



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2025/058097**

**PROPOSAL:** Additions & Alterations (Single Dwelling)

**LOCATION:** 24 Esplanade, Seven Mile Beach

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 23/06/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 23/06/2026. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clareance@ccc.tas.gov.au](mailto:clareance@ccc.tas.gov.au). Representations must be received by Council on or before 23/06/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

## Application for Development / Use or Subdivision

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Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Alterations and Additions

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Location: 24 Esplanade, Seven Mile Beach, TAS, 7170

**Personal Information Removed**



Is the property on the Tasmanian Heritage Register? Yes  No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Residential**

Does the proposal involve land administered or owned by the Crown or Council? Yes  No

**Declaration**

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

**Acknowledgement**

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

**Personal Information Removed**

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



## Development/use or subdivision checklist

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### Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

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- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

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### Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

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- Site analysis and site plan, including where relevant:
    - Existing and proposed use(s) on site.
    - Boundaries and dimensions of the site.
    - Topography, including contours showing AHD levels and major site features.
    - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
    - Soil type.
    - Vegetation types and distribution, and trees and vegetation to be removed.
- 



- Location and capacity of any existing services or easements on/to the site.
  - Existing pedestrian and vehicle access to the site.
  - Location of existing and proposed buildings on the site.
  - Location of existing adjoining properties, adjacent buildings and their uses.
  - Any natural hazards that may affect use or development on the site.
  - Proposed roads, driveways, car parking areas and footpaths within the site.
  - Any proposed open space, communal space, or facilities on the site.
  - Main utility service connection points and easements.
  - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
  - Private open space for each dwelling.
  - External storage spaces.
  - Car parking space location and layout.
  - Major elevations of every building to be erected.
  - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
  - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
  - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
  - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
  - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

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This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 46869	FOLIO 2
EDITION 4	DATE OF ISSUE 19-Nov-2025

SEARCH DATE : 19-Dec-2025

SEARCH TIME : 09.19 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 2 on Diagram 46869

Derivation : Part of 1200 Acres Located to A.Williams

Derived from Y 18143

SCHEDULE 1

N290437 TRANSFER to SCOTT ANDREW MCMURRAY and GEORGINA FREEMAN Registered 18-Nov-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

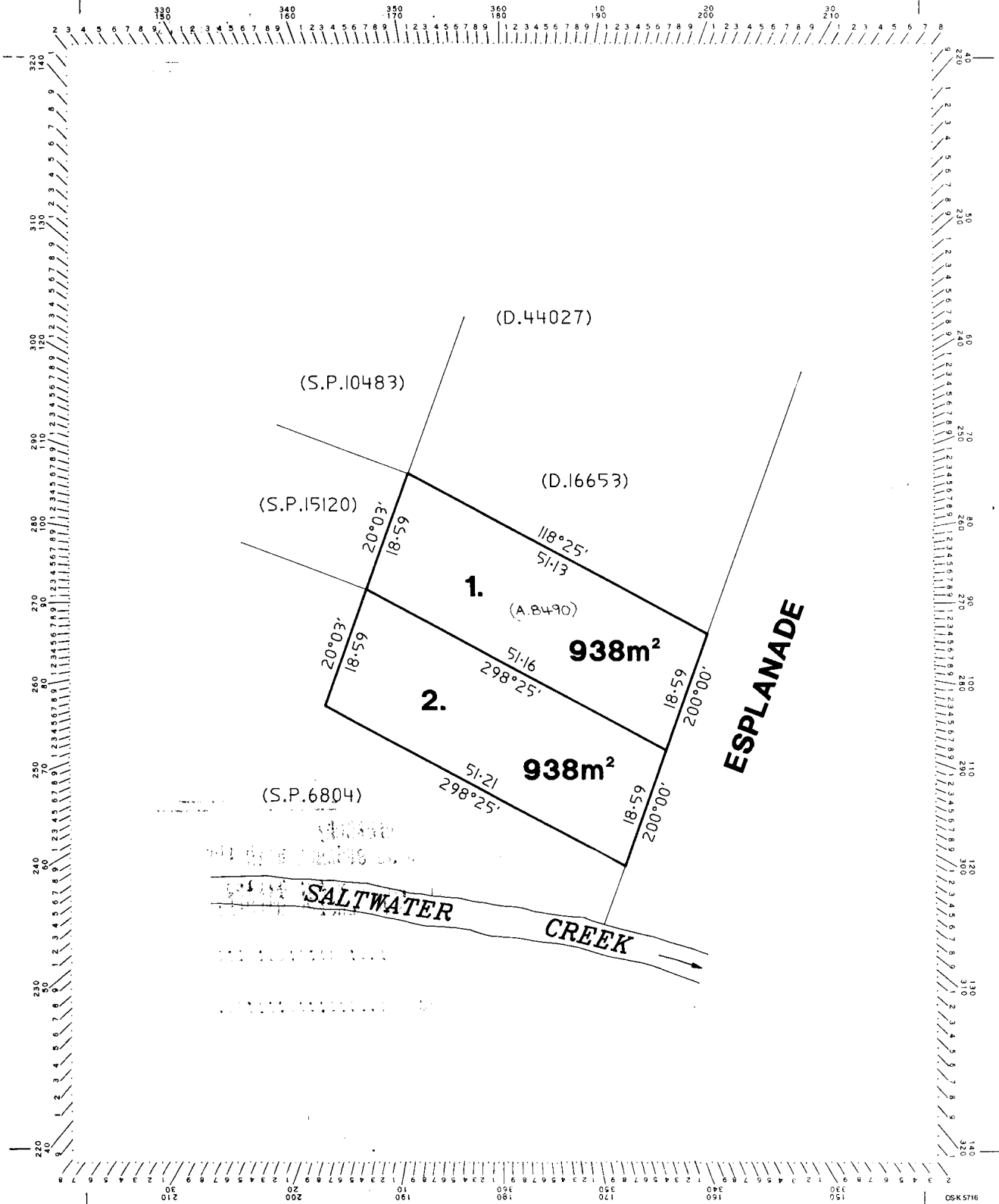
E428746 MORTGAGE to Judo Bank Pty Ltd Registered 18-Nov-2025 at 12.01 pm



UNREGISTERED DEALINGS AND NOTATIONS

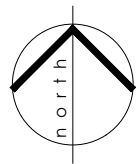
No unregistered dealings or other notations

Owner: L.T.ACT 1980	PLAN OF SURVEY of land situated in the	Registered Number: <b>D.46869</b>
Title Reference: A.8490	<b>CITY OF CLARENCE</b>	Approved: <u>7 NOV 1990</u> <i>Michael Pina</i> Recorder of Titles
Grantee: PART OF 1200 ACRES LOCATED TO ANTHONY WILLIAMS	COMPILED FROM (46/9 D.O.)	

SCALE 1: 600 MEASUREMENTS IN METRES



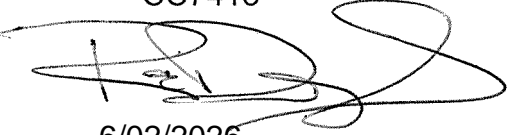
PLUMBING LEGEND	
MARK	DESCRIPTION
	SEWER PIPES TO BE DWV PVC-U CLASS SN6 @ Min. 1.65% (to AS/NZS 1260:2009).
	STORMWATER PIPES TO BE PVC-U Class SN4 @ Min. 1% (to AS/NZS 1254:2010).



# DOYLE SOIL CONSULTING

ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Robyn Doyle  
Building Services Designer  
Hydraulic  
CC7418



6/02/2026  
Updated 5/5/2026  
Updated 26/5/2026

ABSORPTION BED AS PER ON-SITE WASTEWATER REPORT BY ROCK SOLID GEOTECHNICS.

AERATED WASTEWATER TREATMENT SYSTEM AS PER ON-SITE WASTEWATER REPORT BY ROCK SOLID GEOTECHNICS.

Project:	PROPOSED ALTERATIONS AND ADDITIONS 24 ESPLANADE, SEVEN MILE BEACH GEORGINA FREEMAN
Drawing:	PROPOSED DRAINAGE PLAN

design:EAST registered trading name for design:EAST Pty. Ltd.

DRG. NO.:	5739	H01	DATE:	14.04.26
SCALE:	1:100 @ A3		DRAWN:	EJ

153 Davey Street Hobart  
Tasmania 7000  
Phone (03)6223 6740  
Email [design@designeast.com.au](mailto:design@designeast.com.au)  
Web [www.designeast.com.au](http://www.designeast.com.au)  
Accreditation No. CC191 O

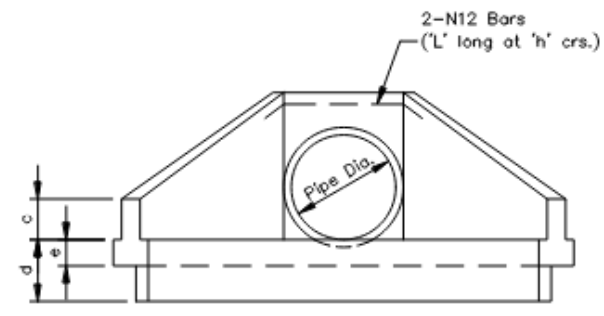
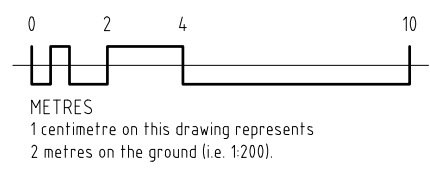
### Stormwater system:

Stormwater from the roof is to be diverted via a DN 150 pipe into a pit -sized for depth of pipe at the boundary.  
Stormwater is to be directed to a concrete headwall as per TSD-SW17-v3 and TSD-SW19-v3

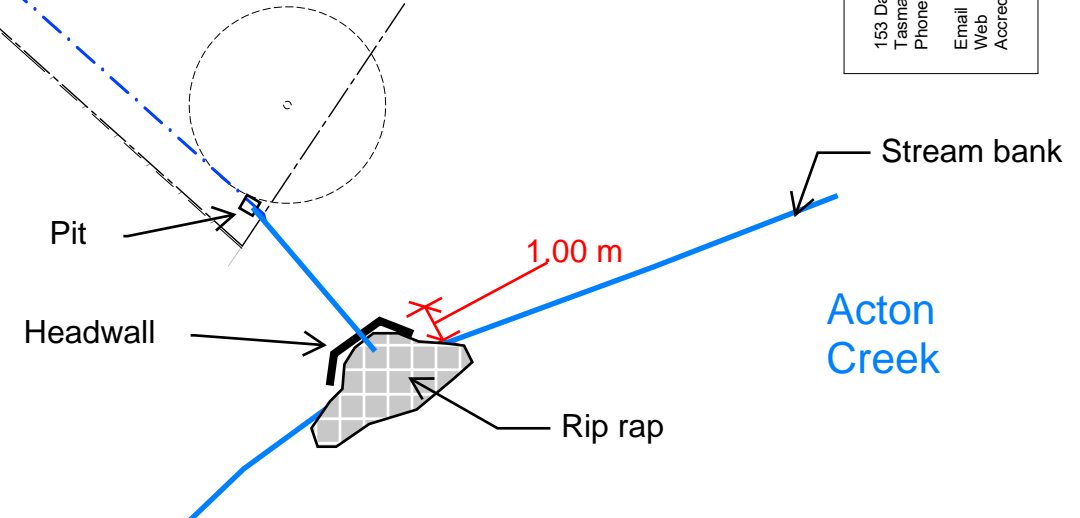
Lomandra or other water-loving grass species to be planted on the bank

Refer to letter with additional details

PROPOSED DRAINAGE PL



ELEVATION



<b>PROPOSED ALTERATIONS &amp; ADDITIONS</b> at 24 ESPLANADE, SEVEN MILE BEACH, 7170 for GEORGINA FREEMAN AND SCOTT MCMURRAY		<b>DE JOB #</b> <b>5739</b>
<b>ISSUE: PLANNING SET - 14 APRIL 2026</b>		
DWG. No.	DRAWING	ISSUE
5739 - A01	DRAWING INDEX	A
5739 - A02	EXISTING & DEMOLITION SITE PLAN	A
5739 - A03	PROPOSED SITE PLAN	A
5739 - A04	EXISTING AND DEMOLITION FLOOR PLAN - RESIDENCE	A
5739 - A05	PROPOSED GROUND FLOOR PLAN - RESIDENCE	A
5739 - A06	PROPOSED FIRST FLOOR PLAN - RESIDENCE	A
5739 - A07	ELEVATIONS 01 OF 04 - RESIDENCE	A
5739 - A08	ELEVATIONS 02 OF 04 - RESIDENCE	A
5739 - A09	ELEVATIONS 03 OF 04 - RESIDENCE	A
5739 - A10	ELEVATIONS 04 OF 04 - RESIDENCE	A
5739 - A11	EXISTING AND DEMOLITION ELEVATIONS - STUDIO	A
5739 - A12	PROPOSED FLOOR PLAN - GYM	A
5739 - A13	PROPOSED ELEVATIONS - GYM	A
5739 - A14	PROPOSED FLOOR PLANS - GARAGE	A
5739 - A15	PROPOSED ELEVATIONS - GARAGE	A
5739 - H01	PROPOSED DRAINAGE PLAN	A

<b>GENERAL INFORMATION</b>	
Accredited Building Designer:	Monty East
Accreditation Number:	CC 1910
Land title reference number:	C.T. 46869/2
Site area:	938 m <sup>2</sup>
Total floor area:	216 m <sup>2</sup>
Total decked / balcony area:	104 m <sup>2</sup>
Building Classification:	Class 1a & 10a
Site assessment by:	-
Wind classification:	- Site Classification to AS 4055-2012
Soil classification:	- Site Classification to AS 2870-2011
Climate zone:	7
Bushfire-prone area BAL rating:	N/A No areas of bushfire prone vegetation >1ha within 100m of the building.
Corrosion environment:	Very High
Other known site overlays:	Medium Coast Erosion Hazard Band, Airport Obstacle Limitation Area, Waterway and Coastal Protection Area, Medium Coastal Inundation Hazard Band, Flood-prone areas.

153A Davey Street Hobart  
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Accreditation No. CC1910

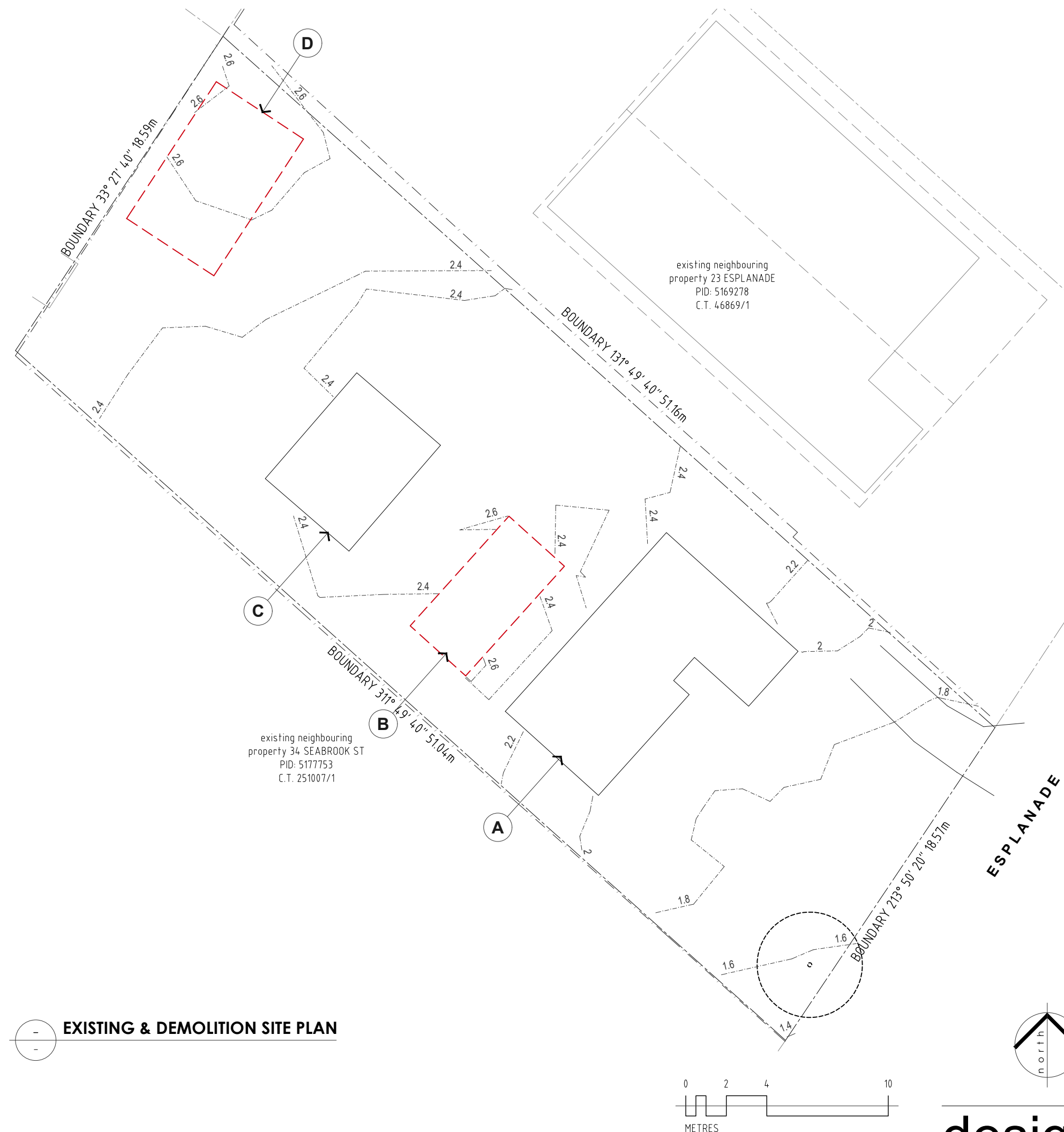
SITE NOTES	
Property Address:	24 ESPLANADE, SEVEN MILE BEACH
Property ID:	5169251
Title Reference:	46869/2
Site Area:	938 ± sqm.
Municipality:	CLARENCE
Owner:	GEORGINA FREEMAN AND SCOTT MCMURRAY

SITE KEY	
<b>A</b>	OUTLINE OF EXISTING RESIDENCE.
<b>B</b>	OUTLINE OF EXISTING OUTBUILDING TO BE DEMOLISHED.
<b>C</b>	OUTLINE OF EXISTING SLAB TO BE RETAINED.
<b>D</b>	OUTLINE OF EXISTING CARPORT TO BE DEMOLISHED.

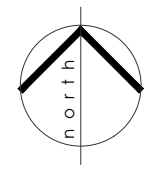
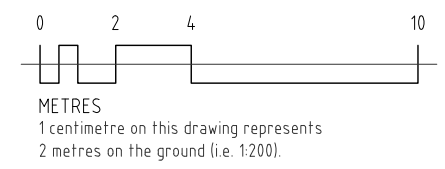
EXISTING FLOOR AREAS	
EX. BUILDING FOOTPRINT AREA	= ±81 sqm.
EX. OUTBUILDINGS AREA	= ±101 sqm.
EX. LOT SIZE	= ±938 sqm.

CAR PARKING	
ex. CAR PARKING SPACES	= 2

THIS DRAWING HAS BEEN CONSTRUCTED USING SURVEY INFORMATION FROM JOHN BAMFORD & ASSOCIATES, LAND & ENGINEERING SURVEYORS FILE No.7732 detail. CONTOUR INTERVAL = 0.200m.



 **EXISTING & DEMOLITION SITE PLAN**



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ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project: PROPOSED ALTERATIONS AND ADDITIONS  
24 ESPLANADE, SEVEN MILE BEACH  
GEORGINA FREEMAN  
Drawing: EXISTING & DEMOLITION SITE PLAN  
design:EAST registered trading name for design:EAST Pty. Ltd.

DRG NO:	5739	A02	DATE:	14.04.26
SCALE:	1:200 @ A3		DRAWN:	EJ

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Accreditation No. CC191 O

SITE NOTES	
Property Address:	24 ESPLANADE, SEVEN MILE BEACH
Property ID:	5169251
Title Reference:	46869/2
Site Area:	938 ± sqm.
Municipality:	CLARENCE
Owner:	GEORGINA FREEMAN AND SCOTT MCMURRAY

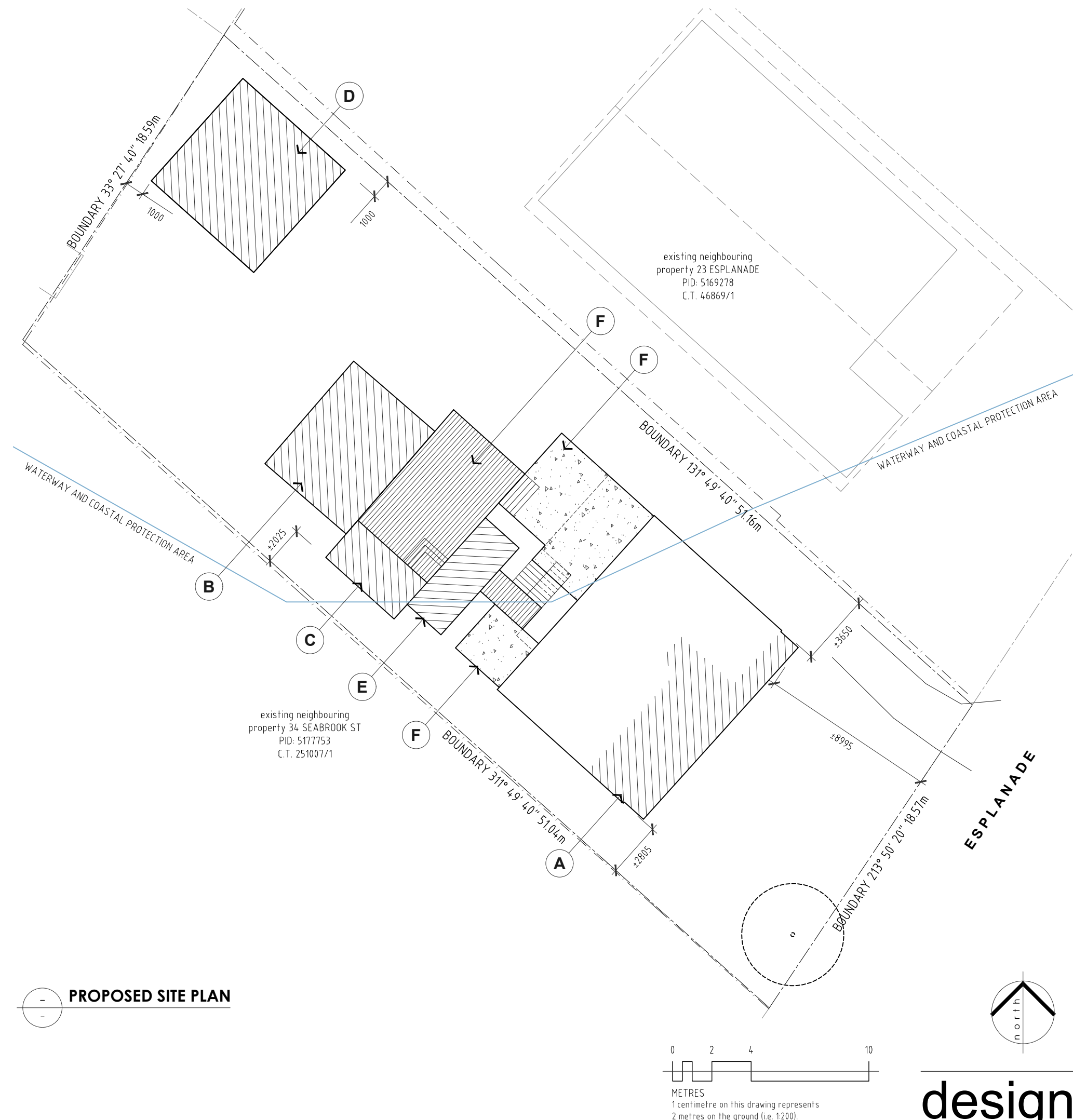
SITE KEY	
<b>A</b>	OUTLINE OF EXISTING RESIDENCE. EXTENT OF EXTENSION SHOWN HATCHED.
<b>B</b>	PROPOSED GYM / STUDIO. EXTENT SHOWN HATCHED.
<b>C</b>	PROPOSED SAUNA. EXTENT SHOWN HATCHED.
<b>D</b>	PROPOSED GARAGE. EXTENT SHOWN HATCHED.
<b>E</b>	PROPOSED POOL AREA. EXTENT SHOWN HATCHED.
<b>F</b>	PROPOSED DECK. EXTENT SHOWN HATCHED.

PROPOSED FLOOR AREAS	
PROPOSED FLOOR AREA - RESIDENCE	= ±117 sqm
PROPOSED FLOOR AREA - GYM	= ±38 sqm
PROPOSED FLOOR AREA - SAUNA / BATH.	= ±12 sqm
PROPOSED FLOOR AREA - GARAGE	= ±49 sqm
PROPOSED FLOOR AREA - POOL	= ±14 sqm
PROPOSED FLOOR AREA - DECK	= ±90 sqm

SITE COVERAGE	
DWELLING SITE COVERAGE	= 13%
TOTAL SITE COVERAGE (ALL ROOFED BUILDINGS)	= 24%

CAR PARKING	
CAR PARKING SPACES	= 2 (unchanged)

THIS DRAWING HAS BEEN CONSTRUCTED USING SURVEY INFORMATION FROM JOHN BAMFORD & ASSOCIATES, LAND & ENGINEERING SURVEYORS FILE No.7732 detail. CONTOUR INTERVAL = 0.200m.



**PROPOSED SITE PLAN**

ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project:	PROPOSED ALTERATIONS AND ADDITIONS 24 ESPLANADE, SEVEN MILE BEACH GEORGINA FREEMAN
Drawing:	PROPOSED SITE PLAN

design:EAST registered trading name for design:EAST Pty. Ltd.

DRG NO:	5739	A03	DATE:	14.04.26
SCALE:	1:200 @ A3		DRAWN:	EJ

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Accreditation No. CC191 O

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LEGEND	
MARK	DESCRIPTION
	EXISTING WALLS TO BE RETAINED.
	EXISTING WALLS TO BE DEMOLISHED.

EXISTING DWELLING AREA	
EXISTING RESIDENCE AREA	= ±81 sqm
EXISTING OUTBUILDING (STUDIO) AREA	= ±27 sqm

**DEMOLITION NOTES**

GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 29, 30 & 31 OF THE BUILDING REGULATIONS (Tas.) 2016.

BUILDINGS PRIOR TO 1990 MAY CONTAIN ASBESTOS. BUILDINGS PRIOR TO 1986 ARE LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. THE BUILDER SHOULD CHECK &, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.

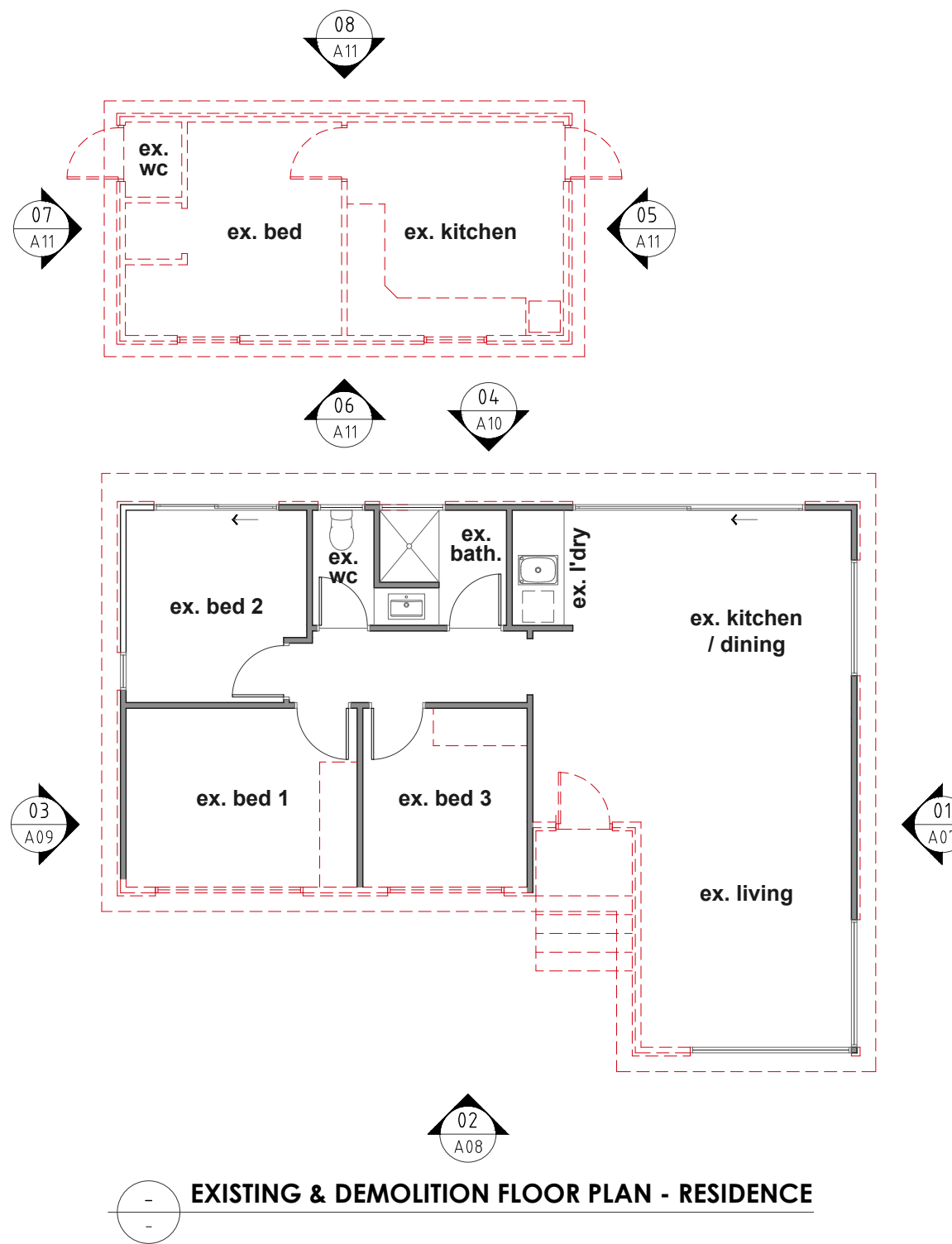
PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTY.

BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOAD-BEARING OR NOT. IF IT IS FOUND THAT THEY ARE LOAD-BEARING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.

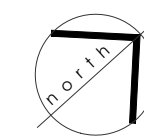
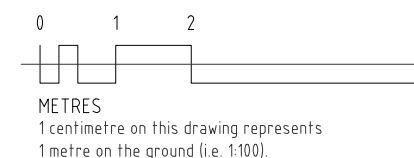
ALL REDUNDANT STORMWATER, SEWER & WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.

THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS.

GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.



EXISTING & DEMOLITION FLOOR PLAN - RESIDENCE



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ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project: PROPOSED ALTERATIONS AND ADDITIONS  
24 ESPLANADE, SEVEN MILE BEACH  
GEORGINA FREEMAN

Drawing: EXISTING & DEMO. FLOOR PLAN - RESIDENCE  
design:EAST registered trading name for design:EAST Pty. Ltd.

DRG. NO:	5739	A04	DATE:	14.04.26
SCALE:	1:100 @ A3		DRAWN:	EJ

153 Davey Street Hobart  
Tasmania 7000  
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Web www.designeast.com.au  
Accreditation No. CC191 O

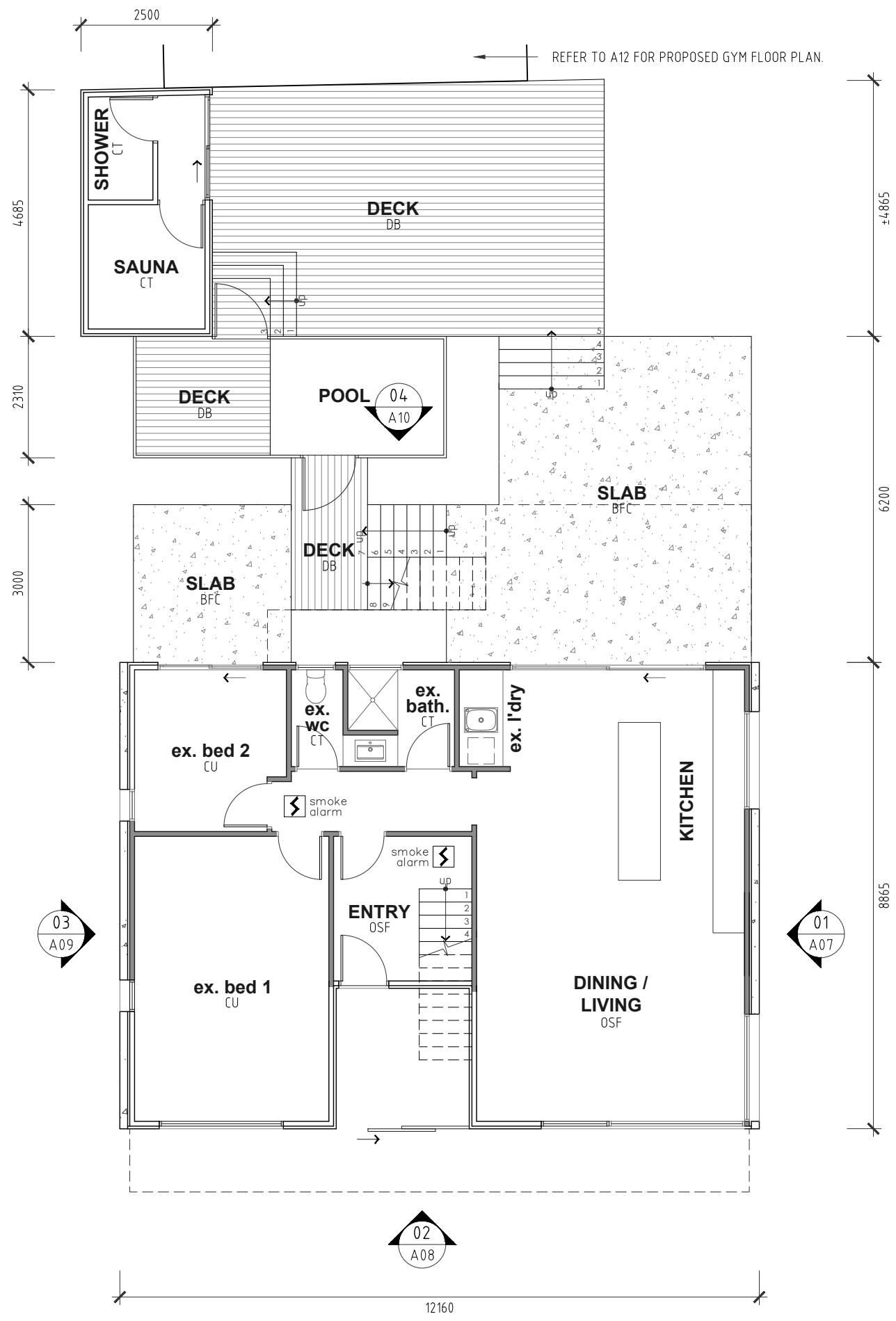
LEGEND	
MARK	DESCRIPTION
	EXISTING WALLS TO BE RETAINED.
	150mm CONCRETE PANEL WITH STUDWORK WALL.
	140mm VERTICAL CLAD WALL ON TIMBER STUD WORK.
	90mm STUDWORK WALL (internal wall).

PROPOSED FLOOR AREA	
PROPOSED GROUND FLOOR AREA - RESIDENCE	= ±97 sqm.
PROPOSED FIRST FLOOR AREA - RESIDENCE	= ±117 sqm.
PROPOSED FLOOR AREA - SAUNA	= ±12 sqm.
PROPOSED FLOOR AREA - GYM	= ±38 sqm.
PROPOSED GROUND FLOOR AREA - GARAGE	= ±49 sqm.
PROPOSED MEZZANINE FLOOR AREA - GARAGE	= ±18 sqm.

KEY	
MARK	DESCRIPTION
	PHOTOELECTRIC SMOKE ALARM (HARD WIRED) TO COMPLY WITH BCA 3.7.5.2 & AS 3786 (must be interconnected where there is more than one alarm).

SETOUT NOTES	
1.	USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE DRAWINGS.
2.	ALL LEVELS, DATUMS & DIMENSIONS SHALL BE VERIFIED ON-SITE BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS. ANY ANOMALIES ARE TO BE DIRECTED TO THE DESIGNER.

FLOOR FINISHES	
BFC	BROOM FINISHED CONCRETE SURFACE.
CT	CERAMIC TILES AS SELECTED.
CU	CARPET & UNDERLAY AS SELECTED.
DB	DECKING BOARDS AS SELECTED (gaps to suit species).
OSF	OVERLAY TIMBER STRIP FLOORING.



**PROPOSED GROUND FLOOR PLAN - RESIDENCE**

0 1 2 5  
METRES  
1 centimetre on this drawing represents 1 metre on the ground (i.e. 1:100).

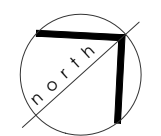
ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project: PROPOSED ALTERATIONS AND ADDITIONS  
24 ESPLANADE, SEVEN MILE BEACH  
GEORGINA FREEMAN

Drawing: PROPOSED GROUND FLOOR PLAN - RESIDENCE  
design:EAST registered trading name for design:EAST Pty. Ltd.

DRG. NO:	5739	A05	DATE:	14.04.26
SCALE:	1:100 @ A3		DRAWN:	EJ

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Tasmania 7000  
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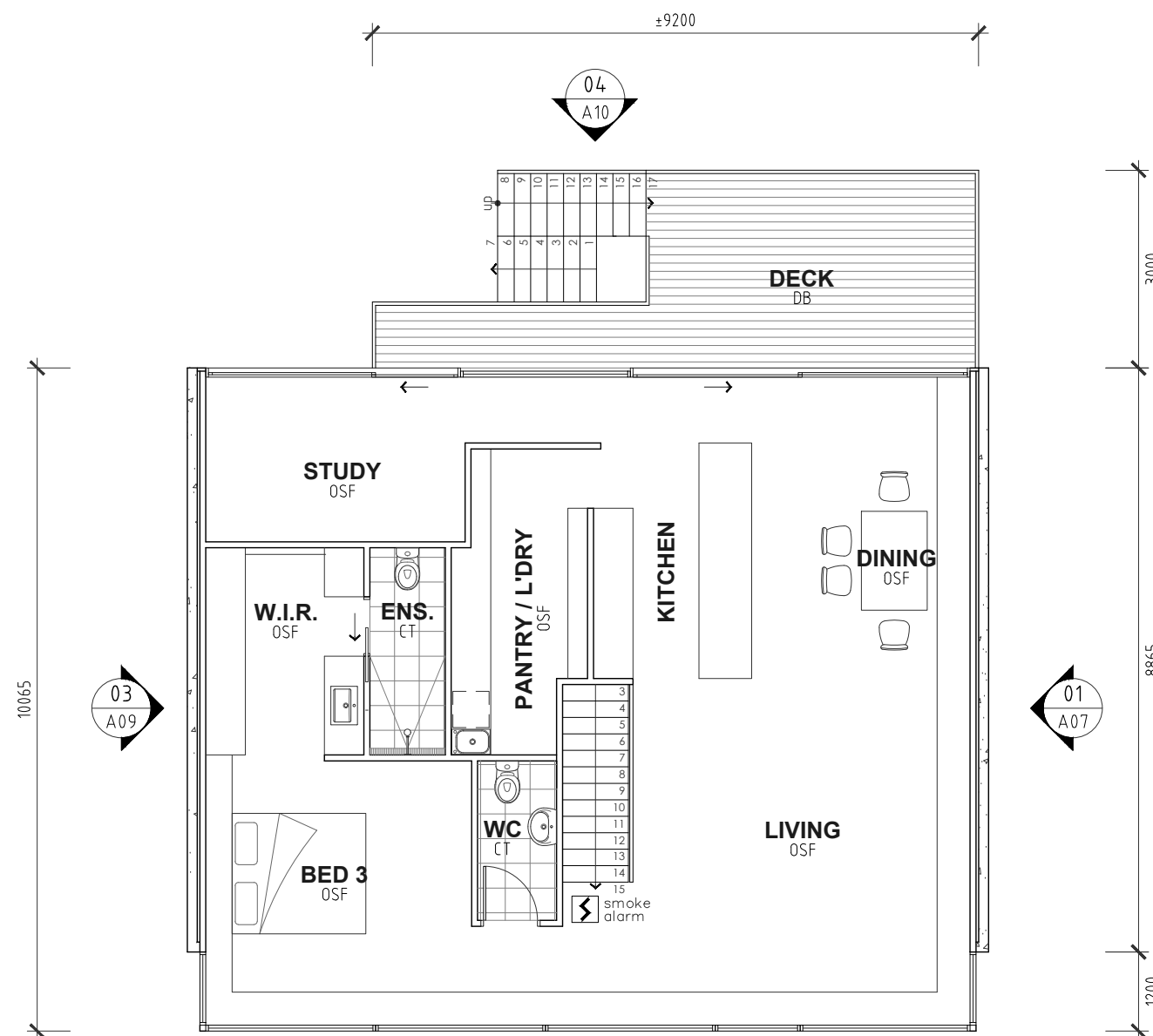
LEGEND	
MARK	DESCRIPTION
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	140mm VERTICAL CLAD WALL ON TIMBER STUD WORK.
	90mm STUDWORK WALL (internal wall).

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PROPOSED FLOOR AREA - SAUNA	= ±12 sqm.
PROPOSED FLOOR AREA - GYM	= ±38 sqm.
PROPOSED GROUND FLOOR AREA - GARAGE	= ±49 sqm.
PROPOSED MEZZANINE FLOOR AREA - GARAGE	= ±18 sqm.

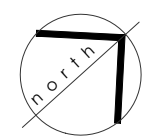
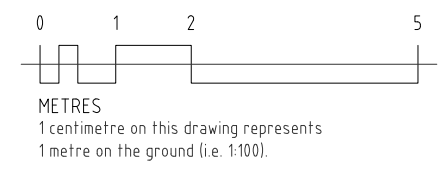
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MARK	DESCRIPTION
	PHOTOELECTRIC SMOKE ALARM (HARD WIRED) TO COMPLY WITH BCA 3.7.5.2 & AS 3786 (must be interconnected where there is more than one alarm).

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2.	ALL LEVELS, DATUMS & DIMENSIONS SHALL BE VERIFIED ON-SITE BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS. ANY ANOMALIES ARE TO BE DIRECTED TO THE DESIGNER.

FLOOR FINISHES	
BFC	BROOM FINISHED CONCRETE SURFACE.
CT	CERAMIC TILES AS SELECTED.
CU	CARPET & UNDERLAY AS SELECTED.
DB	DECKING BOARDS AS SELECTED (gaps to suit species).
OSF	OVERLAY TIMBER STRIP FLOORING.



PROPOSED FIRST FLOOR PLAN - RESIDENCE



design

**EAST**

building design and interior architecture

ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project: PROPOSED ALTERATIONS AND ADDITIONS  
24 ESPLANADE, SEVEN MILE BEACH  
GEORGINA FREEMAN

Drawing: PROPOSED FIRST FLOOR PLAN - RESIDENCE  
design:EAST registered trading name for design:EAST Pty. Ltd.

DRG. NO:	5739	A06	DATE:	14.04.26
SCALE:	1:100 @ A3		DRAWN:	EJ

153 Davey Street Hobart  
Tasmania 7000  
Phone (03)6223 6740

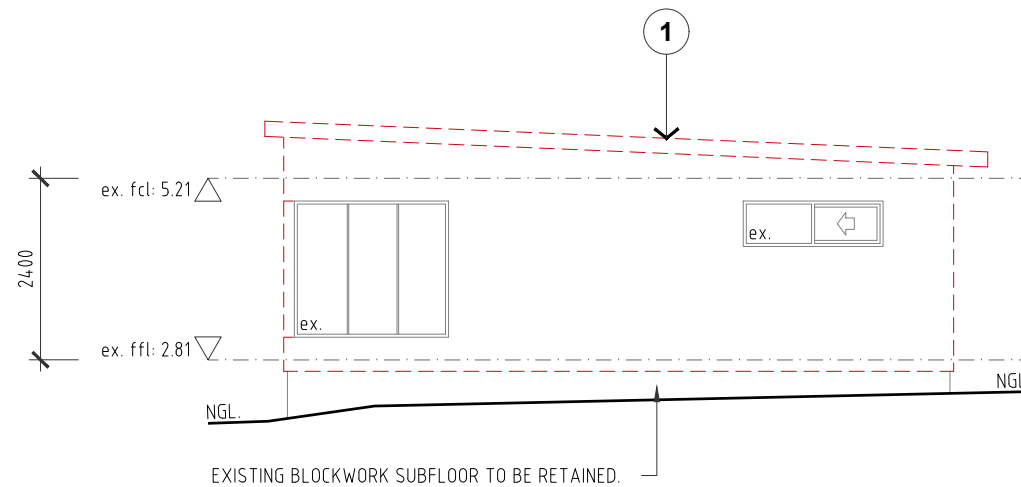
Email design@designeast.com.au  
Web www.designeast.com.au  
Accreditation No. CC191 O

EXTERNAL FINISHES

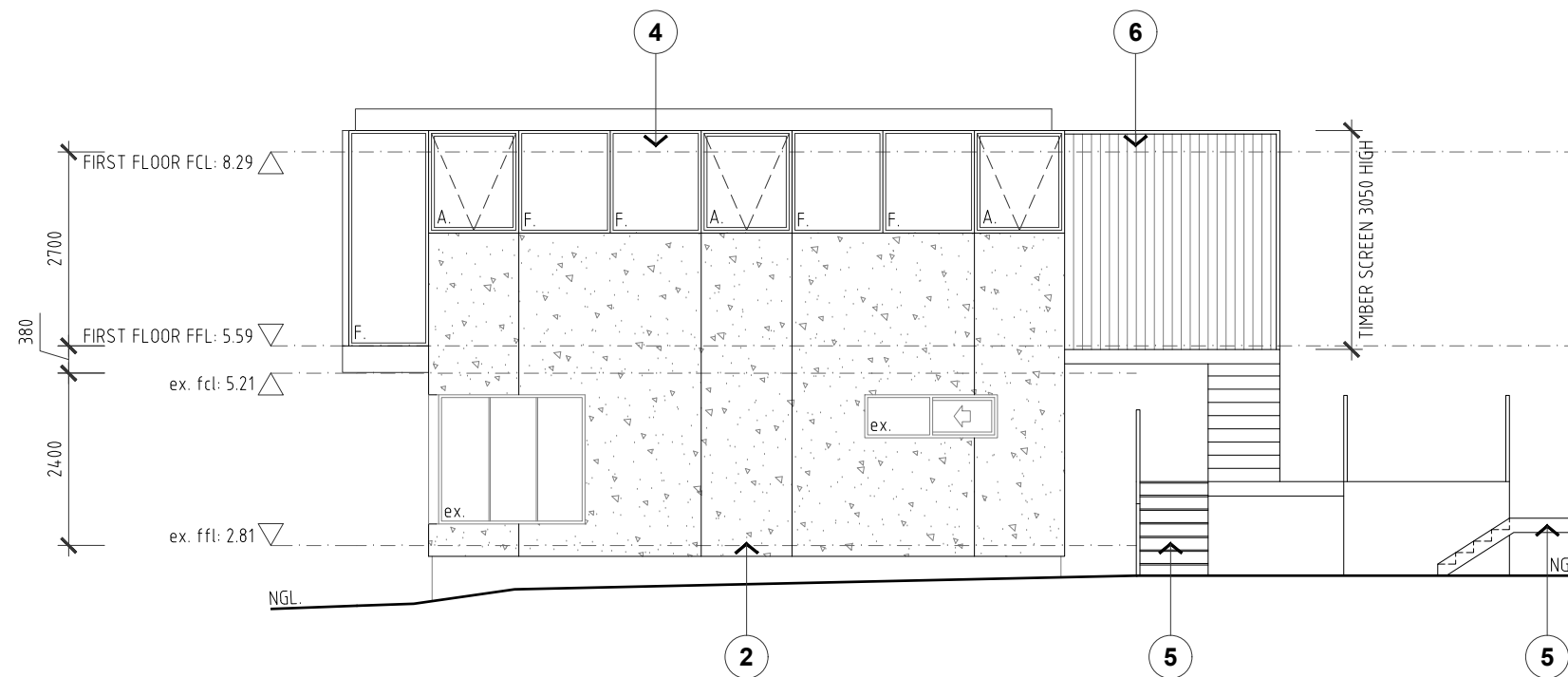
- 1 EXISTING RESIDENCE.
- 2 PROPOSED CONCRETE PANEL WALLS. FINISH: TBC.
- 3 PROPOSED VERTICAL CLAD WALLS. FINISH: PAINT (TBC).
- 4 PROPOSED ALUMINIUM FRAMED DOORS / WINDOWS. FINISH: TBC.
- 5 PROPOSED TIMBER DECK / STAIRS.
- 6 PROPOSED TIMBER BALUSTRADE / SCREEN.
- 7 PROPOSED CORRUGATED WALL CLADDING. FINISH: TBC.
- 8 PROPOSED CORRUGATED SLIDING GARAGE DOOR. FINISH: TBC.

LEGEND

- ex. - EXISTING WINDOW / DOOR.
- A. - AWNING WINDOW.
- F. - FIXED WINDOW.
- GS. - GLAZED SLING DOOR.
- HG. - GLAZED HINGED DOOR.
- H. - DOUBLE HUNG WINDOW.



01 EXISTING NORTH EAST ELEVATION  
A04



01 PROPOSED NORTH EAST ELEVATION  
A05-A06

ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project:	PROPOSED ALTERATIONS AND ADDITIONS 24 ESPLANADE, SEVEN MILE BEACH GEORGINA FREEMAN
Drawing:	ELEVATIONS 01 OF 04 - RESIDENCE design:EAST registered trading name for design:EAST Pty. Ltd.

DRG. NO:	5739	A07	DATE:	14.04.26
SCALE:	1:100 @ A3		DRAWN:	EJ

153 Davey Street Hobart Tasmania 7000 Phone (03)6223 6740	Email design@designeast.com.au Web www.designeast.com.au Accreditation No. CC191 O
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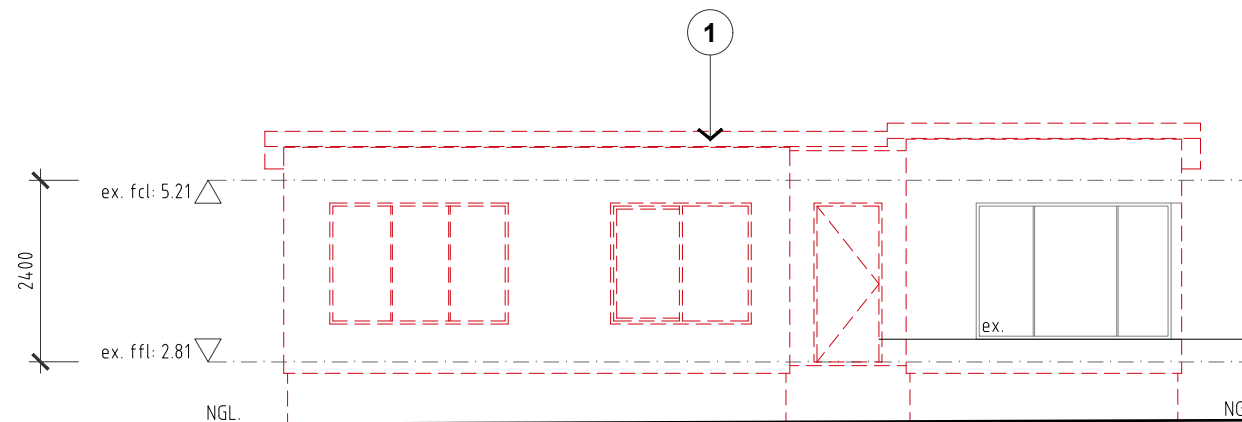
**design** ● **EAST**  
building design and interior architecture

EXTERNAL FINISHES

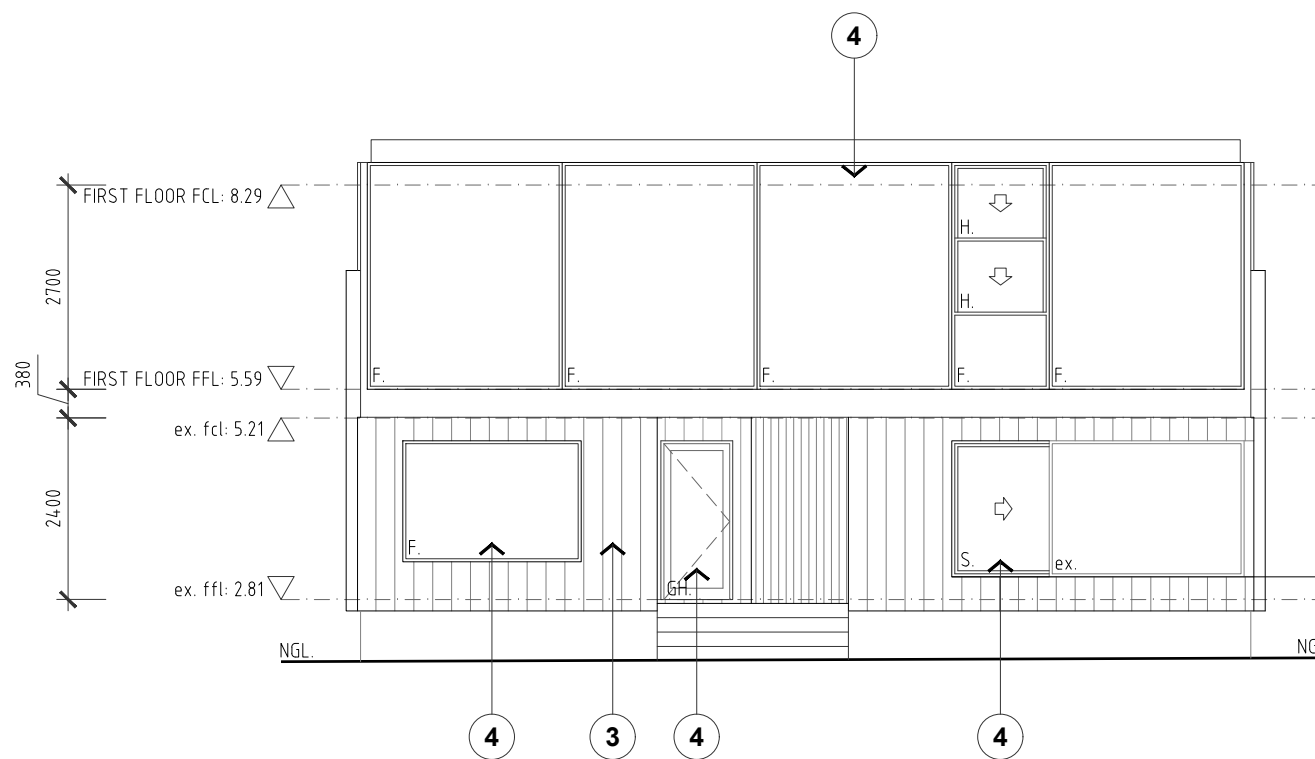
- 1 EXISTING RESIDENCE.
- 2 PROPOSED CONCRETE PANEL WALLS.  
FINISH: TBC.
- 3 PROPOSED VERTICAL CLAD WALLS.  
FINISH: PAINT (TBC).
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FINISH: TBC.
- 5 PROPOSED TIMBER DECK / STAIRS.
- 6 PROPOSED TIMBER BALUSTRADE / SCREEN.
- 7 PROPOSED CORRUGATED WALL CLADDING.  
FINISH: TBC.
- 8 PROPOSED CORRUGATED SLIDING GARAGE DOOR.  
FINISH: TBC.

LEGEND

- ex. - EXISTING WINDOW / DOOR.
- A. - AWNING WINDOW.
- F. - FIXED WINDOW.
- GS. - GLAZED SLING DOOR.
- HG. - GLAZED HINGED DOOR.
- H. - DOUBLE HUNG WINDOW.



02 EXISTING SOUTH EAST ELEVATION  
A04



02 PROPOSED SOUTH EAST ELEVATION  
A05-A06

ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project:	PROPOSED ALTERATIONS AND ADDITIONS 24 ESPLANADE, SEVEN MILE BEACH GEORGINA FREEMAN
Drawing:	ELEVATIONS 02 OF 04 - RESIDENCE

design:EAST registered trading name for design:EAST Pty. Ltd.

DRG. NO:	5739	A08	DATE:	14.04.26
SCALE:	1:100 @ A3		DRAWN:	EJ

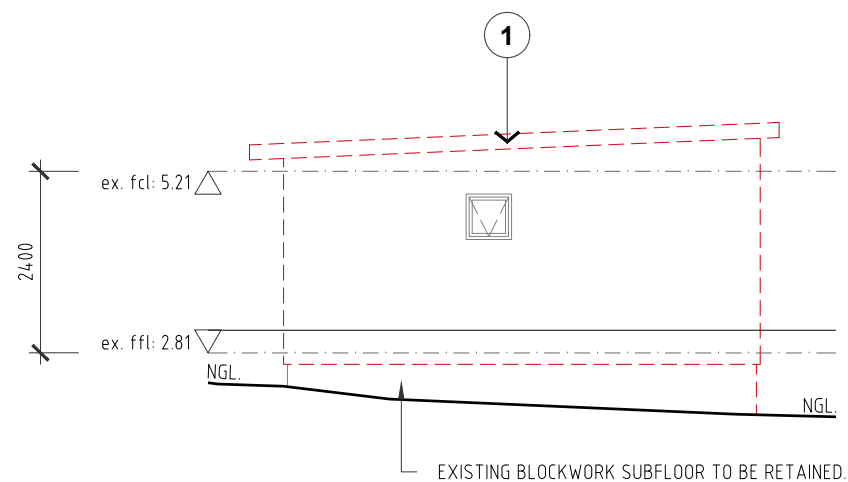
153 Davey Street Hobart Tasmania 7000 Phone (03)6223 6740	Email design@designeast.com.au Web www.designeast.com.au Accreditation No. CC191 O
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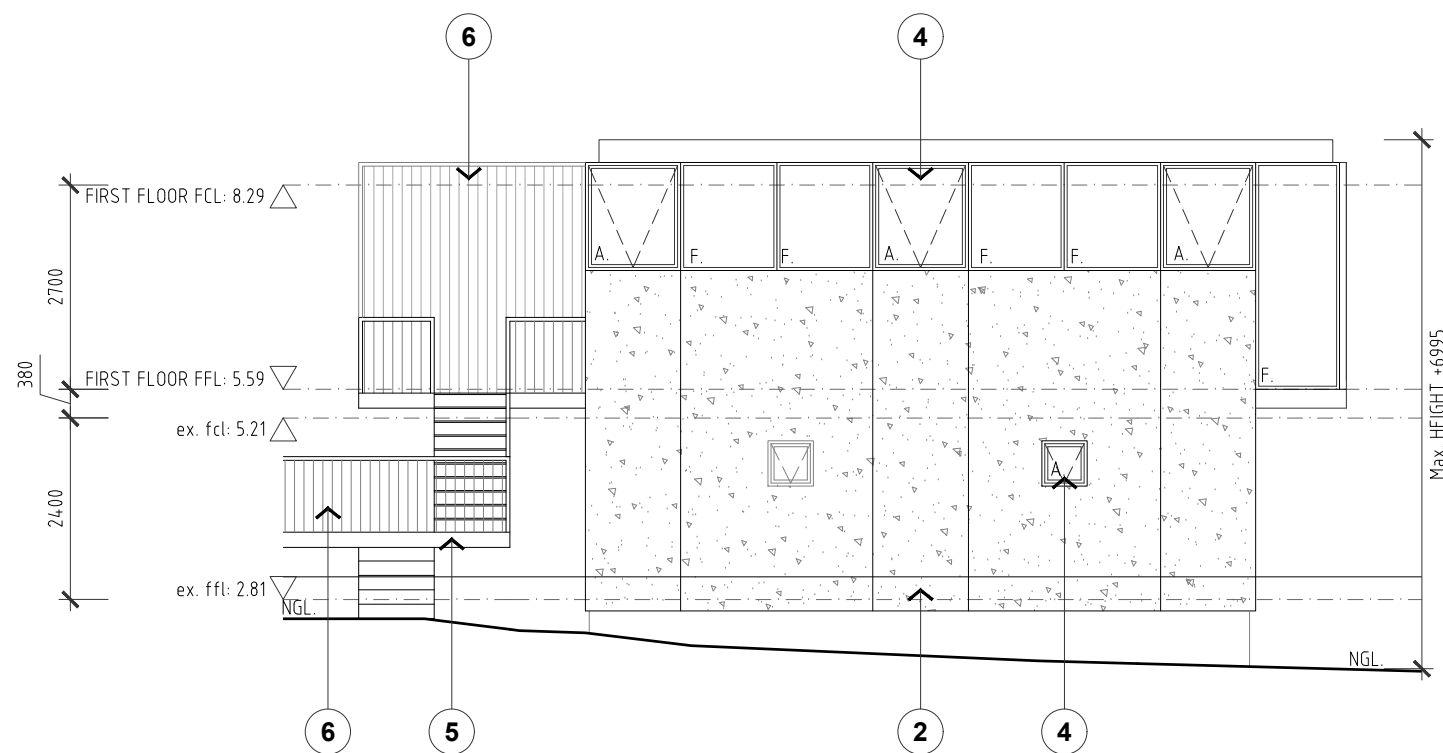
- 1 EXISTING RESIDENCE.
- 2 PROPOSED CONCRETE PANEL WALLS. FINISH: TBC.
- 3 PROPOSED VERTICAL CLAD WALLS. FINISH: PAINT (TBC).
- 4 PROPOSED ALUMINIUM FRAMED DOORS / WINDOWS. FINISH: TBC.
- 5 PROPOSED TIMBER DECK / STAIRS.
- 6 PROPOSED TIMBER BALUSTRADE / SCREEN.
- 7 PROPOSED CORRUGATED WALL CLADDING. FINISH: TBC.
- 8 PROPOSED CORRUGATED SLIDING GARAGE DOOR. FINISH: TBC.

LEGEND

- ex. - EXISTING WINDOW / DOOR.
- A. - AWNING WINDOW.
- F. - FIXED WINDOW.
- GS. - GLAZED SLING DOOR.
- HG. - GLAZED HINGED DOOR.
- H. - DOUBLE HUNG WINDOW.



03 A04 EXISTING SOUTH WEST ELEVATION



03 A05-A06 PROPOSED SOUTH WEST ELEVATION

ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project:	PROPOSED ALTERATIONS AND ADDITIONS 24 ESPLANADE, SEVEN MILE BEACH GEORGINA FREEMAN
Drawing:	ELEVATIONS 03 OF 04 - RESIDENCE

design: EAST registered trading name for design: EAST Pty. Ltd.

DRG. NO:	5739	A09	DATE:	14.04.26
SCALE:	1:100 @ A3		DRAWN:	EJ

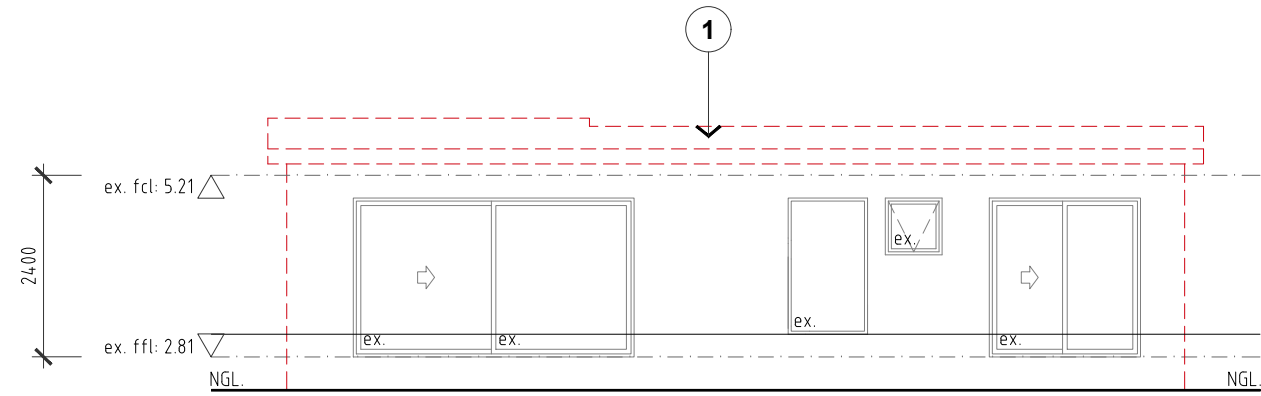
153 Davey Street Hobart Tasmania 7000 Phone (03)6223 6740	Email design@designeast.com.au Web www.designeast.com.au Accreditation No. CC191 O
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EXTERNAL FINISHES

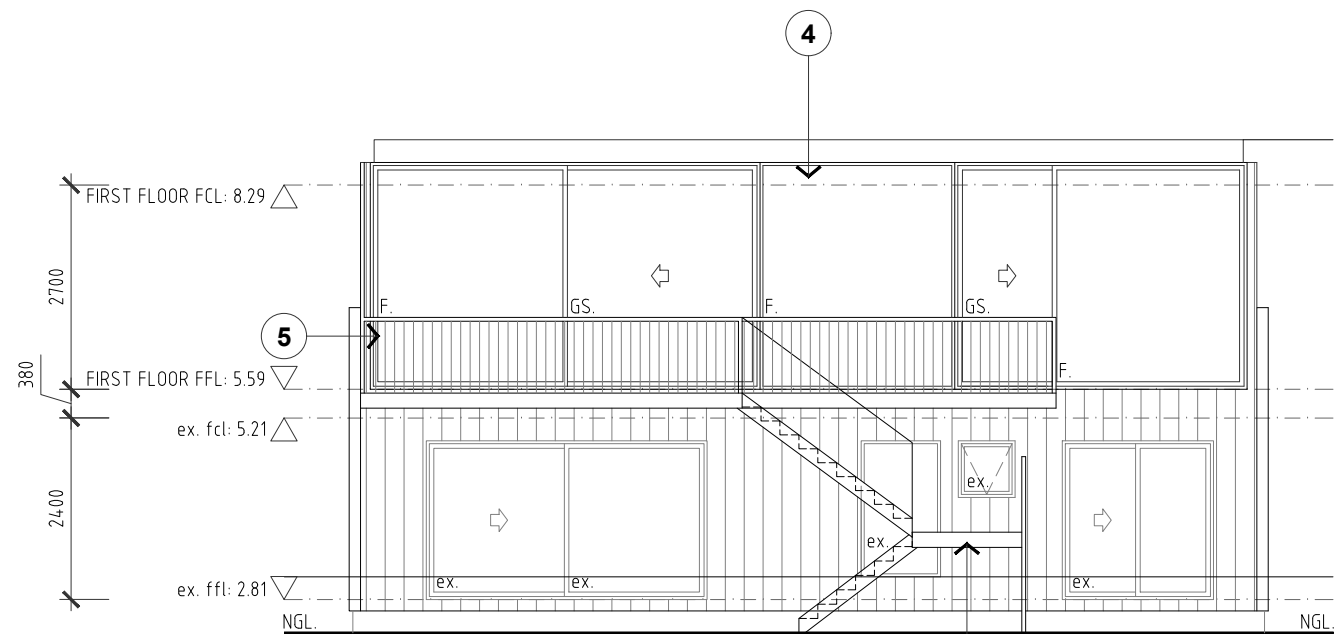
- 1 EXISTING RESIDENCE.
- 2 PROPOSED CONCRETE PANEL WALLS.  
FINISH: TBC.
- 3 PROPOSED VERTICAL CLAD WALLS.  
FINISH: PAINT (TBC).
- 4 PROPOSED ALUMINIUM FRAMED DOORS / WINDOWS.  
FINISH: TBC.
- 5 PROPOSED TIMBER DECK / STAIRS.
- 6 PROPOSED TIMBER BALUSTRADE / SCREEN.
- 7 PROPOSED CORRUGATED WALL CLADDING.  
FINISH: TBC.
- 8 PROPOSED CORRUGATED SLIDING GARAGE DOOR.  
FINISH: TBC.

LEGEND

- ex. - EXISTING WINDOW / DOOR.
- A. - AWNING WINDOW.
- F. - FIXED WINDOW.
- GS. - GLAZED SLING DOOR.
- HG. - GLAZED HINGED DOOR.
- H. - DOUBLE HUNG WINDOW.



04 EXISTING NORTH WEST ELEVATION  
A04



04 PROPOSED NORTH WEST ELEVATION  
A05-A06

ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project: PROPOSED ALTERATIONS AND ADDITIONS  
24 ESPLANADE, SEVEN MILE BEACH  
GEORGINA FREEMAN

Drawing: ELEVATIONS 04 OF 04 - RESIDENCE  
design:EAST registered trading name for design:EAST Pty. Ltd.

DRG. NO:	5739	A10	DATE:	14.04.26
SCALE:	1:100 @ A3		DRAWN:	EJ

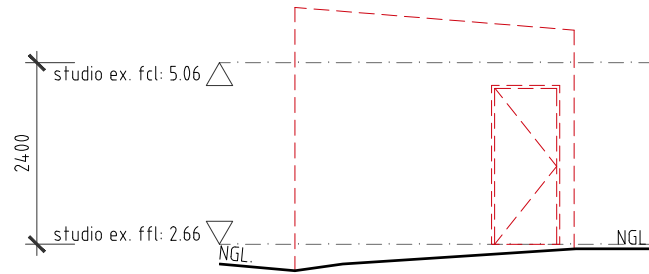
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Tasmania 7000  
Phone (03)6223 6740  
Email design@designeast.com.au  
Web www.designeast.com.au  
Accreditation No. CC191 O

**EXTERNAL FINISHES**

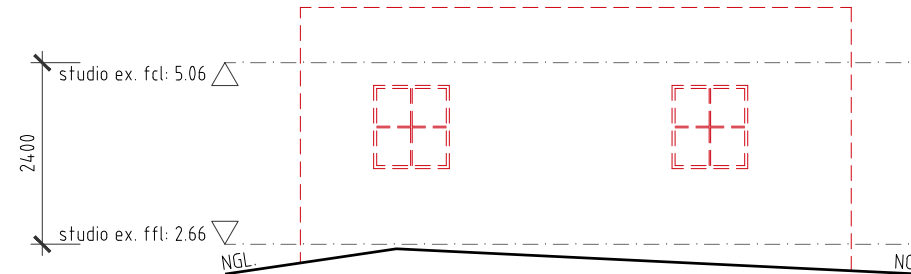
- 1 EXISTING RESIDENCE.
- 2 PROPOSED CONCRETE PANEL WALLS.  
FINISH: TBC.
- 3 PROPOSED VERTICAL CLAD WALLS.  
FINISH: PAINT (TBC).
- 4 PROPOSED ALUMINIUM FRAMED DOORS / WINDOWS.  
FINISH: TBC.
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- 6 PROPOSED TIMBER BALUSTRADE / SCREEN.
- 7 PROPOSED CORRUGATED WALL CLADDING.  
FINISH: TBC.
- 8 PROPOSED CORRUGATED SLIDING GARAGE DOOR.  
FINISH: TBC.

**LEGEND**

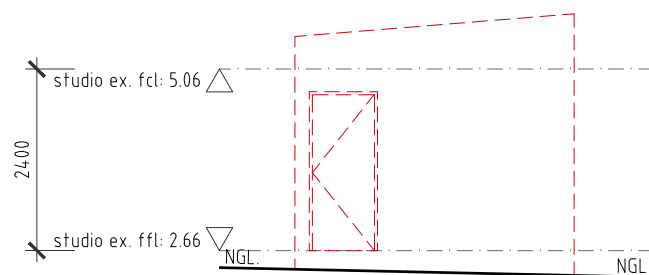
- ex. - EXISTING WINDOW / DOOR.
- A. - AWNING WINDOW.
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- HG. - GLAZED HINGED DOOR.
- H. - DOUBLE HUNG WINDOW.



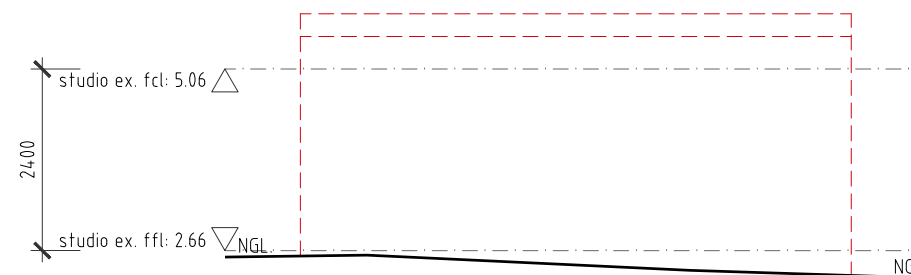
05 **EXISTING NORTH EAST ELEVATION**  
A04



06 **EXISTING SOUTH EAST ELEVATION**  
A04



07 **EXISTING SOUTH WEST ELEVATION**  
A04



08 **EXISTING NORTH WEST ELEVATION**  
A04

ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project:	PROPOSED ALTERATIONS AND ADDITIONS 24 ESPLANADE, SEVEN MILE BEACH GEORGINA FREEMAN
Drawing:	EX. & DEMO. ELEVATIONS - STUDIO design:EAST registered trading name for design:EAST Pty. Ltd.

SCALE:	1:100 @ A3	DRG. NO:	5739 A11	DATE:	14.04.26
DRAWN:	EJ				

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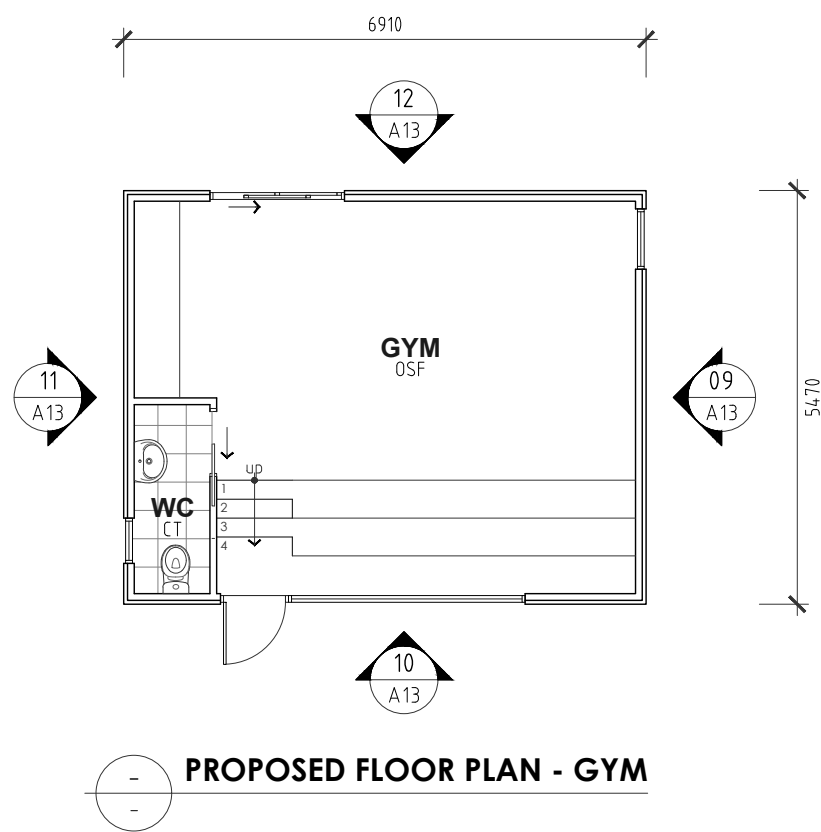
LEGEND	
MARK	DESCRIPTION
	EXISTING WALLS TO BE RETAINED.
	150mm CONCRETE PANEL WITH STUDWORK WALL.
	140mm VERTICAL CLAD WALL ON TIMBER STUD WORK.
	90mm STUDWORK WALL (internal wall).

PROPOSED FLOOR AREA	
PROPOSED GROUND FLOOR AREA - RESIDENCE	= ±97 sqm.
PROPOSED FIRST FLOOR AREA - RESIDENCE	= ±117 sqm.
PROPOSED FLOOR AREA - SAUNA	= ±12 sqm.
PROPOSED FLOOR AREA - GYM	= ±38 sqm.
PROPOSED GROUND FLOOR AREA - GARAGE	= ±49 sqm.
PROPOSED MEZZANINE FLOOR AREA - GARAGE	= ±18 sqm.

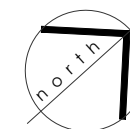
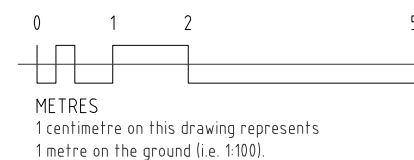
KEY	
MARK	DESCRIPTION
	PHOTOELECTRIC SMOKE ALARM (HARD WIRED) TO COMPLY WITH BCA 3.7.5.2 & AS 3786 (must be interconnected where there is more than one alarm).

SETOUT NOTES	
1.	USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE DRAWINGS.
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FLOOR FINISHES	
BFC	BROOM FINISHED CONCRETE SURFACE.
CT	CERAMIC TILES AS SELECTED.
CU	CARPET & UNDERLAY AS SELECTED.
DB	DECKING BOARDS AS SELECTED (gaps to suit species).
OSF	OVERLAY TIMBER STRIP FLOORING.



**PROPOSED FLOOR PLAN - GYM**



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ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project:	PROPOSED ALTERATIONS AND ADDITIONS 24 ESPLANADE, SEVEN MILE BEACH GEORGINA FREEMAN
Drawing:	PROPOSED FLOOR PLAN - GYM

design:EAST registered trading name for design:EAST Pty. Ltd.

DRG. NO:	5739	A12	DATE:	14.04.26
SCALE:	1:100 @ A3		DRAWN:	EJ

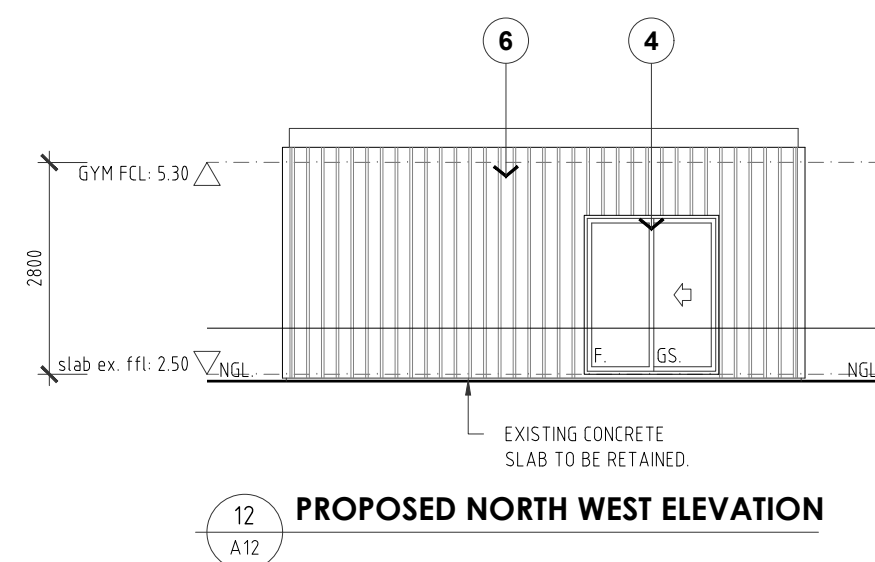
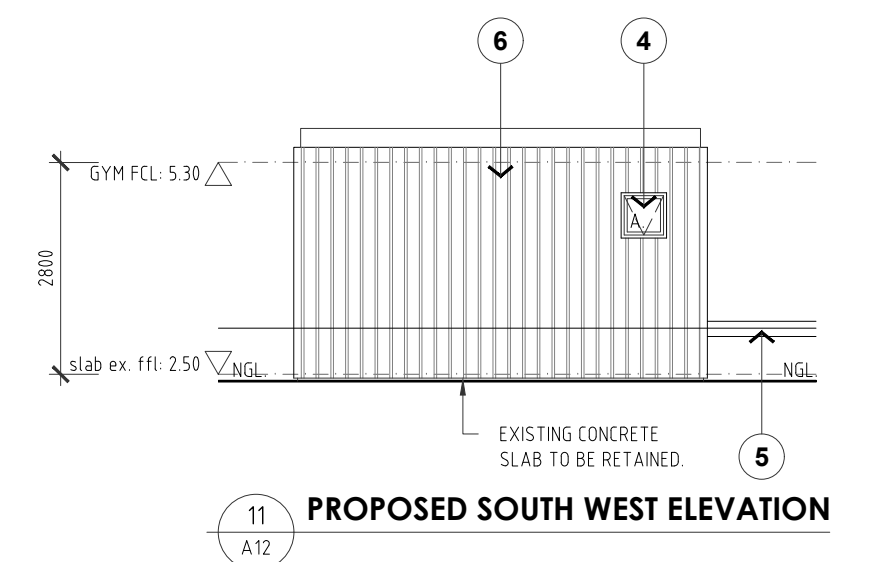
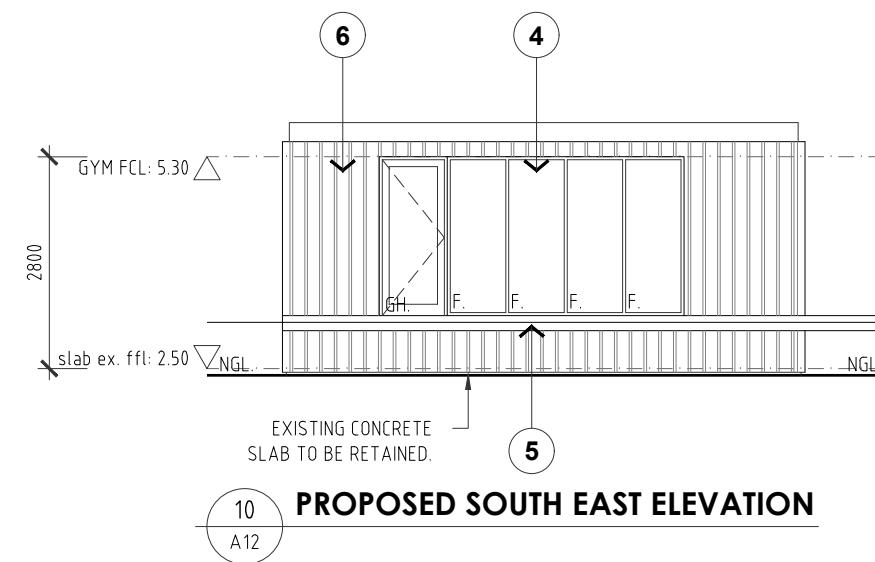
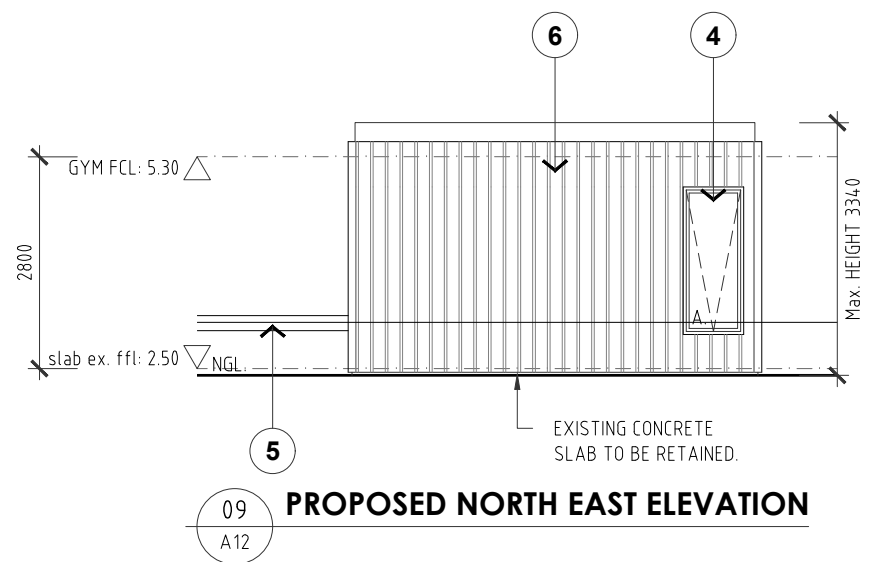
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EXTERNAL FINISHES

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- F. - FIXED WINDOW.
- GS. - GLAZED SLING DOOR.
- HG. - GLAZED HINGED DOOR.
- H. - DOUBLE HUNG WINDOW.



ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project: **PROPOSED ALTERATIONS AND ADDITIONS**  
24 ESPLANADE, SEVEN MILE BEACH  
GEORGINA FREEMAN

Drawing: **PROPOSED ELEVATIONS - GYM**  
design:EAST registered trading name for design:EAST Pty. Ltd.

DRG. NO:	5739	A11	DATE:	14.04.26
SCALE:	1:100 @ A3		DRAWN:	EJ

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Tasmania 7000  
Phone (03)6223 6740  
Email design@designeast.com.au  
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Accreditation No. CC191 O

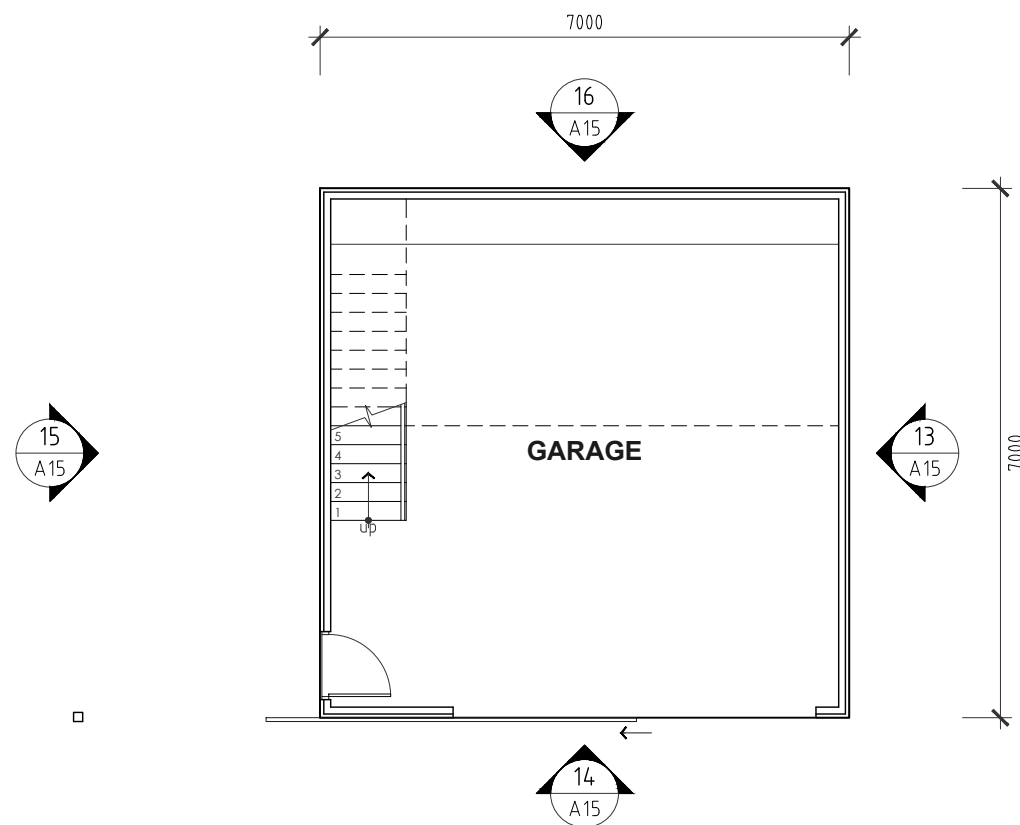
LEGEND	
MARK	DESCRIPTION
	EXISTING WALLS TO BE RETAINED.
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PROPOSED FLOOR AREA - GYM	= ±38 sqm.
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PROPOSED MEZZANINE FLOOR AREA - GARAGE	= ±18 sqm.

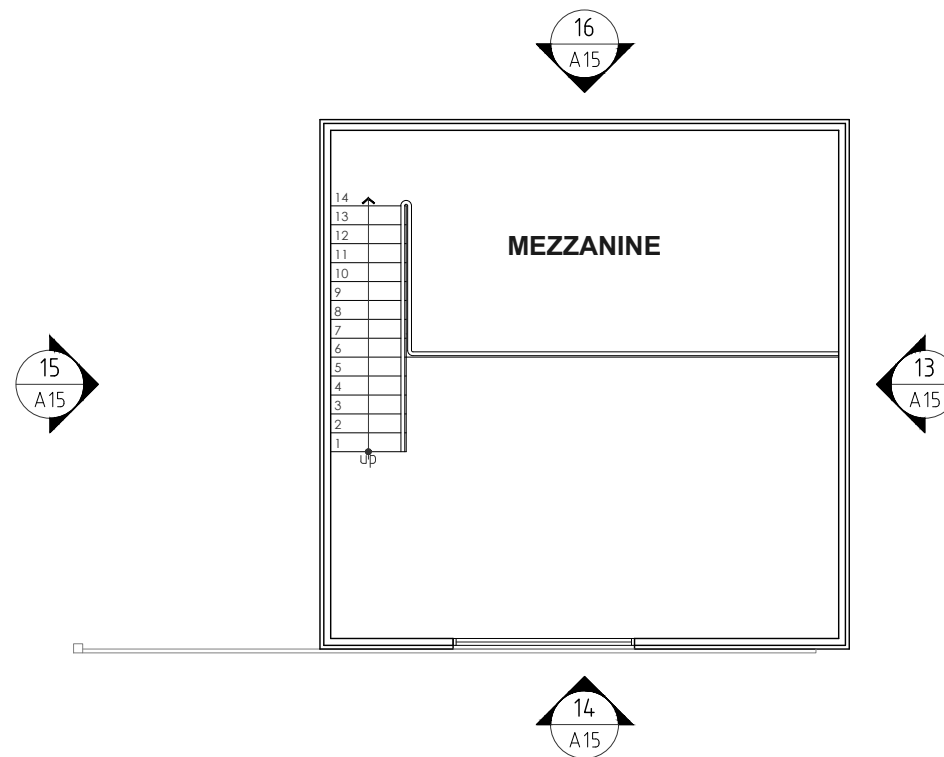
KEY	
MARK	DESCRIPTION
	PHOTOELECTRIC SMOKE ALARM (HARD WIRED) TO COMPLY WITH BCA 3.7.5.2 & AS 3786 (must be interconnected where there is more than one alarm).

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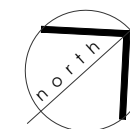
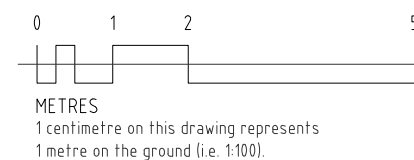
FLOOR FINISHES	
BFC	BROOM FINISHED CONCRETE SURFACE.
CT	CERAMIC TILES AS SELECTED.
CU	CARPET & UNDERLAY AS SELECTED.
DB	DECKING BOARDS AS SELECTED (gaps to suit species).
OSF	OVERLAY TIMBER STRIP FLOORING.



PROPOSED GROUND FLOOR PLAN - GARAGE



PROPOSED MEZZANINE FLOOR PLAN - GARAGE



design

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building design and interior architecture

ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project:	PROPOSED ALTERATIONS AND ADDITIONS 24 ESPLANADE, SEVEN MILE BEACH GEORGINA FREEMAN
Drawing:	PROPOSED FLOOR PLANS - GARAGE

design:EAST registered trading name for design:EAST Pty. Ltd.

DRG. NO:	5739	A14	DATE:	14.04.26
SCALE:	1:100 @ A3		DRAWN:	EJ

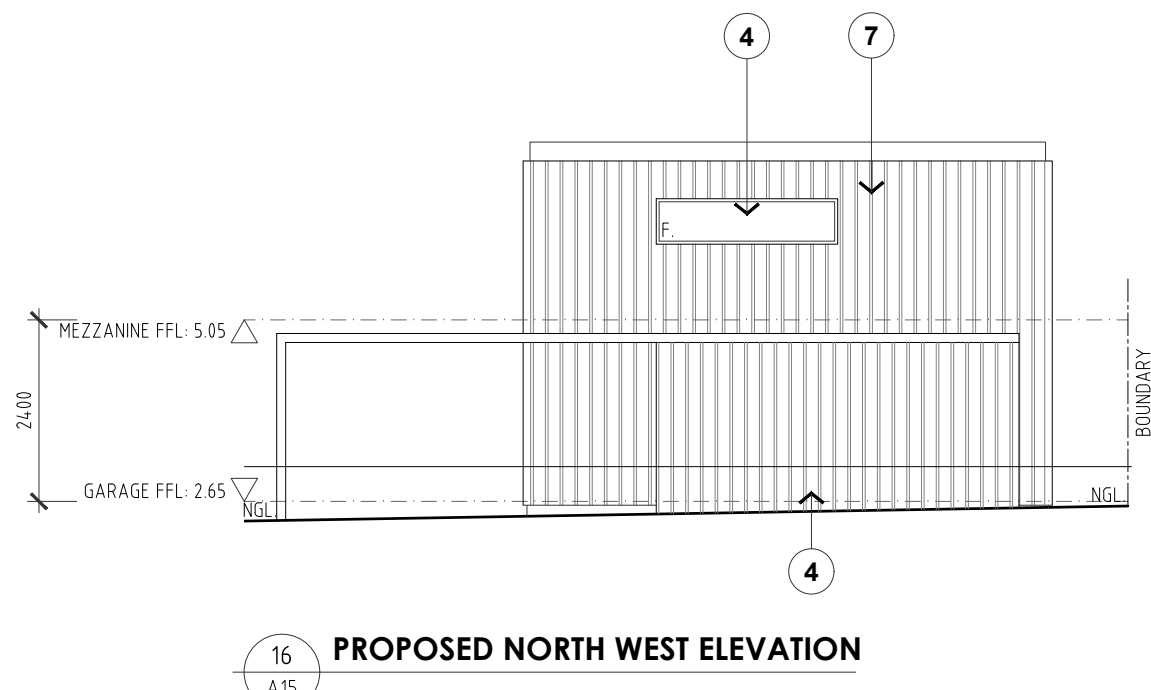
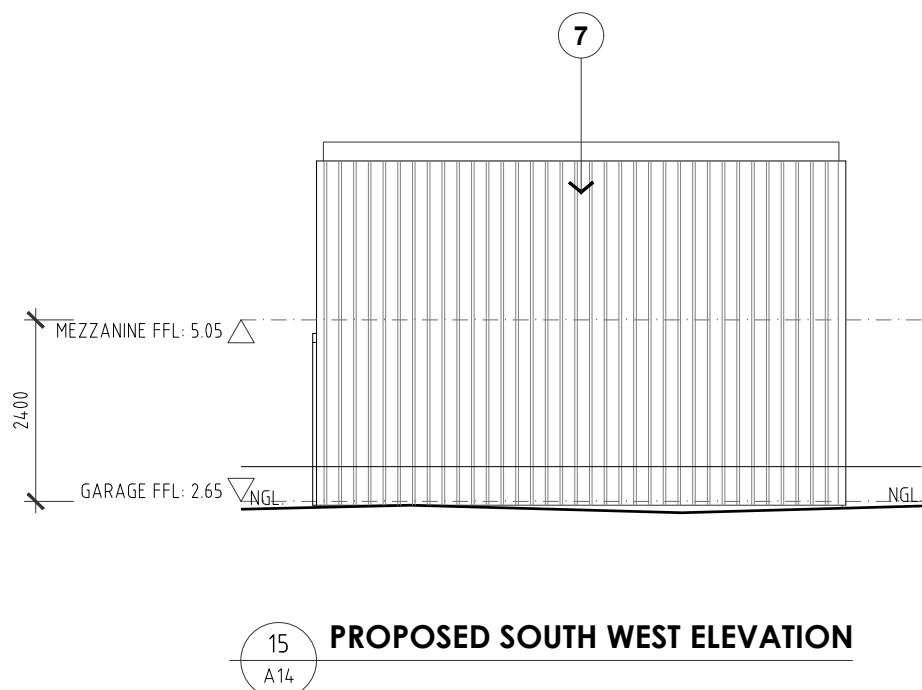
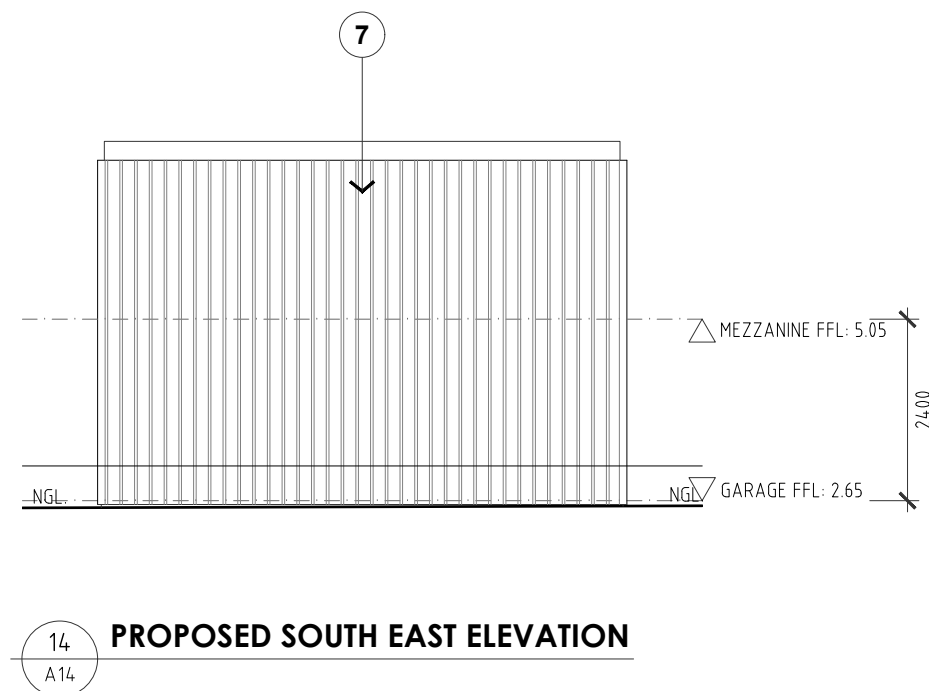
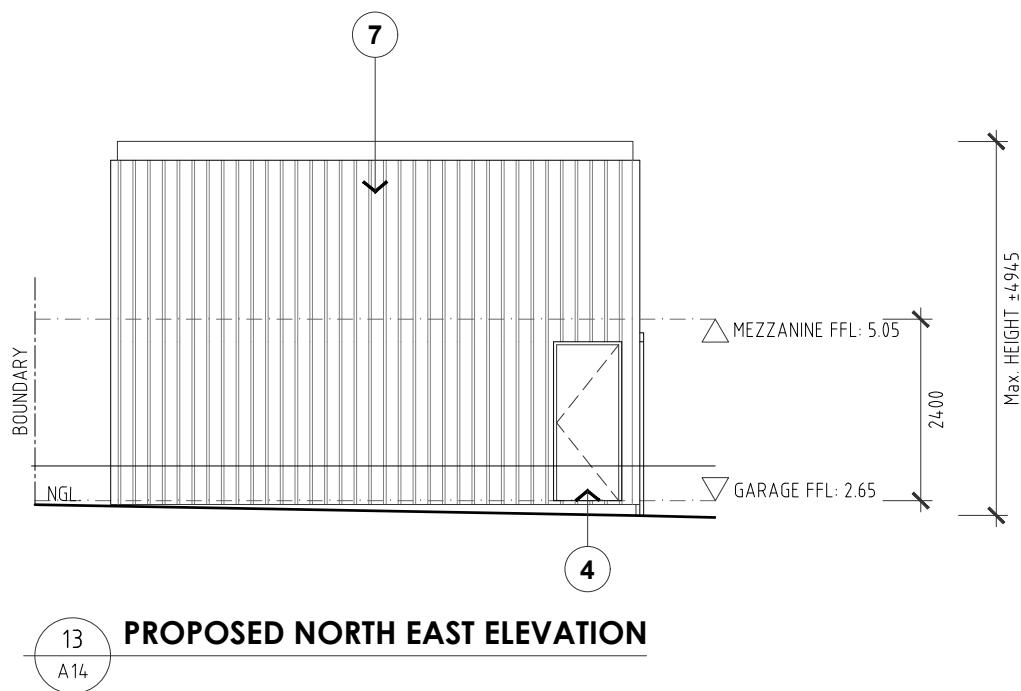
153 Davey Street Hobart Tasmania 7000 Phone (03)6223 6740	Email design@designeast.com.au Web www.designeast.com.au Accreditation No. CC191 O
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EXTERNAL FINISHES

- 1 EXISTING RESIDENCE.
- 2 PROPOSED CONCRETE PANEL WALLS. FINISH: TBC.
- 3 PROPOSED VERTICAL CLAD WALLS. FINISH: PAINT (TBC).
- 4 PROPOSED ALUMINIUM FRAMED DOORS / WINDOWS. FINISH: TBC.
- 5 PROPOSED TIMBER DECK / STAIRS.
- 6 PROPOSED TIMBER BALUSTRADE / SCREEN.
- 7 PROPOSED CORRUGATED WALL CLADDING. FINISH: TBC.
- 8 PROPOSED CORRUGATED SLIDING GARAGE DOOR. FINISH: TBC.

LEGEND

- ex. - EXISTING WINDOW / DOOR.
- A. - AWNING WINDOW.
- F. - FIXED WINDOW.
- GS. - GLAZED SLING DOOR.
- HG. - GLAZED HINGED DOOR.
- H. - DOUBLE HUNG WINDOW.





ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project: PROPOSED ALTERATIONS AND ADDITIONS  
24 ESPLANADE, SEVEN MILE BEACH  
GEORGINA FREEMAN

Drawing: PROPOSED ELEVATIONS - GARAGE  
design:EAST registered trading name for design:EAST Pty. Ltd.

SCALE:	DRG. NO.:	DATE:
1:100 @ A3	5739 A15	14.04.26

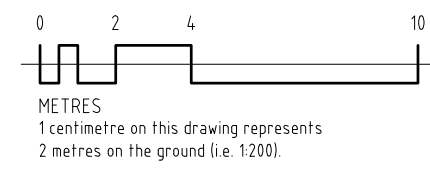
153 Davey Street Hobart  
Tasmania 7000  
Phone (03)6223 6740  
Email design@designeast.com.au  
Web www.designeast.com.au  
Accreditation No. CC191 O

PLUMBING LEGEND	
MARK	DESCRIPTION
	SEWER PIPES TO BE DWV PVC-U CLASS SN6 @ Min. 1.65% (to AS/NZS 1260:2009).
	STORMWATER PIPES TO BE PVC-U Class SN4 @ Min. 1% (to AS/NZS 1254:2010).

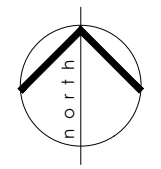
ABSORPTION BED AS PER ON-SITE WASTEWATER REPORT BY ROCK SOLID GEOTECHNICS.

AERATED WASTEWATER TREATMENT SYSTEM AS PER ON-SITE WASTEWATER REPORT BY ROCK SOLID GEOTECHNICS.

 **PROPOSED DRAINAGE PLAN**



PROPOSED STORMWATER TO ACTON CREEK. REFER TO DOYLE SOIL CONSULTING REPORT.



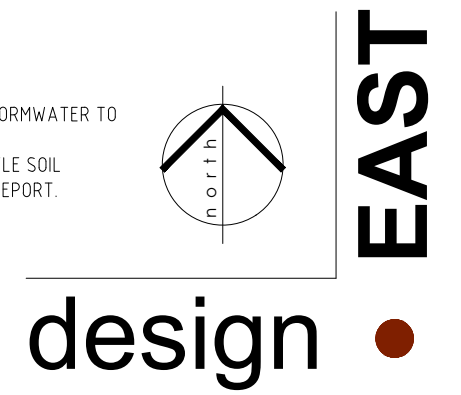
ISSUE	DESCRIPTION	DATE	DRAWN
A	PLANNING SET	14.04.26	EJ

Project: PROPOSED ALTERATIONS AND ADDITIONS  
24 ESPLANADE, SEVEN MILE BEACH  
GEORGINA FREEMAN

Drawing: PROPOSED DRAINAGE PLAN  
design:EAST registered trading name for design:EAST Pty. Ltd.

SCALE:	DRG NO:	DATE:
1:200 @ A3	5739 H01	14.04.26
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building design and interior architecture

26/5/2026

### **Response to Request for Information: Stormwater Discharge Option**

Following the Council's RFI dated 20 April 2026, we confirm **off-site discharge to Acton Creek** as the primary stormwater management strategy for the proposed extension at 24 Esplanade. This option is preferred to on-site absorption due to the high-water table (~1.3–1.4 m) and the limited area available for dispersal, which is also needed for parking. The site is also affected by significant inundation from Council's stormwater system, so on-site detention may be ineffective because the property already experiences surface water flows from an external source.

### **Proposed Stormwater Arrangement**

The design will consolidate proposed roof runoff (catchment area of 320 m<sup>2</sup> into a single DN 150 drainage line (refer to site plan). This line will bypass the alternative proposed onsite absorption bed and discharge from a 400 mm pit located inside the property boundary to a headwall and out into Acton Creek, located to the east, west, and south of the property.

### **Erosion and Scour Protection**

To address concerns regarding potential erosion at the discharge point, the outlet will be constructed with specific scour protection measures:

- **Riprap Protection:** A permanent, erosion-resistant ground cover of hard, angular, weather-resistant stone (riprap) will be installed at the pipe outlet.
- **Gradation:** The riprap will consist of well-graded stone to form a flexible, self-healing mass that adapts to the creek bank surface. Voids will be filled with smaller rocks to create a dense uniform cover.
- **Filter Layer:** A heavy-duty geotextile filter fabric will be placed beneath the riprap to prevent "piping" or soil loss from under the stone.
- **Installation:** The stone surface will be blended smoothly with the surrounding creek bank to ensure no protrusions interfere with the natural flow.

### **Design Specifications**

- Pipe Specifications: DN 150 pipe as per AS3500 and Tasmanian Plumbing Code requirements.
- Hydraulic Capacity: The system is designed to accommodate ARI 1:20 rainfall events based on the IFD data for Seven Mile Beach.
- Headwall Construction: The outlet will utilize a standard concrete endwall with appropriate grout or rock pitching to secure the interface between the pipe and the creek bank.

### **Pipe Outlet and Headwall:**

The DN150 (150 mm diameter) PVC pipe runs underground from the roof gutter areas to a 400 mm pit inside the site boundary. From there it flows to a headwall.

Position the headwall approximately 1 m back from the creek bank, dig no more than 200 mm below the pipe to install a precast concrete headwall structure embedded securely into the bank. Place geofabric around the base of the excavation.

The headwall will be approximately 800-900 mm wide and 500-700 mm tall, flush with the bank's slope. Refer to Tasmanian Municipal Standard Drawings (v3, Dec 2020) specifically TSD-SW17.

The pipe protrudes slightly (about 10–20 cm) beyond the headwall to direct flow away from the bank.

The headwall anchors the pipe and protects soil around the outlet from scour and erosion.

### **Riprap Protection:**

Around the pipe outlet and extending downstream for around 1 metre, place riprap, which consists of well-graded, angular stones roughly 100–300 mm in diameter.

Riprap covers the soil surface to dissipate energy from the flowing water, preventing erosion. The riprap bed should extend upstream slightly onto the bank (around 1 m) and downstream into the creek bed.

Before placing riprap, lay a geotextile fabric on the soil surface to prevent soil from washing through the stones.

**Bank and Site Preparation:**

Excavate approximately 1 m back from the bank and grade the bank gently to accommodate the headwall and riprap.

Avoid steep slopes exceeding 1:3 (vertical: horizontal) near the outlet to prevent instability.

Ensure the pipe outlet angle guides water into the creek without forcing excessive turbulence against the bank.

Plant *Lomandra*, commonly known as mat-rush or sagg or similar plants, to further protect and stabilise the bank.

**Additional Measures:**

Inspect and maintain the riprap and outlet periodically, especially after heavy rain events.

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