



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/060286

PROPOSAL: Outbuilding (Single Dwelling)

LOCATION: 15 Vasili Court, Oakdowns

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 04/05/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 04/05/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 04/05/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **Outbuilding - carport**

Location: **15 Vasili Court, Oakdowns**

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Residential**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Date: 30.3.2026



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 163408	FOLIO 201
EDITION 5	DATE OF ISSUE 13-July-2020

SEARCH DATE : 24-Mar-2026

SEARCH TIME : 03.19 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 201 on Sealed Plan [163408](#)

Derivation : Part of 140 Acres Located to Edward Kimberley

Prior CT [160875/503](#)

SCHEDULE 1

E2966 TRANSFER to HALVYN GLENN SOUTHWELL Registered
14-Jan-2016 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP163408](#) EASEMENTS in Schedule of Easements

[SP163408](#) COVENANTS in Schedule of Easements

[SP163408](#) FENCING COVENANT in Schedule of Easements

[SP133940](#), [SP141137](#), [SP157607](#) & [SP160875](#) COVENANTS in Schedule
of Easements

[SP133940](#), [SP141137](#), [SP157607](#) & [SP160875](#) FENCING COVENANT in
Schedule of Easements

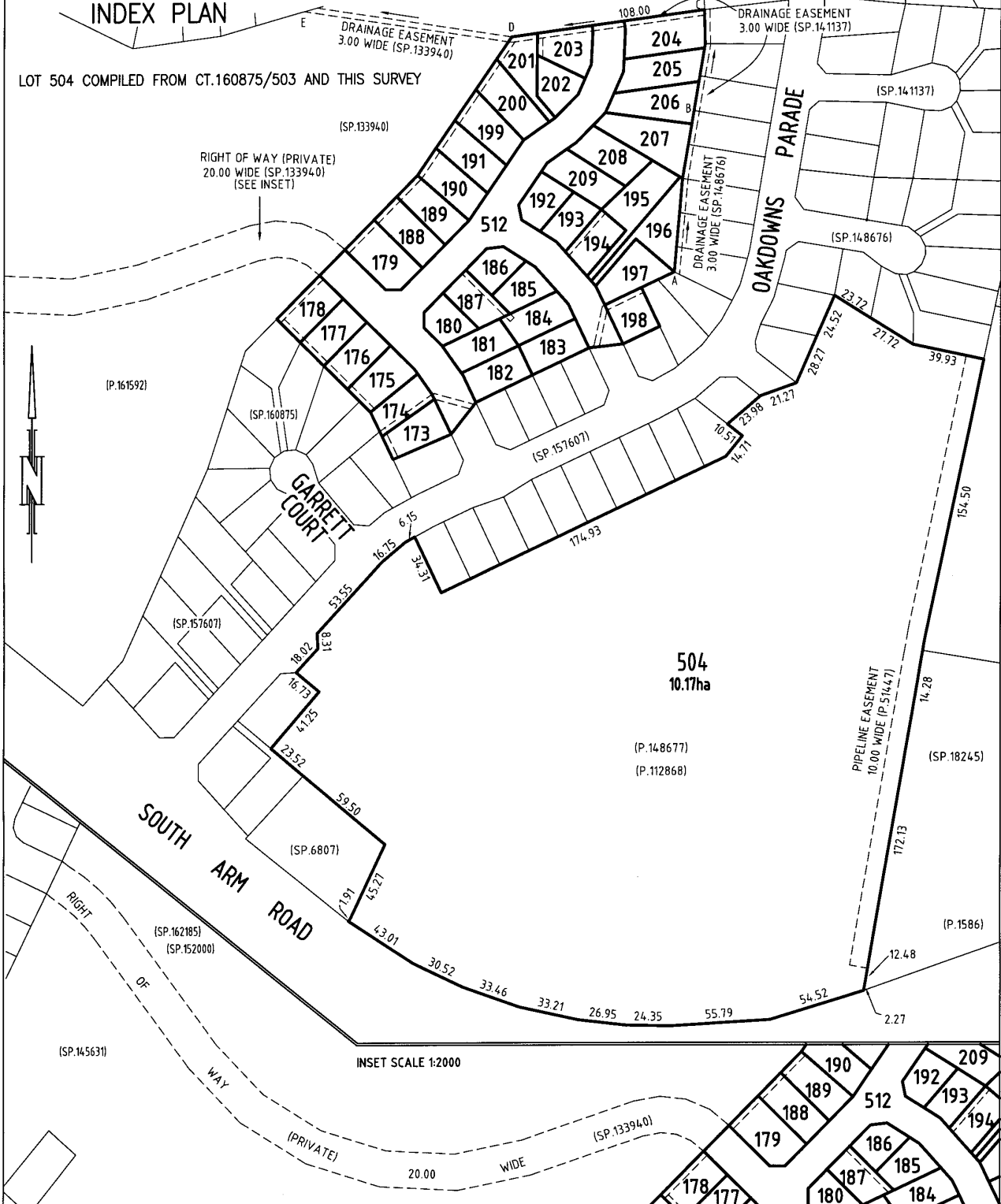
[C40541](#) AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
27-Oct-1997 at 12.04 pm

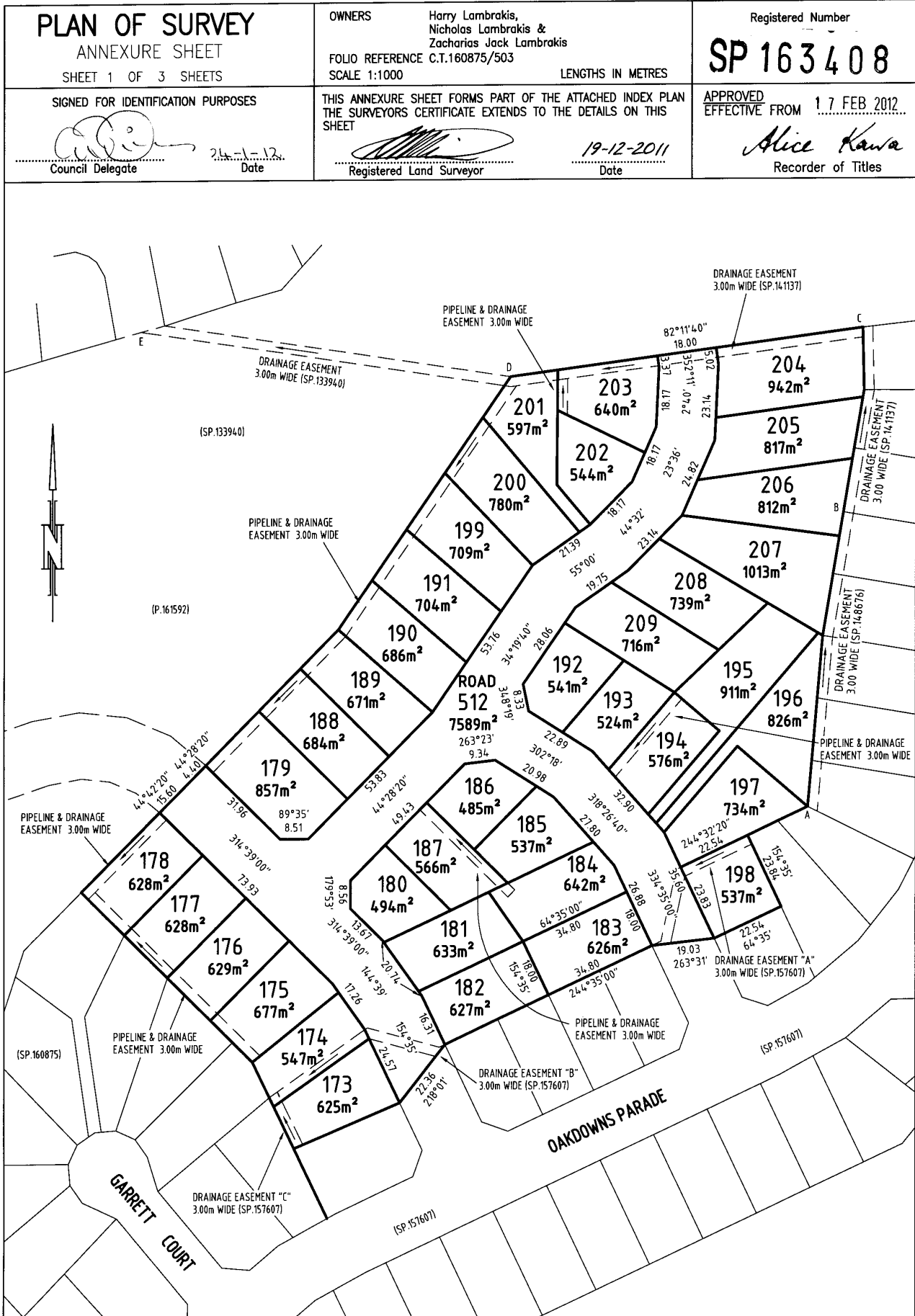
UNREGISTERED DEALINGS AND NOTATIONS

NOTICE: This folio is affected as to amended easements
pursuant to Request to Amend No. D75317 made under
Section 103 of the Local Government (Building and
Miscellaneous Provisions) Act 1993. Search Sealed
Plan No. [163408](#) Lodged by WALLACE WILK & WEB on
12-Dec-2012 BP: D75317


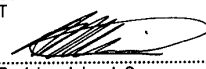
OWNERS Harry Lambrakis, Nicholas Lambrakis & Zacharias Jack Lambrakis	<p>PLAN OF SURVEY BY SURVEYOR ANDREW STEPHEN BIRCH ROGERSON & BIRCH SURVEYORS UNIT 1B 120 CAMBRIDGE ROAD ROSNY PARK PH 6244-6256 FAX 6244-6221 MOB. 0418-120-796</p>	REGISTERED NUMBER SP163408
FOLIO REFERENCE C.T.160875/503		APPROVED EFFECTIVE FROM 17 FEB 2012 <i>Alice Kawa</i> Recorder of Titles
GRANTEE Part of 140 Acres Located to Edward Kimberley	LOCATION CITY OF CLARENCE	
SCALE 1:2000		LENGTHS IN METRES

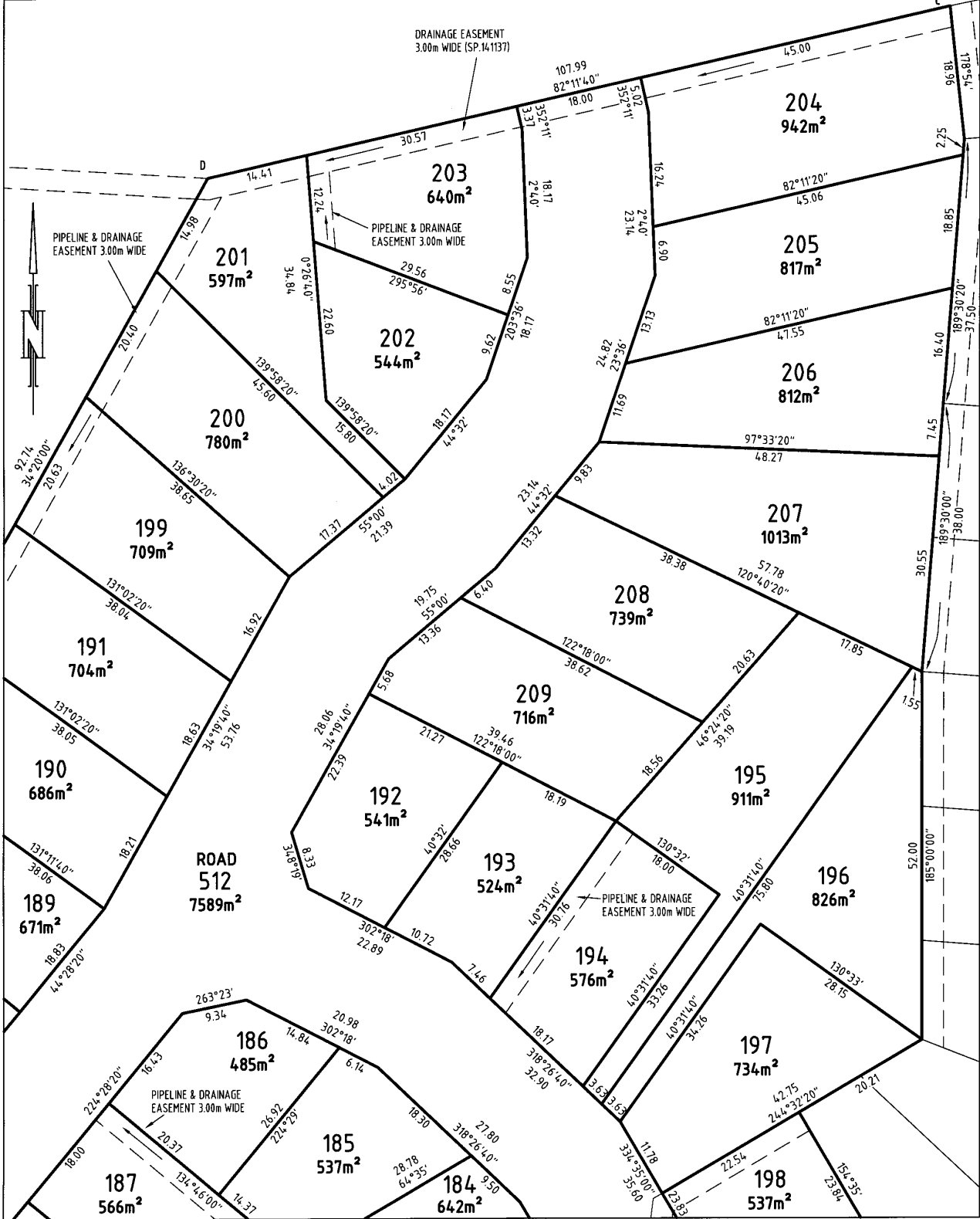
MAPSHEET MUNICIPAL CODE No. 107 (5224-15)	LAST UPI No. GRA42	LAST PLAN No. SP.160875	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
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<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 3 SHEETS</p>	<p>OWNERS Harry Lambrakis, Nicholas Lambrakis & Zacharias Jack Lambrakis FOLIO REFERENCE C.T.160875/503 SCALE 1:500</p>	<p>Registered Number SP 163408</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p>  <p>Council Delegate</p> <p>24-3-12 Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p>  <p>Registered Land Surveyor</p> <p>19-12-2011 Date</p>	<p>APPROVED EFFECTIVE FROM 17 FEB 2012</p> <p><i>Alice Kawa</i> Recorder of Titles</p>



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 163408

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS AND COVENANTS

EASEMENTS

Lot 504

~~Each lot~~ on the plan is subject to a Pipeline Right in favour of the Hobart Regional Water Board in the terms created by and more fully set forth in Transfer B500140 and subject to the provisions contained therein over the Pipeline Easement 10.00 wide on the plan.

(Private)

Each lot on the plan is together with a Right of Carriageway over the Right of Way/20.00 Wide on the plan.

Lots 201, 203, 204 and 512 are each

~~Each lot on the plan~~ is subject to a Right of Drainage (appurtenant to Lots 17 to 23 and Lot 100 on SP 141137) over ~~the~~ Drainage Easement 3.00 wide marked CD on the plan passing through such lot.
that portion of

Each lot on the plan is together with a Right of Drainage over the Drainage Easement 3.00 wide marked AB on the plan.

Each lot on the plan is together with a Right of Drainage over the Drainage Easements 3.00 wide marked BC & DE on the plan.

Lots 198 and 512 are each

~~Each lot on the plan~~ is subject to a Right of Drainage (appurtenant to Lots 33 & 34 on SP 157607) over ~~the~~ Drainage Easement "A" 3.00 wide on the plan passing through such lot. that portion of


Lots 174 and 512 are each

~~Each lot on the plan~~ is subject to a Right of Drainage (appurtenant to Lot 502 on SP 157607) over ~~the~~ Drainage Easement "B" 3.00 wide on the plan passing through such lot. that portion of

Lot 173 & Lot 174 are each

~~Each lot on the plan~~ is subject to a Right of Drainage (appurtenant to Lots 47 & 48 on SP 157607 over the Drainage Easement "C" 3.00 wide on the plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: H, ZJ AND N LAMBRAKIS FOLIO REF: 160875/503 SOLICITOR & REFERENCE: DAVID WALLACE, WALLACE WILKINSON & WEBSTER	PLAN SEALED BY: Clarence City Council DATE: 24-1-2012 SD: 2003/114 REF NO.  Council Delegate
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP 163408
SUBDIVIDER: Harry Lambrakis, Nicholas Lambrakis & Zacharias Jack Lambrakis FOLIO REFERENCE: 160875/503	

Lots 175 to 179 inclusive, 184, 187 to 191 inclusive, 194 and 199 to 201 inclusive on the Plan are each subject to a Pipeline and Drainage Easement in favour of Southern Water over the Pipeline and Drainage. ~~Each lot on the plan is together with such rights in the 'Pipeline and Drainage Easement' (as herein defined) (if any) shown as 'Pipeline & Drainage Easement' on the plan.~~ Easement 3.00 wide passing through such Lot.

~~Each lot on the plan is subject to such rights in the 'Pipeline and Drainage Easement' (as herein defined) (if any) shown as 'Pipeline & Drainage Easement' on the plan.~~

Interpretation

"Southern Water" means Tasmanian Water and Sewerage Corporation (Southern Region) Pty Limited, trading as southern Water, established under the provisions of the Water and Sewerage Corporations Act 2008 (Tas.)

~~**"Easement Land"** means those lots on the plan shown touching and concerning the 'Pipeline & Drainage Easement' marked thereon.~~ means the land which is subject to the Pipeline & Drainage Easement 3.00 wide shown on the plan.

"Transferee" means Southern Water.

"Transferor" means the registered proprietor for the time being of Easement Land.

"Pipeline and Drainage Easement" includes such rights of drainage over the Pipeline & Drainage Easements shown in the plan as may be necessary to drain the stormwater and other surplus water from such lot AND the full right and liberty for the Transferee at all times to:

- (a) enter upon the Easement Land with employees, contractors, agents and all other persons duly authorised by it and with machinery, vehicles, plant and equipment; and
- (b) open, break up and excavate the Easement Land to lay and maintain on or in the Easement Land, sewer pipes, water pipes, valves and fittings for any purposes the Transferee may deem necessary; and
- (c) run and pass sewerage and water through and along the same and from time to time to inspect, cleanse, repair and maintain the same and when and where necessary to lay new pipes, valves and fittings in substitution for and in addition to any other pipes, valves and fittings; and
- (d) do all necessary works in connection with such activities or as may be authorised by any legislation:
 - (i) without doing unnecessary damage to the Easement Land; and
 - (ii) leaving the Easement Land in a clean and tidy condition;

PROVIDED ALWAYS THAT:

- (e) The Transferor must not without the written consent of the Transferee first had and obtained and only in compliance with the conditions which form the consent (if any):-
 - (i) alter or permit to be altered the ground level of the Easement Land;
 - (ii) erect or permit to be erected any building, structure, pipeline, paving, tree, shrub or other object on or in the Easement Land;

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

Definition of Easement Land hereon amended by me pursuant to Request to Amend No. D75317 made under Section 103 of the Local Government (Building & Miscellaneous Provisions) Act 1993
 Alice Kawa
 Recorder of Titles
 3 / 1 / 2013

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 163408</p>
<p>SUBDIVIDER: Harry Lambrakis, Nicholas Lambrakis & Zacharias Jack Lambrakis</p> <p>FOLIO REFERENCE: 160875/503</p>	

- (iii) remove any soil, rock or other matter that supports, protects or covers any works of the Transferee on or in the Easement Land;
- (iv) do or permit to be done any manner or thing which shall damage or contribute to damage or be likely to cause or contribute to damage to the sewer pipes, water pipes, valves and fittings laid now or later or constructed in or on the Easement Land; or
- (v) in any way prevent or interfere with the proper exercise and benefit of this easement by the Transferee or its employees, contractors, agents and all other persons duly authorised by it.
- (f) The Transferee is not required to fence any part of the Easement Land.
- (g) The Transferor shall be at liberty to erect any fence across the Easement Land wherever it may reasonably require the same provided that:
 - (i) the Transferee shall be at liberty to provide in such a fence a gate suitable to its purposes; and
 - (ii) the Transferor shall provide the Transferee with a key to any lock which would prevent the opening of any gate so provided;
- (h) In the event that the Transferor causes damage to any sewerage or water pipes, valves or fittings laid, maintained or substituted by the Transferee such that the Transferee is required to repair such damage, the Transferor shall be liable for the actual costs of the repair of the water pipes, valves and fittings so damaged.
- (i) The Transferee shall be at liberty without forfeiting any right of action, damages or otherwise against the Transferor to reinstate any alteration to the ground level and to remove from the Easement Land any building, structure, pipeline, paving, tree, shrub or other object or replace any soil, rock or other matter that supported, protected or covered by works of the Transferee on or in the Easement Land which contravenes the provisions of this easement and shall not be required to replace or remove the same.
- (j) The Transferee with employees, contractors, agents and all other persons duly authorised by it and with machinery, vehicles, plant and equipment shall be at liberty to access and enter upon the Easement Land for the purposes of this Easement, such access to be from the road frontage or from any gate.
- (k) The Transferee shall be permitted to access the Easement Land from the adjoining land of the Transferor provided that in doing so no damage or inconvenience is caused.
- (l) The Transferor shall not place any obstruction which would prevent access to the Easement Land.

COVENANTS

The owner of each lot on the plan covenants with the Vendors Harry Lambrakis, Zacharias Jack Lambrakis and Nicholas Lambrakis and the owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the Covenantor's lot and every part thereof and that the benefit shall be annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulations, namely:

1. Not to remove any trees from the lot without the prior written consent of the Clarence City Council.
2. Each Lot on the Plan which formerly comprised part of Lot 503 on Sealed Plan Number 157607 is affected by such restrictive covenants as set forth in Sealed Plan Number 157607.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

~~NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a~~

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP 163408
SUBDIVIDER: Harry Lambrakis, Nicholas Lambrakis & Zacharias Jack Lambrakis FOLIO REFERENCE: 160875/503	

FENCING COVENANT

The Owner of each lot on the Plan covenants with the Vendors Harry Lambrakis, Zacharias Jack Lambrakis and Nicholas Lambrakis that the Vendors shall not be required to fence.

SIGNED for and on behalf of HARRY LAMBRAKIS, ZACHARIAS JACK LAMBRAKIS and NICHOLAS LAMBRAKIS by their Attorney DAVID RUSSELL WALLACE by virtue of Power of Attorney Number PA 17530 who hereby declares that he has received no notice of revocation of the said Power, in the presence of:

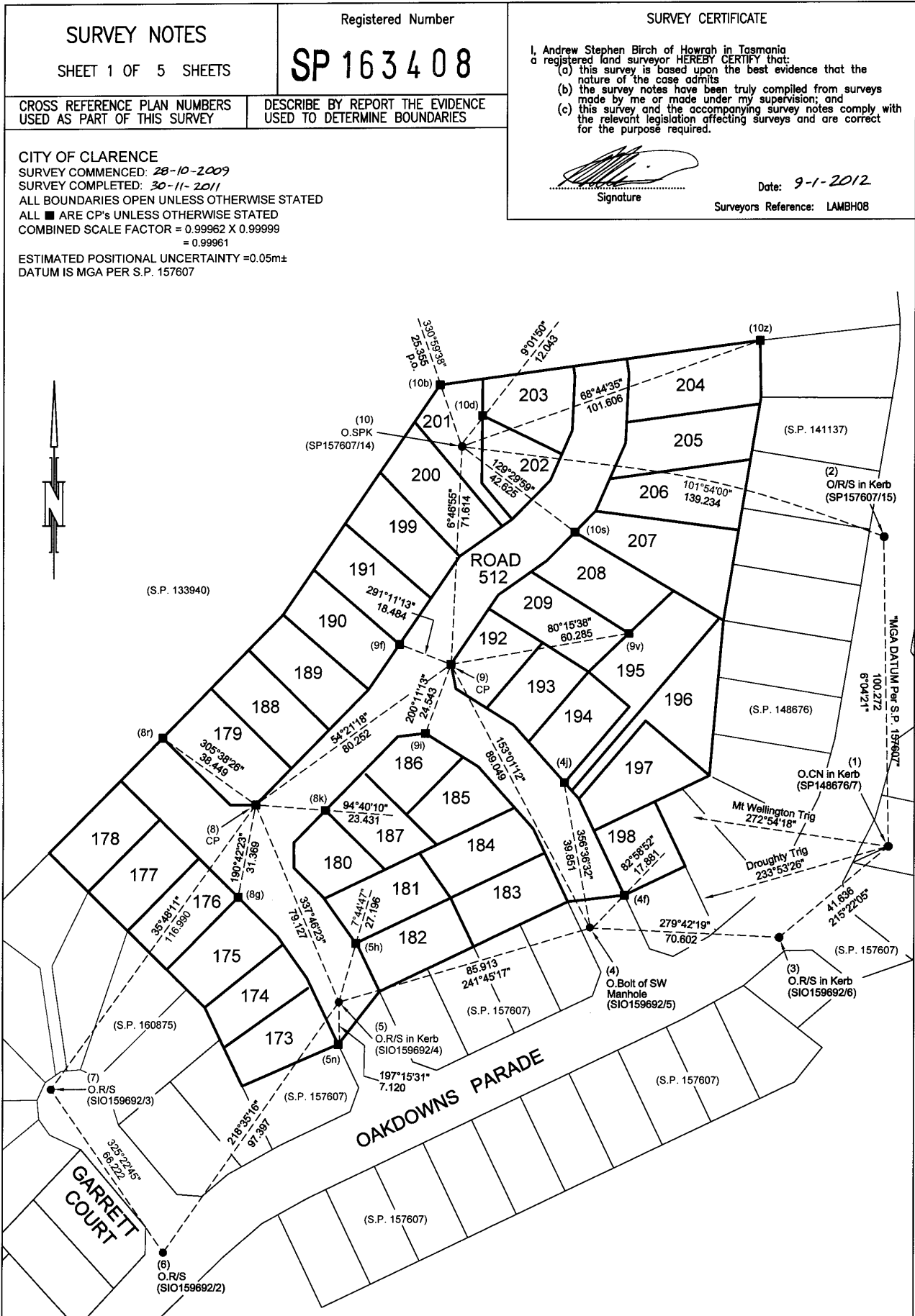
Witness signature: *P. Fletcher Jones* *[Signature]*
 Print Name: PAULA FLETCHER-JONES
 Print Address: 4 WATCHORN ST HOBART
 Print Occupation: LAW CLERK

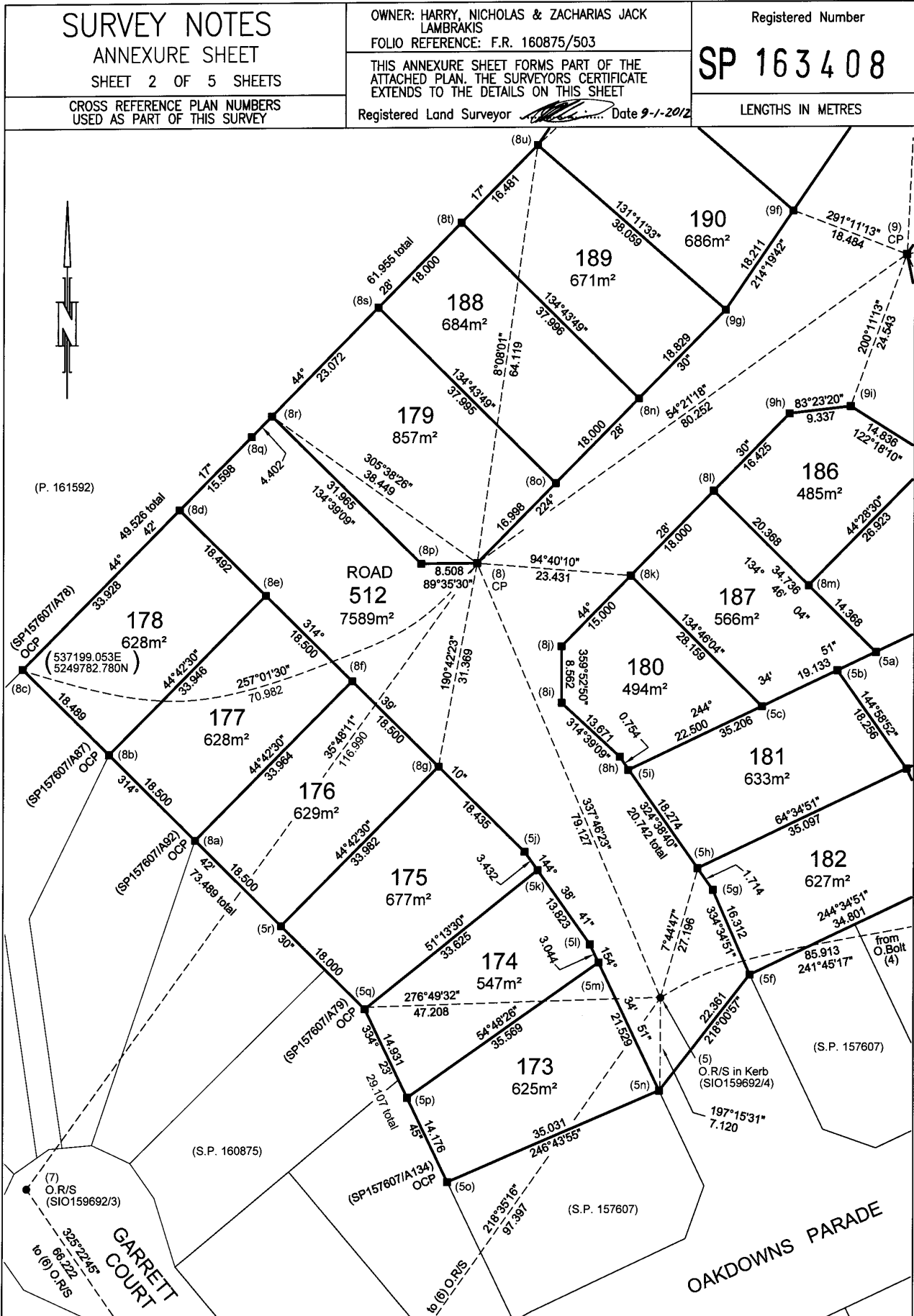
We, the NATIONAL AUSTRALIA BANK LIMITED the proprietor of Mortgage No D28108, consent to the registration of this Schedule of Easements:

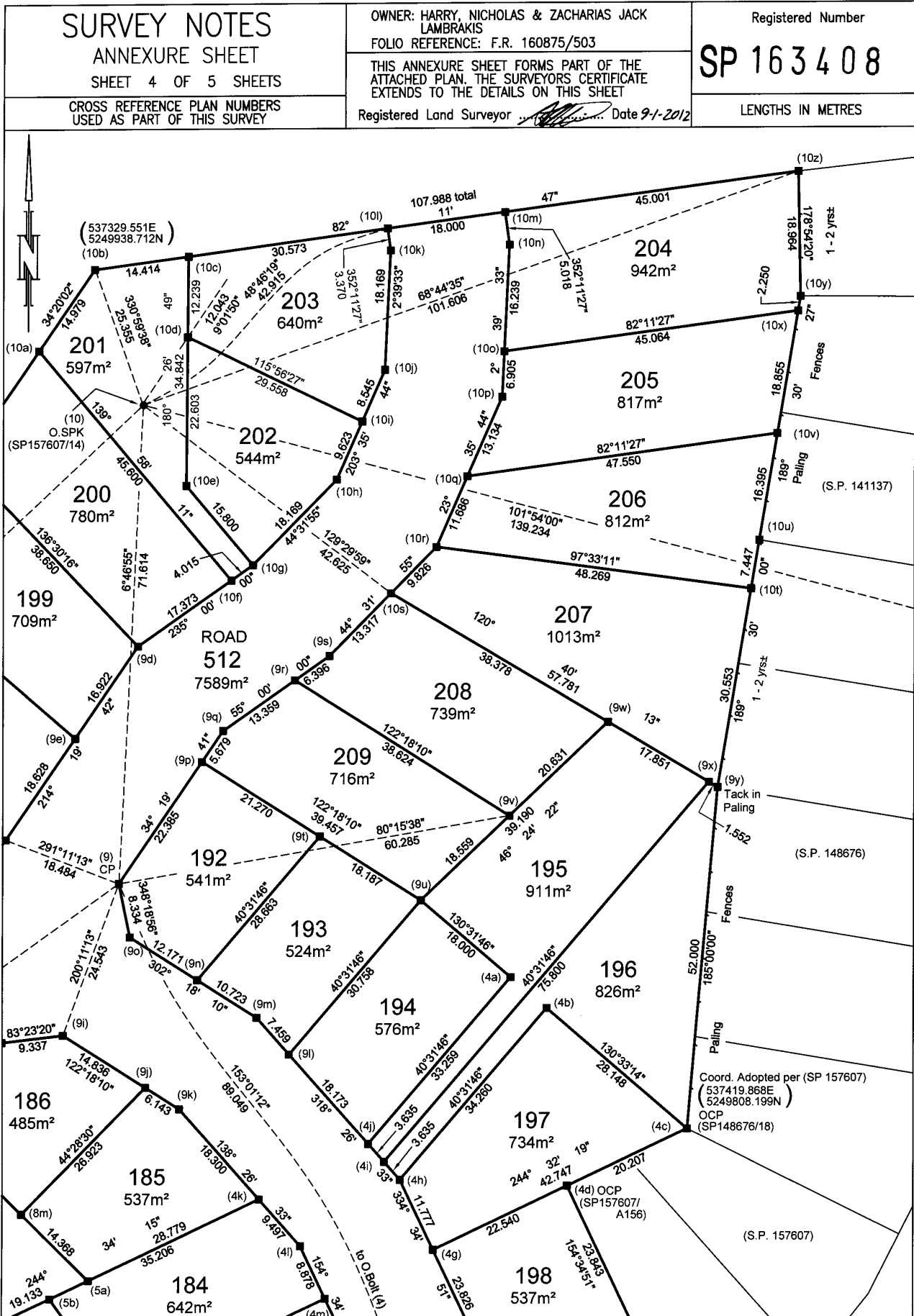
EXECUTION CLAUSE

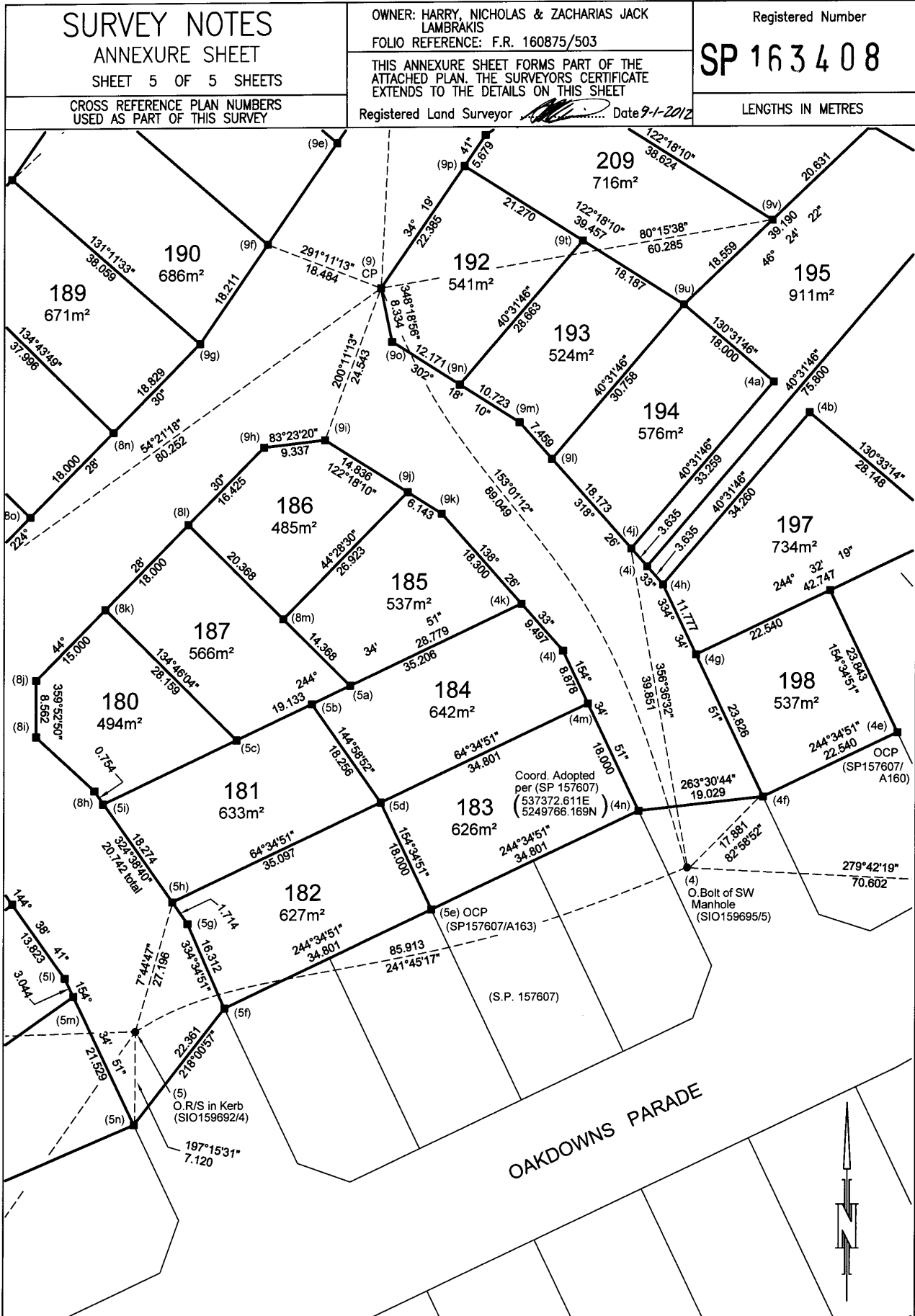
Dated this 14TH day of December 2011
 Executed by the NATIONAL AUSTRALIA BANK LIMITED)
 by its Attorney SIMON BEU)
 who holds the position of Level 3 Attorney)
 under Power of Attorney No. PA 18631) *[Signature]*
 (who declares that he/she has received no notice)
 of revocation of the said Power) in the presence of:)
[Signature]
 Jonathan Mark Milne
 Associate
 National Australia Bank Ltd
 10/86 Collins Street
 HOBART TAS 7000

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.









CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK.

ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED

CONFIRM ALL SIZES AND HEIGHTS ON SITE

DO NOT SCALE OFF PLAN

ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS

CONSTRUCTION STANDARDS:
ALL WORKS SHOULD BE GENERALLY INLINE WITH THE PRACTICES SET OUT IN THE 'GUIDE TO STANDARDS AND TOLERANCES 2007'

WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 - WIND LOADS FOR HOUSING

THESE DOCUMENTS TO BE USED WITH ALL DOCUMENTATION PREPARED BY AN ENGINEER

THESE DOCUMENTS ARE INTENDED FOR COUNCIL APPLICATIONS AND NORMAL CONSTRUCTION, THEY ARE NOT TO BE USED FOR TENDERING PURPOSES OR INSPECTIONS.

THIS DESIGN IS COVERED UNDER COPYRIGHT AND ANY CHANGES MUST BE CONFIRMED BY "WILKIN DESIGN & DRAFTING" THE DRAWER RETAINS ALL "INTELLECTUAL PROPERTY"

REQUIREMENTS OF SCHEDULE 1

DESIGNER : T. WILKIN - CC678X
PROJECT ADDRESS : 15 VASILI CT OAKDOWNS TAS 7019
CLIENT NAME : H. SOUTHWELL
TITLE REF : 163408/201
FLOOR AREA : 33.54m²
DESIGN WIND SPEED : N2
SOIL CLASSIFICATION : M
CLIMATE ZONE : 7
BAL LEVEL : LOW
ALPINE AREA : N/A
CORROSION ENVIRONMENT : N/A
KNOWN SITE HAZARDS : NONE

INDEX OF APPLICATION SET:
ARCHITECTURAL DRAWINGS - PAGE 00 - 03
ENGINEERING DRAWINGS - NO
SPECIFICATIONS - NO
ADDITIONAL PAGES - FORM 35

PROPOSED CARPORT FOR H. SOUTHWELL AT 15 VASILI CT OAKDOWNS TAS 7019



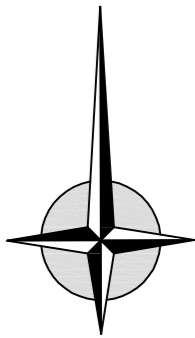
wilkin
design

P.O. BOX 478
LAUNCESTON
TASMANIA 7250

ACCREDITATION NO:
CC678 X

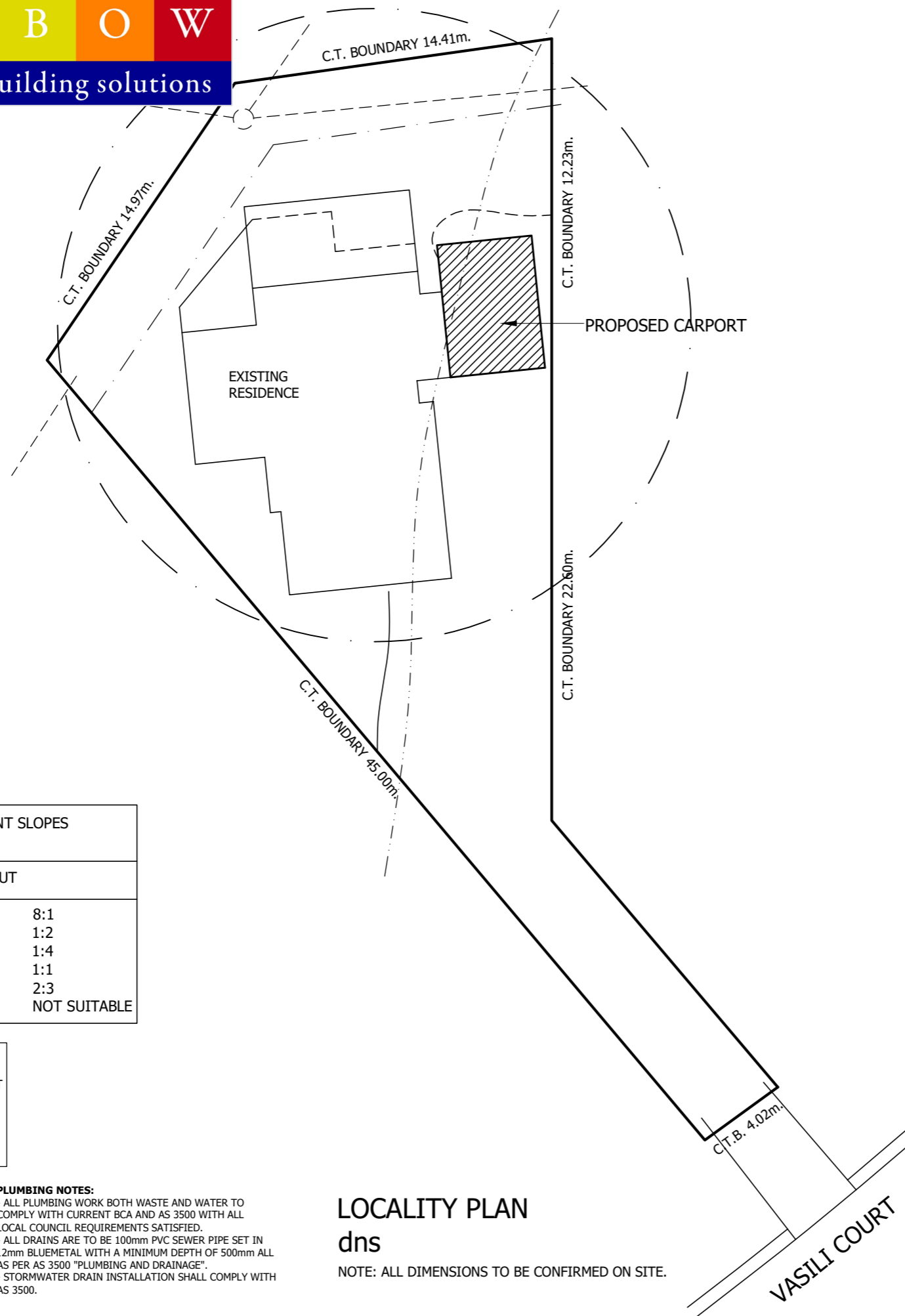
DATE:
25/03/2026

JOB NUMBER:
DA/BA-26SR SOUT



15 VASILI CT
OAKDOWNS TAS 7019

TITLE REF: 163408/201
PROPERTY ID: 3159834
TITLE AREA = 597.00m²



wilkin
design

P.O. BOX 478
LAUNCESTON
TASMANIA 7250

ACCREDITATION NO:
CC678 X

NOTES:
-----,

PROJECT TITLE:
SOUTHWELL CARPORT

VASILI CRT
OAKDOWNS

REVISION:
-----,

DATE:
25/03/2026

SCALE:
AS SHOWN

JOB NUMBER:
DA/BA-26SR SOUT

PAGE:
01 of 03

NOTE: TABLE FOR UNPROTECTED EMBANKMENT SLOPES
SLOPE = H:L

SOIL TYPE	COMPACTED FILL	CUT
STABLE ROCK	2:3	8:1
SAND	1:2	1:2
SILT	1:4	1:4
CLAY (FIRM)	1:2	1:1
CLAY (SOFT)	NOT SUITABLE	2:3
SOFT SOILS	NOT SUITABLE	NOT SUITABLE

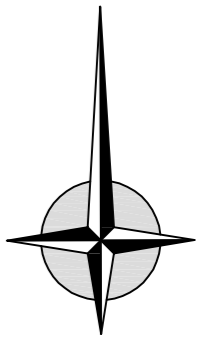
NOTE:
THESE PLANS HAVE BEEN PREPARED ALONGSIDE INFORMATION AND DIMENSIONS FROM BOTH THE DIRECT CLIENT, TheList AND ONLINE INFORMATION. ALL ASPECTS OF THE DRAWING SHOULD BE CHECKED THOROUGHLY BEFORE COMMENCEMENT OF WORK. IF IN DOUBT SEEK ADVICE FROM WILKIN DESIGN.

SET OUT NOTES:
- THE BUILDER IS TO SET OUT THE WORKS IN CONJUNCTION WITH THE ACCOMPANYING PLANS. THE FINAL POSITION IS TO BE CONFIRMED BY THE CLIENT AS TO BEING CORRECT. ALL DIMENSIONS HEIGHTS AND LEVELS ARE TO BE CONFIRMED ON SITE BY ALL PARTIES INCLUDING LOCAL COUNCIL, OWNER AND ENGINEER BEFORE ANY EXCAVATION IS TO BE CARRIED OUT.

PLUMBING NOTES:
- ALL PLUMBING WORK BOTH WASTE AND WATER TO COMPLY WITH CURRENT BCA AND AS 3500 WITH ALL LOCAL COUNCIL REQUIREMENTS SATISFIED.
- ALL DRAINS ARE TO BE 100mm PVC SEWER PIPE SET IN 12mm BLUOMETAL WITH A MINIMUM DEPTH OF 500mm ALL AS PER AS 3500 "PLUMBING AND DRAINAGE".
- STORMWATER DRAIN INSTALLATION SHALL COMPLY WITH AS 3500.

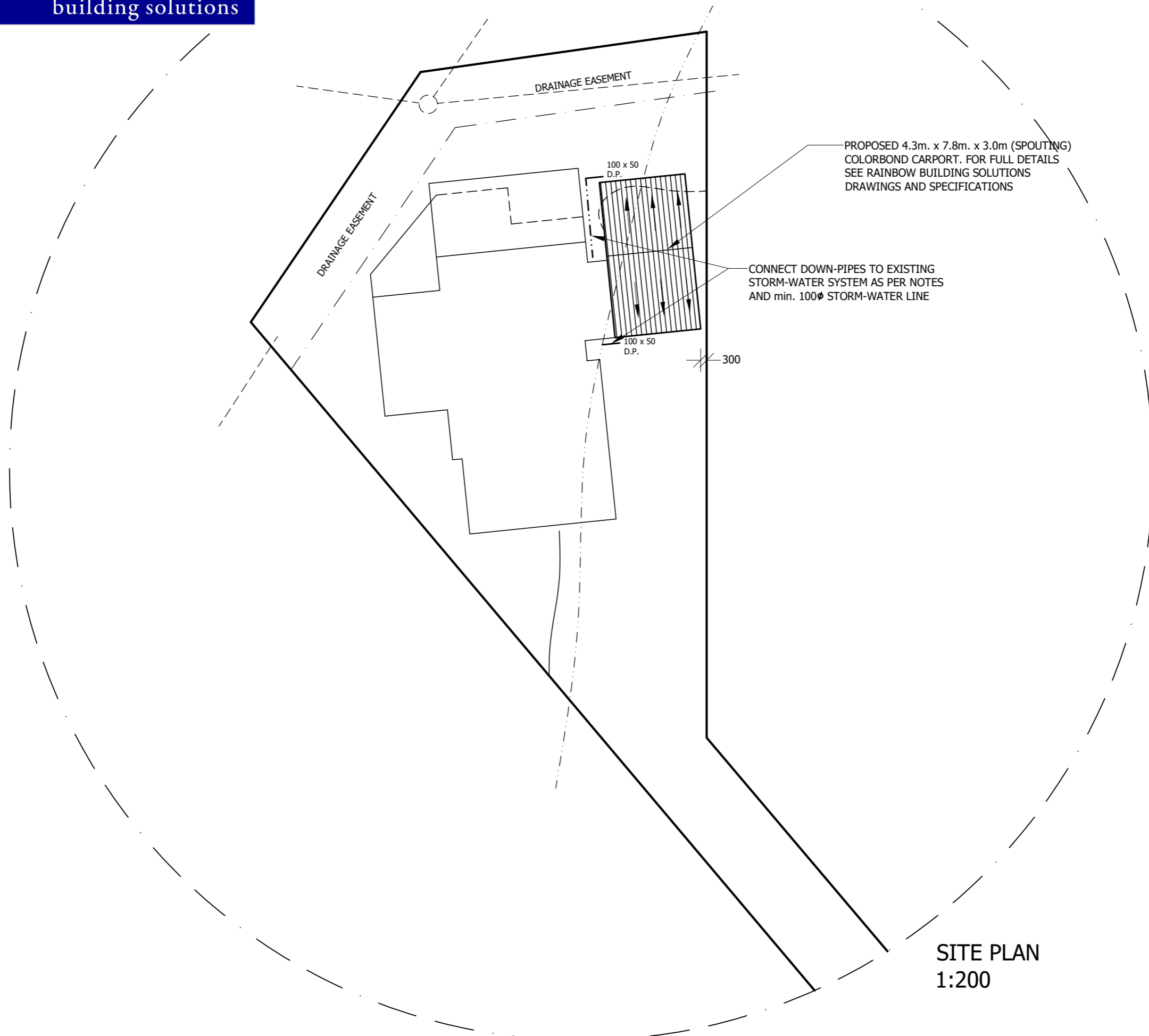
LOCALITY PLAN
dns

NOTE: ALL DIMENSIONS TO BE CONFIRMED ON SITE.



15 VASILI CT
OAKDOWNS TAS 7019

TITLE REF: 163408/201
PROPERTY ID: 3159834
TITLE AREA = 597.00m²



SITE PLAN
1:200



wilkin
design

P.O. BOX 478
LAUNCESTON
TASMANIA 7250

ACCREDITATION NO:
CC678 X

NOTES:
-----,

PROJECT TITLE:
SOUTHWELL CARPORT

VASILI CRT
OAKDOWNS

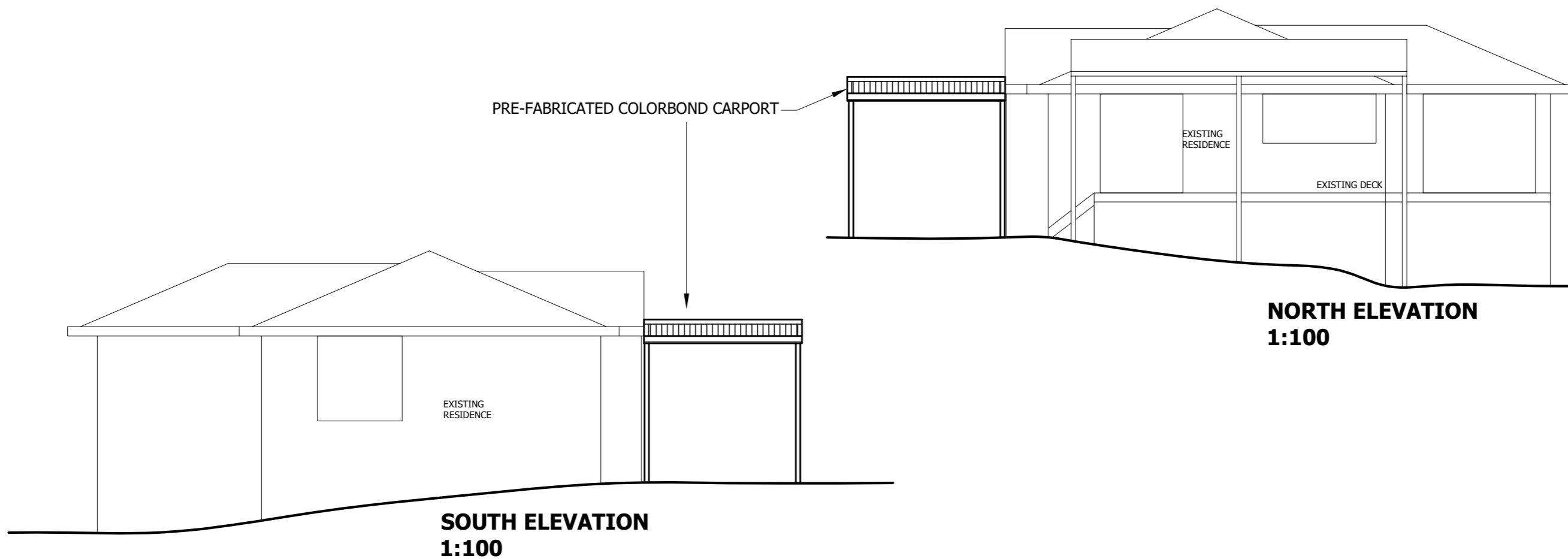
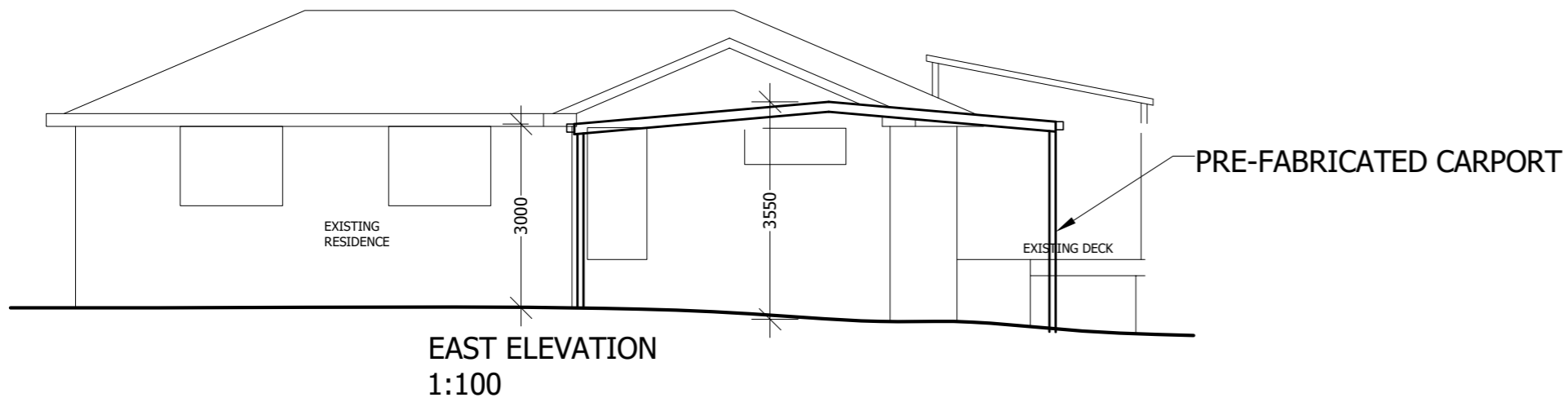
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wilkin
design

P.O. BOX 478
LAUNCESTON
TASMANIA 7250

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CC678 X

NOTES:

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PROJECT TITLE:
SOUTHWELL CARPORT
VASILI CRT
OAKDOWNS

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