



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/060284

PROPOSAL: Outbuilding (Single Dwelling)

LOCATION: 1261 Acton Road, Cambridge

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 04/05/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 04/05/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 04/05/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: 12x10m Class 10a outbuilding for private storage

Location: 1261 Acton Road, Cambridge, Tas, 7170

Personal Information Removed



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Dwelling**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Date: **27/03/2026**

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



SEARCH OF TORRENS TITLE

VOLUME 130339	FOLIO 1
EDITION 5	DATE OF ISSUE 23-Feb-2026

SEARCH DATE : 06-Mar-2026

SEARCH TIME : 03.52 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Sealed Plan [130339](#)

Derivation : Part of 300 Acres Located to Richard Lewis

Prior CT [114483/1](#)

SCHEDULE 1

[D130284](#) TRANSFER to MUSTAFA GUNYEL and NAIMA GUNYEL
Registered 07-July-2014 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP [130339](#) COVENANTS in Schedule of Easements

SP [130339](#) FENCING COVENANT in Schedule of Easements

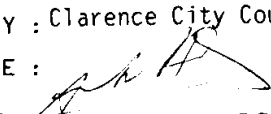
[B580480](#) PROCLAMATION under Section 9A and 52A of the Roads
and Jetties Act 1935 Registered 12-Jan-1993 at noon

[C30987](#) PROCLAMATION under Section 9A and 52A of the Roads
and Jetties Act 1935 Registered 24-June-1997 at noon

[D130285](#) MORTGAGE to Australia and New Zealand Banking Group
Limited Registered 07-July-2014 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p style="text-align: center;">SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p>REGISTERED NUMBER</p> <p style="font-size: 2em;">SP 130339</p>
<p style="text-align: center;">EASEMENTS AND PROFITS PAGE 1 OF 2 PAGES</p> <p>Each lot on the plan is together with:-</p> <p>(1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and</p> <p>(2) any easements or profits a prendre described hereunder.</p> <p>Each lot on the plan is subject to:-</p> <p>(1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and</p> <p>(2) any easements or profits a prendre described hereunder.</p> <p>The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.</p> <p style="text-align: center;">Nil</p>	
<p>COVENANTS</p> <p>Fencing Covenant</p> <p>In respect of each Lot shown on the plan the Vendor shall not be required to fence. In this covenant "the Vendor" means Michael Trevor Moore and Cynthia Joy Moore.</p> <p>Limited Access and Building Envelope Covenant</p> <p>The owner of each lot on the plan covenants with the vendor Michael Trevor Moore and Cynthia Joan Moore and the owners for the time being of every lot shown on the plan to the intent that the burden of the covenant may run with and bind the covenantor's lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot shown on the plan, to observe the following stipulations:</p> <p>(a) Not, without the prior written consent of the Municipality of Clarence,^B to have access onto the limited access Tasman Highway;</p> <p>(b) With regard to Lot 2 on the plan, not, without the prior written consent of the Municipality of Clarence, to erect any buildings more than 30 metres from Acton Road (that is, outside the area marked A B C D on the plan).</p>	
<p>SUBDIVIDER : MT & CJ Moore</p> <p>FOLIO REF : 114481/1 and 114483/1</p> <p>SOLICITOR : Butler McIntyre & Butler</p> <p>& REFERENCE : PAK/95/2368</p>	<p>PLAN SEALED BY : Clarence City Council</p> <p>DATE : </p> <p>97001 REF No. CORPORATE SECRETARY General Manager</p>
<p>NOTE: THE COUNCIL GENERAL MANAGER MUST SIGN THE CERTIFICATE FOR THE PURPOSE OF IDENTIFICATION.</p>	

SCHEDULE OF EASEMENTS

PAGE 2 OF 2 PAGES

Registered Number

SP 130339

Signed by Michael Trevor Moore & Cynthia Joy Moore)
registered proprietor of the land in Folio of the Register)
Volume 114481 Folio 1 and Volume 114483 Folio 1)
in the presence of:)

m tm [Signature]
CJM [Signature]

Witnesses x Lee Robert Wilson
Address x 72 Chippendale St
Occup x Teacher

Executed by the ANZ Bank)
AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED ACN 005 357 522
AS MORTGAGEE UNDER ITS MORTGAGE NO B873629 HEREBY CONSENTS TO
THIS SCHEDULE OF EASEMENTS

EXECUTED BY
AUSTRALIA AND NEW ZEALAND
BANKING GROUP LIMITED by BEING
Signed by its Attorney
LEONARD FRANCIS POWELL
(who hereby certifies that
he has received the power
of revocation of POWER
OF ATTORNEY NO. 68/7581
under which this instrument
is signed) in the presence of:
[Signature]
Bank Officer, Hobart

AUSTRALIA AND NEW ZEALAND
BANKING GROUP LIMITED
By Its Attorney
[Signature]
RETAIL BANKING MANAGER
TASMANIA

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PROPOSED SHED FOR:
GUNYEL
1261 ACTON ROAD, CAMBRIDGE
TAS 7170

VOLUME: **130339** FOLIO: **1** LOT NO: **1**
CLIMATE ZONE: **7** WIND CLASS: **TBC** BAL: **TBC**
BUILDING CLASS: **10a** SITE AREA: **4,521 m²** ALPINE AREA: **N/A BCA FIGURE 3.7.5.2**
SOIL CLASS: **TBC**

CORROSION ENVIRONMENT: **N/A** - FOR STEEL SUBJECT TO THE INFLUENCE OF SALT WATER,
BREAKING SURF OR HEAVY INDUSTRIAL AREAS, REFER TO BCA SECTION 3.4.2.2 & BCA TABLE 3.4.4.2
CLADDING AND FIXINGS TO MANUFACTURER'S RECOMMENDATIONS

OTHER HAZARDS: **N/A** - HIGH WIND, EARTHQUAKE, FLOODING, LANDSLIP, DISPERSIVE SOILS, SAND DUNES,
MINE SUBSIDENCE, LANDFILL, SNOW & ICE OR OTHER RELEVANT FACTORS

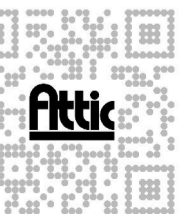
STAGE 1

- 1 COVER PAGE**
- 2 PROPOSED SITE PLAN**
- 3 PROPOSED SHED LOCATION / FLOOR PLAN**
- 4 PROPOSED DEVELOPMENT SUMMARY**
- 5 PROPOSED ROOF / STORMWATER PLAN**
- 6 PROPOSED SHED ELEVATIONS**

GUNYEL

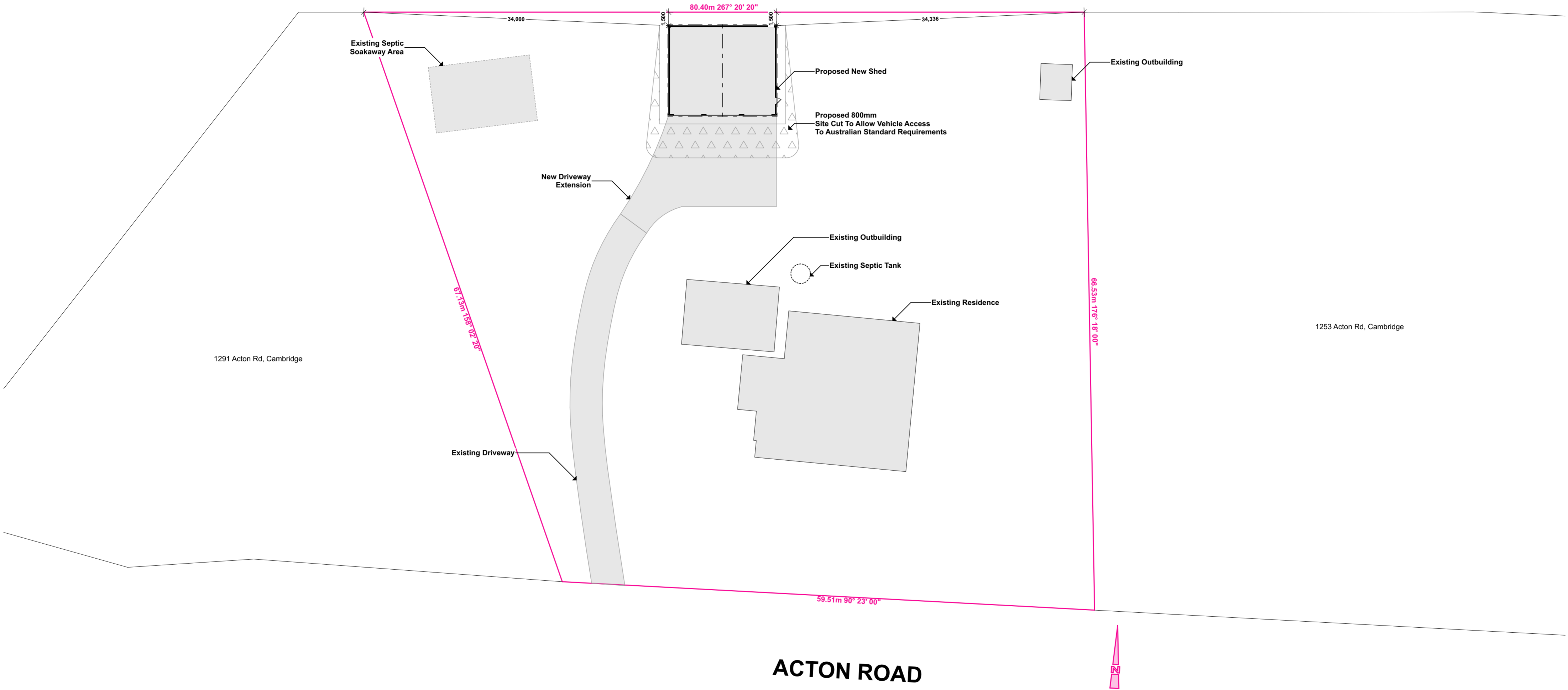
NEW SHED
1261 ACTON ROAD,
CAMBRIDGE, TAS 7170

Date: **25/3/2026** Size: **A2** Scale:
Job: **#ATT1699** Drawn: **N Valentine**
Email: **nik@theattic.net.au**



ALL CONTRACTORS TO OBTAIN ABOVEGROUND AND BELOWGROUND ASSET INFORMATION BEFORE WORKS COMMENCE ON SITE

TASMAN HIGHWAY



IMPORTANT: BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION

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Version: 1, Version Date: 27/03/2026

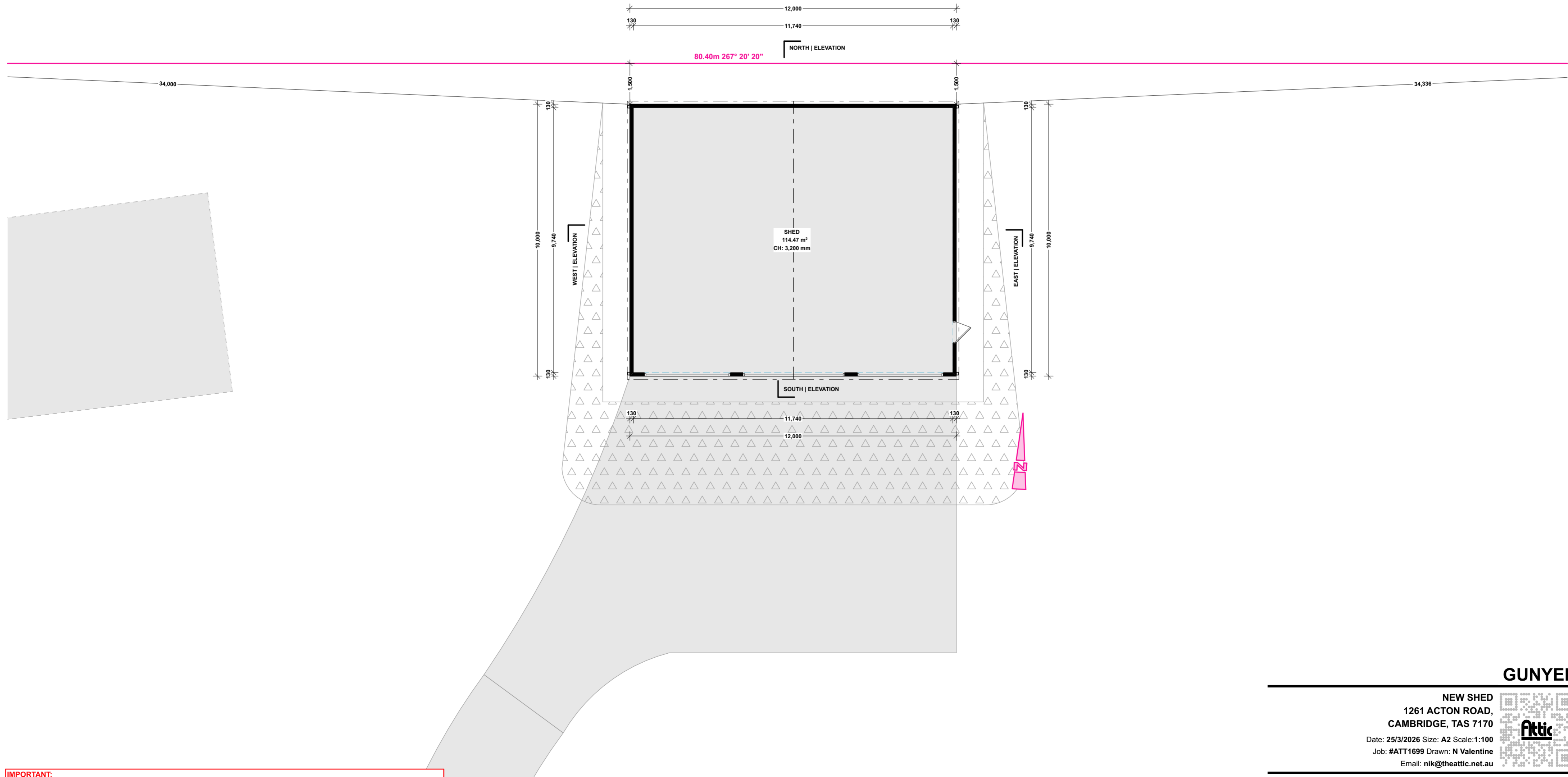
GUNYEL

NEW SHED
1261 ACTON ROAD,
CAMBRIDGE, TAS 7170
Date: 25/3/2026 Size: A2 Scale: 1:7000, 1:300
Job: #ATT1699 Drawn: N Valentine
Email: nik@theattic.net.au



ALL CONTRACTORS TO OBTAIN ABOVEGROUND AND BELOWGROUND ASSET INFORMATION BEFORE WORKS COMMENCE ON SITE

TASMAN HIGHWAY



IMPORTANT: BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION

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Version: 1, Version Date: 27/03/2026

GUNYEL

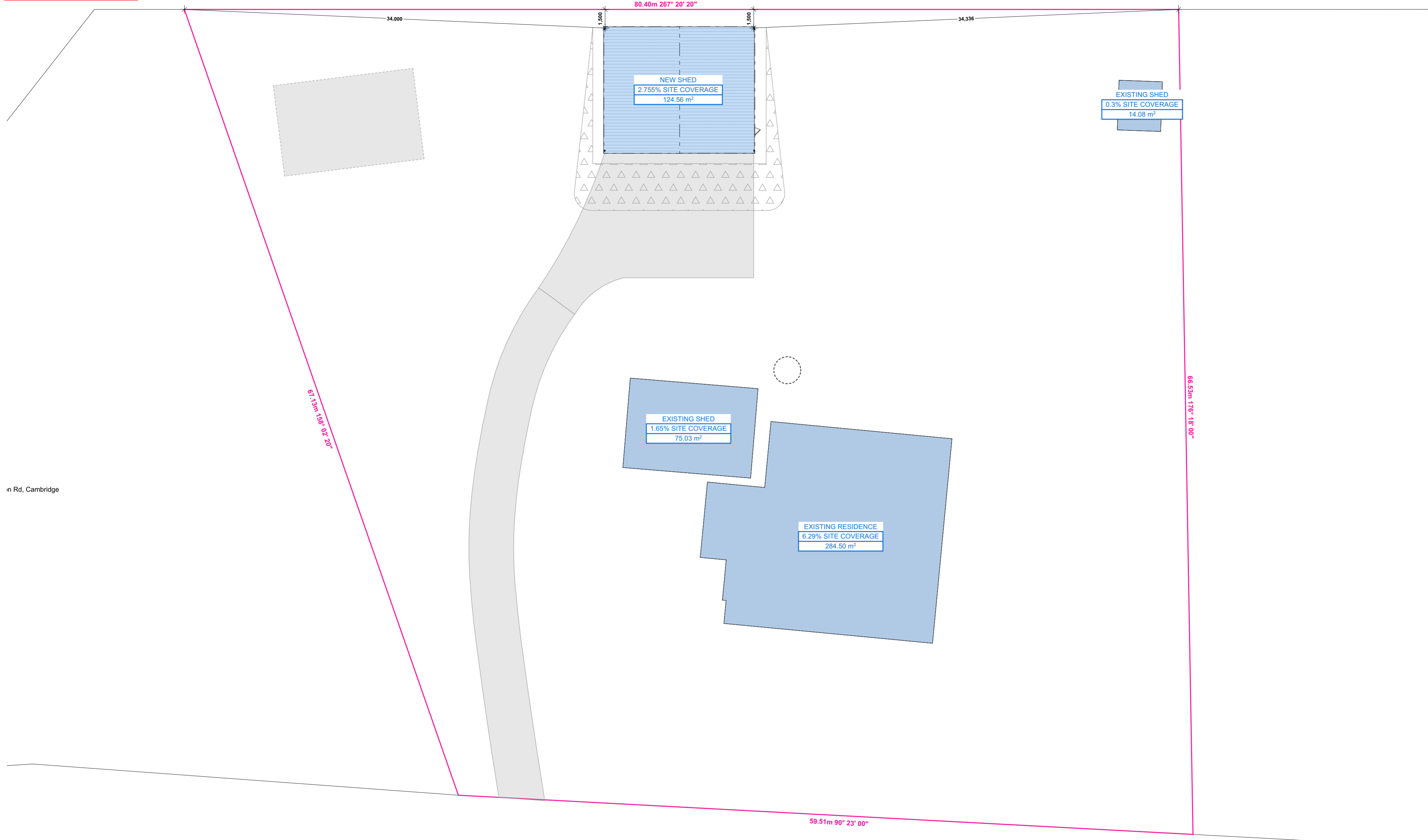
NEW SHED
1261 ACTON ROAD,
CAMBRIDGE, TAS 7170

Date: 25/3/2026 Size: A2 Scale: 1:100
Job: #ATT1699 Drawn: N Valentine
Email: nik@theattic.net.au



PROPOSED SHED LOCATION / FLOOR PLAN 3

ALL CONTRACTORS TO OBTAIN ABOVEGROUND AND BELOWGROUND ASSET INFORMATION BEFORE WORKS COMMENCE ON SITE



in Rd, Cambridge

IMPORTANT: BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION

Document Set ID: 5351206
Version: 1, Version Date: 27/03/2026

GUNYEL

NEW SHED
1261 ACTON ROAD,
CAMBRIDGE, TAS 7170

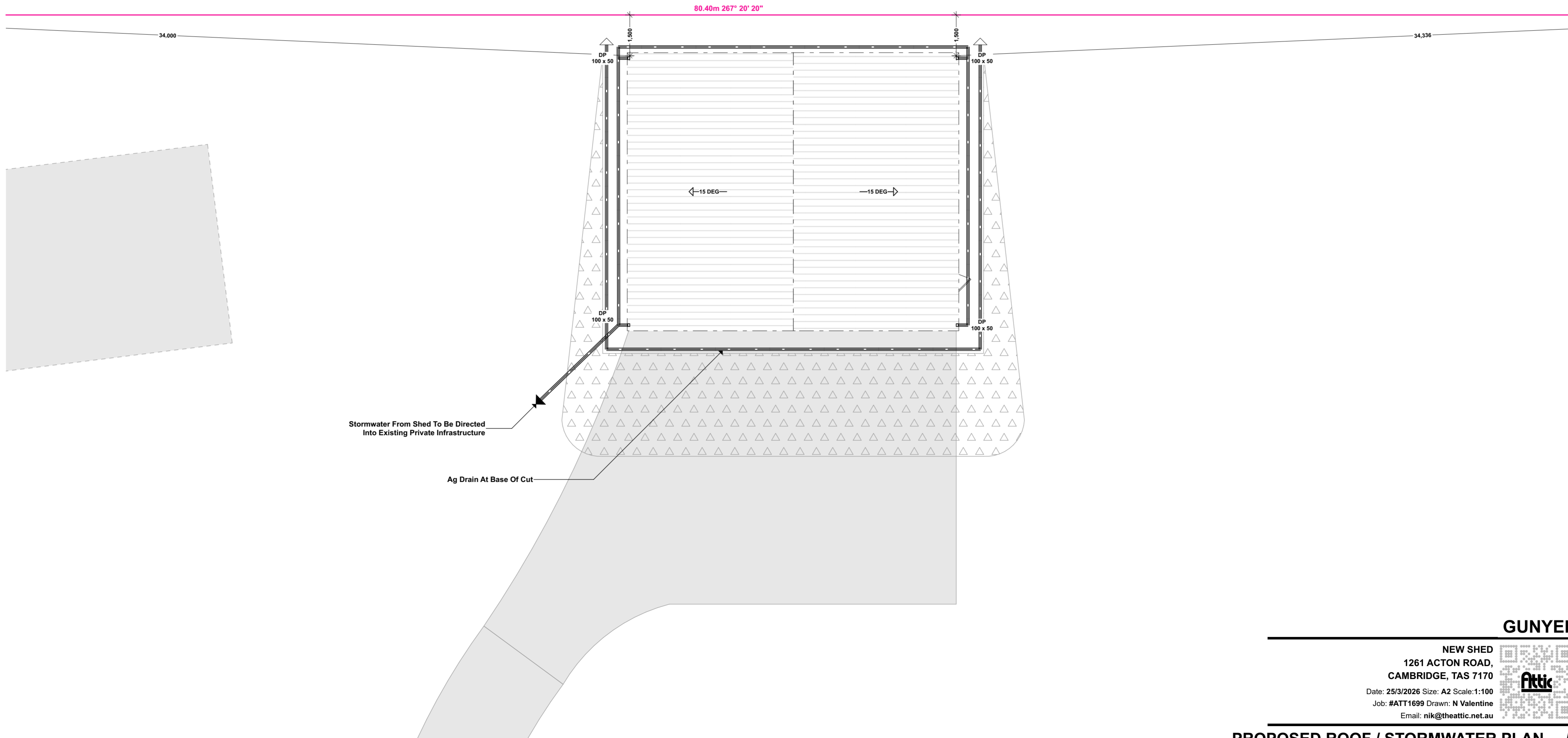
Date: 25/3/2026 Size: A2 Scale: 1:200
Job: #ATT1699 Drawn: N Valentine
Email: nik@theattic.net.au



PROPOSED DEVELOPMENT SUMMARY 4

IMPORTANT:
BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION

TASMAN HIGHWAY



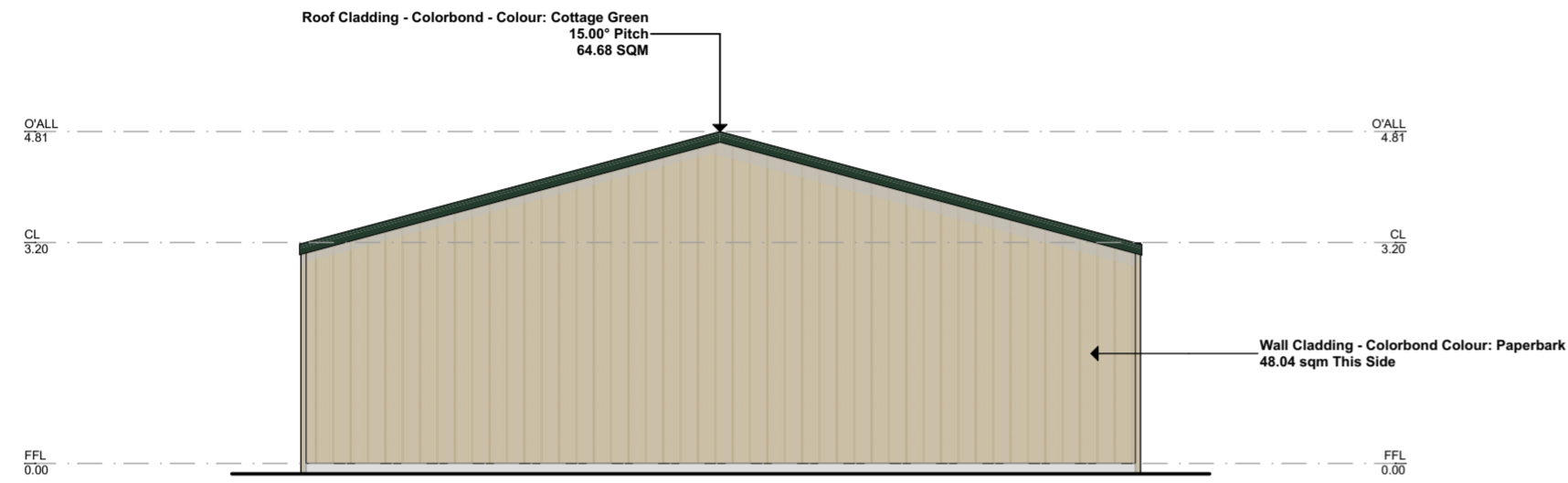
GUNYEL

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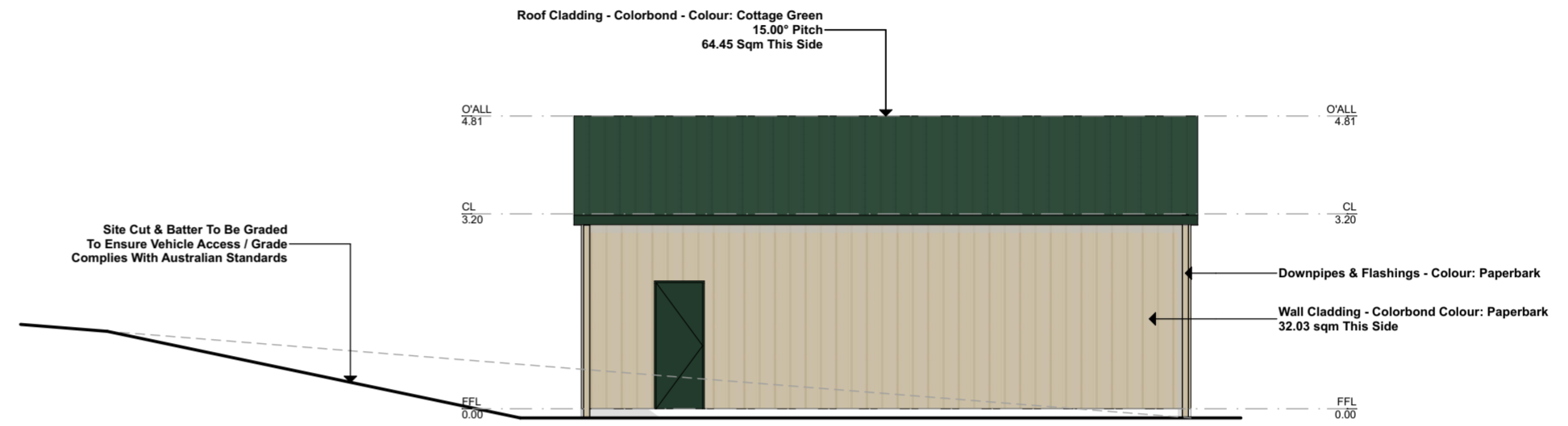
Date: 25/3/2026 Size: A2 Scale: 1:100
Job: #ATT1699 Drawn: N Valentine
Email: nik@theattic.net.au



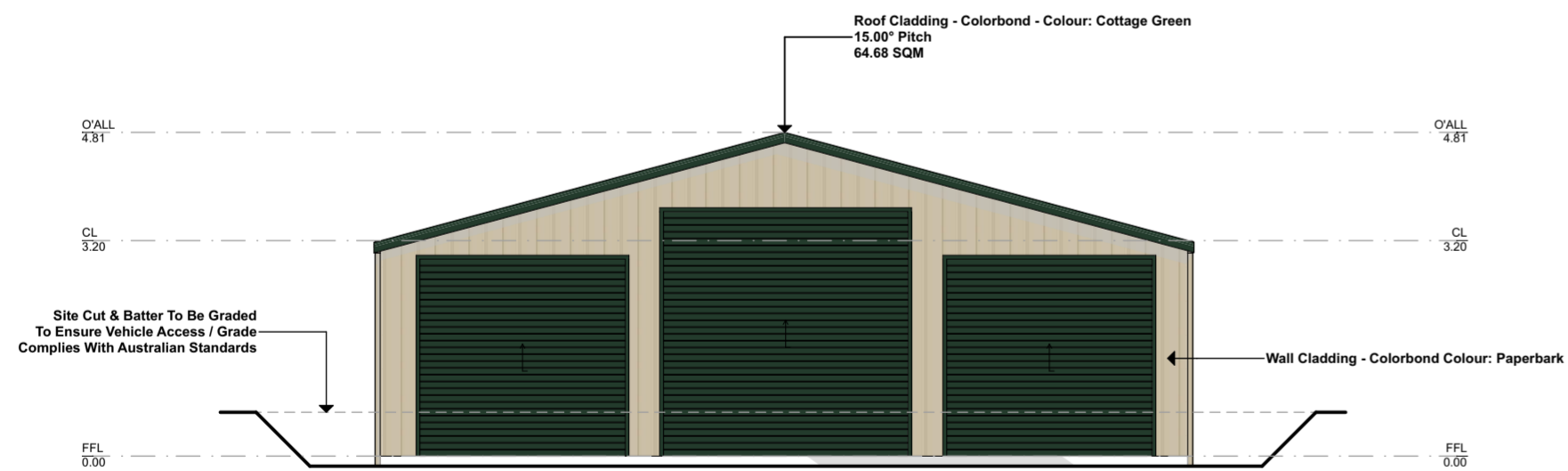
IMPORTANT:
 BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION
 OPERABLE WINDOWS & DOORS MAY BE SHOWN IN THEIR OPEN STATE, FOR ILLUSTRATIVE PURPOSES ONLY



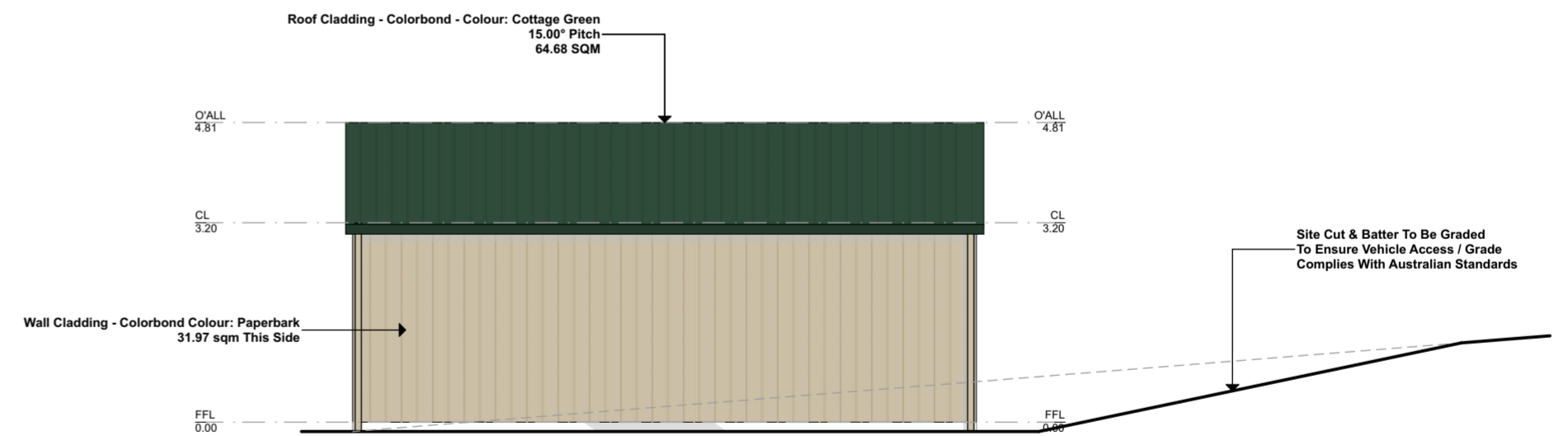
NORTH | ELEVATION



EAST | ELEVATION



SOUTH | ELEVATION



WEST | ELEVATION

IMPORTANT:
 ALL GLAZING TO COMPLY WITH AS1288 (2006) and AS2047.
 WINDOWS LOCATED 2.0m ABOVE THE SURFACE BENEATH ARE TO BE PROVIDED WITH WINDOW RESTRICTORS TO REFLECT A MAXIMUM OPENING OF 124mm, TO RESIST AN OUTWARD HORIZONTAL ACTION OF 250N IN ACCORDANCE WITH NCC PART 3.9.2.5
 WHERE THE RESTRICTING DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVERRIDDEN, A PERMANENT BARRIER WITH A HEIGHT NOT LESS THAN 865mm ABOVE THE FLOOR IS REQUIRED TO THE OPENABLE WINDOW, IN ADDITION TO WINDOW PROTECTION, THE BARRIER MUST NOT HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm ABOVE THE FLOOR THAT FACILITATE CLIMBING.
 GRADE 'A' SAFETY GLAZING IS REQUIRED TO ALL WINDOWS WITHIN 500mm OFF THE FLOOR, WITHIN 300mm OF A DOOR, WITHIN 2000mm OFF THE FLOOR IN ALL WET AREAS AND IS SUSCEPTIBLE TO HUMAN IMPACT.

IMPORTANT:
 BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION
 OPERABLE WINDOWS & DOORS MAY BE SHOWN IN THEIR OPEN STATE, FOR ILLUSTRATIVE PURPOSES ONLY
 * LIFT OF HINGES TO WATER CLOSETS LOCATED WITHIN 1.2M OF THE DOORWAY SWING
 * DECALS : MIN. 20mm HIGH DECALS TO FULL HEIGHT GLAZING LOCATED BETWEEN 700MM AND 1200MM HIGH FROM FINISHED FLOOR LEVEL
 * REFER TO APPROVED ENERGY REPORT FOR GLAZING U-VALUES & SHGC
 * REFER TO ELEVATIONS FOR SPECIFICATION OF OBCURE GLAZING

GUNYEL

NEW SHED
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 CAMBRIDGE, TAS 7170

Date: 25/3/2026 Size: A2 Scale: 1:100

Job: #ATT1699 Drawn: N Valentine

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