk.

(d) Overshadowing

Shadow analysis demonstrates the additional height does not cause unreasonable overshadowing of adjoining properties. The separation distances and site orientation ensure compliance with amenity standards.

(e) Privacy

The upper level is designed with windows oriented to minimise overlooking of neighbouring properties. Where windows face boundaries, they are either highlighted windows, obscured, or screened.

(f) Vegetation

Existing vegetation along the rear boundary is retained, providing natural screening and maintaining the landscape character.

(g) Site Constraints

The site's topography and shape necessitate flexibility in setback provision. The consolidated building layout, with the gym positioned near the dwelling, is the most practical and efficient use of the buildable area while retaining maximum natural vegetation.

EXTERIOR FINISHES SCHEDULE (Clause 22.4.2 A5/P5)

Element	Material	Colour	LRV
Roof	Colorbond	Monument	8%
Walls - Dwelling	Western cedar shiplap timber		<40%
Walls - Gym	Western cedar shiplap timber		<40%
Fascia/Trim	Painted timber	Monument	8%
Windows	Aluminium	Monument	8%

All external finishes have a Light Reflectance Value (LRV) below 40%, satisfying the requirements for buildings within the Landscape Conservation Zone. Colours are muted earth tones that complement the natural bushland setting.

Rear Setback (Clause 22.4.2)

Performance Criterion P3(a)-(g) - Buildings Within Rear Setback

(a) Landscape Values

The reduced rear setback does not diminish landscape values. The rear boundary adjoins neighbouring property, and the setback provided is sufficient to maintain the vegetated character of the site.

(b) Visual Impact from Roads and Public Places

The rear setback reduction has no impact on views from roads or public places, as these buildings are not visible from the front of the property or public areas.

(c) Visual Impact from Adjoining Properties

The gym building 56m² is a single-storey structure with a modest building height. Its scale and form do not create unreasonable visual bulk when viewed from the rear adjoining property.

(d) Overshadowing

The single-storey height of the gym and the orientation of the site ensure the reduced setback does not result in unreasonable overshadowing of the rear neighbour.

(e) Privacy

The gym is an ancillary building used for private recreation. It does not contain habitable rooms with windows overlooking neighbours. There are no privacy impacts from the reduced setback.

(f) Vegetation

Existing vegetation along the rear boundary is retained, providing natural screening and maintaining the landscape character.

(g) Site Constraints

The site's topography and shape necessitate flexibility in setback provision. The consolidated building layout, with the gym positioned near the dwelling, is the most practical and efficient use of the buildable area while retaining maximum natural vegetation.

22.4.4 Landscape Protection

- The proposed dwelling and gym building do not appear to be within a building area on the sealed plan. Please provide for a response addressing performance criterion P1 (a)-(g).

Please see amended plans (The proposed dwelling and gym building are within the building area on the sealed plan)

- It is not clear from provided plans whether the proposed buildings and works are less than 10m below a skyline or ridgeline. Please provide amended plans showing the elevation of the proposed dwelling in relation to the skyline/ridgeline and a response addressing performance criteria P2.1 and P2.2.

Please see amended plans (within building area)

Parking and Sustainable Transport Code

C2.5.1 Car Parking Numbers

- Please provide for amended plans showing the location and number of on-site car

parking spaces to satisfy Acceptable Solution A1 or otherwise address performance criterion P1.2.

Please see amended plans

C2.6.2 Design and layout of parking areas

- Please provide for amended plans showing parking spaces to satisfy acceptable solution A1.1 or otherwise address performance criterion P1. Please provide Driveway access in accordance with submitted Bushfire report.

Please see amended plans

Natural Assets Code

C7.6.2 Clearance within a priority vegetation area

- Please confirm whether any clearance of vegetation within the priority vegetation area is to occur as a part of the proposed development.

We confirm that no clearance of vegetation within the priority vegetation area is proposed as part of this development. All buildings and works are located outside mapped priority vegetation areas.

Flood-prone Hazard Areas Code

C12.6.1 Buildings and works within a flood-prone hazard area

- Please confirm whether any access works are to occur within the flood-prone hazard area overlay that applies to the site.

We confirm that no access works are proposed within the flood-prone hazard area overlay that applies to the site. The driveway and all building works are located outside the mapped flood overlay

Once all of the above is received Council has the right to request additional information under section 54(1) of LUPAA should it consider it necessary to do so. However, by providing the above information, the need for this will be minimised.

Your early attention to the above matters would be appreciated to enable prompt consideration of the proposal. In order that your application is dealt with as quickly as possible, please ensure that all information is clearly marked for the attention of Ryan Peterson and emailed to cityplanning@ccc.tas.gov.au. You are advised that all submissions

AS2870:2011 SITE ASSESSMENT

18 Florelyn Terrace

Geilston Bay

January 2022



GEO-ENVIRONMENTAL

S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

Client:	Draft One Tasmania
Site Address:	18 Florelyn Terrace, Geilston Bay
Date of Inspection:	19/01/2022
Proposed Works:	New house
Investigation Method:	70mm Auger
Inspected by:	M. Campbell

Site Details

Certificate of Title (CT):	146117/4
Title Area:	Approx. 3.189 ha
Applicable Planning Overlays:	Airport obstacle limitation area, Bushfire-prone area, Priority vegetation area.
Slope & Aspect:	6-8° SW facing slope
Vegetation:	Grass & Weeds Undisturbed

Background Information

Geology Map:	MRT 1:25000
Geological Unit:	Permian
Climate:	Annual rainfall 750mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021

Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.30	0.00-0.30	SM	TOPSOIL: Sandy SILT trace gravel: brown, slightly moist, loose, refusal on assumed rock.

Site Notes

The soils found on the site are sandy silts developing from weathered Permian sandstone.

Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “*Residential Slabs and Footings*”.

The site has been classified as:

Class A

Y^s range: **0mm**

Notes: The soils are likely to exhibit no to very little ground surface movement from moisture fluctuations.

Wind Loading Classification

According to “AS4055:2021 - Wind Loads for Housing” the house site is classified below:

Wind Classification:	N3
Region:	A
Terrain Category:	2.0
Shielding Classification:	PS
Topographic Classification:	T2
Wind Classification:	N3
Design Wind Gust Speed – m/s ($V_{h,u}$):	50

Construction Notes & Recommendations

The site has been classified as **Class A** – non reactive site, which may experience very little to no ground movement from moisture changes.

It is recommended the foundations be placed on the underlying bedrock to minimise the potential for significant foundation movement.

All earthworks on site must comply with AS3798:2012, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

Director

Explanatory Notes

1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
A	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
M	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

*Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.*

A site is classified as **Class P** when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsistence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance

1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

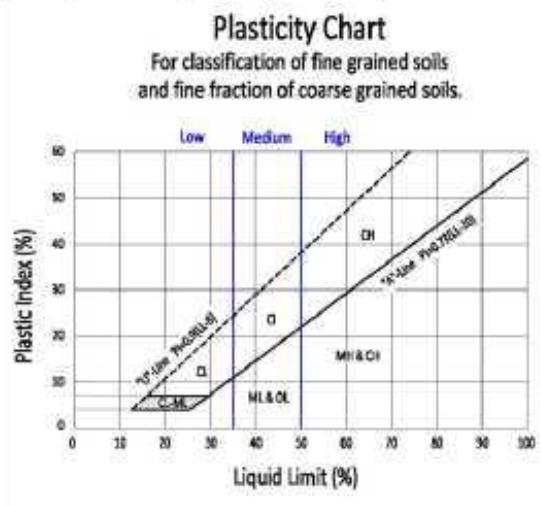
NON COHSIVE – SAND & GRAVEL		
Consistency Description	Field Test	Dynamic Cone Penetrometer blows/100 mm
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	8 - 15
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15

COHESIVE - SILT & CLAY		
Consistency Description	Field Test	Indicative undrained shear strength kPa
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200

1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions		Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification					
COARSE GRAINED SOILS (more than half of material less than 63 mm is larger than 0.075 mm)	BOULDERS	200			% < 0.075 mm (2)	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{(D_{30})^2}{(D_{10})(D_{60})}$	NOTES	
	COBBLES	63								
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	coarse	20	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0-5	—	>4	Between 1 and 3	(1) Identify fines by the method given for fine-grained soils. (2) Borderline classifications occur when the percentage of fines (fraction smaller than 0.075 mm size) is greater than 5% and less than 12%. Borderline classifications require the use of SP-SM, GW-GC.
		medium	6	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0-5	—	Fails to comply with above		
		fine	2.36	GM	Silty gravels, gravel-sand-silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
	SANDS (more than half of coarse fraction is smaller than 2.36 mm)	coarse	0.6	GC	Clayey gravels, gravel-sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—	
		medium	0.2	SW	Well graded sands and gravelly sands, little or no fines	0-5	—	>6	Between 1 and 3	
		fine	0.075	SP	Poorly graded sands and gravelly sands, little or no fines	0-5	—	Fails to comply with above		
				SM	Silty sands, sand silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
				SC	Clayey sands, sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—	
FINE GRAINED SOILS (more than half of material less than 63 mm is smaller than 0.075 mm)	SILTS & CLAYS (Liquid Limit ≤50%)		ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity	Use the gradation curve of material passing 63 mm for classification of fractions according to the criteria given in 'Major Divisions'. Plasticity Chart For classification of fine grained soils and fine fraction of coarse grained soils.					
			CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays						
			OL	Organic silts and clays of low plasticity						
	SILTS & CLAYS (Liquid Limit >50%)		MH	Inorganic silts, mic-aceous or diato-maceous fine sands or silts, elastic silts						
			CH	Inorganic clays of high plasticity, fat clays						
			OH	Organic silts and clays of high plasticity						
	HIGHLY ORGANIC SOILS		PT	Peat and other highly organic soils						



Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

1.4 Bearing Capacities and DCP testing.

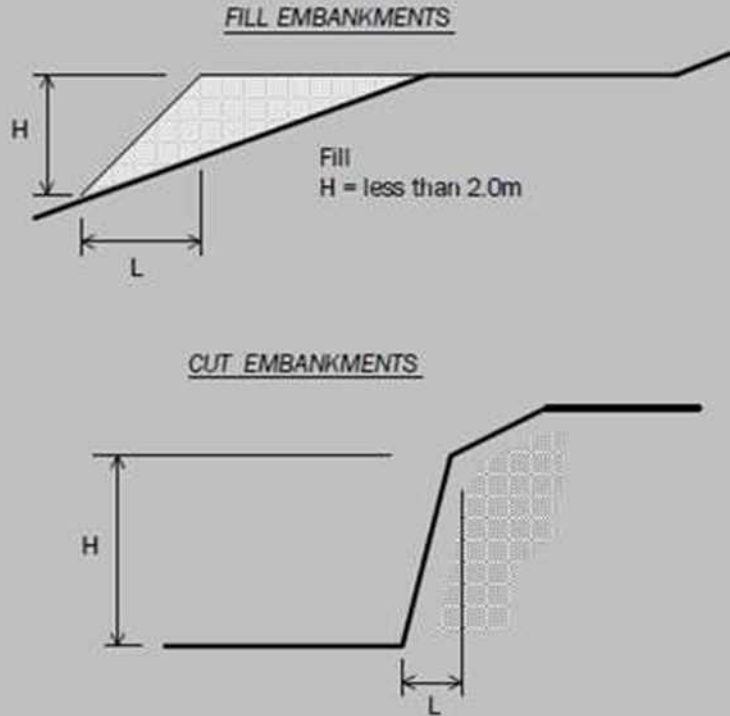
DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.

1.5 Batter Angles for Embankments (Guide Only)

Note : Retaining walls or other form of soil retaining methods must be adopted where the slope ratio is greater than that indicated in the table below :-



MATERIAL TYPE (refer soils report)	EMBANKMENT SLOPES (Height : Length)	
	Compacted Fill	Cutting
Stable Rock (A*)	2 : 3	6 : 1
Sand (A*)	1 : 2	2 : 3
Silt (P*)	1 : 4	1 : 4
Clay	Firm Clay	1 : 1
	Soft Clay	2 : 3
Soft Soils (P*)	Not Suitable	Not Suitable

Glossary of Terms

Bearing Capacity – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

Clay – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

Dynamic Cone Penetrometer (DCP) – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

Dispersive soil – A soil that has the ability to pass rapidly into suspension in water.

Footing – Construction which transfers the load from the building to the foundation.

Foundation – Ground which supports the building

Landslip – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

Qualified Engineer – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

Reactive Site – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

Sand – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

Services – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

Silt – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

Site – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

Surface Movement (Ys) – Design movement (mm) at the surface of a reactive site caused by moisture changes.

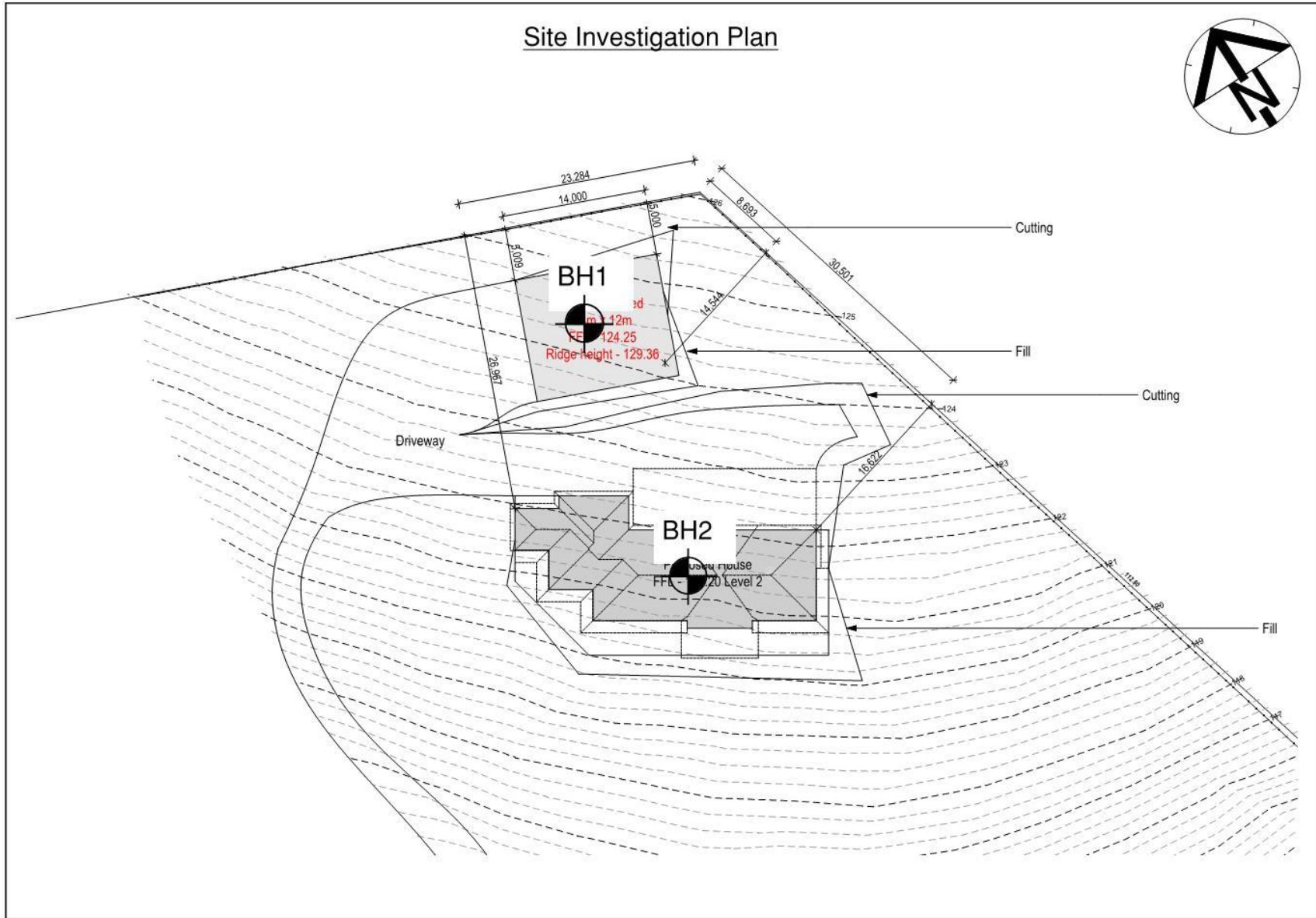
Disclaimer

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third a party.



CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work
or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of Work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:

Signed:

Certificate No:

Date:

J6073

25/01/2022



A handwritten signature in black ink, appearing to read 'John Paul Cumming', written over a light grey background.

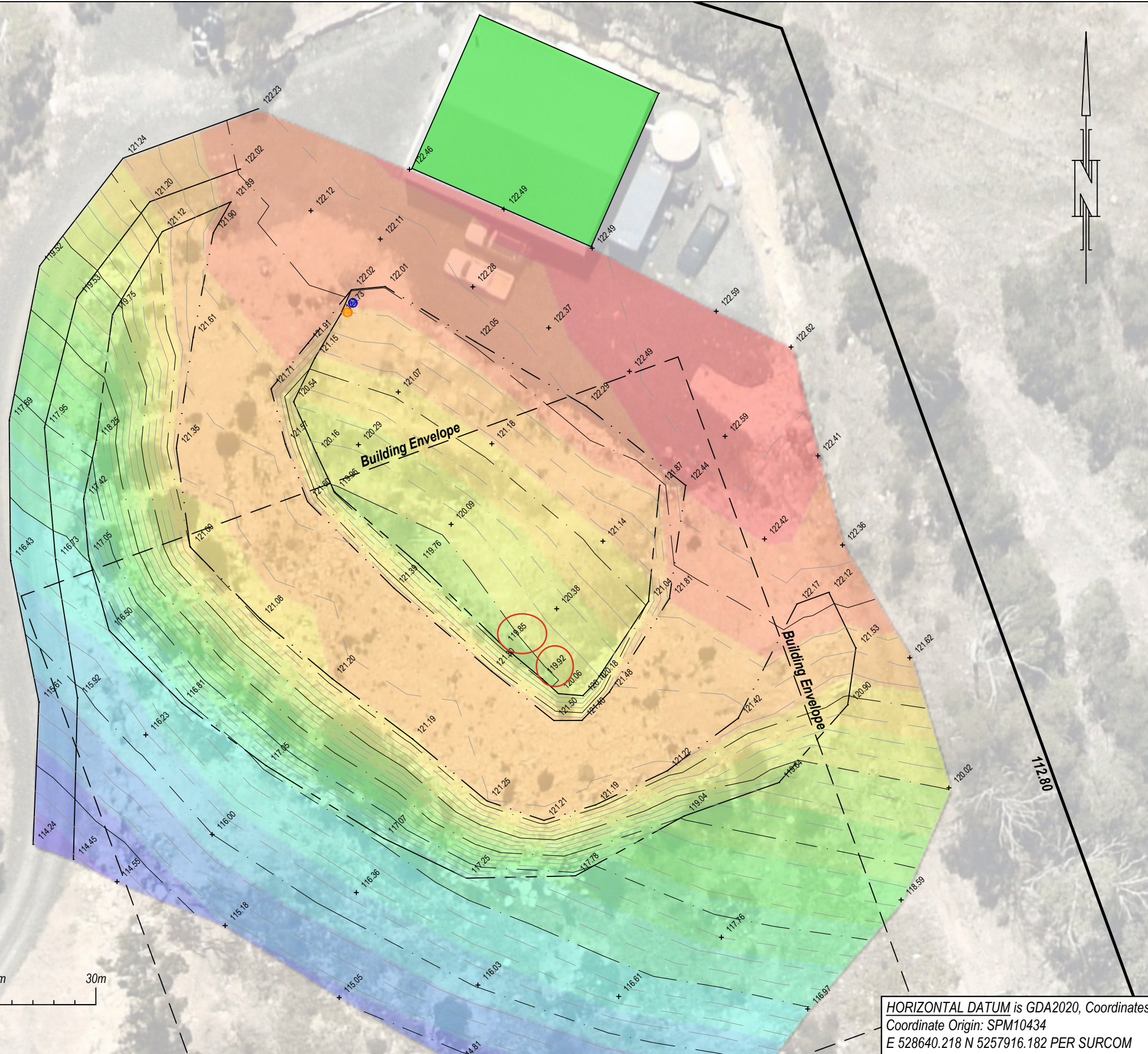
NOTES:

This plan and associated digital model is prepared for Brad Fenton-Clark from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.




The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site.

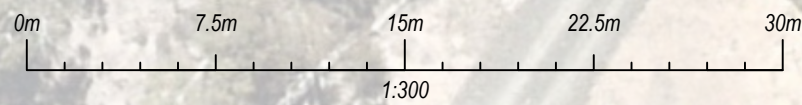
Services shown have been located where visible by field survey. Services denoted as being "Per BYDA only" are approximate and for illustrative purposes only. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.



LEGEND

-  Water Conn.
-  Electricity Conn.
-  Communication Conn.



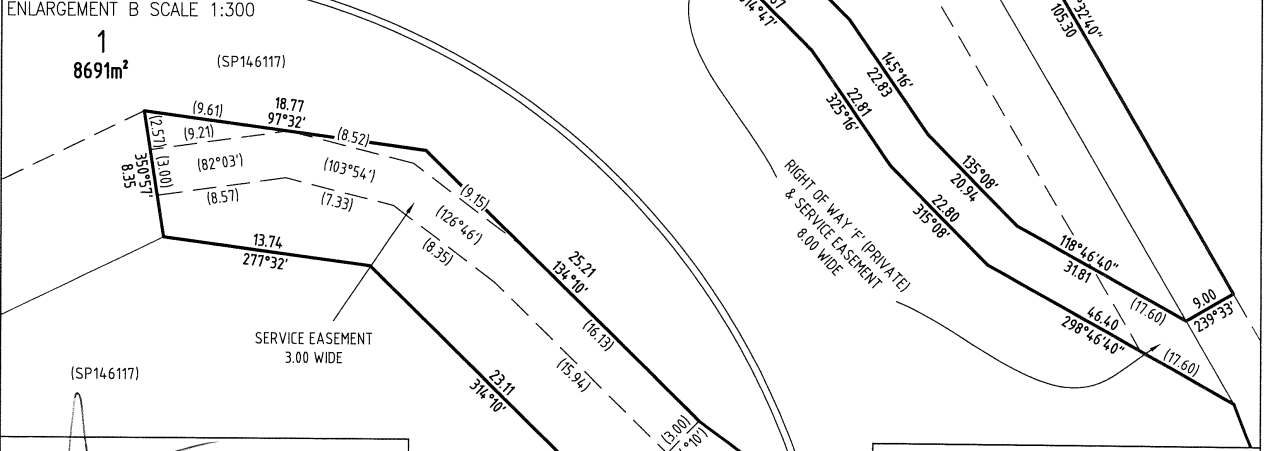
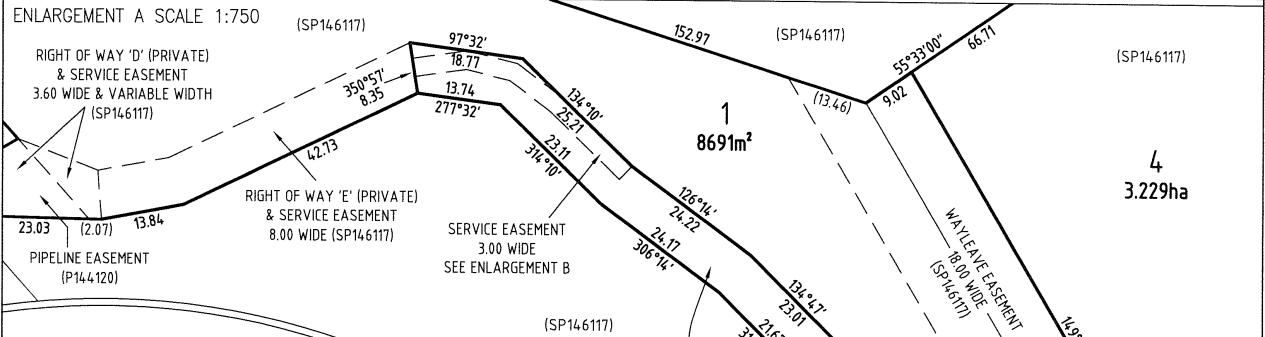
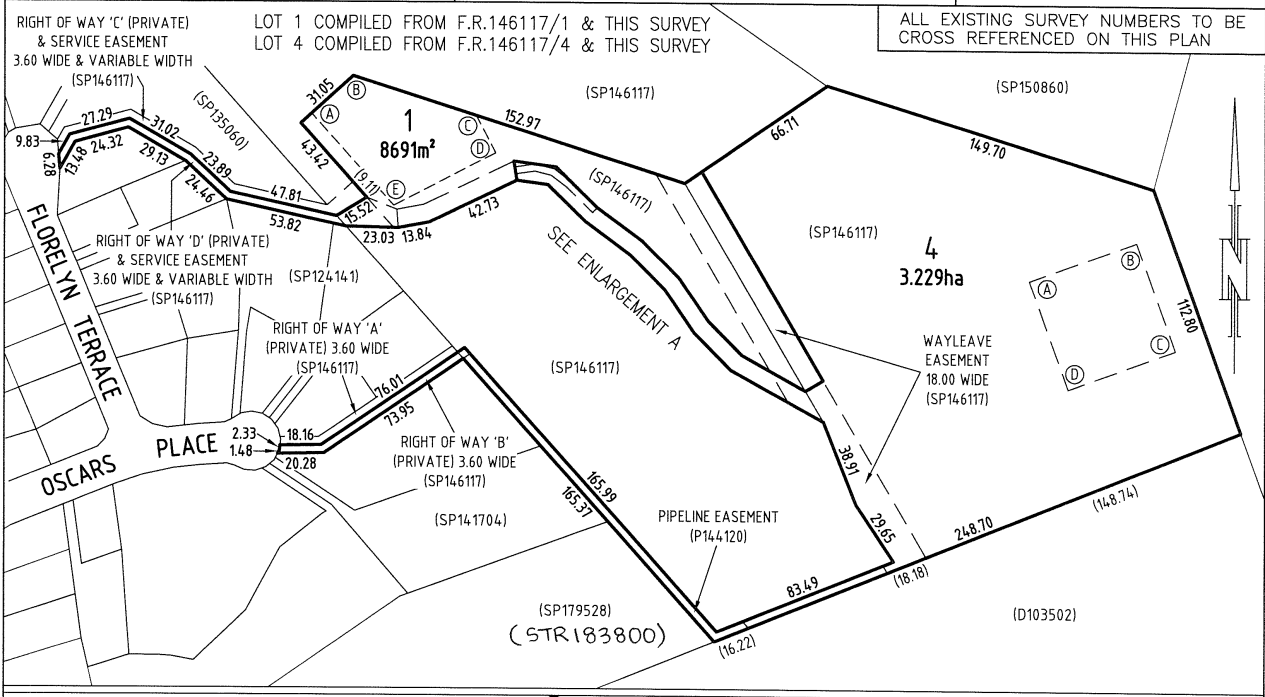
HORIZONTAL DATUM is GDA2020, Coordinates are Plane
 Coordinate Origin: SPM10434
 E 528640.218 N 5257916.182 PER SURCOM

REV	AMENDMENTS	DRAWN	DATE	APPR.
E				
D				
C				
B				
A				

Contour & Detail Plan
FOR: BRAD FENTON-CLARK
LOCATION: 18 FLORLYN TERRACE
 GEILSTON BAY

Date: 26/11/2025	Contour interval: 0.250m	Reference:
Drawn:	Scale: 1:300 (A3)	Bearing Datum: MGA2020 per RTK GNSS
Approved:	Title Reference: 184344/4	Vertical Datum: AHD83 per SPM10434

OWNER MURRAY GORDON SEABROOK PAMELA ANNE SEABROOK; KOORBAES PTY LTD	<h2 style="text-align: center;">PLAN OF SURVEY</h2>	Registered Number <h1 style="text-align: center;">SP184344</h1>
FOLIO REFERENCE 146117/1; 146117/4	BY SURVEYOR CRAIG BRADLEY ROGERSON ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0418-120-796	APPROVED EFFECTIVE FROM 27 JUN 2023
GRANTEE PART OF 2560 ACRES GTD TO THOMAS GEORGE GREGSON	<h2 style="text-align: center;">CITY OF CLARENCE</h2>	 Recorder of Titles
SCALE 1: 2,000 LENGTHS IN METRES		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



 Registered Land Surveyor	15/06/2022 Date	 Council Delegate Clare Shea	16.12.2022 Date
------------------------------	--------------------	---------------------------------	--------------------



Proposed Residential Development – 18 Florelyn Terrace, Geilston Bay

Bushfire Hazard Report

Applicant: Draftone Tasmania



January 2022 J6073v1.0

Contents

1.0 Purpose	3
2.0 Summary	3
3.0 Introduction.....	3
4.0 Proposal	4
5.0 Bushfire Attack Level (BAL) Assessment.....	4
5.1 Methods.....	4
5.2 Site Description.....	4
6.0 Results	7
6.1 Property Access.....	7
6.2 Water supplies for fire fighting.....	8
6.3 Hazard management area.....	9
7.0 Compliance	10
8.0 Guidance	11
9.0 Further Information	11
10.0 References	12
11.0 Limitations Statement	13
Appendix A – Site Photos	14
Appendix B - Site Plan.....	16

Attachment 1 – Bushfire Hazard Management Plan

Attachment 2 - Certificate of Others (form 55)

Disclaimer

The measures contained in Australian Standard 3959-2018 cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the unpredictable nature and behaviour of fire and extreme weather conditions.

Reasonable steps have been taken to ensure that the information contained within this report is accurate and reflects the conditions on and around the lot at the time of assessment. The assessment has been based on the information provided by you or your designer.

Authorship

This report was prepared by Mark Van den Berg BSc. (Hons.) FPO (planning) of Geo Environmental Solutions. Base data for mapping: TasMap, Digital and aerial photography: Mark Van den Berg, GoogleEarth.

1.0 Purpose

This bushfire hazard report is intended to provide information in relation to the proposal. It will demonstrate compliance with the *Building Regulations 2016*, and the *Directors Determination – Bushfire Hazard Areas, version 1, 6th February 2020*. Provide a certificate of others (form 55) as specified by the Director of Building Control for bushfire hazard and give guidance by way of a certified bushfire hazard management plan which shows a means of protection from bushfires in a form approved by the Chief Fire Officer of the Tasmania Fire Service.

2.0 Summary

Site details & compliance

Title reference	146117/4
PID	2706242
Address	18 Florelyn Terrace, Geilston Bay
Applicant	Draftone Tasmania
Municipality	Tasmanian Planning Scheme - Clarence
Planning Scheme	Tasmanian Planning Scheme - Clarence
Zoning	Landscape Conservation
Land size	~3.1Ha
Bushfire Attack Level	BAL-29
Certificate of others (form 55)	Complete and attached
Bushfire Hazard Management Plan	Certified & attached

Development of a new class 1a building at 18 Florelyn Terrace, Geilston Bay requires demonstrated compliance with *Building Regulations 2016*, and the *Directors Determination – Bushfire Hazard Areas, version 1, 6th February 2020*, the site is located in a bushfire prone area. The Bushfire attack level has been determined as BAL-29, provisions for construction standards, hazard management areas, property access and water supplies for firefighting will be required as detailed in this report and on the Bushfire Hazard Management Plan (BHMP).

3.0 Introduction

This bushfire hazard report has been completed to form part of supporting documentation for a building permit application for the proposed development. The proposed development site has been identified as being in a bushfire prone area. A site-specific bushfire hazard management plan has been provided for compliance purposes.

4.0 Proposal

It is proposed that a new class 1a building be developed at 18 Florelyn Terrace, Geilston Bay (appendix B). Construction standards for buildings, property access, water supplies for firefighting and hazard management areas will be required (as appropriate) to meet the standards outlined in the '*Directors Determination – Bushfire Hazard Areas, version 1, 6th February 2020*' and '*Australian Standard 3959-2018 Construction of Buildings in Bushfire-prone Areas*'.

5.0 Bushfire Attack Level (BAL) Assessment

5.1 Methods

The Bushfire attack level has been determined through the application of section 2 of AS3959-2018 'Simplified Procedure'. Vegetation has been classified using a combination of onsite observations and remotely sensed data to be consistent with table 2.3 of AS359-2018. Slope and distances have been determined by infield measurement and/or the use of remotely sensed data (aerial/satellite photography, GIS layers from various sources) analysed with proprietary software systems. Where appropriate vegetation has been classified as low threat.

5.2 Site Description

The proposal is located at 18 Florelyn Terrace, Geilston Bay, in the municipality of Clarence and is zoned Landscape Conservation under the Tasmanian Planning Scheme - Clarence. Access to the lot will be by an existing crossover from Florelyn Terrace, a council-maintained road. The lot is ~3.1Ha, is irregular in shape and is located approximately 0.78km south-west of Sugarloaf Hill (Figure 1).

Adjacent lands surrounding the lot are zoned as Landscape Conservation with general residential further to the west. At a landscape scale the lot occurs on the eastern fringes of existing urban development interfacing a rural setting characterised by predominantly native forest vegetation. The lot has moderate to steep slopes with a south-westerly aspect which is likely to have a significant effect on fire behaviour. Vegetation surrounding the lot was assessed (Table 1) and described as 'forest and woodland' (as per AS3959-2018). The classified vegetation potentially having the greatest impact on the site occurs to the south-west of the site (Figure 2). The vegetation classification system as defined in AS 3959-2018 Table 2.3 and Figure 2.4 (A to H) has been used to determine vegetation types within 100 metres of the site (Table 1).

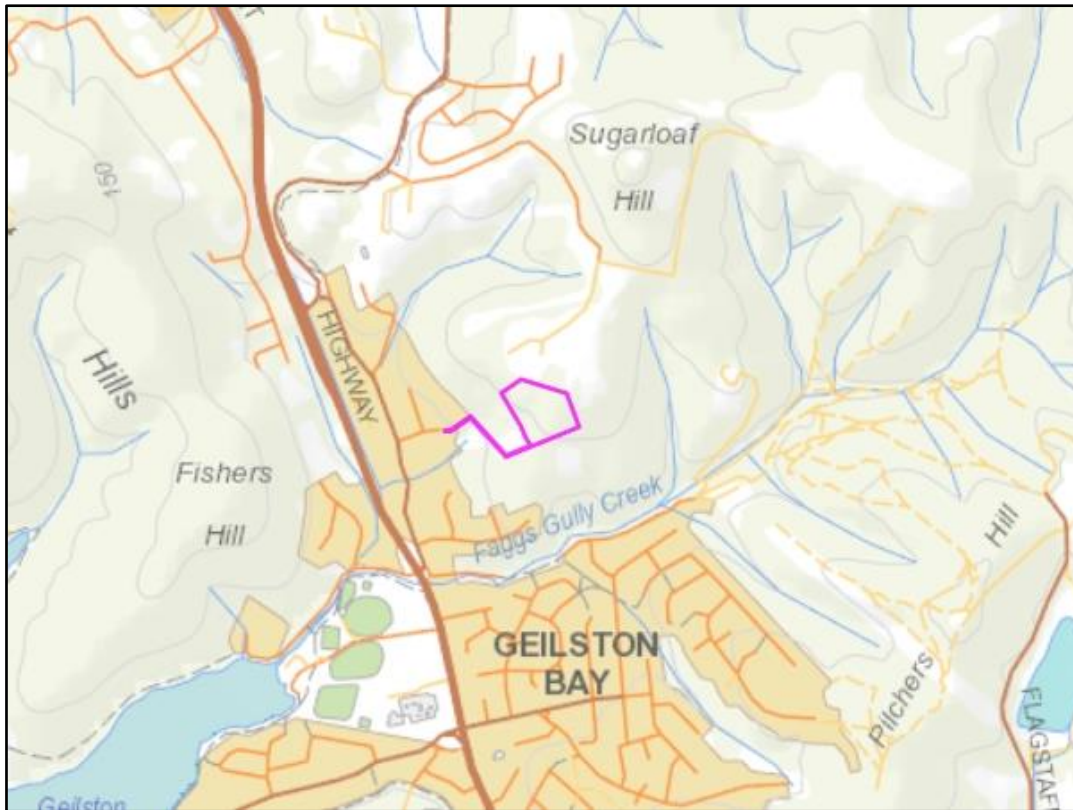


Figure 1. The lot in a topographical context (lot outlined in pink).



Figure 2. Shows the approximate location of the site (pink line) in the context of the adjacent lands and classified vegetation.

Table 1. Bushfire Attack Level (BAL) Assessment

Azimuth	Vegetation Classification	Effective Slope	Distance to Bushfire-prone vegetation	Hazard management area width	Bushfire Attack Level
North	Forest [^]	upslope	0 to 16 metres	16 metres	BAL-29
	Woodland [^]	upslope	16 to >100 metres		
	--	--	--		
	--	--	--		
East	Forest [^]	upslope	0 to >100 metres	16 metres	BAL-29
	--	--	--		
	--	--	--		
	--	--	--		
South	Forest [^]	>10° to 15° downslope	0 to >100 metres	30 metres	BAL-29
	--	--	--		
	--	--	--		
	--	--	--		
West	Forest [^]	>5° to 10° downslope	0 to >100 metres	24 metres	BAL-29
	--	--	--		
	--	--	--		
	--	--	--		

[^] Vegetation classification as per AS3959-2018 and Figures 2.4 (A) to 2.4 (H).

^{*} Low threat vegetation as per Bushfire Prone Areas Advisory Note (BHAN) No.1-2014, version 3, 8/11/2017.

^{^^} Exclusions as per AS3959-2018, section 2.2.3.2, (a) to (f).

6.0 Results

The bushfire attack level for the site has been determined as BAL-29. The risk is considered to be high and there is an increased risk of ember attack and burning debris ignited by wind borne embers and a likelihood of exposure to an increased level of radiant heat at the site. The construction elements are expected to be exposed to a heat flux not greater than 29 kW/m².

6.1 Property Access

B) Property access length is 30 metres or greater; or access is for a fire appliance to a fire fighting water point.

The following design and construction requirements apply to property access:

- (a) All-weather construction;
- (b) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (c) Minimum carriageway width of 4 metres;
- (d) Minimum vertical clearance of 4 metres;
- (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (f) Cross falls of less than 3° (1:20 or 5%);
- (g) Dips less than 7° (1:8 or 12.5%) entry and exit angle; (h) Curves with a minimum inner radius of 10 metres;
- (i) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads; and
- (j) Terminate with a turning area for fire appliances provided by one of the following:
 - (i) A turning circle with a minimum outer radius of 10 metres;
 - (ii) A property access encircling the building; or
 - (iii) A hammerhead “T” or “Y” turning head 4 metres wide and 8 metres long

C) Property access length is 200 metres or greater.

The following design and construction requirements apply to property access:

- (a) The Requirements for B above; and
- (b) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.

6.2 Water supplies for fire fighting

As the site is not serviced by a reticulated water supply system with hydrants, a static water supply and associated infrastructure for firefighting is required to be provided in accordance with table 2.

Table 2. Requirements for Static Water Supplies dedicated for Firefighting

Element		Requirement
A.	Distance between building area to be protected and water supply	The following requirements apply: (a) The building area to be protected must be located within 90 metres of the firefighting water point of a static water supply; and (b) The distance must be measured as a hose lay, between the firefighting water point and the furthest part of the building area
B.	Static Water Supplies	A static water supply: (a) May have a remotely located offtake connected to the static water supply; (b) May be a supply for combined use (firefighting and other uses) but the specified minimum quantity of firefighting water must be available at all times; (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including firefighting sprinkler or spray systems; (d) Must be metal, concrete or lagged by non-combustible materials if above ground; and (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959:2018, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by: (i) metal; (ii) non-combustible material; or (iii) fibre-cement a minimum of 6 mm thickness.
C.	Fittings, pipework and accessories (including stands and tank supports)	Fittings and pipework associated with a firefighting water point for a static water supply must: (a) Have a minimum nominal internal diameter of 50mm; (b) Be fitted with a valve with a minimum nominal internal diameter of 50mm; (c) Be metal or lagged by non-combustible materials if above ground; (d) Where buried, have a minimum depth of 300mm; (e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to firefighting equipment; (f) Ensure the coupling is accessible and available for connection at all times; (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length); (h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table; and (i) Where a remote offtake is installed, ensure the offtake is in a position that is: (i) Visible; (ii) Accessible to allow connection by firefighting equipment; (iii) At a working height of 450 – 600mm above ground level; and (iv) Protected from possible damage, including damage by vehicles.
D.	Signage for static water connections	The firefighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must: (a) comply with water tank signage requirements within AS 2304:2019; or (b) comply with the Tasmania Fire Service Water Supply Signage Guideline published by the Tasmania Fire Service.
E.	Hardstand A hardstand area for fire appliances must be provided:	(a) No more than three metres from the firefighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (b) No closer than six metres from the building area to be protected; (c) With a minimum width of three metres constructed to the same standard as the carriageway; and (d) Connected to the property access by a carriageway equivalent to the standard of the property access.

6.3 Hazard management area.

A hazard management area will need to be established and maintained for the life of the development and is shown on the BHMP. Guidance for the establishment and maintenance of the hazard management area is given below and on the BHMP.

A hazard management area is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through, but is not limited to the following strategies;

- Remove fallen limbs, sticks, leaf and bark litter;
- Maintaining grass at less than a 100mm height;
- Avoid or minimise the use of flammable mulches (especially against buildings);
- Thin out under-story vegetation to provide horizontal separation between fuels;
- Prune low-hanging tree branches (<2m from the ground) to provide vertical separation between fuel layers;
- Remove and or prune larger trees to maintain horizontal separation between canopies;
- Minimise the storage of flammable materials such as firewood;
- Maintaining vegetation clearance around vehicular access;
- Use low-flammability plant species for landscaping purposes where possible;
- Clear out any accumulated leaf and other debris from roof gutters and other debris accumulation points.

7.0 Compliance

Table 3. Compliance with the Directors Determination Requirements for Building in Bushfire Hazard Areas, version 1, 6th February 2020.

Requirements	Compliance
2.3.1 Design & Construction Requirements	<p>Clause 2.3.1 requires buildings to be constructed in accordance with AS3959-2018 or NASH standard – Steel Framed Construction in Bushfire Areas consistent with the BAL determined for the site.</p> <p>The BHMP specifies construction to BAL-29 standards of AS3959-2018.</p> <p>If the proposed buildings are designed and constructed in accordance with BAL-29 construction standards the development will comply with clause 2.3.1.</p>
2.3.2 Property Access	<p>Clause 4.2 requires property access to be designed and constructed to comply with table 2 of the determination and is applicable from the public roadway to within (at minimum) 90 metres of the furthest part of the building/s and includes access to a hardstand for the firefighting water point.</p> <p>Design and construction requirements are specified within this report and are required for compliance on the BHMP.</p> <p>If the property access is designed and constructed in accordance with the requirements of section 6.1 of this report, the proposal will comply with clause 2.3.2.</p>
2.3.3 Water Supply for Firefighting	<p>Clause 2.3.3 requires that a new building constructed in a bushfire-prone area is provided with a dedicated firefighting water supply in accordance with tables 3A or 3B.</p> <p>Static water supplies consistent with table 3B have been specified in this report and are required for compliance on the BHMP.</p> <p>If the requirements of section 6.2 of this report are implemented the proposal will comply with clause 2.3.3.</p>
2.3.4 Hazard management areas	<p>Hazard management areas specified which are consistent with table 4 and which achieve the minimum separation dimensions required for the BAL assessed of table 2.6 of AS3959.</p>
3. Bushfire hazard management plan and certificate	<p>A bushfire hazard management plan has been prepared for work for which this division applies and has been certified in accordance with the Chief Officers requirements by an accredited person.</p>
4.5 Emergency Plan	<p>The proposal is for the construction of a class 1a building and therefore in this circumstance Emergency Plans are not required for compliance.</p>

8.0 Guidance

The defensible space (hazard management area) around a building is critical for providing occupants and/or fire fighters with safe access to the building in order that fire fighting activities may be undertaken. The larger the defensible space, the safer it will be for those defending the structure. Some desirable characteristics of a hazard management area are:

- The area directly adjacent to the building has a significant amount of flammable material removed such that there is little to no material available to burn around the building;
- Includes non flammable areas such as paths, driveways, short cropped lawns;
- Establishment of orchards, vegetable gardens, dams or waste water effluent disposal areas on the fire prone side of the building;
- Creating wind breaks and radiation shields such as non combustible fences and low flammability hedges;
- It is not necessary to remove all vegetation from the defensible space, trees can provide protection from wind borne embers and radiant heat in some circumstances.

9.0 Further Information

For further information on preparing yourself and your property for bushfires visit the Tasmania Fire Service website at www.fire.tas.gov.au or phone 1800 000 699 for information on:

- Preparing a bushfire survival plan
- Preparing yourself and your home for a bushfire
- Guidelines for development in bushfire prone areas in Tasmania
- Fire resisting plants for the urban fringe and rural areas
- Using fire outdoors
- Fire permits
- Total fire bans
- Bushfires burning in Tasmania

10.0 References

Australian Building Codes Board, *National Construction Code, Building Code of Australia*, Australian Building Codes Board, Canberra.

Building Amendment (Bushfire-Prone Areas) Regulations 2016

Directors Determination – Bushfire Hazard Areas, version 1, 6th February 2020

The Bushfire Planning Group 2005, *Guidelines for development in bushfire prone areas of Tasmania – Living with fire in Tasmania*, Tasmania Fire Service, Hobart.

Tasmania Fire Service 2013, *Building for Bushfire – Planning and Building in Bushfire-Prone Areas for Owners and Builders*.

Tasmanian Planning Scheme - Clarence, Tasmanian Planning Commission Hobart 2020.

Standards Australia, AS3959-2018 Construction of buildings in bushfire-prone areas. Sydney, NSW., Australia.

11.0 Limitations Statement

This Bushfire Hazard Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the applicant named in section 2. To the best of GES's knowledge, the information presented herein represents the Client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that described in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible bushfire hazard condition and does not provide a guarantee that no loss of property or life will occur as a result of bushfire. As stated in AS3959-2018 "It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions". In addition, no responsibility is taken for any loss which is a result of actions contrary to AS3959-2018 or the Tasmanian Planning Commission Bushfire code.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required. No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third party.

Appendix A – Site Photos



Figure 3. Northern azimuth from the site.



Figure 4. Eastern azimuth from the site.



Figure 5. Southern azimuth from the site.



Figure 6. Western azimuth from the site.

Appendix B - Site Plan



ABN: 18 520 804 074
 Compliance No. CC 1189 Q
 m: 0409 432 670
 e: client.draftone@bigpond.com

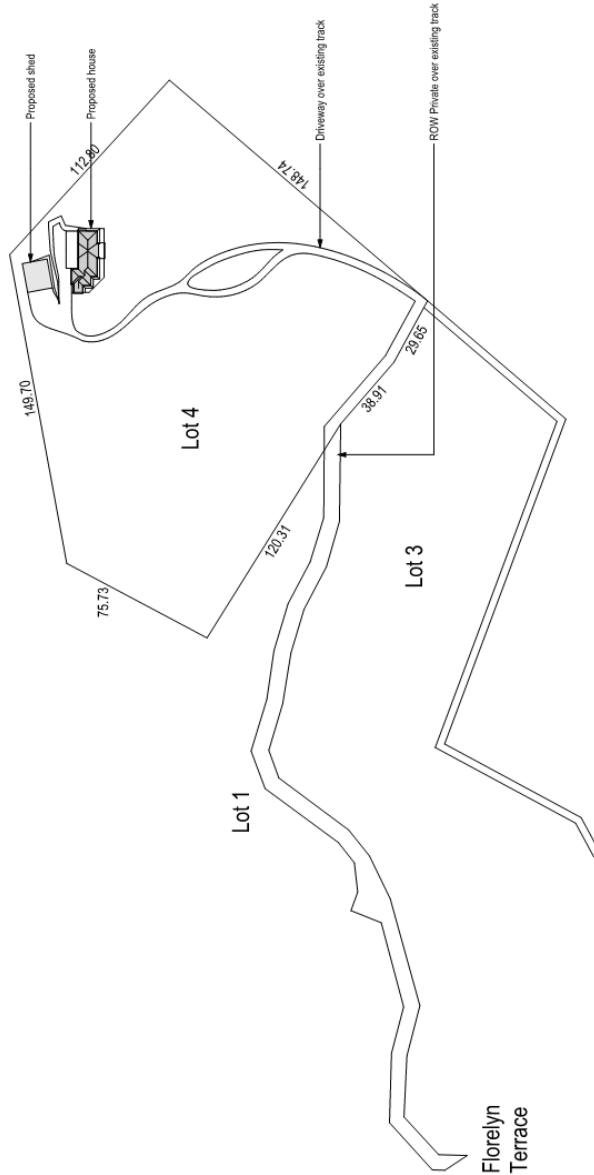
Client
 Murray & Pam Seabrook

Job
 Residential Home

Job address
 Lot 4, 18 Florelyn Terrace,
 Geilston Bay

Drawing
 Scale: A3 - 1:2000
 DWG: 3 of 8
 Date: 19 September 2021

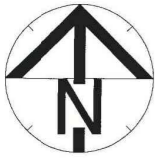
Location Plan



- Environmental Living Zone
- Retention of native vegetation
 - No access from the road
 - Trees to be retained
 - Driveway on existing track
 - Single dwelling as permitted

Amendments	
Date	By

Builders, Tradesmen, Subcontractors and Fabricators to verify all dimensions and levels prior to commencing any building works. Use for information only. Do not scale from drawings.



BUSHFIRE HAZARD MANAGEMENT PLAN

Bushfire Hazard Management Plan 18 Florelyn Terrace
Geilston Bay. January 2022. J6073v1.0
Tasmanian Planning Scheme - Clarence



GEO-ENVIRONMENTAL

SOLUTIONS

29 Kirksway Place, Battery Point
T 62231839 E office@geosolutions.net.au

Design and Specification Requirements

4.2 Standards for Property Access

Property access length is greater than 30 metres; or access is required for a fire appliance to access a water connection point.

The following design and construction requirements apply to property access:

- (1) All-weather construction;
- (2) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (3) Minimum carriageway width of 4 metres;
- (4) Minimum vertical clearance of 4 metres;
- (5) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (6) Cross falls of less than 3° (1:20 or 5%);
- (7) Dips less than 7° (1:8 or 12.5%) entry and exit angle;
- (8) Curves with a minimum inner radius of 10 metres;
- (9) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.0 or 18%) for unsealed roads; and
- (10) Terminate with a turning area for fire appliances provided by one of the following:
 - (a) A turning circle with a minimum inner radius of 10 metres;
 - (b) A property access encircling the building; or
 - (c) A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.

C) Property access length is 200 metres or greater.

The following design and construction requirements apply to property access:

- (a) The requirements for B above; and
- (b) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres

4.3B Static Water Supply for Fire fighting

The site is not serviced by a reticulated water supply, therefore a dedicated, static firefighting water supply will be provided in accordance with the following:

Static water supplies and associated infrastructure for firefighting purposes will be provided in accordance with table 4.3B of the Determination, Director of Building Control –Bushfire Hazard Areas, version 1, 6th February 2020.

A Distance between building area to be protected and water supply

The following requirements apply:

- (a) The building area to be protected must be located within 90 metres of the fire fighting water point of a static water supply; and
- (b) The distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.

B) Static Water Supplies

A static water supply:

- (a) May have a remotely located offtake connected to the static water supply;
- (b) May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times;
- (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems;
- (d) Must be metal, concrete or lagged by non-combustible materials if above ground; and
- (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2009, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by:
 - (i) metal;
 - (ii) non-combustible material; or
 - (iii) fibre-cement a minimum of 6 mm thickness.

C) Fittings and pipework associated with a fire fighting water point for a static water supply must:

- (a) Have a minimum nominal internal diameter of 50mm; (2) Be fitted with a valve with a minimum nominal internal diameter of 50mm;
- (b) Be fitted with a valve with a minimum nominal internal diameter of 50mm;
- (c) Be metal or lagged by non-combustible materials if above ground;
- (d) Where buried, have a minimum depth of 300mm (compliant with AS/NZS 3500.1-2003 Clause 5.23);
- (e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to fire fighting equipment;
- (f) Ensure the coupling is accessible and available for connection at all times;
- (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length);
- (h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table; and
- (i) Where a remote offtake is installed, ensure the offtake is in a position that is:
 - (i) Visible;
 - (ii) Accessible to allow connection by fire fighting equipment,
 - (iii) At a working height of 450 – 600mm above ground level; and
 - (iv) Protected from possible damage, including damage by vehicles.

D) Signage for static water connections

The fire fighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must comply with the Tasmania Fire Service Water Supply Signage Guideline published by the Tasmania Fire Service

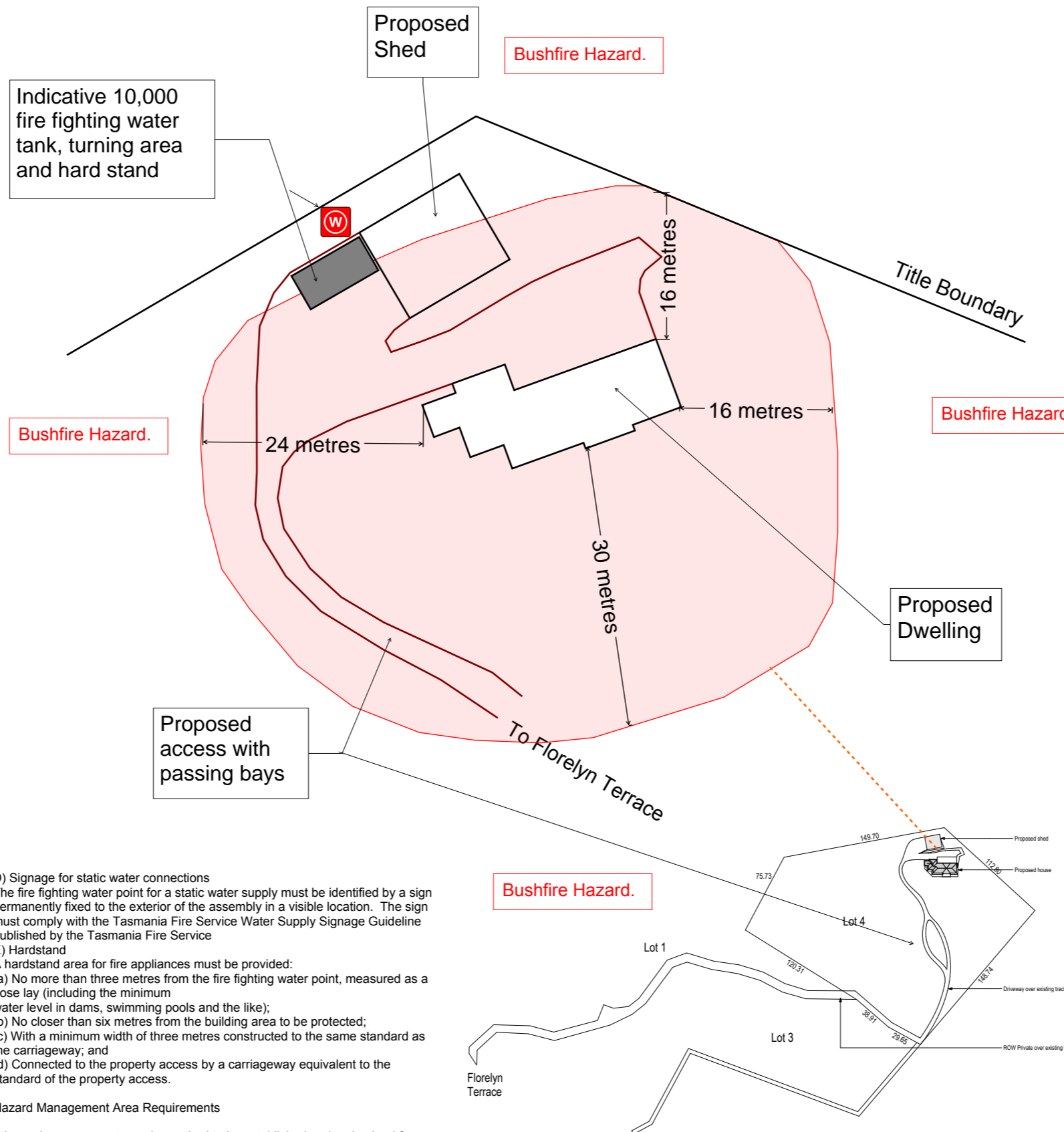
E) Hardstand

A hardstand area for fire appliances must be provided:

- (a) No more than three metres from the fire fighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like);
- (b) No closer than six metres from the building area to be protected;
- (c) With a minimum width of three metres constructed to the same standard as the carriageway; and
- (d) Connected to the property access by a carriageway equivalent to the standard of the property access.

Hazard Management Area Requirements

A hazard management area is required to be established and maintained for the life of the building and is shown on this BHMP. Guidance for the establishment and maintenance of the hazard management area is also provided.



W Approximate location of water point

— Property Access

█ Hazard Management Area

Building Specifications to BAL-29 of AS3959-2018

Hazard Management Area

A hazard management area is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through, but is not limited to the following actions;

- Removing of fallen limbs, sticks, leaf and bark litter;
- Maintaining grass at less than a 100mm height;
- Removing pine bark and other flammable mulch (especially from against buildings);
- Thinning out under-story vegetation to provide horizontal separation between fuels;
- Pruning low-hanging tree branches (<2m from the ground) to provide (vertical separation between fuel layers);
- Pruning larger trees to maintain horizontal separation between canopies;
- Minimise the storage of flammable materials such as firewood;
- Maintaining vegetation clearance around vehicular access and water supply points;
- Use of low-flammability species for landscaping purposes where appropriate;
- Clearing out any accumulated leaf and other debris from roof gutters.

It is not necessary to remove all vegetation from the hazard management area, trees may provide protection from wind borne embers and radiant heat under some circumstances.

Certification No. J6073

Mark Van den Berg

Mark Van den Berg
Acc. No. BFP-108
Scope 1, 2, 3A, 3B, 3C.

Do not scale from these drawings. Dimensions to take precedence over scale.	Draftone Tasmania c/- 18 Florelyn Terrace Geilston Bay TAS 7015	C.T.: 146117/4 PID: 2706242	Date: 25/01/2022	Bushfire Hazard Management Plan: 18 Florelyn Terrace, Geilston Bay. 25th January 2022. J6073v1.0 Bushfire Hazard Report: 18 Florelyn Terrace, Geilston Bay. 25th January 2022. J6073v1.0	Drawing Number: A01	Sheet 1 of 1 Prepared by: MvdB
--	---	--------------------------------	------------------	---	---------------------	-----------------------------------

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: Owner /Agent
 Address
 Suburb/postcode

Form **55**

Qualified person details:

Qualified person:
 Address: Phone No:
 Fax No:
 Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
 The assessable item related to this certificate: (description of the assessable item being certified)
 Assessable item includes –
 - a material;
 - a design
 - a form of construction
 - a document
 - testing of a component, building system or plumbing system
 - an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Report 18 Florelyn Terrace, Geilston Bay. 25 th January 2022. J6073v1.0 Bushfire Hazard Management Plan 18 Florelyn Terrace, Geilston Bay. 25 th January 2022. J6073v1.0 And Form 55
Relevant calculations:	Not Applicable.
References:	Directors Determination – Bushfire Hazard Areas, version 1, 6 th February 2020. Consumer, Building and Occupational Services, Department of Justice, Tasmania. Building Amendment (Bushfire-Prone Areas) Regulations 2016 Standards Australia 2018, Construction of buildings in bushfire prone areas, Standards Australia, Sydney

Substance of Certificate: (what it is that is being certified)

The Bushfire Attack Level for the proposed lot is **BAL-29**. All specifications of the Bushfire hazard management plan and report to be implemented for compliance.

Scope and/or Limitations

Scope: This report was commissioned to identify the Bushfire Attack Level for the existing property. Limitations: The inspection has been undertaken and report provided on the understanding that;-1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report. 2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development. 3. Impacts of future development and vegetation growth have not been considered.

I certify the matters described in this certificate.

Qualified person:	Signed:	Certificate No:	Date:
		J6073	25/01/2022