



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2026/060711**

**PROPOSAL:** Outbuilding (Single Dwelling)

**LOCATION:** 45 Remi Place, Sandford

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 11/05/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 11/05/2026. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 11/05/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

## Application for Development / Use or Subdivision

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Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: 4.0m x 10.5m Class 10a storage shed & demolition of existing shed

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Location: **45 REMI PL SANDFORD TAS 7020**

**Personal Information Removed**



Is the property on the Tasmanian Heritage Register? Yes  No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Dwelling**

Does the proposal involve land administered or owned by the Crown or Council? Yes  No

#### Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

#### Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



SEARCH OF TORRENS TITLE

VOLUME 172917	FOLIO 5
EDITION 2	DATE OF ISSUE 18-Dec-2024

SEARCH DATE : 14-Apr-2026

SEARCH TIME : 03.44 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 5 on Sealed Plan [172917](#)

Derivation : Part of Lot 3071 Gtd to William Richardson and  
Part of 99 Acres Gtd to John Easy

Prior CT [30596/4](#)

SCHEDULE 1

[C575535](#) TRANSFER to :  
Registered 26-July-2004 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
[SP172917](#) EASEMENTS in Schedule of Easements  
[SP172917](#) COVENANTS in Schedule of Easements  
[SP172917](#) FENCING PROVISION in Schedule of Easements  
[SP172917](#) COUNCIL NOTIFICATION under Section 83(5) of the Local  
 Government (Building and Miscellaneous Provisions)  
 Act 1993.  
[SP14041](#) & [SP30596](#) COVENANTS in Schedule of Easements  
[SP 30596](#) COUNCIL NOTIFICATION under Section 468(12) of the  
 Local Government Act 1962

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER LOUISA JEANNE DUGGAN & BARRY JOHN DUGGAN

FOLIO REFERENCE C.T.30596/4 & C.T.159889/2

GRANTEE PART OF LOT 3071 GRANTED TO WILLIAM RICHARDSON AND PART OF 99 ACRES GRANTED TO JOHN EASY, PART OF 26A-2R-0P GRANTED TO CHARLES DOWLING

**PLAN OF SURVEY**

BY SURVEYOR CRAIG BRADLEY ROGERSON  
ROGERSON AND BIRCH SURVEYORS  
UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK  
PH 6248-5898 MOB. 0418-120-796

CITY OF CLARENCE

SCALE 1: 3000 LENGTHS IN METRES

REGISTERED NUMBER

**SP172917**

APPROVED EFFECTIVE FROM 24 MAY 2017

*Alice Kawa*  
Recorder of Titles

MAPSHEET MUNICIPAL CODE No. 107 (5424 & 5224)

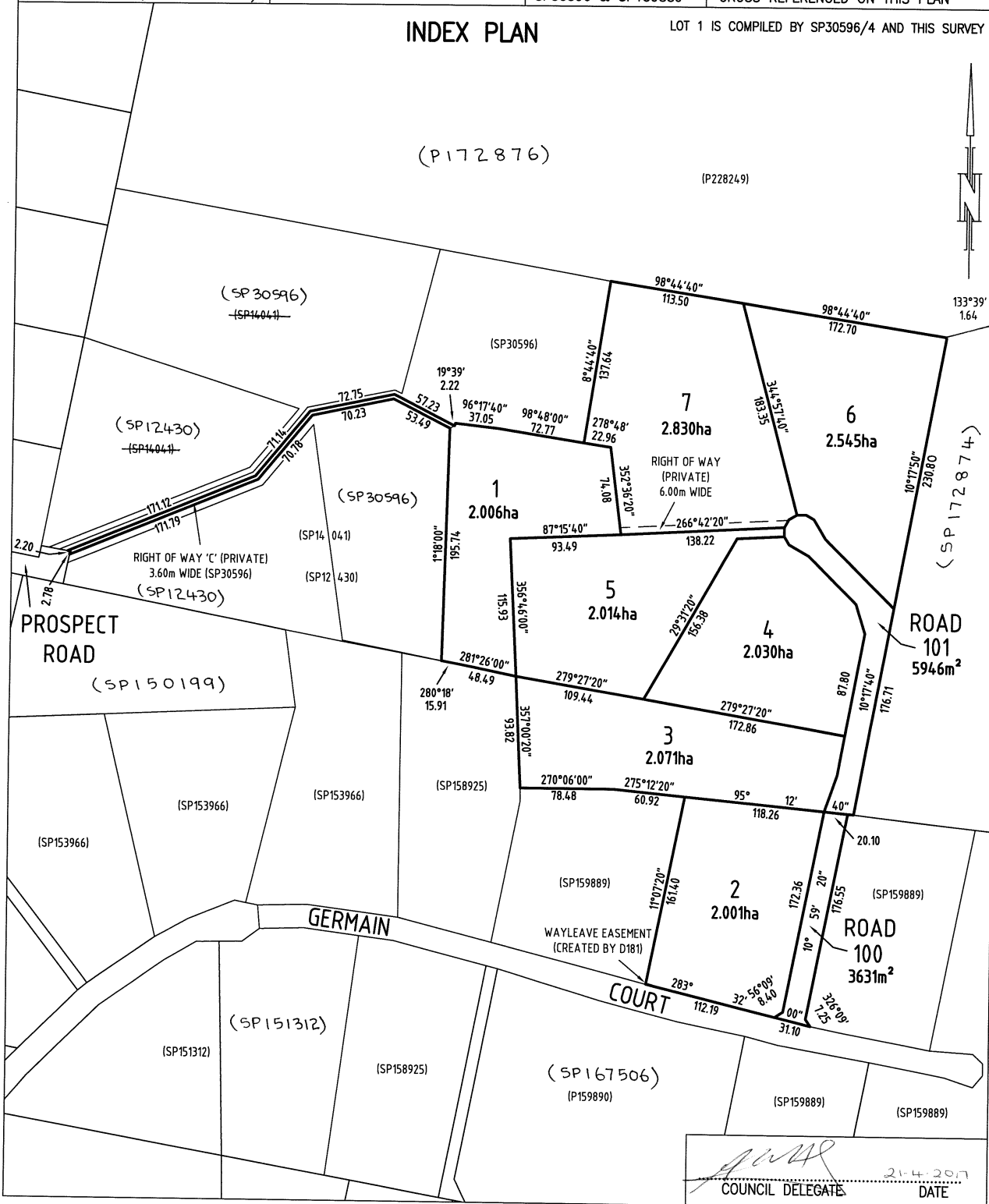
LAST UPI No.

LAST PLAN No. SP30596 & SP159889

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

**INDEX PLAN**

LOT 1 IS COMPILED BY SP30596/4 AND THIS SURVEY





<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 1729 17

EASEMENTS AND PROFITS

PAGE 1 OF 2 PAGE/S  
2

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 7 on the Plan is subject to a right of carriageway appurtenant to Lot 1 on the Plan over the land shown on the Plan and marked Right of Way (Private) 6.00m wide.

Lot 1 on the Plan is together with a right of carriageway over the land shown on the Plan and marked Right of Way (Private) 6.00m wide.

~~Lot 2 on the Plan is affected by restrictive covenants and a fencing provision set forth in Sealed Plan 159889 and is affected by a burdening wayleave easement created by D184.~~

~~The Lots on the Plan which formerly comprised part of Lot 4 on Sealed Plan 30596 are affected by easements and restrictive covenants set forth in SP30596 and are affected by restrictive covenants set forth in SP14041.~~

**EASEMENTS & COVENANTS CONTINUED ON PAGE 2**

Fencing provision:

In respect of each Lot on the Plan, the Vendor shall not be required to fence.

The owners of each Lot on the Plan covenant with Barry John Duggan and Louisa Jeanne Duggan and the owners for the time being of every other Lot on the Plan to the intent that the burden of this covenant may run with and bind the covenantor's Lot and every part thereof and that the benefit thereof may be annexed thereto and devolve with each and every part of every other Lot on the Plan, to observe the following stipulation:

Not to use (or permit to be used) zincalume steel, or unpainted galvanised steel materials, as external surfaces in the construction of any building, wall or fence on the Lot.

Signed by **BARRY JOHN DUGGAN**  
in the presence of:

Witness Signature: *[Signature]*

Witness Full Name: .....

Witness Address: .....

Anne Katherine Direen  
.....  
Australian Legal Practitioner (Tas No. 247)  
Suite 2, 7 Bayfield St, Rosny Park TAS 7018

Signed by **LOUISA JEANNE DUGGAN**  
in the presence of:

Witness Signature: *[Signature]*

Witness Full Name: .....

Witness Address: .....

Anne Katherine Direen  
.....  
Australian Legal Practitioner (Tas No. 247)  
Suite 2, 7 Bayfield St, Rosny Park TAS 7018

<p>SUBDIVIDER: BJ &amp; LJ Duggan FOLIO REF: 30596/4 and 159889/2 SOLICITOR Justin McMullen Lawyer &amp; REFERENCE: AKD: 160767</p>	<p>PLAN SEALED BY: Clarence City Council DATE: 21-4-2017 SP 2015-30 REF NO. <i>[Signature]</i> Council Delegate</p>
<p><b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.</p>	

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p><b>PAGE 2 OF 2 PAGES</b></p>	<p>Registered Number</p> <p><b>SP172917</b></p>
<p>SUBDIVIDER: -                    <b>LOUISA JEANNE DUGGAN &amp; BARRY JOHN DUGGAN</b></p> <p>FOLIO REFERENCE: -        <b>30596/4 &amp; 159889/2</b></p>	
<p><b>EASEMENTS &amp; COVENANTS CONTINUED</b></p> <p>Lot 2 on the Plan is subject to a wayleave easement with the benefit of a restriction as to user of land in favour of Aurora Energy Pty Ltd over the Wayleave Easement shown on the Plan more fully defined in D.181.</p> <p>Lots 1, 3-7 incl. &amp; 101 on the Plan are each together with a right of carriageway over the Right of Way 'A' (Private) 4.80 wide, Right of Way 'B' (Private) 3.60 wide &amp; Right of Way 'D' (Private) 6.00 wide shown on Sealed Plan 30596.</p> <p>Lot 1 on the Plan is subject to a right of carriageway (appurtenant to Lots 1, 2, 3, 5 &amp; 6 on SP30596) over the Right of Way 'C' (Private) 3.60 wide (SP30596) shown on the Plan.</p> <p>Lots 2 &amp; 100 on the Plan are each burdened by the restrictive covenants created by Sealed Plan 159889.</p> <p>Lots 1, 3-7 incl. &amp; 101 on the Plan are each burdened by the restrictive covenants created by Sealed Plans 14041 &amp; 30596.</p>	
<p>NOTE: - Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.</p>	

CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN STANDARDS WHERE APPLICABLE

DO NOT SCALE OFF PLAN

BUILDER TO CHECK ALL DIMENSIONS ON SITE BEFORE STARTING WORKS

PLEASE REPORT ANY ERRORS OR INCONSISTENCIES TO TASTECH BUILDING SYSTEMS

ANY CHANGES TO THIS DOCUMENT TO BE CONFIRMED BY TASTECH BUILDING SYSTEMS

### DESCRIPTION OF LAND

City of CLARENCE  
Lot 5 on Sealed Plan 172917  
Derivation : Part of Lot 3071 Gtd to William Richardson and Part of 99 Acres Gtd to John Easy  
Prior CT 30596/4



PROJECT TITLE:  
Duggan Shed  
  
ADDRESS:  
45 Remi Place,  
Sandford, Tas, 7020

DRAWING NUMBER:  
RB1212\_SITE

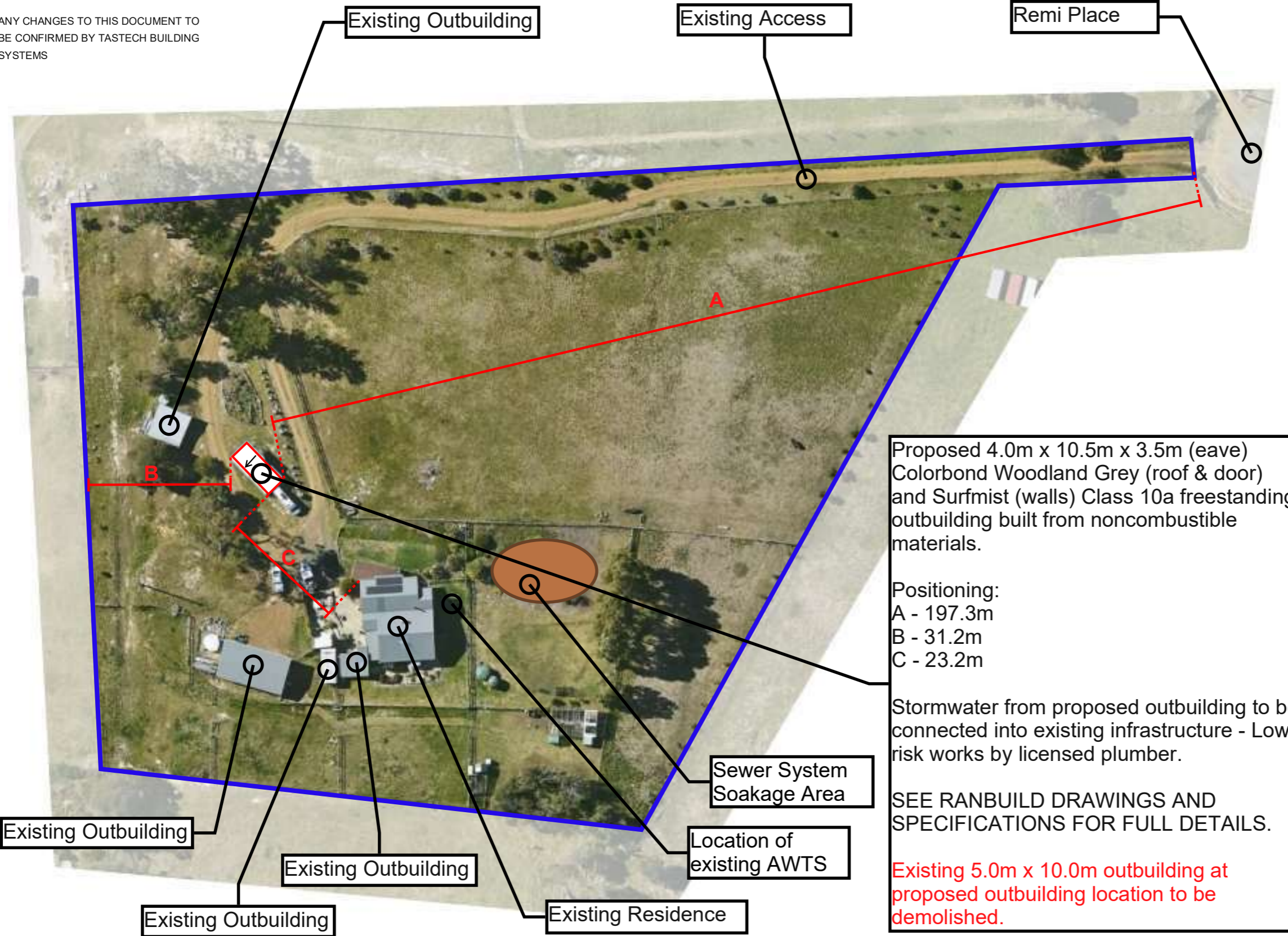
JOB NUMBER:  
RB1212

CLIENT:  
[REDACTED]

DATE:  
16/04/2026

SCALE: NTS

DRAWN: HM



Proposed 4.0m x 10.5m x 3.5m (eave) Colorbond Woodland Grey (roof & door) and Surfmist (walls) Class 10a freestanding outbuilding built from noncombustible materials.

Positioning:  
A - 197.3m  
B - 31.2m  
C - 23.2m

Stormwater from proposed outbuilding to be connected into existing infrastructure - Low risk works by licensed plumber.

SEE RANBUILD DRAWINGS AND SPECIFICATIONS FOR FULL DETAILS.

Existing 5.0m x 10.0m outbuilding at proposed outbuilding location to be demolished.



65 SOUTH ARM ROAD  
ROKEBY, TAS, 7019

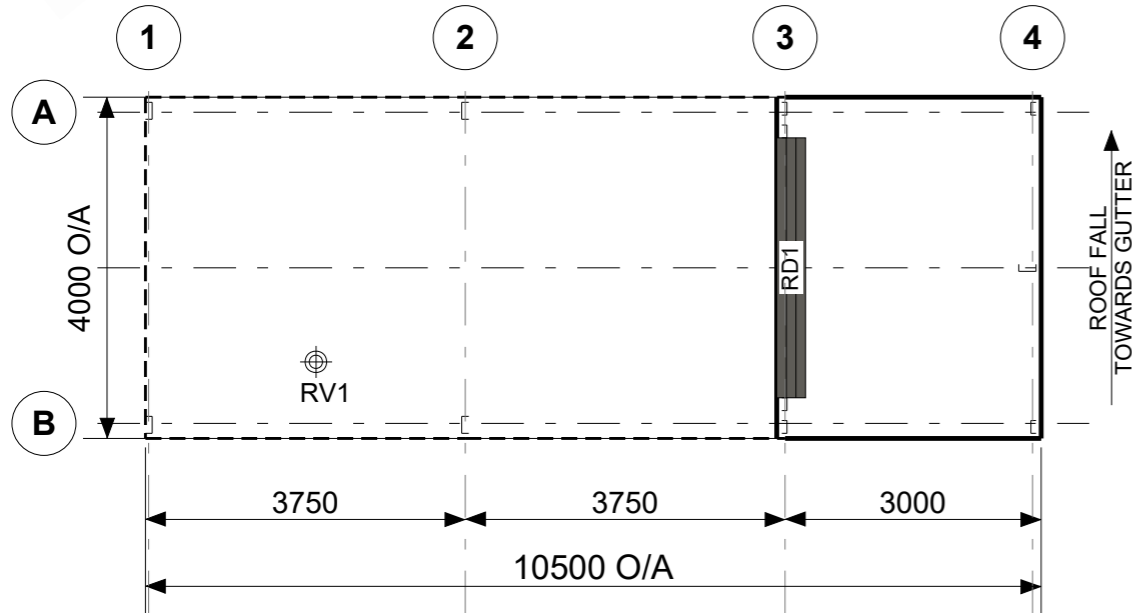
(03) 6263 5800

ranbuild@tastechsheds.com.au

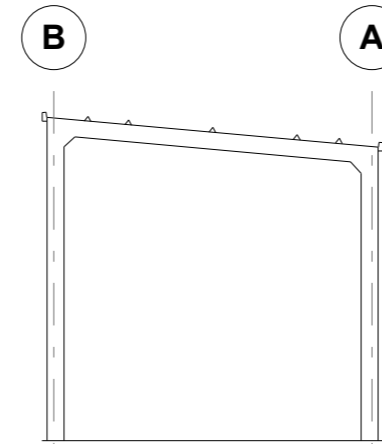




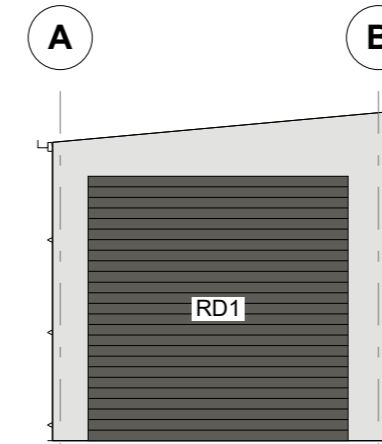
Copyright 2026  
Lysaght Building  
Solutions Pty Ltd  
trading as RANBUILD



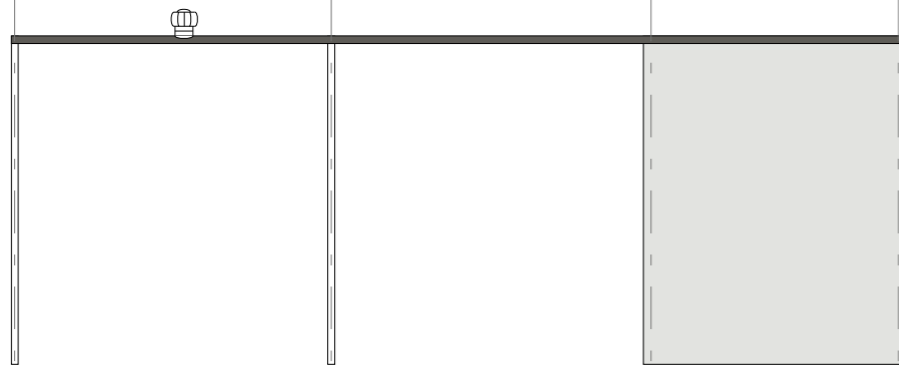
FRAME ROOF PLAN



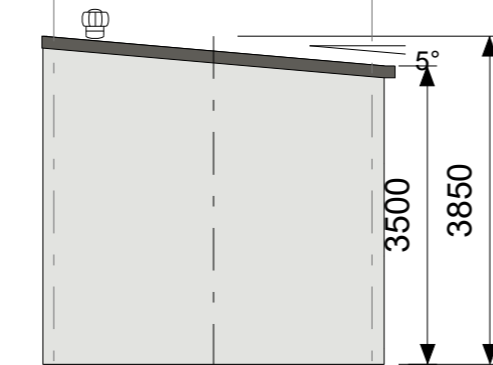
SECTION GRID 2



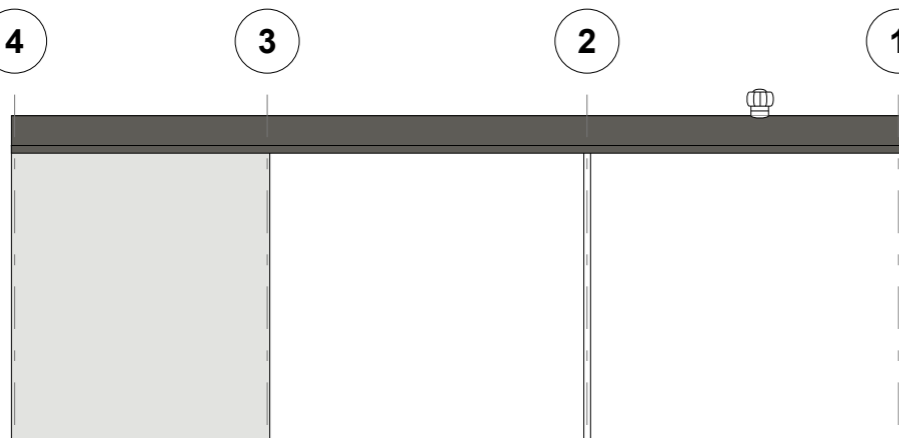
SECTION GRID 3



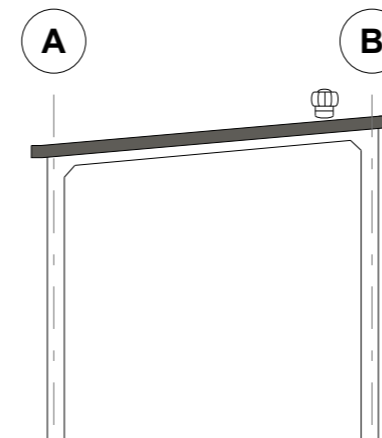
ELEVATION GRID B



ELEVATION GRID 4



ELEVATION GRID A



ELEVATION GRID 1

**CLADDING**

ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	TRIMDEK 0.42 BMT	CB	WG
WALLS	TRIMDEK 0.42 BMT	CB	SM
CORNERS	-	CB	SM
BARGE	-	CB	WG
GUTTER	HI-QUAD	CB	WG

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

**ACCESSORY SCHEDULE & LEGEND**

QTY	MARK	DESCRIPTION
1	RD1	Taurean, Domestic PR1ME Series A 3025 high x 3050 wide Clear Opening C/B
1	RV1	Rotary vent, 300 DIA Throat

ARCHITECTURAL DRAWING ONLY, NOT FOR CONSTRUCTION USE

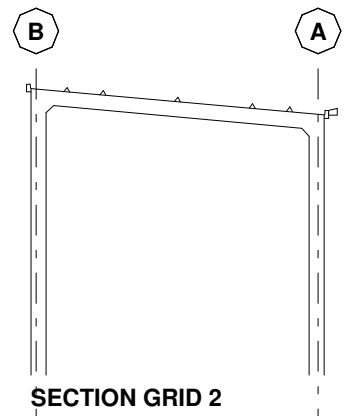
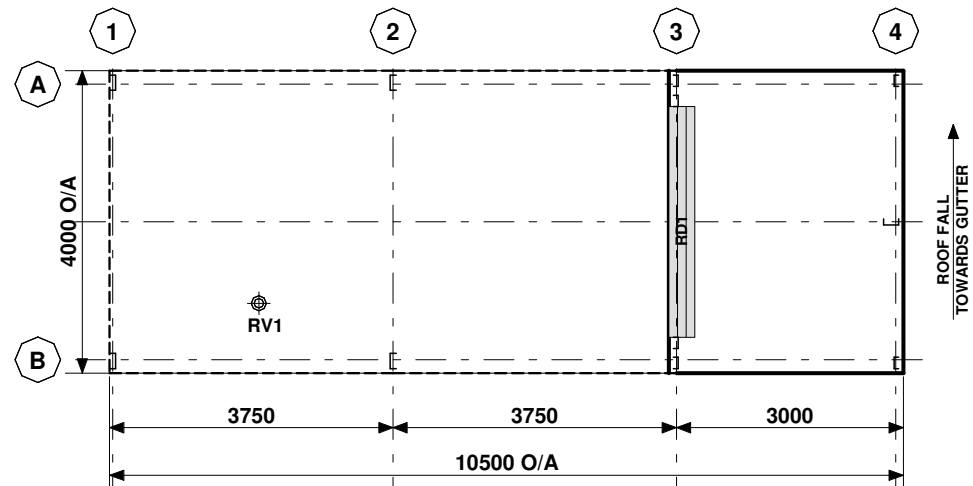
CLIENT  
[Redacted]

SITE  
**45 Remi Place**  
**SANDFORD TAS 7020**

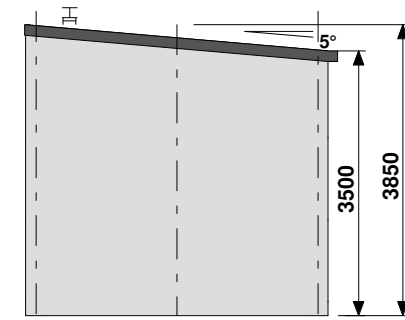
BUILDING  
**DELUXE SKILLION**  
**4000 SPAN x 3500/3850 EAVE x 10500 LONG**

TITLE  
**FLOOR PLAN & ELEVATION**

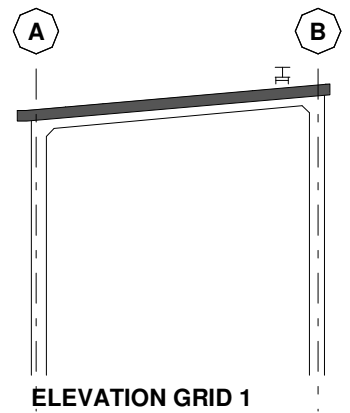
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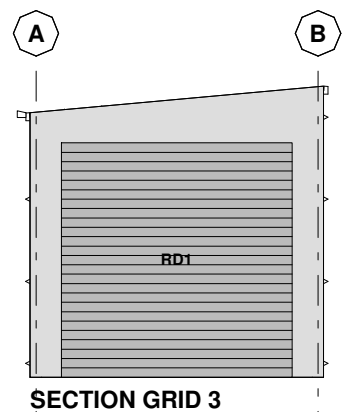
FRAME ROOF PLAN



ELEVATION GRID B



ELEVATION GRID A



**CLADDING**

ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	TRIMDEK 0.42 BMT	CB	WG
WALLS	TRIMDEK 0.42 BMT	CB	SM
CORNERS	-	CB	SM
BARGE	-	CB	WG
GUTTER	HI-QUAD	CB	WG

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

**ACCESSORY SCHEDULE & LEGEND**

QTY	MARK	DESCRIPTION
1	RD1	Taurean, Domestic PR1ME Series A 3025 high x 3050 wide Clear Opening C/B
1	RV1	Rotary vent, 300 DIA Throat

**Accredited Practitioner**

Alexander Filonov  
CC4719P  
LEVEL 1, 12 BEAUMONT ST  
HAMILTON NSW 2303  
+61 2 4962 4311  
31/03/2026

ARCHITECTURAL DRAWING ONLY, FOR BUILDING PERMIT STAGE

**SITE**  
45 Remi Place  
SANDFORD TAS 7020

**BUILDING**  
DELUXE SKILLION  
4000 SPAN x 3500/3850 EAVE x 10500 LONG

**TITLE**  
GENERAL ARRANGEMENT

SCALE	DRAWING NUMBER	REV	PAGE
A3 SHEET 1:100	443228-GA	B	1/6

STRUCTURAL STEELWORK SCHEDULE			CONNECTIONS		
MARK	DESCRIPTION	SECTION	BASE	EAVES	TOP
C1	COLUMN - UNCLAD FRAME	C20015	BC4	KN3, KN7	
C2	COLUMN - CLAD FRAME	C15012	BC3	KN1, KN1D, KN5, KN5D	
C3	COLUMN - END	C20019	EB2		ER1
CS	COLUMN STIFFENER	C10010			
R1	RAFTER - UNCLAD FRAME	C20015		KN3	KN7
R2	RAFTER - CLAD FRAME	C15010	RA1	KN1, KN1D	KN5, KN5D
DM2	MULLION - ROLLER DOOR	Z15019 + C15010	EB1	DM2	MC1
RH1	HEAD - ROLLER DOOR	TS6110 + TS6175	RH1		
Bw	BRACING - SIDE WALL	DIAPHRAGM			
Be	BRACING - END WALL	DIAPHRAGM			
Br	BRACING - ROOF	DIAPHRAGM			
LB1	BRACE - LATERAL FLY	95 x 0.6 STRAP	LB1		
F1	FASCIA	C10012	FS2		
P1	PURLINS	TS6110 @ 1085	BL1		
G1	GIRTS - SIDE	TS6110 @ 1180	BL1		
G2	GIRTS - END	TS6175 @ 1180	BL1		

#### GENERAL

- THIS IS A STANDARDISED DESIGN SUITABLE FOR LIGHT INDUSTRIAL, COMMERCIAL & RURAL BUILDINGS TO STANDARDS & REQUIREMENTS PROVIDED BY RANBUILD.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH RANBUILD ASSEMBLY GUIDE.
- ANY DISCREPANCY SHALL BE REFERED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
- ALL MATERIALS & WORKMANSHIP SHALL BE IN ACCORDANCE WITH RELEVANT & CURRENT SAA CODES & WITH BY-LAWS & ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- ALL DIMENSIONS SHOWN SHOULD BE VERIFIED BY THE BUILDER ON SITE. ENGINEERS DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION & NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS & EXCAVATIONS STABLE AT ALL TIMES.
- UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES & ALL DIMENSIONS ARE IN MILLIMETRES.
- THE STRUCTURAL COMPONENTS DETAILED ON THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT SAA CODES & NORMAL ENGINEERING PRACTICE.
- ARCHITECTURAL ELEMENTS TO HAVE A MINIMUM OF 20mm CLEARANCE OF THE STRUCTURE & ARE TO BE ARTICULATED.
- IT IS COMMON SENSE TO WORK SAFELY AND TO PROTECT YOURSELF AND OTHERS FROM ACCIDENTS ON SITE. TO DO THIS, YOU MUST ENSURE YOU HAVE IN PLACE SAFE WORK PRACTICES AND APPROPRIATE EQUIPMENT. SAFETY INVOLVES PERSONAL PROTECTION OF EYES, OF SKIN(FROM SUNBURN) AND OF HEARING(FROM NOISE). FALL PROTECTION MUST ALSO BE IN PLACE AS APPLICABLE INCLUDING SAFETY MESH, PERSONAL HARNESSES AND PERIMETER GUARDRAILS. IT IS RECOMMENDED THAT YOU FAMILIARIZE YOURSELF WITH APPLICABLE LAWS, REGULATIONS, RULES, GUIDELINES, CODES OF PRACTICE AND STANDARDS AND THAT YOU ADHERE STRICTLY TO THEM.

#### STRUCTURAL STEEL SPECIFICATION

- ALL STRUCTURAL STEELWORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING SAA CODES & SPECIFICATIONS. AS4100 STEEL STRUCTURES CODE AS/NZS 4600 COLD FORMED STEEL STRUCTURES CODE. AS1111 COMMERCIAL BOLTS & SCREWS. AS2887 FARM STRUCTURES (WHERE APPLICABLE).
- PROPRIETARY PRODUCTS ARE TO BE IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURERS INSTRUCTIONS.

#### FRAME ASSEMBLY

- CORRECT FRAME ASSEMBLY IS IMPORTANT TO ACHIEVE OPTIMUM PERFORMANCE OF THE STRUCTURE
- FULLY TENSION BOLTS AT KNEE & APEX JOINTS AS SPECIFIED BEFORE STANDING FRAMES.
- FULLY TENSION BOLTS AT BASE CONNECTIONS AS SPECIFIED IMMEDIATELY AFTER STANDING THE FRAME.
- ROOF & WALL BRACING PROVIDE STRUCTURAL STABILITY WHERE SPECIFIED & MUST BE INSTALLED BEFORE THE CLADDING.

#### SELF DRILLING SCREWS

- QUALITY AND MECHANICAL PROPERTIES OF STRUCTURAL SCREWS MUST COMPLY WITH AS3566.1.
- ALL TEK SCREWS SHALL BE NO. 12 - 14 X 20 U.N.O
- THE MINIMUM DISTANCE OF EDGE/END SCREWS MUST HAVE AN EDGE DISTANCE OF 1.5 X SCREW DIAMETER FROM THE EDGE.
- THE MINIMUM DISTANCE OF SCREW TO SCREW SPACING MUST NOT BE LESS THAN 3 X SCREW DIAMETER BETWEEN ANY SCREWS.

#### HIGH TENSILE BOLTS

- ALL BOLTS SHALL BE M16 / 8.8 / S U.N.O
- CONNECTIONS WITH 8.8S BOLTS SPECIFIED ARE DESIGNED AS FRICTION TYPE JOINTS & BOLTS, NUTS & WASHERS SHALL COMPLY WITH THE RELEVANT REQUIREMENTS OF AS1252.
- 8.8/S BOLTS TO BE INSTALLED IN ACCORDANCE WITH AS4100 & TENSIONED BY AN APPROVED METHOD TO PRODUCE THE FOLLOWING SHANK TENSIONS

BOLT SIZE	SHANK TENSION (kN)
M12	50
M16	90

- FOR THIS DESIGN AN ACCEPTABLE TENSIONING METHOD IS SNUG TIGHT (PODGER SPANNER TIGHT) PLUS HALF A TURN.

#### CLADDING

- ALL ROOF AND WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH AS1562.1 AND THE MANUFACTURER'S INSTRUCTIONS.
- ROOF AND WALL CLADDING ARE STRUCTURAL DIAPHRAGM BRACINGS. UNDER NO CIRCUMSTANCES SHOULD THE CLADDING BE REMOVED WITHOUT WRITTEN APPROVAL FROM A PRACTICING STRUCTURAL ENGINEER.

#### DESIGN LOADING

- THE STRUCTURAL COMPONENTS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR THE FOLLOWING LOAD CONDITIONS COMPLYING WITH RELEVANT AUSTRALIAN STANDARDS INCLUDING AS/NZS 1170.2:2021:-

ROOF DEAD LOAD	SELF WEIGHT ONLY
ROOF LIVE LOAD	(1.8/A+0.12) BUT NOT LESS THAN 0.25kPa AND 1.1kN
WIND LOAD REGION	A1-A5
TERRAIN CATEGORY	2.66
IMPORTANCE LEVEL	2
Ms	1.0
Mt	1.11
INTERNAL PRESSURE COEFFICIENTS	Cpi = -0.65 or +0.7 (OPEN)
SITE CLASS	M (CLAY)
GROUND SNOW LOAD Sg	0.5 kPa
COASTAL DISTANCE	N/A

- ALL DOORS AND WINDOWS SHALL HAVE THE SAME CYCLONIC WIND LOAD RATING AS THE REST OF THE BUILDING ENVELOPE, INCLUDING RESISTANCE TO FLYING DEBRIS AS SPECIFIED IN AS1170.2:2021 AND AS/NZS 4505-2012. DOORS AND WINDOWS SHALL BE CLOSED DURING STORMS. DOORS SHALL BE INSTALLED WITH WIND LOCKS IN CYCLONIC AREAS. SUPPORTING DOCUMENTATION INCLUDING TEST REPORTS SHALL BE AVAILABLE FROM DOORS AND WINDOWS MANUFACTURERS TO CONFIRM LOAD RATING AND ENSURE COMPLIANCE WITH ABOVE MENTIONED STANDARDS AND BCA. DOORS ARE ALSO REQUIRED TO BE SUPPLIED WITH A STICKER THAT SHOWS A RANGE OF INFORMATION INCLUDING THE DESIGN PRESSURE OF THE DOOR ACCORDING TO AS/NZS 4505-2012 REQUIREMENTS.

#### COPYRIGHT NOTE

- THIS DRAWING REMAINS THE INTELLECTUAL PROPERTY OF RANBUILD, AND MUST NOT BE REPRODUCED, COPIED OR MODIFIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF LYSAGHT BUILDING SOLUTIONS PTY LTD trading as RANBUILD



Copyright 2026  
Lysaght Building  
Solutions Pty Ltd  
trading as RANBUILD

#### DRAWING SCHEDULE

- 443228-GA GENERAL ARRANGEMENT
- ENG1/1-443228 STEEL FRAME SCHEDULE AND NOTES, COVER PAGE
- ENG2/1-443228 STEEL FRAME DIAGRAMS
- ENG3/1-443228 CONNECTION DETAILS
- ENG4/1-443228 RC SLAB PLAN DESIGNED BY OTHERS
- ENG5/1-443228 CHEMSET DETAILS
- ENG6/1-443228 CONCRETE SPECIFICATION, SITE NOTES

#### Accredited Practitioner

Alexander Filonov  
CC4719P  
LEVEL 1, 12 BEAUMONT ST  
HAMILTON NSW 2303  
+61 2 4962 4311  
31/03/2026

FOR BUILDING PERMIT STAGE

#### SITE

45 Remi Place  
SANDFORD TAS 7020

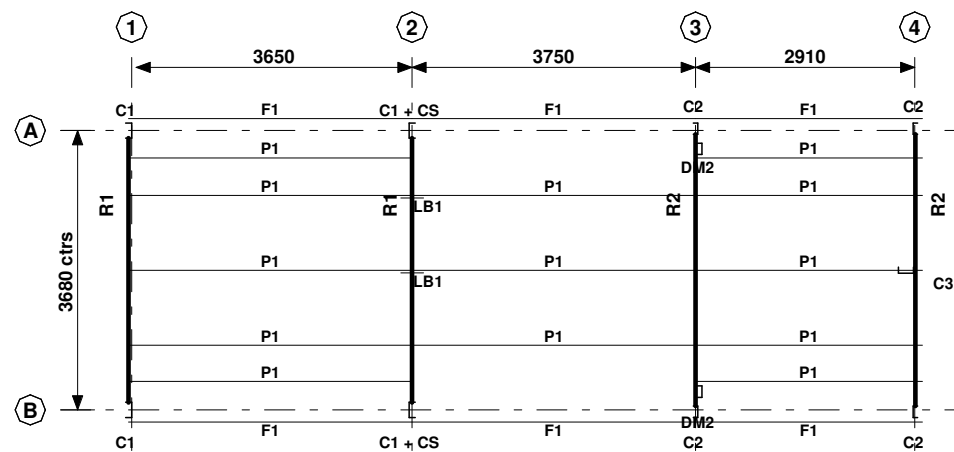
#### BUILDING

DELUXE SKILLION  
4000 SPAN x 3500/3850 EAVE x 10500 LONG

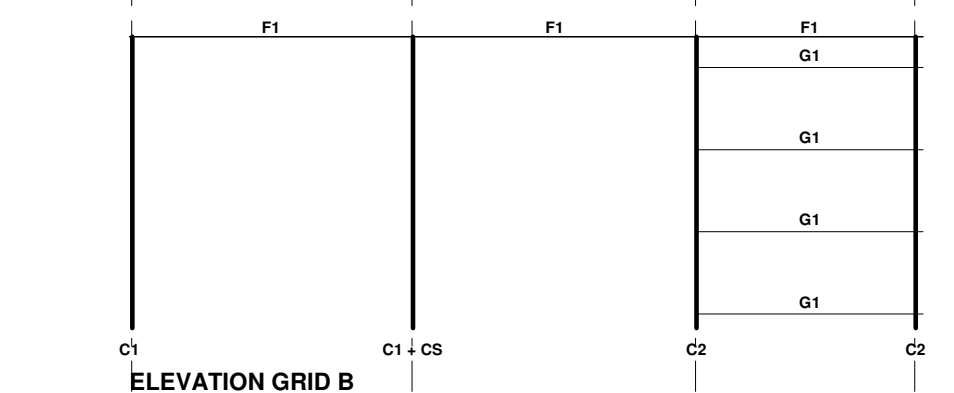
#### TITLE

STEEL FRAME SCHEDULE AND NOTES,  
COVER PAGE

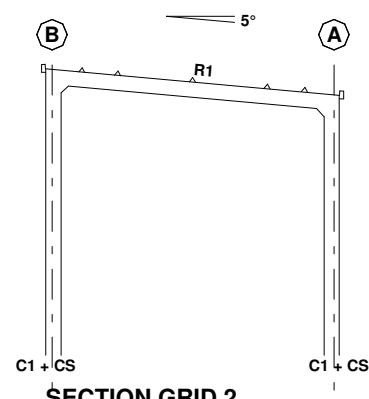
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N/A	ENG1/1-443228	B	2/6



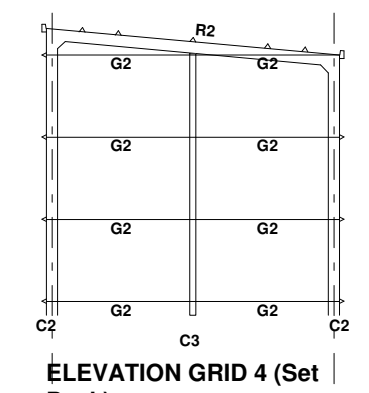
**FRAME ROOF PLAN**



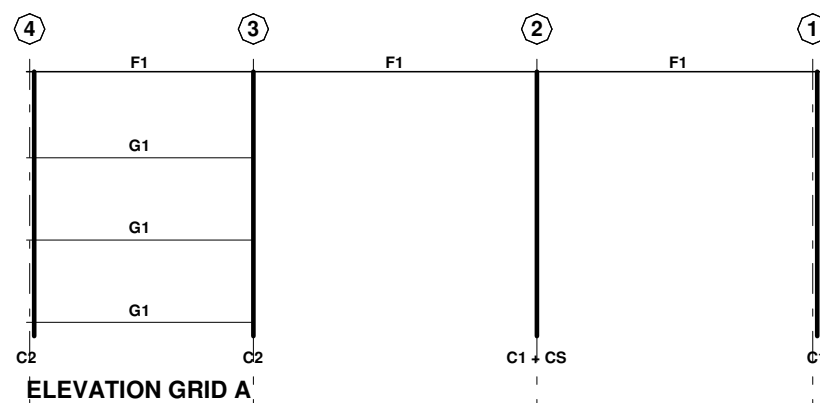
**ELEVATION GRID B**



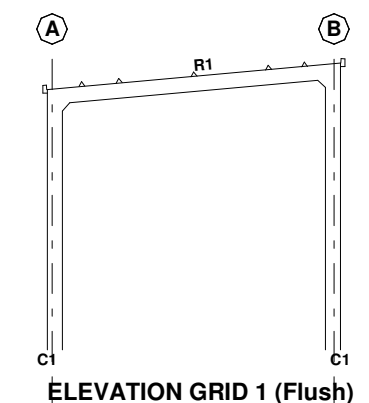
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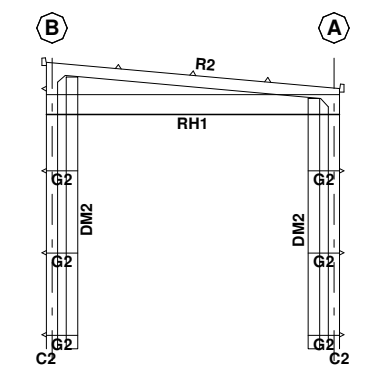
**ELEVATION GRID 4 (Set Back)**



**ELEVATION GRID A**



**ELEVATION GRID 1 (Flush)**



**SECTION GRID 3 (Set Back)**

**Accredited Practitioner**  
Alexander Filonov  
CC4719P  
LEVEL 1, 12 BEAUMONT ST  
HAMILTON NSW 2303  
+61 2 4962 4311  
31/03/2026

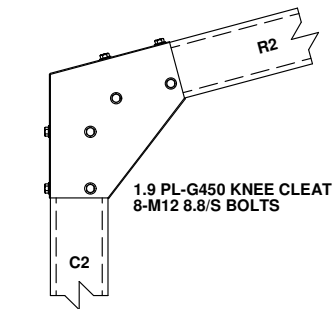
FOR BUILDING PERMIT STAGE

**SITE**  
45 Remi Place  
SANDFORD TAS 7020

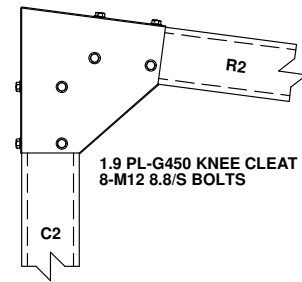
**BUILDING**  
DELUXE SKILLION  
4000 SPAN x 3500/3850 EAVE x 10500 LONG

**TITLE**  
STEEL FRAME DIAGRAMS

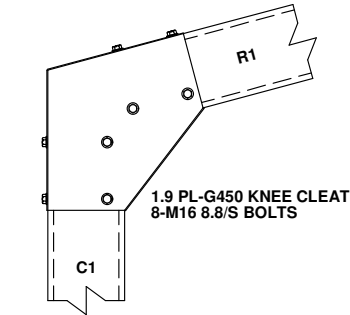
SCALE A3 SHEET 1:100	DRAWING NUMBER ENG2/1-443228	REV B	PAGE 3/6
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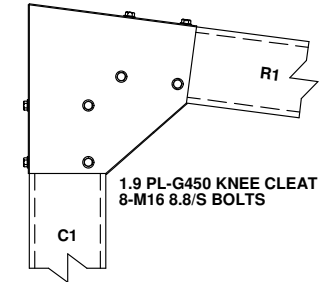
**KNEE CONNECTION - KN1**



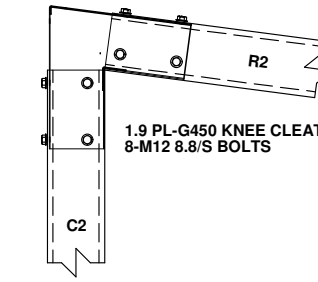
**KNEE CONNECTION - KN5**



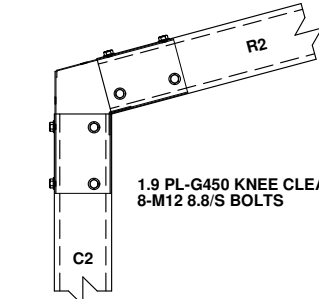
**KNEE CONNECTION - KN3**



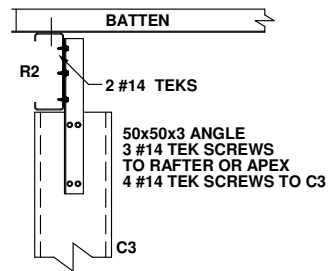
**KNEE CONNECTION - KN7**



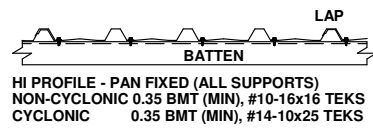
**KNEE CONNECTION - KN5D**



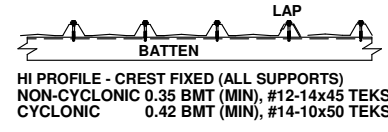
**KNEE CONNECTION - KN1D**



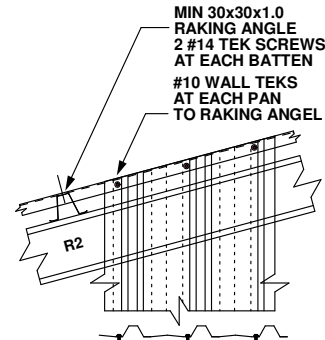
**E/W COLUMN TO RAFTER CONNECTION - ER1**



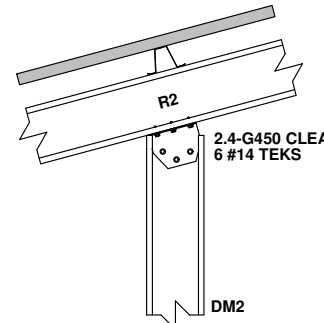
**WALL CLADDING SHEAR DIAPHRAGM - WC1**



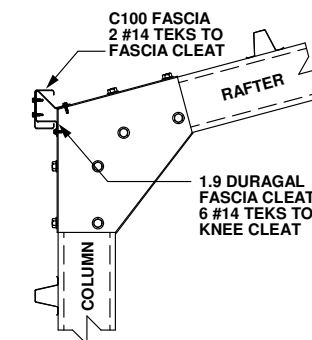
**ROOF CLADDING SHEAR DIAPHRAGM - RC1**



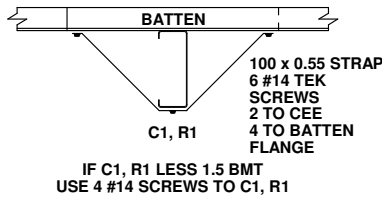
**RAKING ANGLE - RA1**



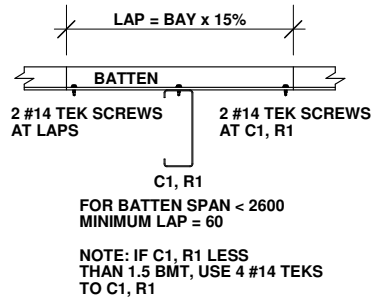
**RD MULLION CAP - MC1**



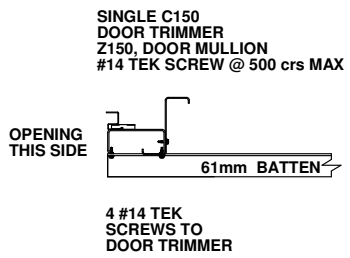
**FASCIA CONNECTION - FS2**



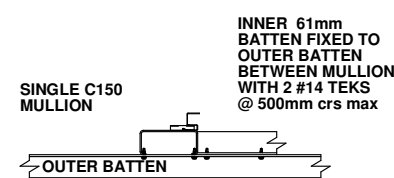
**LATERAL BRACE - LB1**



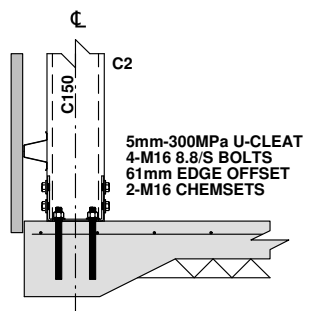
**BATTEN LAP - BL1**



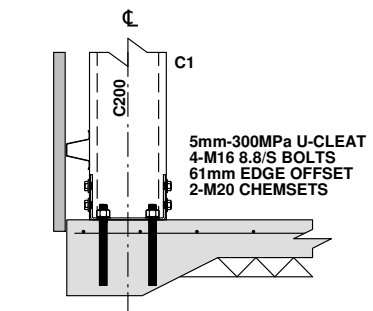
**RD MULLION - DM2**



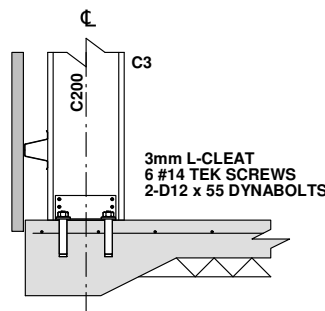
**RD HEAD - RH1**



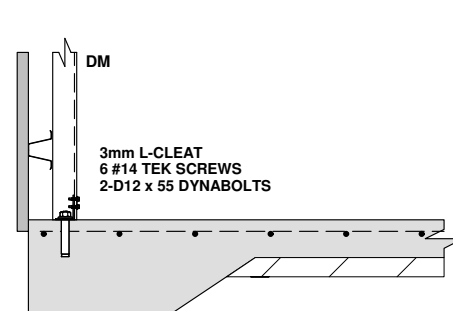
**BASE CONNECTION - BC3**



**BASE CONNECTION - BC4**



**E/W COLUMN BASE - EB2**



**RD MULLION BASE - EB1**

Accredited Practitioner  
Alexander Filonov  
CC4719P  
LEVEL 1, 12 BEAUMONT ST  
HAMILTON NSW 2303  
+61 2 4962 4311  
31/03/2026

FOR BUILDING PERMIT STAGE

SITE  
45 Remi Place  
SANDFORD TAS 7020

BUILDING  
DELUXE SKILLION  
4000 SPAN x 3500/3850 EAVE x 10500 LONG

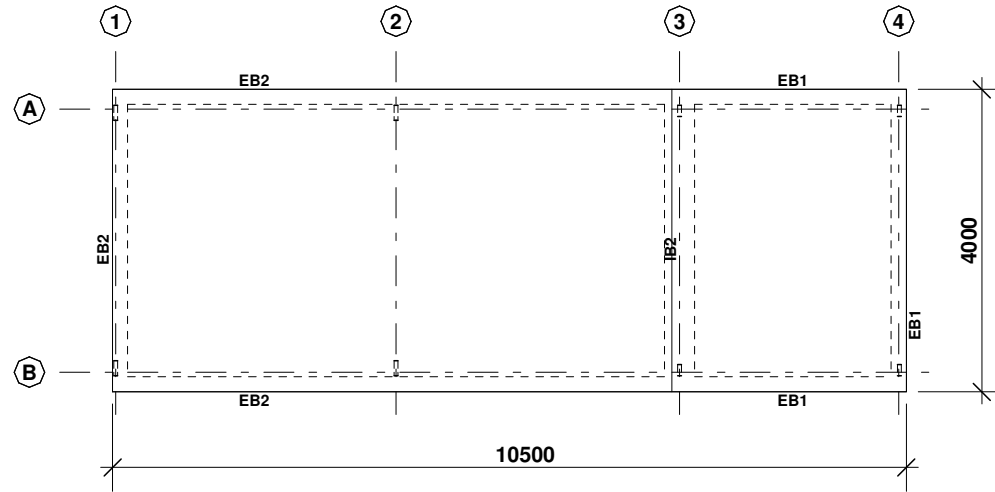
TITLE  
CONNECTION DETAILS

SCALE  
A3 SHEET 1:20

DRAWING NUMBER  
ENG3/1-443228

REV  
B

PAGE  
4/6



**RC SLAB**

THIS GENERAL PURPOSE RC FLOOR DESIGN IS SUITABLE FOR STRUCTURES USED FOR DOMESTIC, FARM AND COMMERCIAL NON-HABITABLE BUILDINGS SUCH AS GARAGES, STORAGE SHEDS, BARNs, STABLES ETC. THE DESIGN IS NOT SUITABLE FOR STRUCTURES CONVERTED FOR USE AS A DWELLING. ALL DIMENSIONS SHOULD BE CHECKED AND VERIFIED PRIOR TO COMMENCEMENT OF ANY WORKS. IF SLIDING DOORS ARE INCLUDED ON THIS PROJECT, A STRIP FOOTING OR PAD FOOTINGS WILL BE NECESSARY, AND MUST BE POURED IN CONJUNCTION WITH THIS GARAGE'S SLAB OR FOOTINGS.

SEE ERECTION INSTRUCTIONS FOR ADDITIONAL NOTES.

**REFERENCE**

SEE SLAB DETAIL DRAWING FOR:-

- SITE FOUNDATION CLASSIFICATION NOTES
- MINIMUM SITE PREPARATION NOTES
- CONCRETE SPECIFICATION NOTES
- CONCRETE REINFORCEMENT NOTES
- SLAB ON GRADE NOTES
- DETAIL S1/EB1 - SLAB EDGE TYPE 1
- DETAIL S1/EB2 - SLAB EDGE TYPE 2
- DETAIL S1/IB1 - INTERNAL BEAM TYPE 1
- DETAIL S1/IB2 - INTERNAL BEAM TYPE 2
- DETAIL S1/A - SLAB CONTROL JOINT
- DETAIL S1/C - SLAB CONSTRUCTION JOINT

**Accredited Practitioner**  
Alexander Filonov  
CC4719P  
LEVEL 1, 12 BEAUMONT ST  
HAMILTON NSW 2303  
+61 2 4962 4311  
31/03/2026

FOR BUILDING PERMIT STAGE

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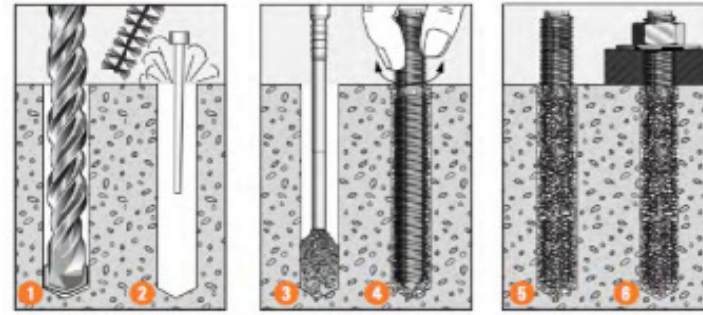
**BUILDING**  
DELUXE SKILLION  
4000 SPAN x 3500/3850 EAVE x 10500 LONG

**TITLE**  
RC SLAB PLAN (design by others)

SCALE A3 SHEET 1:100	DRAWING NUMBER ENG4/1-443228	REV B	PAGE 5/6
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# CHEMICAL ANCHOR INSTALLATION (CHEMSET)

## Installation



1. Drill recommended diameter and depth hole.
2. Clean hole with hole cleaning brush.  
Remove all debris using hole blower.
3. Insert mixing nozzle to bottom of hole.  
Fill hole to 3/4 the hole depth slowly,  
ensuring no air pockets form.
4. Insert **Ramset™ ChemSet™ Anchor Stud/rebar** to  
bottom of hole while turning.
5. Allow **ChemSet™ Reo 502™** to cure as per setting times.
6. Attach fixture.

## Installation temperature limits:

- ~ Substrate: 5°C to 40°C.
- ~ Adhesive: 20°C to 32°C.

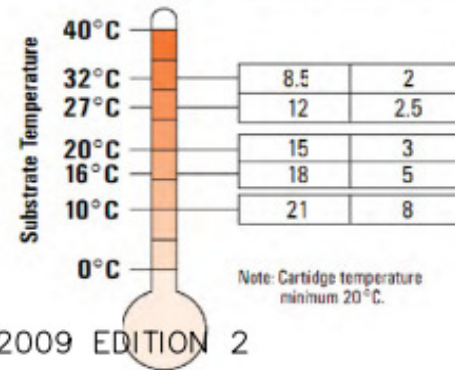
Load should not be applied to anchor until the chemical has sufficiently cured as specified.

## Service temperature limits:

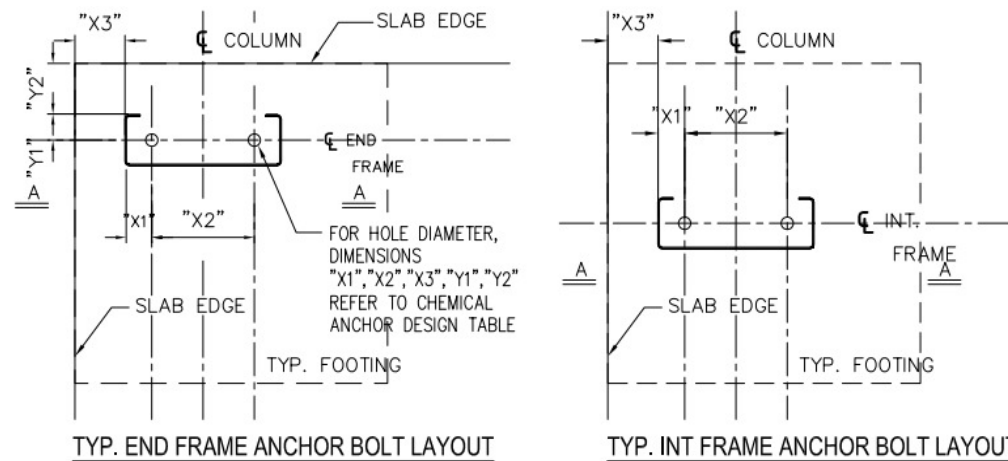
-10°C to 80°C.

## Setting Times

Feo 502™	
Working Time (min)	Cure Time (hrs)



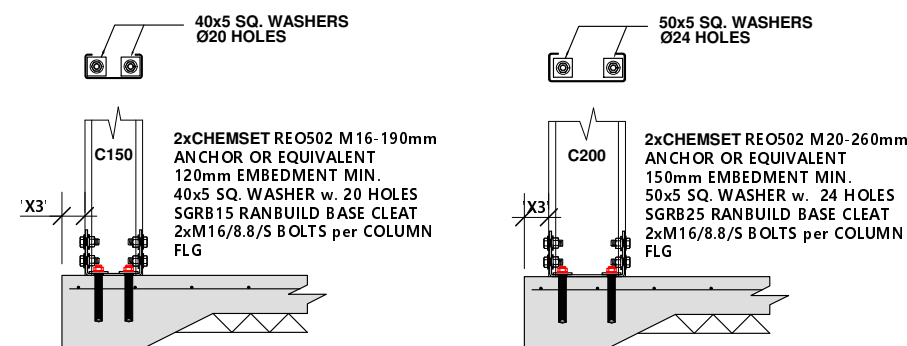
REF: RAMSET SPECIFIERS RESOURCE BOOK 2009 EDITION 2



GRID No.	GIRT TYPE	DISTANCE "X3"	DISTANCE "Y2"
1	TS61	61mm	83mm
3, B, C	TS61	61mm	61mm

COLUMN SIZE	HOLE DIAMETER	MIN ANCHOR EMBEDMENT	ANCHOR SIZE	ANCHOR TORQUE	DISTANCE "X1"	DISTANCE "X2"	DISTANCE "Y1"	SINGLE ANCHOR STRENGTH LIMIT STATE DESIGN CAPACITY	
								TENSION $\phi N_{ur}$	SHEAR $\phi V_{ur}$
C150	20mm	120mm	M16 - 190mm	95Nm	31mm	90mm	32mm	45KN	13.5KN
C200	24mm	150mm	M20 - 260mm	180Nm	36mm	130mm	38mm	64.5KN	18.5KN

**NOTE:**  
ANCHOR DESIGN CAPACITIES ARE STRICTLY BASED UPON THE ANCHOR SIZES, EMBEDMENT LENGTHS, TORQUE REQUIREMENTS, GEOMETRICAL DIMENSIONS PRESENTED IN THIS DRAWING AND 28 DAYS CONCRETE COMPRESSIVE STRENGTH OF 25Mpa ONLY. NO ALTERATION IS ALLOWED WITHOUT OFFICIAL WRITTEN CONFIRMATION FROM BLUESCOPE LYSAGHT TECHNOLOGY.



**Accredited Practitioner**  
Alexander Filonov  
CC4719P  
LEVEL 1, 12 BEAUMONT ST  
HAMILTON NSW 2303  
+61 2 4962 4311  
31/03/2026

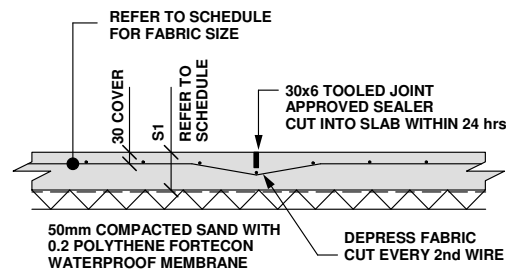
FOR BUILDING PERMIT STAGE

**SITE**  
45 Remi Place  
SANDFORD TAS 7020

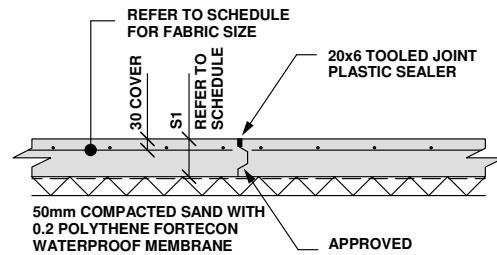
**BUILDING**  
DELUXE SKILLION  
4000 SPAN x 3500/3850 EAVE x 10500 LONG

**TITLE**  
CHEMSET DETAILS

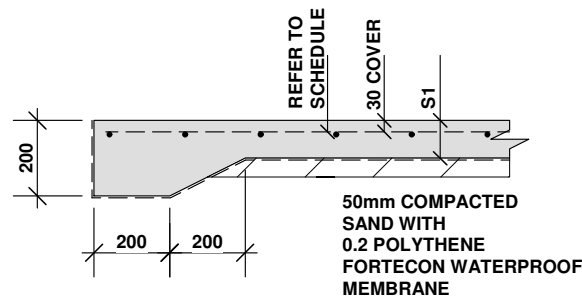
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A3 SHEET 1:20	ENG5/1-443228	B	6/6



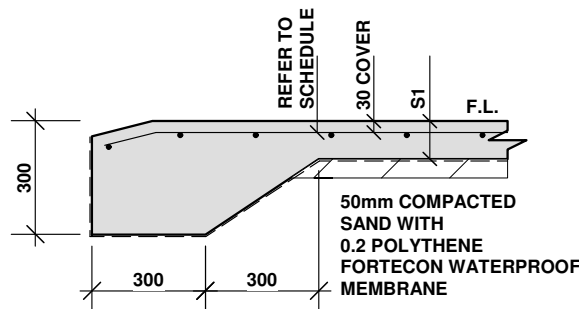
**S1/A**  
CONTROL JOINTS MUST BE SUPPLIED AT NOT GREATER THAN 4.5M OR CONCRETE POUR AT A RATIO OF NOT MORE THAN 1:1.2 IN ANY DIRECTION.



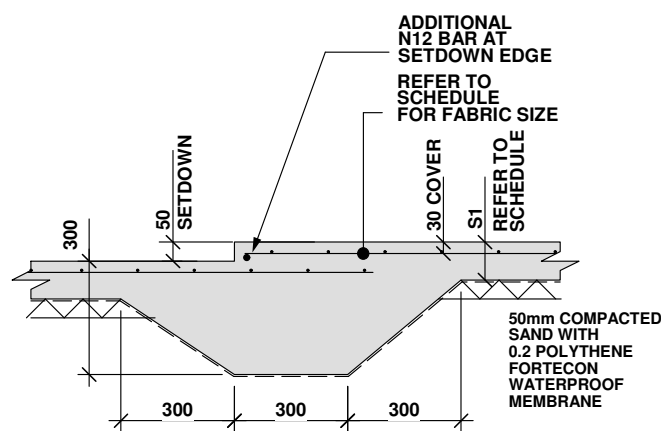
**S1/C**  
CONSTRUCTION JOINTS MUST BE SUPPLIED WHERE AN UNBROKEN RUN OF CONCRETE POUR EXCEEDS 30M IN ANY DIRECTION.



**DET S1/EB1 FOR RC SLAB**  
NOT SUITABLE AT OPENINGS  
SUBJECT TO VEHICLE TRAFFIC



**DET S1/EB2**  
REQUIRED AT OPENINGS  
SUBJECT TO VEHICLE TRAFFIC



**DET S1/IB2**

**SITE FOUNDATION CLASSIFICATION**

TWO COMMON FOUNDATION CONDITIONS & SITE CLASSIFICATIONS IN ACCORDANCE WITH AS2870 ARE USED FOR THE STANDARDISED FOOTING DESIGNS AS FOLLOWS:-

- STIFF CLAY CONFORMING TO AS2870 CLASS M. MINIMUM SAFE BEARING CAPACITY - 100 kPa. SHAFT ADHESION - 20 kPa
- DENSE SAND CONFORMING TO AS2870 CLASS A/S. MINIMUM SAFE BEARING CAPACITY - 100 kPa.
- A SITE SPECIFIC GEOTECHNICAL INVESTIGATION IS RECOMMENDED & IF CONDITIONS OTHER THAN ASSUMED ARE ENCOUNTERED A DIFFERENT FOOTING DESIGN MAY BE REQUIRED & SHOULD BE REFERRED TO A QUALIFIED LOCAL ENGINEER.
- ALL FOOTINGS TO BE FOUNDED IN NATURAL GROUND.
- NO FOOTING TO BE FOUNDED ON FILL MATERIAL.
- REFERENCE SHOULD BE MADE TO CSIRO PUBLICATION 10.91 GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE & FOOTING PERFORMANCE

**MINIMUM SITE PREPARATION**

- STRIP SITE OF ALL TOP SOIL & DISCARD TO SPOIL. THE EXPOSED SURFACE TO BE PROOF ROLLED & AREAS REMAINING SOFT OR SPONGY ARE TO BE EXCAVATED TO SPOIL.
- PLACE APPROVED GRANULAR FILL MATERIAL TO THE REQUIRED BUILDING PLATFORM LEVEL IN LAYERS NOT EXCEEDING 200mm AND COMPACT BY ROLLING WITH SUITABLE EQUIPMENT TO ACHIEVE A DRY DENSITY RATIO OF 98% STANDARD COMPACTION TO AS1289 - E1.1 AT OPTIMUM MOISTURE CONTENT. THE TOP 200mm TO BE COMPACTED TO 100% STANDARD DRY DENSITY.
- THE COMPACTION OF ALL FILL MATERIAL TO BE INSPECTED AND APPROVED BY A RESPONSIBLE GEOTECHNICAL CONSULTANT.

**CONCRETE REINFORCEMENT**

- REINFORCEMENT IS REPRESENTED DIAGRAMATICALLY & NOT NECESSARILY IN TRUE PROJECTION.
- REINFORCEMENT NOTATION:-  
N DENOTES HOT ROLLED DEFORMED BAR.  
SL DENOTES HARD DRAWN WELDED WIRE FABRIC. THE NUMBER IMMEDIATELY FOLLOWING BAR NOTATION IS THE NOMINAL DIAMETER IN mm.
- PROVIDE BAR SUPPORTS OR SPACERS TO GIVE THE FOLLOWING COVER TO ALL REINFORCEMENT UNLESS NOTED OTHERWISE.  
FOOTINGS 80 BOTTOM, 65 TOP & SIDES  
SLABS 30 BOTTOM, 20 TOP  
BEAMS 40 BOTTOM & SIDES TO STIRRUPS. TOP COVER AS DETAILED
- PROVIDE 2N12 DIAGONAL CORNER BARS 900 LONG AT ALL RE-ENTRANT CORNERS OF OPENINGS IN SLABS AND THESE BARS TO BE POSITIONED 30mm FROM THE CORNER.

**CONCRETE SPECIFICATION**

- CARRY OUT ALL WORK IN ACCORDANCE WITH THE CURRENT ISSUE OF AS3600 & THE SPECIFICATION.
- CONCRETE SIZES SHOWN DO NOT INCLUDE FINISH & MUST NOT BE REDUCED OR HOLED IN ANY WAY WITHOUT THE ENGINEERS APPROVAL. DEPTH OF BEAMS INCLUDE SLAB THICKNESS.
- SLABS & BEAMS ARE TO BE POURED TOGETHER.
- CONSOLIDATE BY VIBRATION.
- SLAB CONCRETE TO BE AS SHOWN IN SLAB ON GRADE CRITERIA.
- BORED PIER CONCRETE SHALL HAVE F'c = 20 MPa, MAXIMUM AGGREGATE SIZE = 20 mm, SLUMP = 100 mm, EXCEPT FOR BCA CLASSES 2 TO 9 BUILDINGS CONCRETE SHALL HAVE F'c = 32MPa.
- PROVIDE 0.2 POLYTHENE FORTICON WATERPROOF MEMBRANE UNDER ALL SLABS WITH LAPPED & TAPED JOINTS.
- PLACE PUMP MIX CONCRETE AS SPECIFIED BELOW TO ACCURATE LEVELS AS PER ARCHITECTS SPECIFICATION.
- PROVIDE CONTROL JOINTS AS INDICATED BY NEATLY SAW CUTTING 40 x 6 GROOVES WITHIN 12 HOURS OF THE FINAL FLOAT OF THE CONCRETE.
- CURE SLAB FOR 7 DAYS AFTER PLACEMENT BY MAINTAINING A CONTINUOUSLY WET SURFACE BY APPROVED METHODS. FLOODING & COVERING WITH POLYTHENE IMMEDIATELY AFTER FINISHING IS AN APPROVED METHOD.
- SEALING OF JOINTS TO BE CARRIED OUT ONE MONTH MINIMUM AFTER CURING IS COMPLETE.
- PROVIDE PROPER STORMWATER DRAINAGE AWAY FROM THE BUILDING.

**SLAB ON GRADE CRITERIA**

CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS (MPa)	20
FLEXURAL STRENGTH AT 90 DAYS (MPa)	5
SLUMP (mm)	100
AGGREGATE MAXIMUM SIZE (MM)	20
CEMENT TYPE	SL
CEMENT CONTENT (kg/cubic metre) MIN	320
FLY ASH CONTENT (kg/cubic metre) MAX	70
WATER / CEMENT RATIO (MAX)	0.45
MICROSTRAIN AT 56 DAYS	600
FLOOR FINISH - BURNISHED STEEL TROWEL	NON SLIP
FLOOR TOLERANCE	CLASS B

- FOR OTHER LOAD CONDITIONS A DESIGN VARIATION IS REQUIRED & SHOULD BE REFERRED TO A QUALIFIED LOCAL ENGINEER.

**DIMENSION SCHEDULE**

S1	100RC SLAB
FABRIC	SL62T mesh

**Accredited Practitioner**  
Alexander Filonov  
CC4719P  
LEVEL 1, 12 BEAUMONT ST  
HAMILTON NSW 2303  
+61 2 4962 4311  
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FOR BUILDING PERMIT STAGE

**SITE**  
45 Remi Place  
SANDFORD TAS 7020

**BUILDING**  
DELUXE SKILLION  
4000 SPAN x 3500/3850 EAVE x 10500 LONG

**TITLE** CONCRETE SPECIFICATION, SITE NOTES

SCALE A3 SHEET 1:20	DRAWING NUMBER ENG6/1-443228	REV B	PAGE 7/7
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