



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/059001

PROPOSAL: Dwelling & Secondary Residence

LOCATION: 41 Germain Court, Sandford

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 06/07/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 06/07/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 06/07/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New dwelling and secondary residence

Location:

Address..... 41 Germain Court

Suburb/Town Sandofrd

Postcode 7020

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site: Vacant

Vacant

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 153966	FOLIO 12
EDITION 8	DATE OF ISSUE 05-Aug-2024

SEARCH DATE : 25-Feb-2025

SEARCH TIME : 12.09 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 12 on Sealed Plan 153966
 Derivation : Part of 100 Acres Gtd. to Charles Dowling and
 Part of 57A-0R-0Ps. Gtd. to Mary Germain. and Part of 99 Acres
 Gtd to John Easy
 Prior CTs 151313/1 and 150201/1

SCHEDULE 1

N204866 TRANSFER to TAYLOR JOHN WRIGHT and BRITTANY ELLEN
 SLATER Registered 05-Aug-2024 at 12.01 PM

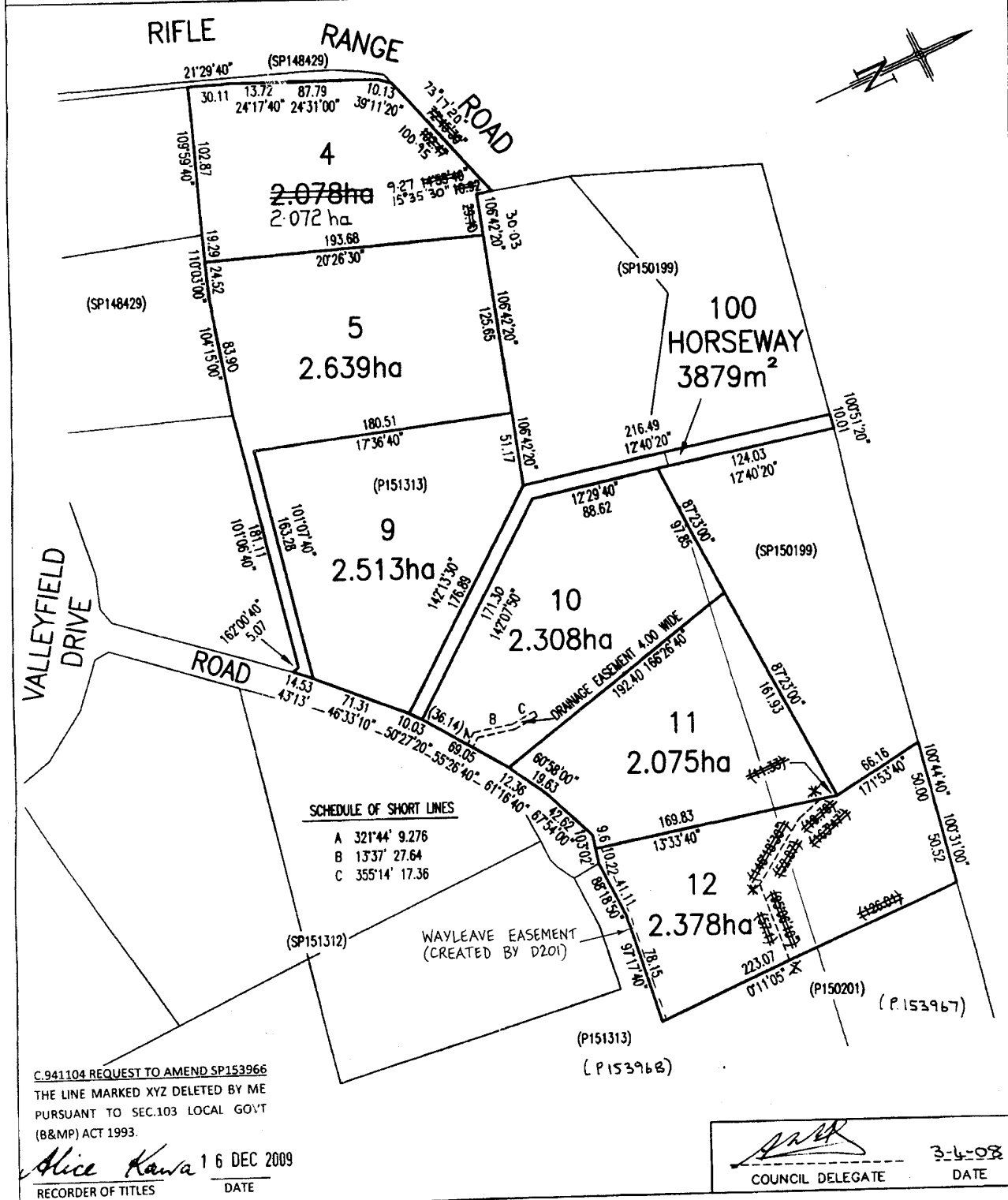
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP 153966 COVENANTS in Schedule of Easements
 SP 153966 FENCING PROVISION in Schedule of Easements
 D201 BURDENING WAYLEAVE EASEMENT with the benefit of a
 restriction as to user of land in favour of Aurora
 Energy Pty Ltd over the Wayleave Easement on Sealed
 Plan 153966 (subject to provisions) Registered
 26-May-2011 at noon
 C208023 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 02-Dec-1999 at noon
 E389446 MORTGAGE to Westpac Banking Corporation Registered
 05-Aug-2024 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

NOTICE: This folio is affected as to amended covenants
 pursuant to Request to Amend No. C941104 made under
 Section 103 of the Local Government (Building and
 Miscellaneous Provisions) Act 1993. Search Sealed
 Plan No. 153966 Lodged by DOBSON MITCHELL on
 02-Dec-2009 BP: C941104

OWNER VALLEYFIELD DEVELOPMENTS PTY LTD FOLIO REFERENCE CT151313-1 OWNER A & SA WARD FOLIO REFERENCE CT150201-1 GRANTEE : PART OF 100 ACRES GTD. TO CHARLES DOWLING AND PART OF 57A-OR-OP GTD. TO MARY GERMAIN AND PART OF 99 ACRES GTD. TO JOHN EASY		PLAN OF SURVEY BY SURVEYOR TIMOTHY W COX of NOEL LEARY & ASSOC. 132 DAVEY STREET HOBART 7000 LOCATION CITY OF CLARENCE SCALE 1: 2500 LENGTHS IN METRES		REGISTERED NUMBER SP153966
MAPSHEET MUNICIPAL CODE No.107 (5174-35.45)		LAST G.G.993 UPI No. C.P.T.58	LAST PLAN No. P150201 P151313	APPROVED EFFECTIVE FROM 23 MAY 2008 <i>Alice Kawa</i> Recorder of Titles
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN				



<p align="center">SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p align="center">Registered Number</p> <p align="center" style="font-size: 2em;">SP. 153966</p>
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PAGE 1 OF 2 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Definitions

“The Vendor” means Valleyfield Developments Pty Ltd.

“The balance” means the balance of the land comprised and contained in folio of the Register Volume 151313 Folio 1 excluding the land in the Plan.

Easements

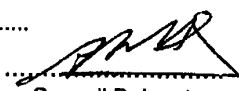
Lot 10 is subject to a right of drainage in favour of Clarence City Council over the drainage easement 4.00m wide shown on the plan.

Covenants

The Owners of Lots 4, 5, 9, 10, 11 and 12 on the Plan covenant with the Vendor, the Clarence City Council and the owners for the time being of every other Lot shown on the Plan and of the balance to the intent that the burden of this covenant may run with and bind the Covenantor’s Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the Plan and with the balance and the said Clarence City Council to observe the following stipulations:-

- 1. Not without the consent of the Clarence City Council to undertake works on any of such lots including works which involve changes in the topography of such Lot or removal, destruction or lopping of trees other than in accordance with plans approved by Clarence City Council.
- 2. Not to undertake the burning of accumulated vegetation, building debris or other rubbish at any point on any such Lot which is within 500m of a dwelling or within such other distance as is approved by Clarence City Council.
- ~~3. Not, on Lot 12 on the Plan to construct any building to the North of the line XYZ marked on the Plan.~~

(USE ANNEXURE PAGES FOR CONTINUATION)

<p>SUBDIVIDER: Valleyfield Developments Pty Ltd</p> <p>FOLIO REF: 148886/1</p> <p>SOLICITOR & REFERENCE: J S Breheny</p>	<p>PLAN SEALED BY: Clarence City Council</p> <p>DATE: 3-4-2008.....</p> <p>SD-2005/141..</p> <p align="center">REF NO. </p> <p align="center">Council Delegate</p>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

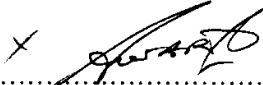
Covenant No 3 heron deleted by me pursuant to Request to Amend No. C941104 made under Section 103 of Local Government (Building & Miscellaneous Provisions) Act 1993
16/12/2009
Alice Kenna
Recorder of Titles

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 2 PAGES	Registered Number SP 153966
SUBDIVIDER: Valleyfield Developments Pty Ltd FOLIO REFERENCE: 148886/1	


Fencing Provision

In respect of each Lot on the Plan the Vendor shall not be required to fence.

EXECUTED by **VALLEYFIELD DEVELOPMENTS**)
PTY LTD pursuant to Section 127 of the Corporations Act)
 By the directors:-)

X 

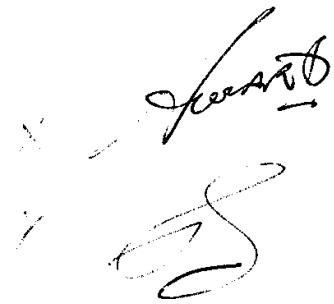
 Director - Stephen Anthony Ward

X 

 Director/Secretary: - Anne Ward

SIGNED BY STEPHEN ANTHONY WARD AND ANN WARD in the presence of

J. S. Breheny
 Solicitor entitled to practise
 in the Federal Court

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

P I N N A C L E

PINNACLE



Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.












41 Germain Court, Sandford - 7020

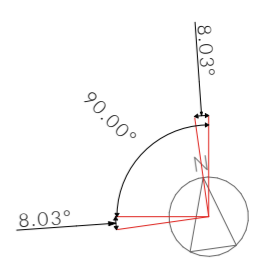
Owner(s) or Clients	TaylorWright & Brittany Slater	Title Reference	153966/12
Building Classification	1a	Zoning	Rural Living
Designer	Jason Nickerson CC6073Y	Land Size	2.378m ²
Total Floor Area (Combined)	256.50m ²	Design Wind Speed	TBA
Alpine Area	N/A	Soil Classification	TBA
Other Hazards	Safeguarding of Airports Code, Bushfire Prone Areas,	Climate Zone	7
<small>(e.g. High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)</small>		Corrosion Environment	Low
		Bushfire Attack Level (BAL)	12.5

Changes List			
ID	Description of change	Date Changed	Designer
Ch - 01	Update driveway drainage	25/02/2026	JM
Ch - 02	Client Changes	29/05/2026	JM

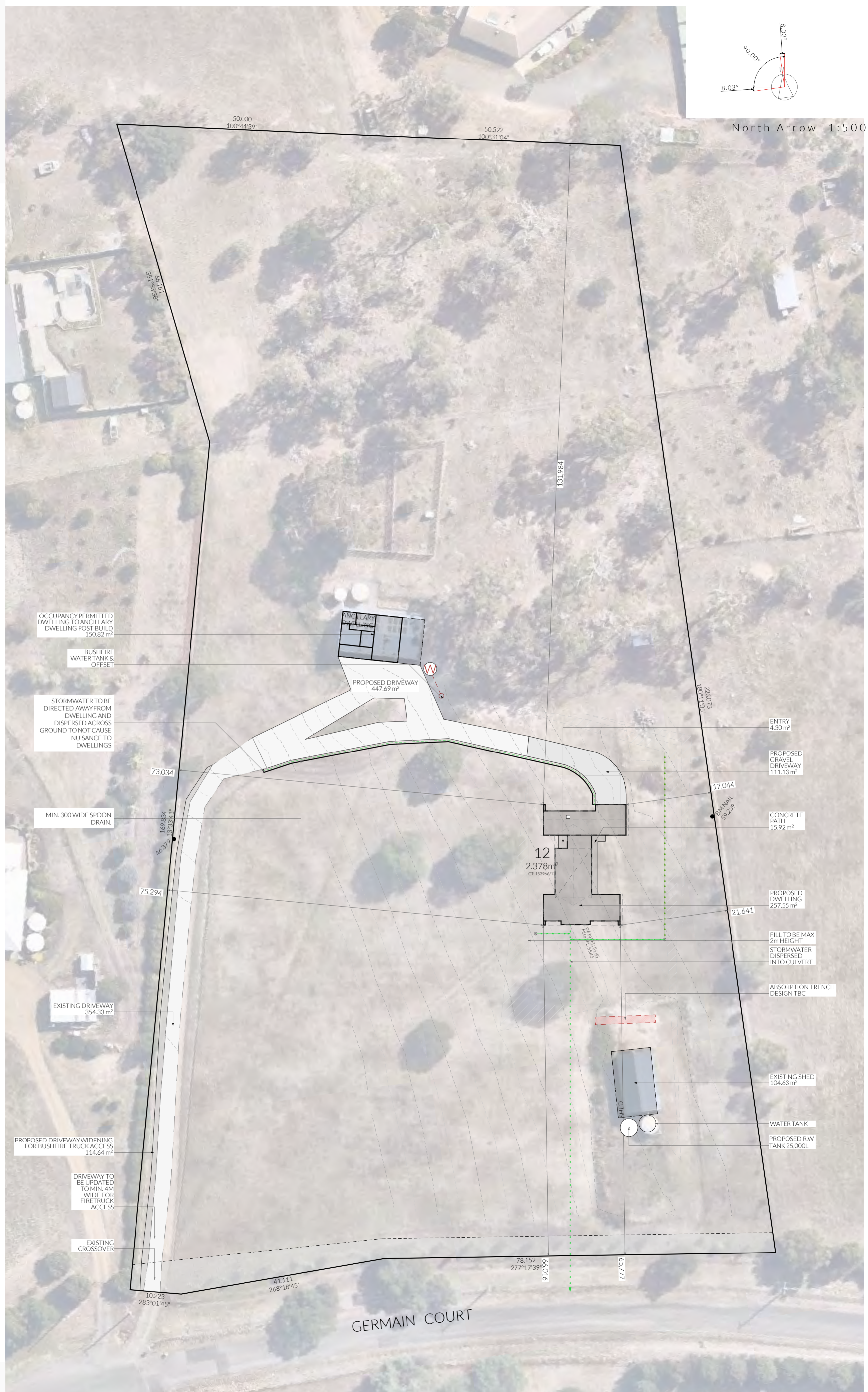
ID	Sheet Name	Issue
A.01	Location Plan	DA - 02
A.02	Site Plan	DA - 02
A.03	Ancillary Dwelling	DA - 02
A.04	Floor Plan	DA - 02
A.05	Elevations	DA - 02
A.06	Roof Plan	DA - 02
A.07	Electrical Plan	DA - 02

Legend

-  - Electrical Connection
-  - Electrical Turret
-  - Sewer Connection
-  - Stormwater Connection
-  - Telstra Connection
-  - Telstra Pit
-  - Water Meter
-  - Water Stop Valve
-  - Fire Hydrant
-  - Solar Bollard Light
-  - Spotlight with sensor



North Arrow 1:500



Site Areas

Site Area	2.378ha
Combined Building Footprint	513.05m²
Total Site Coverage	2.16%



PINNACLE DRAFTING & DESIGN
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 03 6248 4218
 admin@pinnacledrafting.com.au
 www.pinnacledrafting.com.au
 Licence: CC6073Y

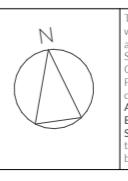
Location Plan
 Revision: DA - 02
 Approved by: JRN

Scale: 1:500 @A3
 Pg. No: A.01

Proposal: Proposed Dwelling
 Client: Taylor Wright & Brittany Slater
 Address: 41 Germain Court, Sandford - 7020

Date: 26.11/2025
 Drawn by: JRM
 Job No: 013-2025
 Engineer: TBA
 Building Surveyor: TBA

ID	Date	Designer



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Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (i) 25mm over the first 1m from the building (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with-
 - (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and
 - (ii) provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

Survey Notes from Surveyor

NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

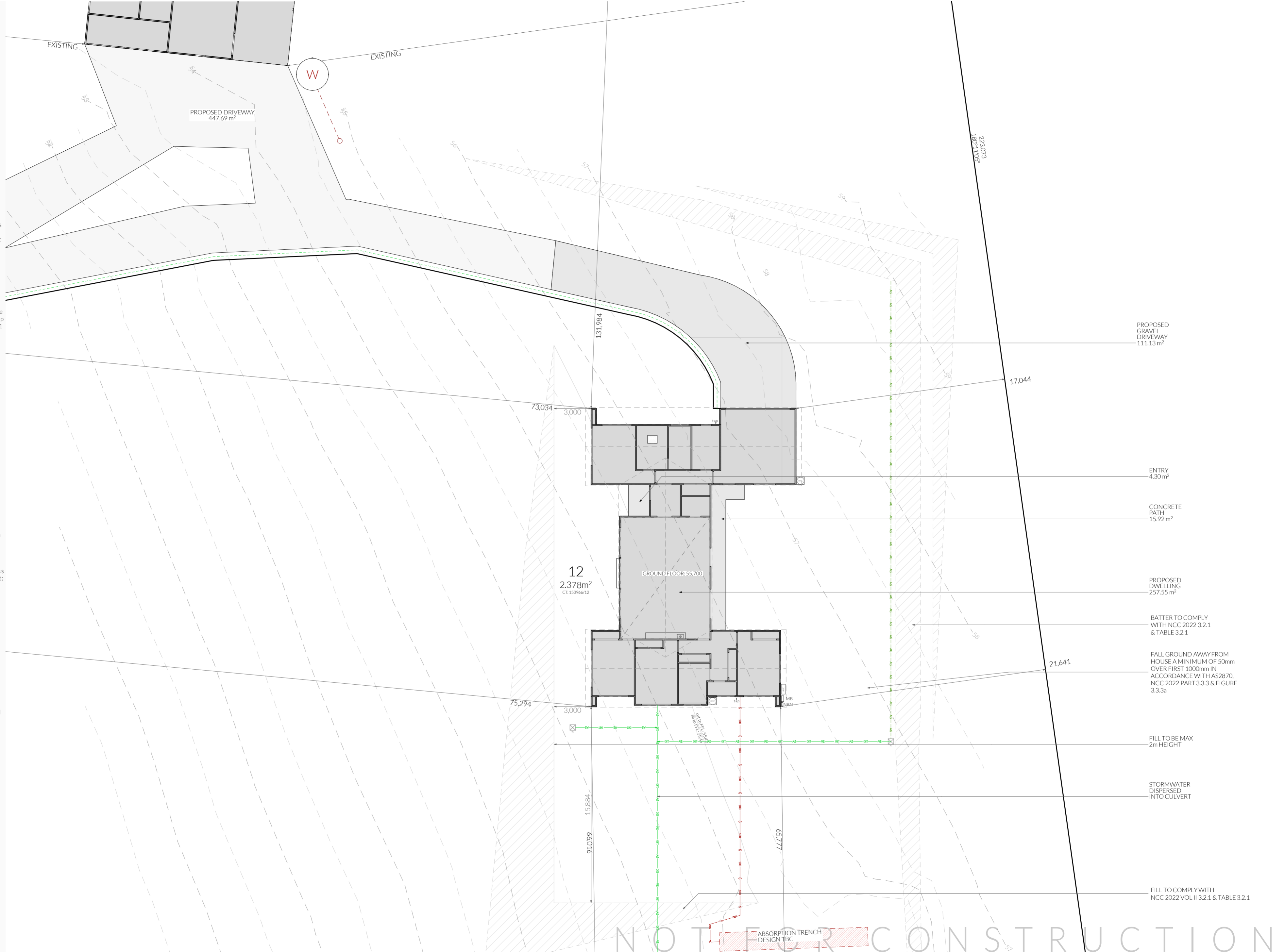
The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical: AHD per SPM9619 with reputed AHD level of 40.057 from SURCOM on 03/10/25

At the time of this survey, CT.153966/12 was owned by TAYLOR JOHN WRIGHT & BRITTANY ELLEN SLATER
Date of Survey: 02/10/2025



PINNACLE

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7/3 Abernant Way, Cambridge 7170
03 6248 4218
admin@pinnacle drafting.com.au
www.pinnacle drafting.com.au
Licence: CC6073Y

Site Plan

Revision: DA - 02
Approved by: JRN

Scale: 1:200 @ A2
Pg. No: A.02

Proposal: Proposed Dwelling
Client: Taylor Wright & Brittany Slater
Address: 41 Germain Court, Sandford - 7020

Date: 26.11.2025
Drawn by: JRM
Job No: 013-2025
Engineer: TBA
Building Surveyor: TBA

ID	Date	Designer

NOTE: Refer to cover page for further details on changes.




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bdgg
BUILDING DESIGN GROUP
ASSOCIATION OF AUSTRALIA

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than:
 (a) in a *habitable room* excluding a kitchen - 2.4 m; and
 (b) in a kitchen - 2.1 m; and
 (c) in a corridor, passageway or the like - 2.1 m; and
 (d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
 (e) in a room or space with a sloping ceiling or projections below the ceiling line within - See NCC directly for these items
 (f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.

-  Access Panel
-  Articulation Joint
-  Smoke Alarm

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -
 . open outwards; or
 . slide; or
 . be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

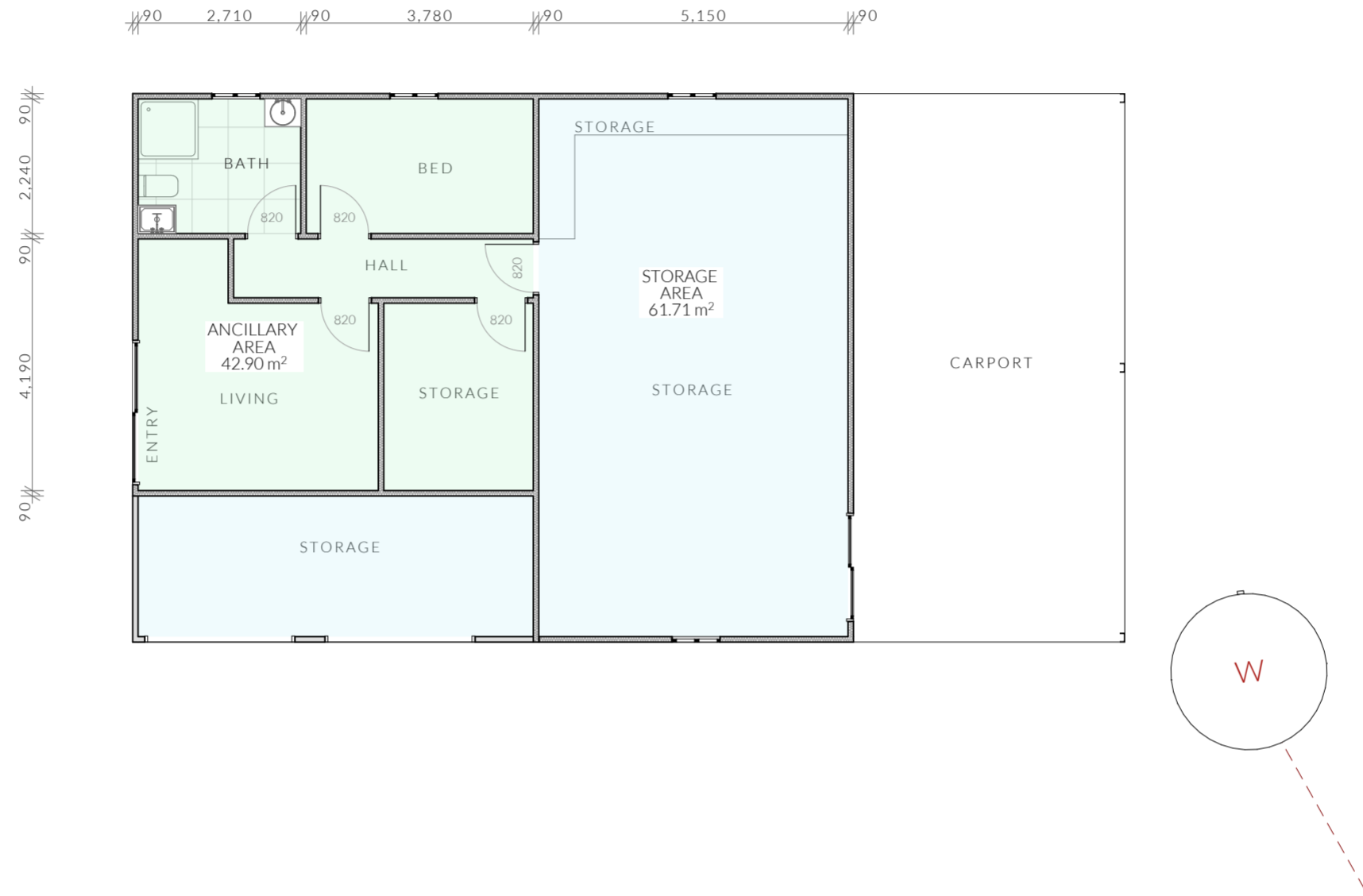
All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:
 Riser: Min 115mm - Max 190mm
 Going: Min 240mm - Max 355mm
 Slope (2R+G): Max 550 - Min 700
 For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.



Ancillary Dwelling

1:100



Shed Site Plan

1:200

NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernart Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC.6073Y	Ancillary Dwelling Revision: DA - 02 Approved by: JRN	Scale: 1:100, 1:200 Pg. No: A.03	Proposal: Proposed Dwelling Client: Taylor Wright & Brittany Slater Address: 41 Germain Court, Sandford - 7020	Date: 26.11/2025 Drawn by: JRM Job No: 013-2025 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>ID</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	ID	Date	Designer				These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly prohibited without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Liable Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any order, work or requesting any building approvals. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, omissions, or variations caused by contractors and builders not following colour printed plans.	
	ID	Date	Designer											
Document Set ID: 5983696 Version: 1, Version Date: 05/06/2026														

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than:
 (a) in a habitable room excluding a kitchen - 2.4 m; and
 (b) in a kitchen - 2.1 m; and
 (c) in a corridor, passageway or the like - 2.1 m; and
 (d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
 (e) in a room or space with a sloping ceiling or projections below the ceiling line within - See NCC directly for these items
 (f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.

- Access Panel
- Articulation Joint
- Smoke Alarm

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -
 · open outwards; or
 · slide; or
 · be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

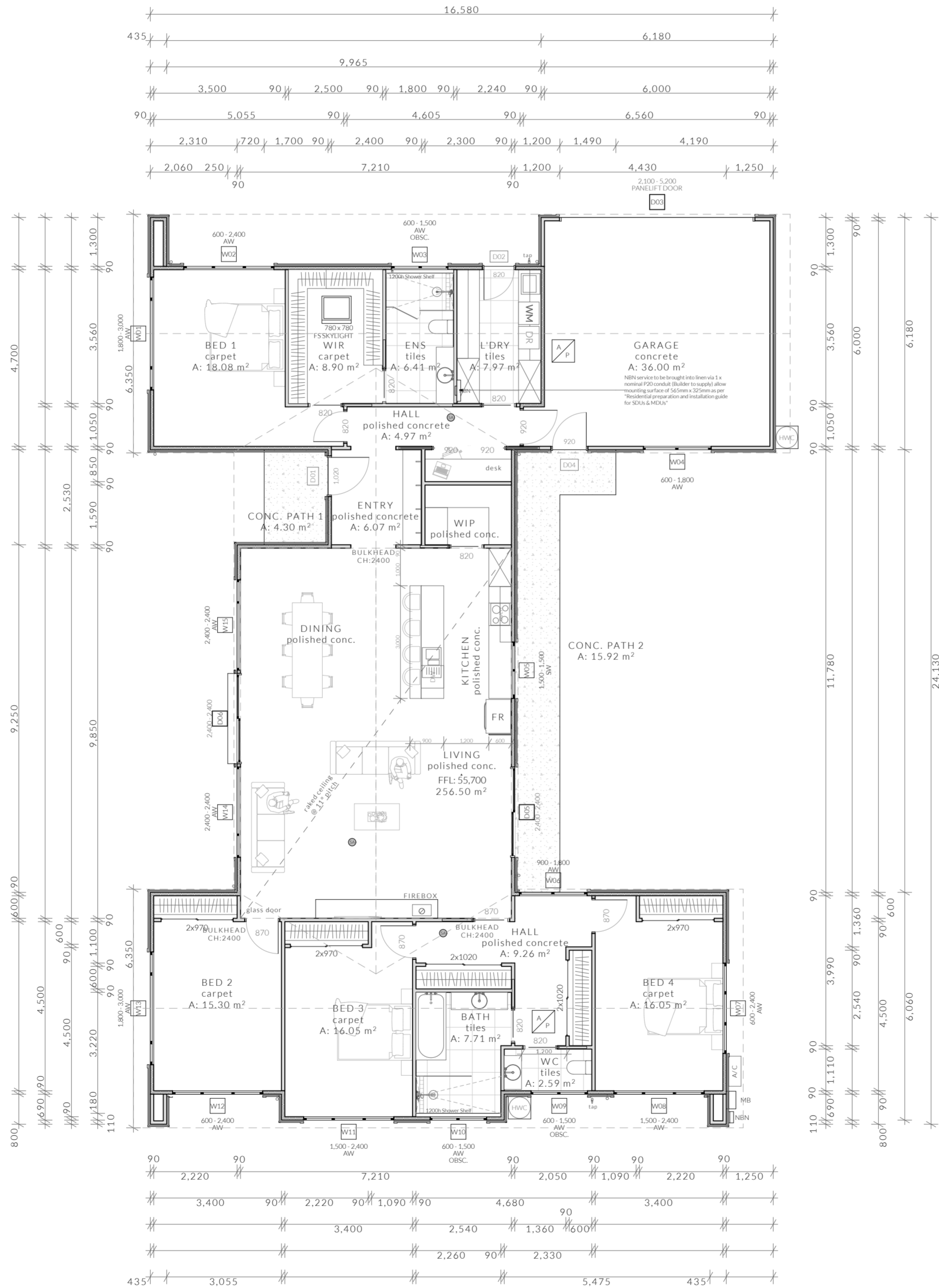
All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:
 Riser: Min 115mm - Max 190mm
 Going: Min 240mm - Max 355mm
 Slope (2R+G): Max 550 - Min 700
 For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

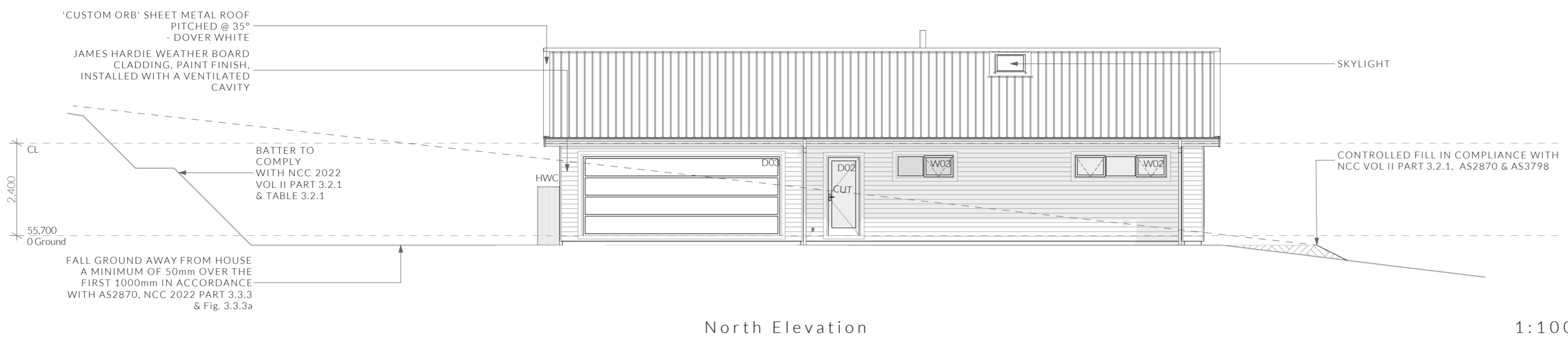


Floor Areas

Total Floor Area	256.50m ²
Conc. Path	20.22m ²

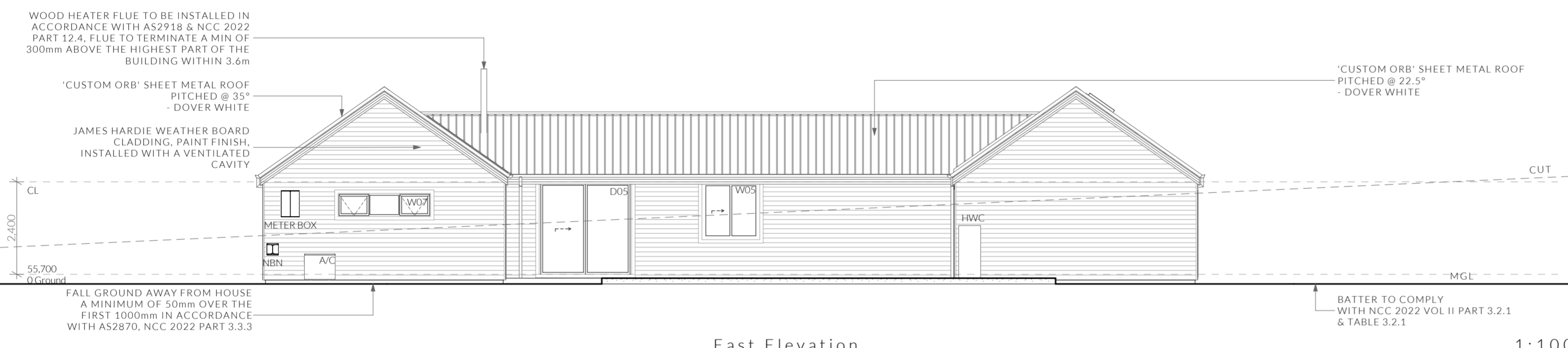
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PINNACLE	PINNACLE DRAFTING & DESIGN 7/3 Abernart Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Floor Plan	Scale: 1:100 @A3 Pg. No: A.04	Proposal: Proposed Dwelling Client: Taylor Wright & Brittany Slater Address: 41 Germain Court, Sandford - 7020	Date: 26.11/2025 Drawn by: JRM Job No: 013-2025 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>ID</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	ID	Date	Designer					These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly prohibited without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Liable Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any order, works or reporting including stop it aways. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting & Design Pty Ltd is not responsible for any errors, omissions, or variations caused by contractors and builder not following colour printed plans.
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North Elevation

1:100



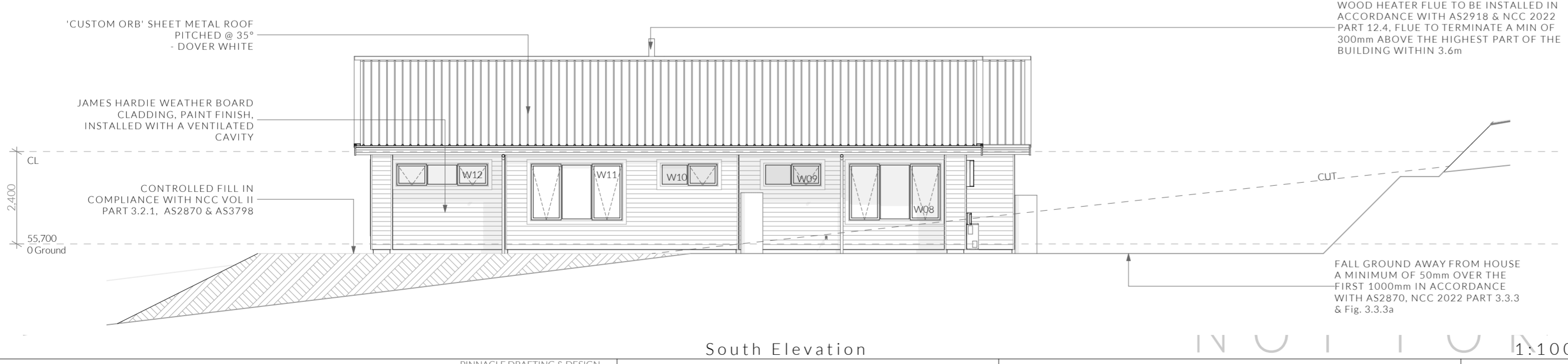
East Elevation

1:100



West Elevation

1:100



South Elevation

1:100

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.
U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.
As per NCC parts 11.3.7 and 11.3.8.
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.
All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

Important Note
- Glazing to be Reduced- or low-reflectivity glass (0-10% reflectivity) wherever possible. Alternative options are set out in Section 4.2.3 Bird-friendly applications: micro scale of the Minimizing the Swift Parrot Collision Threat where unable to meet the reduced or low-reflectivity glass option.
Some of these examples are:
• installing internal screens as close to the glass as possible so as to maximise the noise projected through the window
• attaching external screens to operable windows; (applicable in bushfire prone areas)
• attaching exterior decorative grilles, provided the sections are less than 28 cm wide (10 cm/handprint width being optimal);

IN U I O N CONSTRUCTION

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admin@pinnacle drafting.com.au
www.pinnacle drafting.com.au
Licence: CC6073Y

Elevations
Scale: 1:100 @ A2
Pg. No: A.05
Revision: DA - 02
Approved by: JRN

Proposal: Proposed Dwelling
Client: Taylor Wright & Brittany Slater
Address: 41 Germain Court, Sandford - 7020

Date: 26.11/2025
Drawn by: JRM
Job No: 013-2025
Engineer: TBA
Building Surveyor: TBA

ID	Date	Designer

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Ventilation of roof spaces NCC 2022
Part 10.8.3

- A roof must have a roof space that-
- (a) is located-
 - (i) immediately above the primary insulation layer; or
 - (ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
 - (b) has a height of not less than 20 mm; and
 - (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii) located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

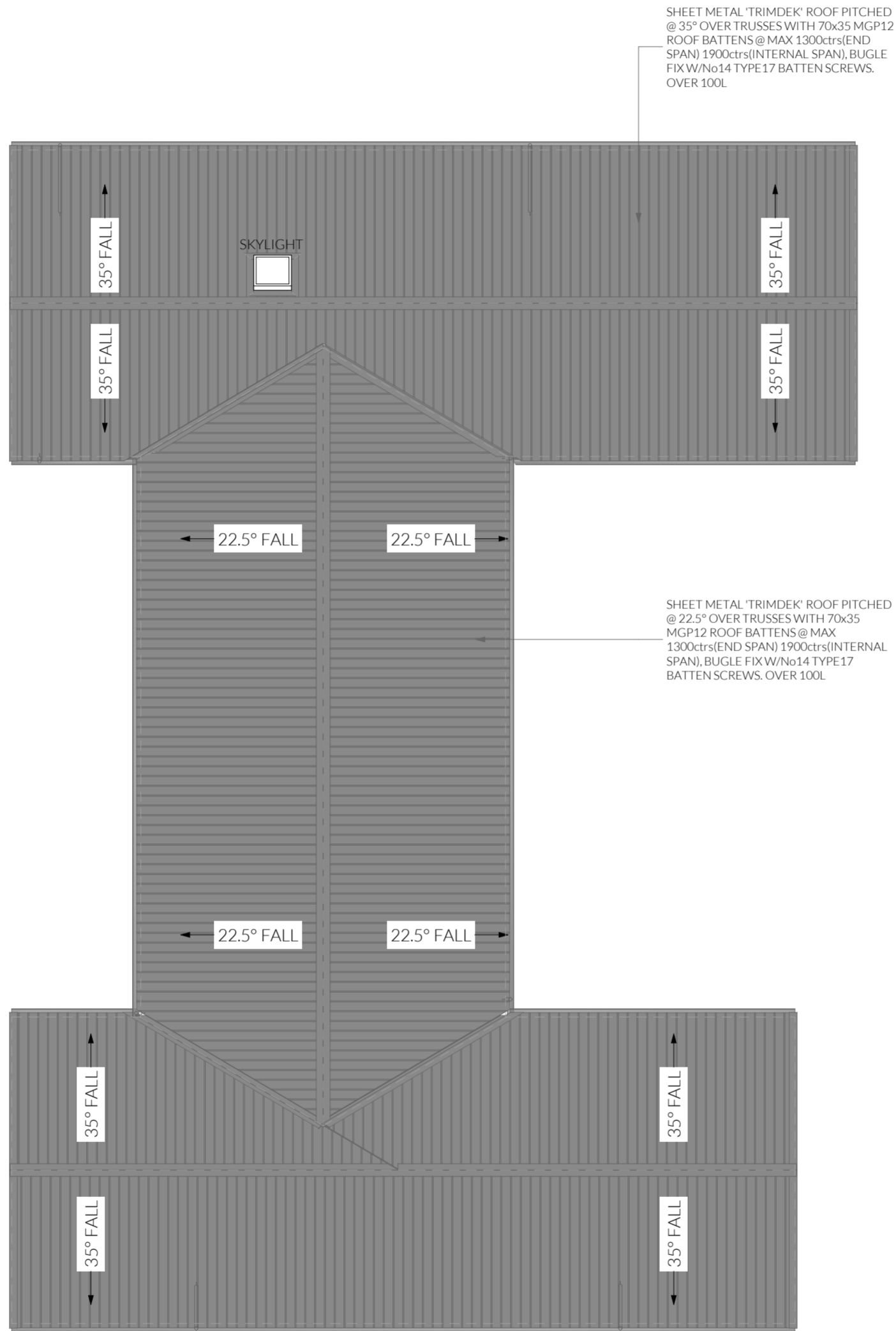
Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 x 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

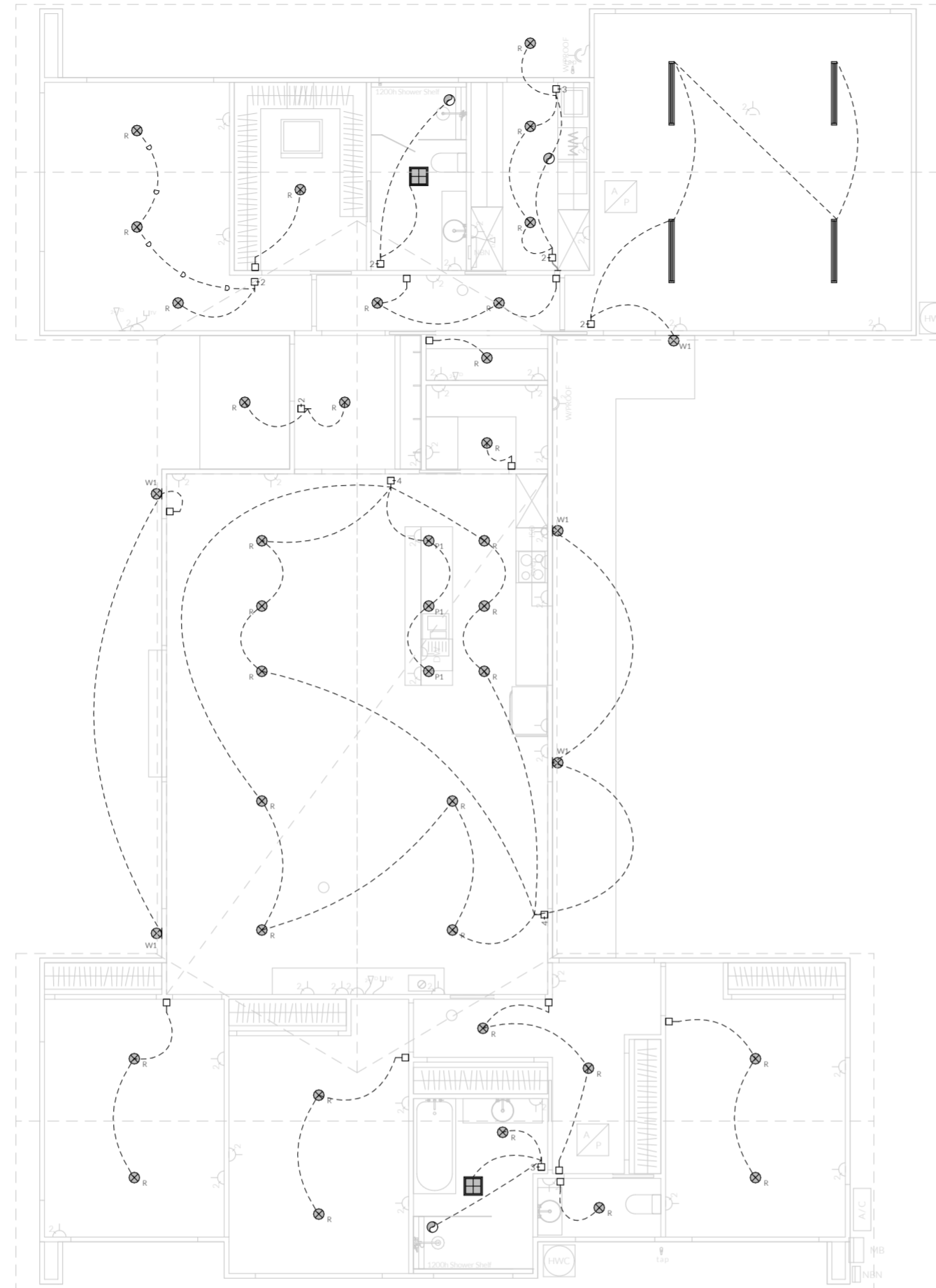


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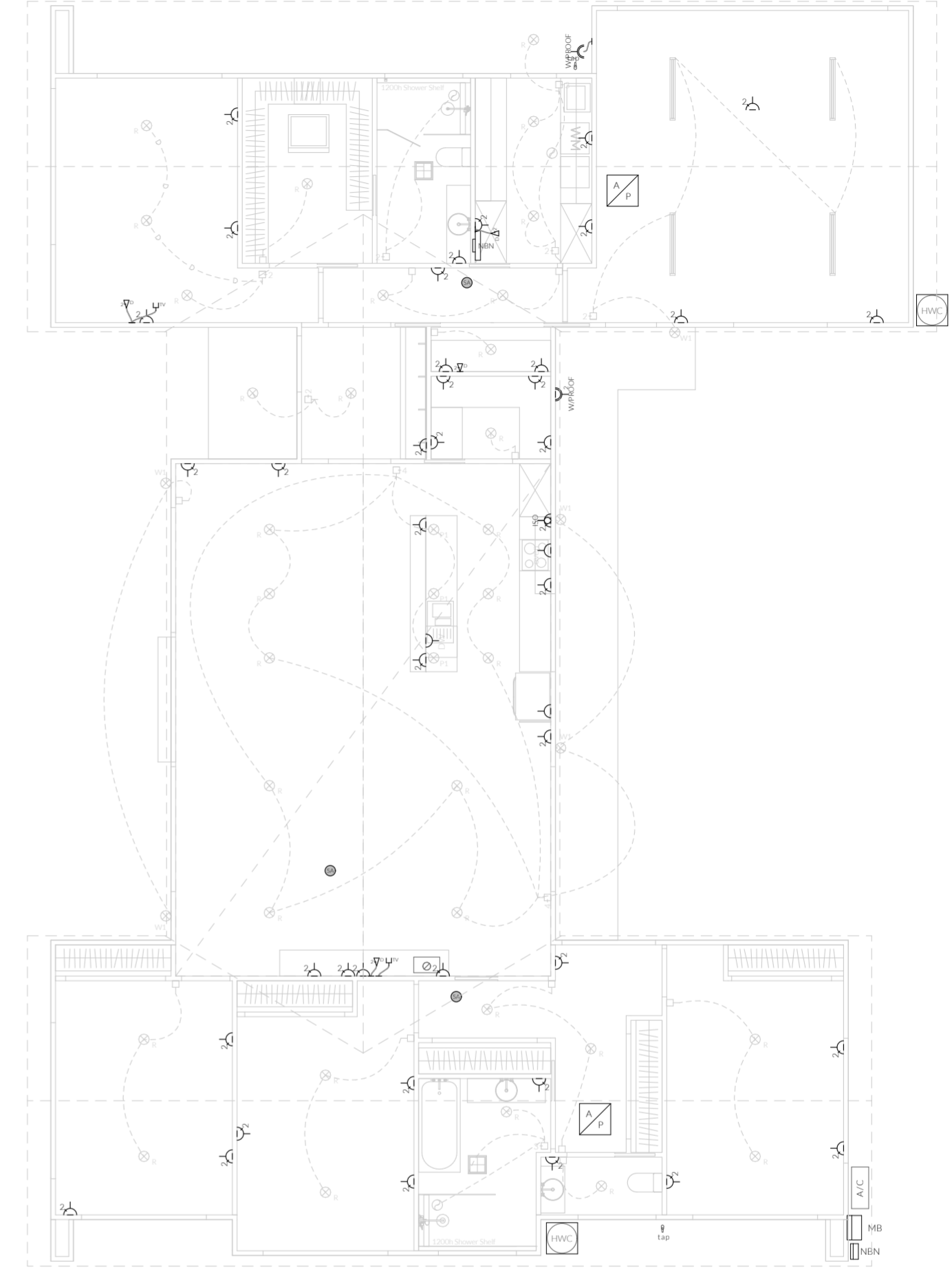
	PINNACLE DRAFTING & DESIGN 7/3 Abernart Way, Cambridge 7170 03 6248 4218 admin@pinnaclecrafting.com.au www.pinnaclecrafting.com.au Licence: CC.6073Y	Roof Plan Revision: DA - 02 Approved by: JRN	Scale: 1:100 @ A3 Pg. No: A.06	Proposal: Proposed Dwelling Client: Taylor Wright & Brittany Slater Address: 41 Germain Court, Sandford - 7020	Date: 26.11/2025 Drawn by: JRM Job No: 013-2025 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>ID</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	ID	Date	Designer				These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction is whole or part is strictly prohibited without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Liable Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any work or request for pricing. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, omissions, or variations caused by contractors and builders not following colour printed plans.	
	ID	Date	Designer											
Document Set ID: 5983696 Version: 1, Version Date: 05/06/2026	NOTE: Refer to cover page for further details on changes.													

ELECTRICAL LEGEND -

Symbol	Description	Allowance	Quantity
▽	DATA- CAT 6 (RJ45) - 2 GANG		4
□	DATA- TV CONNECTION		2
⊞	FAN- 3 IN 1 (4 LAMP)	10W (LIGHT)	2
⊞	FAN- CEILING - EXHAUST		3
⊞	GPO - (1) SINGLE		3
⊞	GPO - (2) DOUBLE		40
⊞	GPO - (2) DOUBLE (WITH COOKTOP-ISOLATOR SWITCH)		1
⊞	GPO - WEATHER PROOF DOUBLE		2
⊞	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	33
⊞	LIGHT - CEILING - LED BATTEN	20W	4
⊞	LIGHT - CEILING - PENDANT - TYPE 1	10W	3
⊞	LIGHT - WALL MOUNTED - TYPE 1	10W	5
⊞	SERVICE - SMOKE ALARM		3
⊞	SWITCH - LIGHT 1 GANG		12
⊞	SWITCH - LIGHT 2 GANG		5
⊞	SWITCH - LIGHT 3 GANG		2
⊞	SWITCH - LIGHT 4 GANG		2



Electrical Plan - Lower - Light/Reflected Ceiling



Electrical Plan - Lower - Power

Smoke Alarms Part 9.5 of NCC 2022

Smoke alarms must-
 (a) be located in-
 (i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and
 (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4; and

(b) comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
 (c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-
 (a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
 (b) each other storey not containing bedrooms.

Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:
 (a) Where a smoke alarm is located on the ceiling it must be-
 (i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and
 (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
 (b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Note: Exhaust Fans

Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have:

- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-
 (a) 25 L/s for a bathroom or sanitary compartment; and
 (b) 40 L/s for a kitchen or laundry.
- Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
- Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
- An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-
 (a) be interlocked with the room's light switch; and
 (b) include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:
 5W/m² in class 1a dwellings
 4W/m² to veranda, balcony or the like
 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space

Notes

U.N.O ceilings are to be plasterboard.

- o---o--- Dimmable Circuit
- t---t--- Timer Circuit(as fan note)
- PB - Plasterboard
- CS - Cement Sheet Eaves
- PW - Plywood Ceiling
- TB - Timber Batten Ceiling

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Electrical Plan
 Scale: @A2
 Pg. No: A.07
 Revision: DA - 02
 Approved by: JRN

Proposal: Proposed Dwelling
 Client: Taylor Wright & Brittany Slater
 Address: 41 Germain Court, Sandford - 7020

Date: 26.11.2025
 Drawn by: JRM
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bdgg
 BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

30 April 2026

Personal Information Removed

RE: 41 Germain Court Sanford – Proposed dwelling - Noise report

Spoke Acoustics has reviewed the proposed dwelling in accordance with the City of Clarence Council's request to assess it under Clause 9.5.2, P1 of the Tasmanian Planning Scheme - State Planning Provisions. The P1 Performance Criteria requires the following:

Sensitive use within an attenuation area, must not interfere with or constrain an existing activity listed in Tables C9.1 or C9.2, having regard to:

(a) the nature of the activity with potential to cause emissions including:

(i) operational characteristics of the activity;

(ii) scale and intensity of the activity; and

(iii) degree of hazard or pollution that may be emitted from the activity;

(b) the nature of the sensitive use;

(c) the extent of encroachment by the sensitive use into the attenuation area;

(d) measures in the design, layout and construction of the development for the sensitive use to eliminate, mitigate or manage effects of emissions of the activity;

(e) any advice from the Director, Environment Protection Authority; and

(f) any advice from the Director of Mines.

We understand that this noise assessment has been triggered by the proximity of the dwelling to Sanford Quarry on School Road . The location of the proposed dwelling and plant within the quarry is shown in Figure 1.

Figure 1 Relative location of the quarry and the proposed dwelling



Potential sources of noise from the quarry includes:

- Crushers/Screeners
- Truck loading
- Excavators with claws
- Dozers
- Blasting

The distance between the proposed residence and quarry plant is approximately 900 metres. Intervening topography rises up from the location of the plant within the quarry, before dropping down at intermediate distances. It then increases in elevation towards the proposed residence. Overall there is no direct line of site to the quarry plant from the proposed residence.

The location of the proposed residence within the lot is shown in Figure 2 at the end of the driveway.

Figure 2 Location of residence within the lot



Noise criteria

Relevant guidance in relation to acceptable noise levels from the quarry operation are outlined in the Tasmanian EPA's Quarry Code of Practice. This sets operational noise limits within any 10 minute time period as the lower of:

- Background L_{A90} plus 5dBA, OR
- 45 dBA from 7:00am to 7:00pm (Day),
- 40 dBA from 7:00pm to 10pm (Evening),
- 35 dBA from 10:00pm to 7:00am (Night).

Spoke acoustics has not completed noise logging to verify the background noise levels. Instead Spoke has conservatively estimated that the background noise levels would be 30dBA for all time periods. This is based on similar rural to semi-rural locations located away from major transport infrastructure. This is also consistent with background noise level estimates under Australian Standard 1055.3 for R0 noise area categories.

On this basis Spoke proposes a background noise plus 5dBA criterion of:

- 35dBA for all time periods.

For blasting noise, we note that Code of Practice is consistent with and refers to the ANZEC Guidelines. The overpressure criteria are:

- 95% of the blasts must not exceed 115 dB linear peak
- No blasts may exceed 120 dB linear peak

With respect to blast ground vibration, we note that a distance of 900m from the quarry excludes ground vibration from being an issue as the losses over these distances are so great as to not be measurable or predictable due to changing geology. The criterion for ground vibration is 5mm/s Peak Particle Velocity.

Noise generation – mechanical plant

Spoke has contacted Sanford Quarry to confirm their current and typical operations. This currently, and into the planned future, includes:

- No further blasting
- Use of an excavator and claw to rip and roll rocks approximately 2 days per week
- A crusher/screener
- Workday finishing at approximately 3:30pm
- No work on weekends
- 1 staff member operating all plant

Excluding unplanned blasting, Spoke has estimated that the maximum sound power level noise emission from plant is 115dBA. This reflects simultaneous operation of a crusher/sizer and excavator/dozer with truck loading.

Noise assessment – mechanical plant

Spoke has modelled the locality using:

- CONCAWE in SoundPLAN
- Intervening landscape with mostly grass
- 1m resolution topographic height LiDAR data
- Worst case 5m/s downwind conditions from the quarry to the proposed dwelling

The predicted noise level from mechanical plant is:

- Less than 20dBA

This meets the noise criterion of 35dBA.

Noise generation – blasting

For blasting, based on similar sites, we estimate that a maximum instantaneous charge (MIC) size of 5kg would be greater than that used for blasts at the quarry. MIC blasts under 5kg are typically used to minimise peak overpressure and to control fly rock.

Noise assessment – blasting

For a 5kg MIC the predicted overpressure at the proposed residence would be:

- 103dB linear peak

This prediction was based on site laws that Spoke has established for similar sites under Australian Standard 2187.2-2006.

This predicted overpressure complies with both the 95% and maximum over pressure criteria of 115dB and 120dB respectively.

Recommendation

Based on the assumptions in this letter, Spoke confirms that the proposed dwelling at 41 Germain Court will not interfere with or constrain operations for Sandford Quarry, Schools Road.

Therefore it is predicted to meet the requirements of the Tasmanian Planning Scheme - State Planning Provisions, Clause 9.5.2, P1.

Spoke is happy to talk through these items and clarify them as necessary.

Kind regards



Dr Simon Kean
Director
0405 461 821

TASMANIAN LAND TITLES OFFICE

Blank Instrument Form
Land Titles Act 1980



C208023

DESCRIPTION OF LAND			
Folio of the Register			
128000	1		
129842	1		

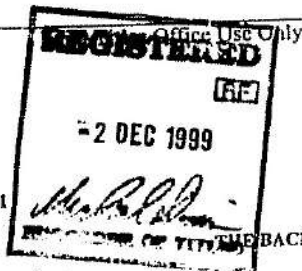
**AGREEMENT UNDER PART 5
LAND USE PLANNING AND APPROVALS ACT 1993**

This agreement is made on the 20th day of November 1999.

BETWEEN: VALLEYFIELD DEVELOPMENTS PTY LTD ("the Owner")
- and -
CLARENCE CITY COUNCIL
a body corporate pursuant to the provisions
of the *Local Government Act 1993* ("the Council")
- and -
PERPETUAL TRUSTEES TASMANIA LTD ("the Mortgagee")

RECITALS

- A. The owners have made application to the Council for the subdivision of land described in Certificate of Title 128000 Folio 1 and Volume 129842 Folio 1.
- B. Council has issued Planning Permit No. 98/015 in respect of the Application on the 25th day of November 1998 requiring the Owners to enter into this Agreement pursuant to Part 5 of the *Land Use Planning Approvals Act 1993*.



Version 1

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ANNEXURE PAGE

PAGE 1 OF 2 PAGES
Vol. 128000 Fol. 1
129842 1

C. In this Agreement

"the balance" means the balance of the land contained in folio of the Register Volume 128000 Folio 1 excluding the land in Lots 11-16 and 105 and 106 on the Plan annexed and marked "A" and also excluding Lots 4, 6, 7 and 8 the subject of Clarence Council Subdivision Approval No. 960721 and Lot 17 the subject of Clarence Council Subdivision Approval No. 98/015:

"height" means the vertical distance measured from the highest point of any structure (not being a minor protrusion) to natural ground level directly below such point as existing prior to construction of such structure.

In consideration of the Council granting Planning Permit No. 98/015 the Owners and its successors in title hereby covenant and agree with the Council to the effect that :

1. Lots 11-16 and the balance inclusive shall not be further subdivided.
2. Lots 11-16 inclusive shall be completely enclosed (except for access way) with stockproof wire fencing. Solid picket, paling or similar fencing shall not be permitted.
3. The design of structures on Lots 11-16 inclusive and the balance shall not include highly reflective surfaces such as unpainted galvanised iron or tinted glass panels.
4. The external finishes or structures on Lots 11-16 inclusive and the balance shall only be natural or untreated material or materials painted in pastel colours with a light reflectivity index of 12% or less.
5. The height of any structure on Lots 11-16 inclusive and the balance shall not exceed 7.00 m.
6. No structure shall be constructed on Lots 12-16 inclusive outside the hatched areas of such Lots as shown on Plan "A" annexed.
7. Clause 5.2(a) and (j) of the Eastern Shore Planning Scheme Area 2 1986 shall not apply to the use or development of Lots 11-16 inclusive and the balance.

NOTE:- Every annexed page shall be signed by the parties to the dealing, or where the party is a corporate body, be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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PAGE 2 OF 2 PAGES
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8. The use development and management of Lots 11-16 inclusive and the balance shall accord with the Integrated Bushland Conservation and Fire Risk Management Plan attached to the Planning Permit issued under Section 43H, Land Use Planning and Approval Act 1993 in relation to Clarence Council Subdivision Approval 98/015.
9. Runoff, erosion and sediment controls are to be installed to the satisfaction of Council's engineer prior to the disturbance on Lots 11-16 inclusive and the balance of any soil thereon, removal of vegetation thereon or the import thereon of any stockpiled building or construction materials.
10. No works shall be undertaken on Lots 11-16 inclusive and the balance, including changes in the topography thereof or the removal, destruction or lopping of trees or the removal of vegetation or topsoil other than in accordance with landscape or engineering designs approved by the Council.

The Mortgagee as mortgagee over the lands the subject of this agreement by executing this Agreement consents to the terms and conditions hereof.

It is acknowledged that the Owners covenants in this Agreement shall run with the land the subject hereof as if they were covenants to which Section 102(2) of the Land Titles Act 1980 applies.

NOTE:- Every annexed page shall be signed by the parties to the dealing, or where the party is a corporate body, be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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PAGE 2 OF 3 PAGES
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129842 1

In witness whereof the parties have hereunto set their hands and seals the day and year first hereinbefore written.

The Common Seal of the
CLARENCE CITY COUNCIL)
was hereunto affixed in the)


THE COMMON SEAL OF CLARENCE CITY COUNCIL
HAS BEEN HEREUNTO AFFIXED THIS 11TH DAY OF
NOVEMBER 19 94 PURSUANT TO A RESOLUTION
OF THE COUNCIL MADE ON THE 11TH DAY OF
NOVEMBER 19 94 IN THE PRESENCE OF


CORPORATE SECRETARY

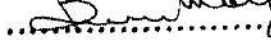
The Common Seal of
VALLEYFIELD DEVELOPMENTS)
PTY LTD was hereunto affixed in)
the presence of:)




Director


Secretary

The Common Seal of Perpetual Trustees
Tasmania Ltd. was affixed hereto by order
of the Directors and in the presence of:

 Director
..... Secretary



NOTE:- Every annexed page shall be signed by the parties to the dealing, or where the party is a corporate body, be signed by the persons who have attested the affixing of the seal of that body to the dealing.

Version 1

THE BACK OF THIS PAGE MUST NOT BE USED

