



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/059595

PROPOSAL: Additions and Alterations (Single Dwelling)

LOCATION: 21 Karoola Road, Lindisfarne

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 29/06/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 29/06/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clareance@ccc.tas.gov.au. Representations must be received by Council on or before 29/06/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **Alternation & Addition**

Location: **21 Karoola Road, Lindisfarne**

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Residential house**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 214633	FOLIO 11
EDITION 5	DATE OF ISSUE 23-Feb-2026

SEARCH DATE : 02-Mar-2026

SEARCH TIME : 01.39 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 11 on Plan 214633

Derivation : Part of 2560 acres Gtd to T G Gregson

Prior CT 2558/83

SCHEDULE 1

M436118 TRANSFER to EMMA MARGARET MORTON and MARCUS WILLIAM JOHNSON Registered 23-Oct-2013 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

D104905 MORTGAGE to Australia and New Zealand Banking Group Limited Registered 23-Oct-2013 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

R.P. 512

ANNEXURE TO CERTIFICATE OF TITLE VOL. 2558

83 FOL.

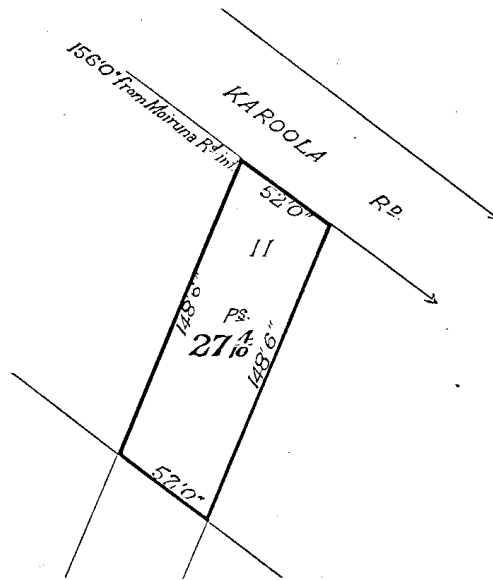


REGISTERED NUMBER

214633

M. J. ...
Recorder of Titles

Lot II of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.



DRAWING SCHEDULE	
A.01	LOCATION PLAN
A.02	SITE PLAN
A.03	UPPER GROUND FLOOR PLAN - EXISTING
A.04	UPPER GROUND FLOOR PLAN - DEMOLITION
A.05	UPPER GROUND FLOOR PLAN - PROPOSED
A.06	LOWER GROUND FLOOR PLAN - EXISTING
A.07	LOWER GROUND FLOOR PLAN - DEMOLITION
A.08	LOWER GROUND FLOOR PLAN - PROPOSED
A.09	ROOF PLAN - EX./DEMO
A.10	ROOF PLAN - PROPOSED
A.11	NORTH ELEVATIONS
A.12	EAST ELEVATIONS
A.13	SOUTH ELEVATIONS
A.14	WEST ELEVATIONS
A.15	3D VISUALISATION
A.16	SHADOW DIAGRAMS



21 KAROOLA ROAD,
LINDISFARNE TAS

ALTERNATION & ADDITION
JOB NO: 2306

SITE INFORMATION

Title Reference: 214633/11
 Property ID: 5129479
 Planning Zone: General Residential
 General Overlays: N/A
 Code Overlays: Airport Obstacle Limitation Area

Soil Classification: **CLASS M** Refer to GES Site Assessment

Bushfire Attack Level (BAL): **N/A**

NCC Building Class: 1a

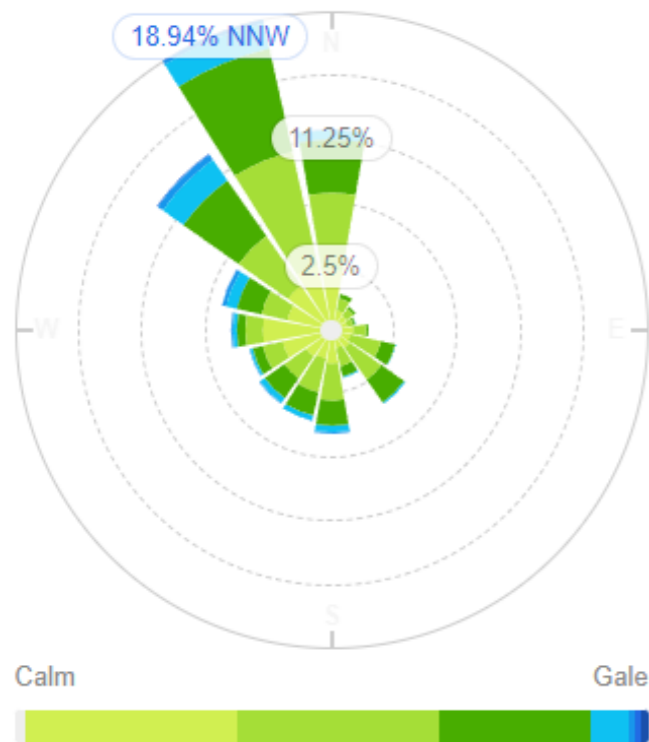
Land area: 693m²
 Existing Building Area: 135.32m²

Proposed Upper Ground Floor Area: 137.61m²
 Proposed Lower Ground Floor Area: 85.43m²
 Total Building Area: 224.09m²

Proposed Deck 01: 31.25m²
 Proposed Deck 02: 21.63m²



WIND ROSE



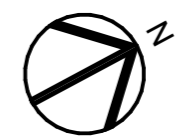
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 DRAFTING & DESIGN
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 E: admin@matt-kennedy.com.au
 Licence: 189009392



CLIENT: **Marcus & Emma Johnson**
 JOB NO: **2306**
 ADDRESS: **21 Karoola Road, Lindisfarne**

PROPOSAL: **ALTERNATION & ADDITION**
 PROJECT STAGE: **DA**

DATE: **5/06/2026**
 SCALE: **1:500@A3**



REV	AMENDMENT	DATES

A.01

LOCATION PLAN

LEGEND

- PROPOSED BUILDING
- EXISTING BUILDING
- CONTOUR
- SET BACK
- BOUNDARY
- EX.STORMWATER PIPE, ALIGNMENT IS PER DIAL BEFORE YOU DIG DATA.
- EX.SEWER PIPE, ALIGNMENT IS PER DIAL BEFORE YOU DIG DATA.

SOIL & WASTE MANAGEMENT NOTES

General Notes

Workmanship, materials and design shall comply with the Australian Standards, The National Construction Code, local Council requirements, and relevant codes and standards.

Monitor sediment and erosion control measures at least once a week and after each rainfall event. Construct service trenches away from where water is likely to concentrate.

Try not to have service trench open any longer than necessary.

Prevent clean rainwater running across the site by connecting downpipes to the stormwater system as soon as the roof is on the building frame.

Protection of drainage systems

Protect nearby stormwater system including any stormwater pits on and below the site from sediment blockage. Excavation.

Schedule earthworks in phases throughout the project so that the ground is disturbed for the shortest time possible.

Avoid stripping and excavating until all necessary permits, licenses and approvals have been obtained. Stabilise areas of exposed soil with vegetation or erosion control blankets and mats.

Diversion drains

Divert up-slope catchment runoff around the site by installing a diversion drain and level spreader. Material stockpiles.

Designate a location where topsoil and other excavation material will be stockpiled during building and construction. Provide suitable controls to prevent erosion.

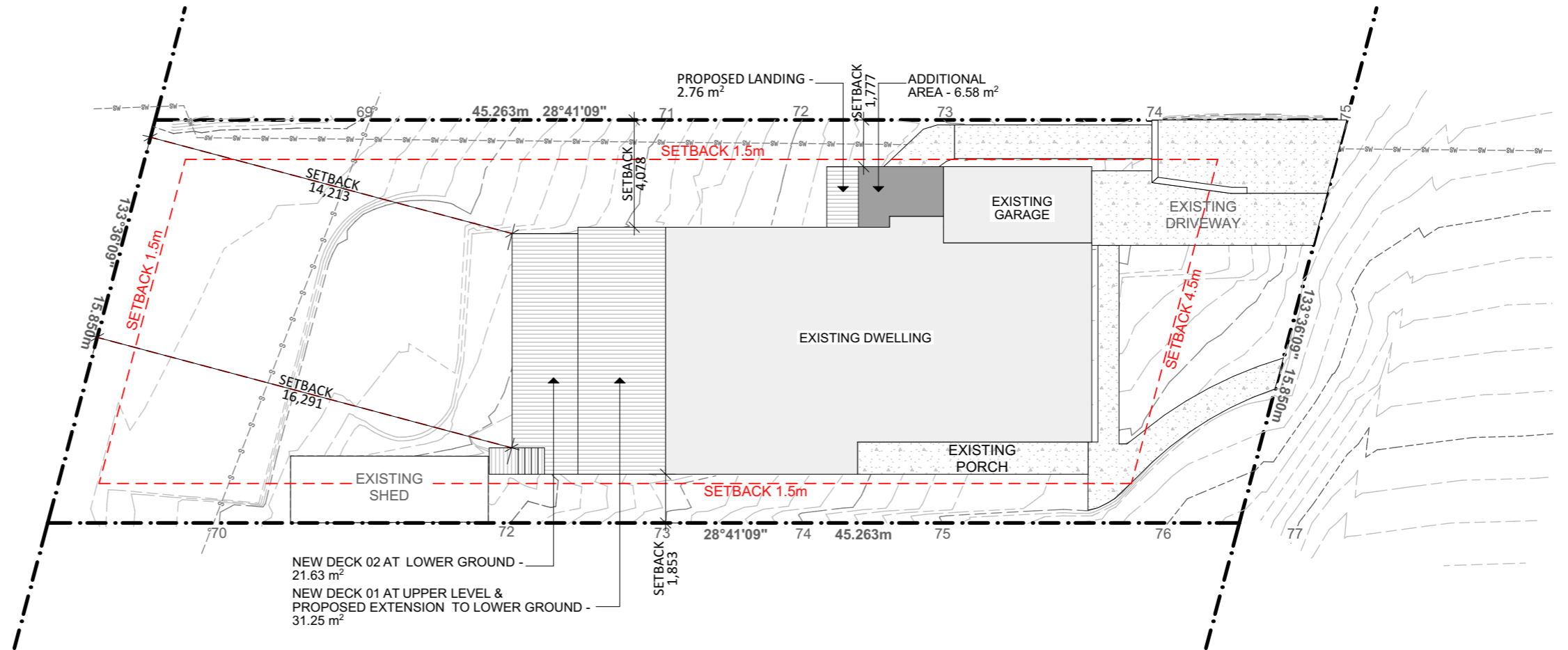
Vegetation

Keep as much vegetation as possible to minimise soil erosion and reduce rainwater running across the site.

Site access

Choose a single, stabilised access point.

Designate an appropriate location within the site where sediment-generating activities can be managed (e.g. wheel wash, brick cutting)



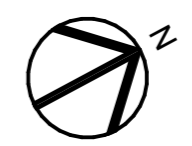
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REV	AMENDMENT	DATES

A.02
SITE PLAN

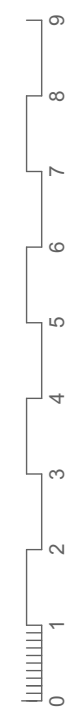
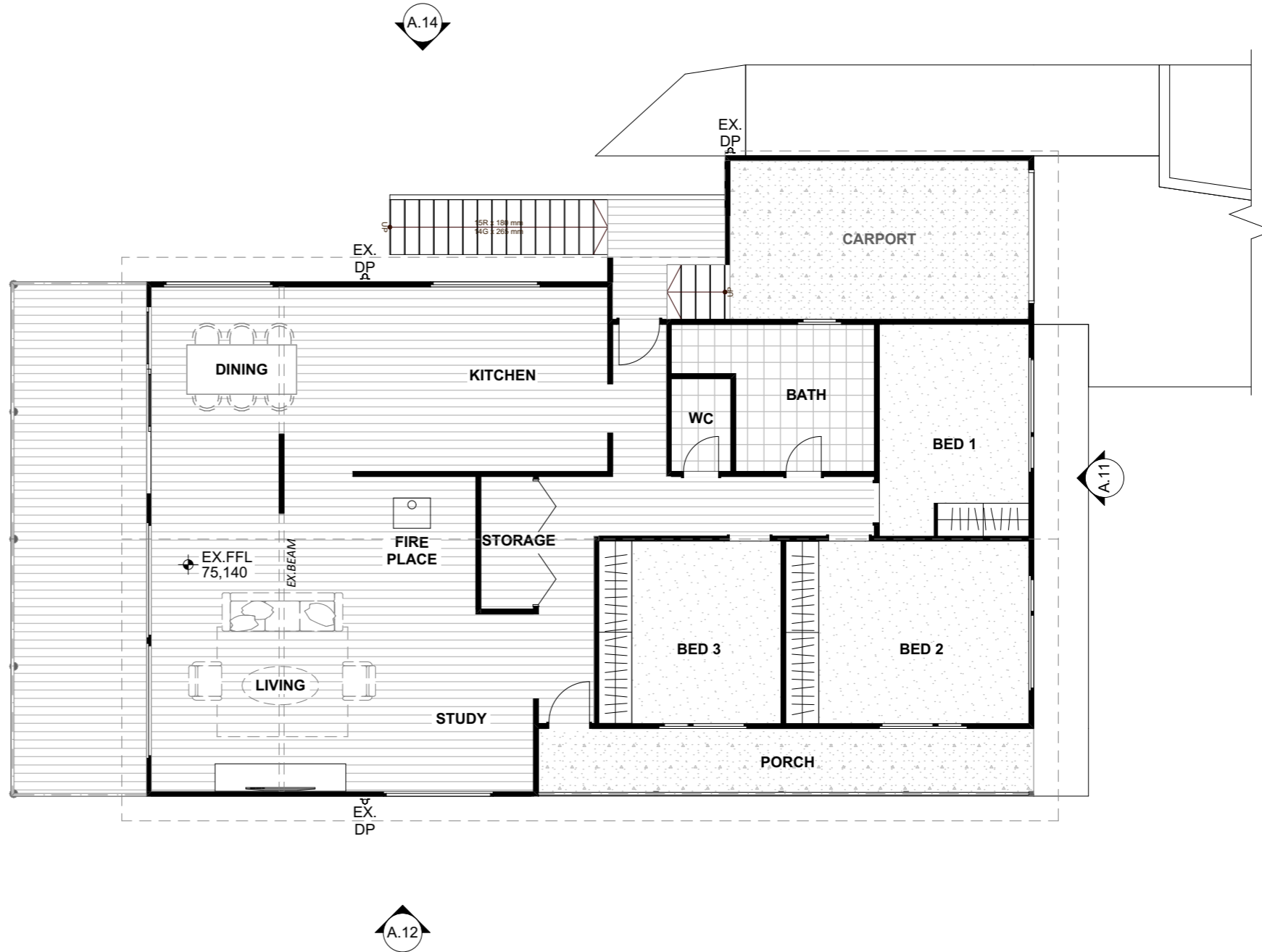
LEGEND

- Existing

- Ex. Existing
- FFL. Finish Floor Level
- CH. Ceiling Height

- BAL. Balustrade
- COL. Column
- DP Rainwater Pipe
- DR Dryer
- WM Washing Machine

NOTES
 DOUBLE CHECK ALL EXISTING MEASUREMENTS & ROOF PITCH PRIOR TO CONSTRUCTION



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REV	AMENDMENT	DATES

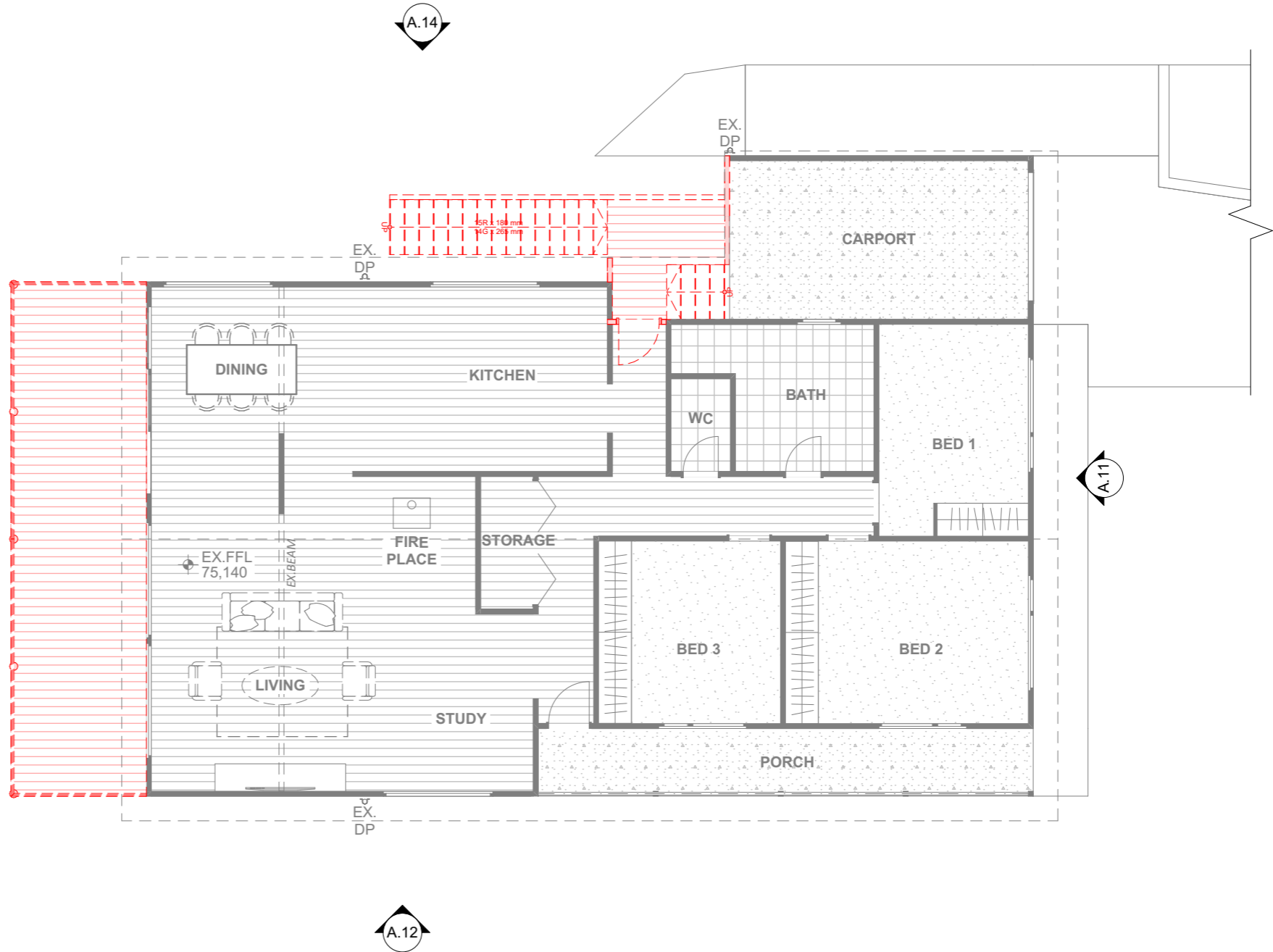
A.03
 UPPER GROUND FLOOR PLAN - EXISTING

LEGEND

- Demolish
- Existing
- Ex. Existing
- FFL. Finish Floor Level
- CH. Ceiling Height

- BAL. Balustrade
- COL. Column
- DP Rainwater Pipe
- DR Dryer
- WM Washing Machine

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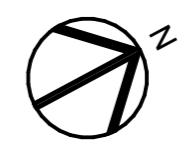
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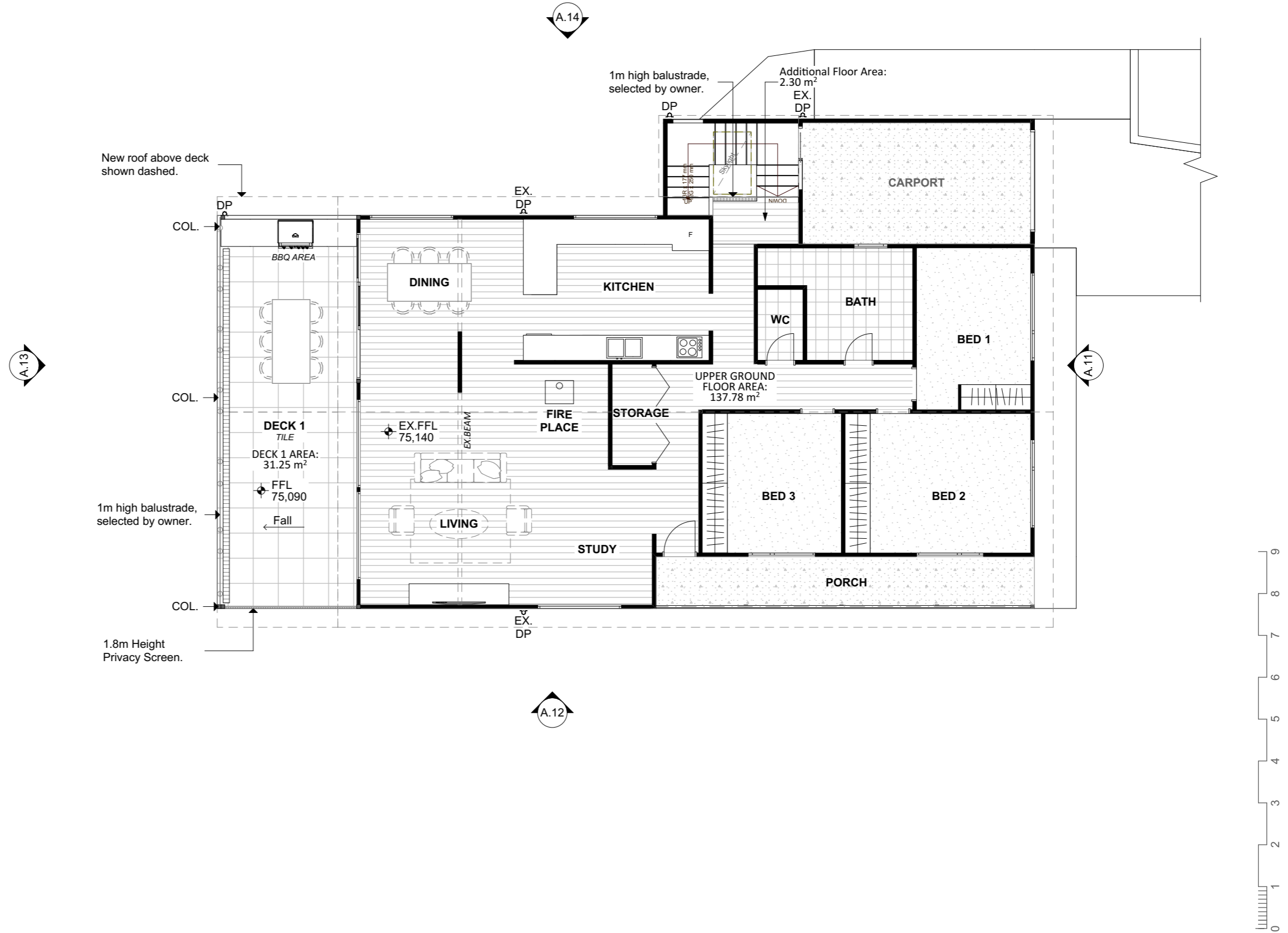
REV	AMENDMENT	DATES

A.04
 UPPER GROUND FLOOR PLAN - DEMOLITION

LEGEND

Proposed	
Existing	
Ex.	Existing
FFL.	Finish Floor Level
CH.	Ceiling Height
BAL.	Balustrade
COL.	Column
DP	Rainwater Pipe
DR	Dryer
WM	Washing Machine

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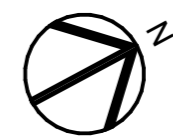
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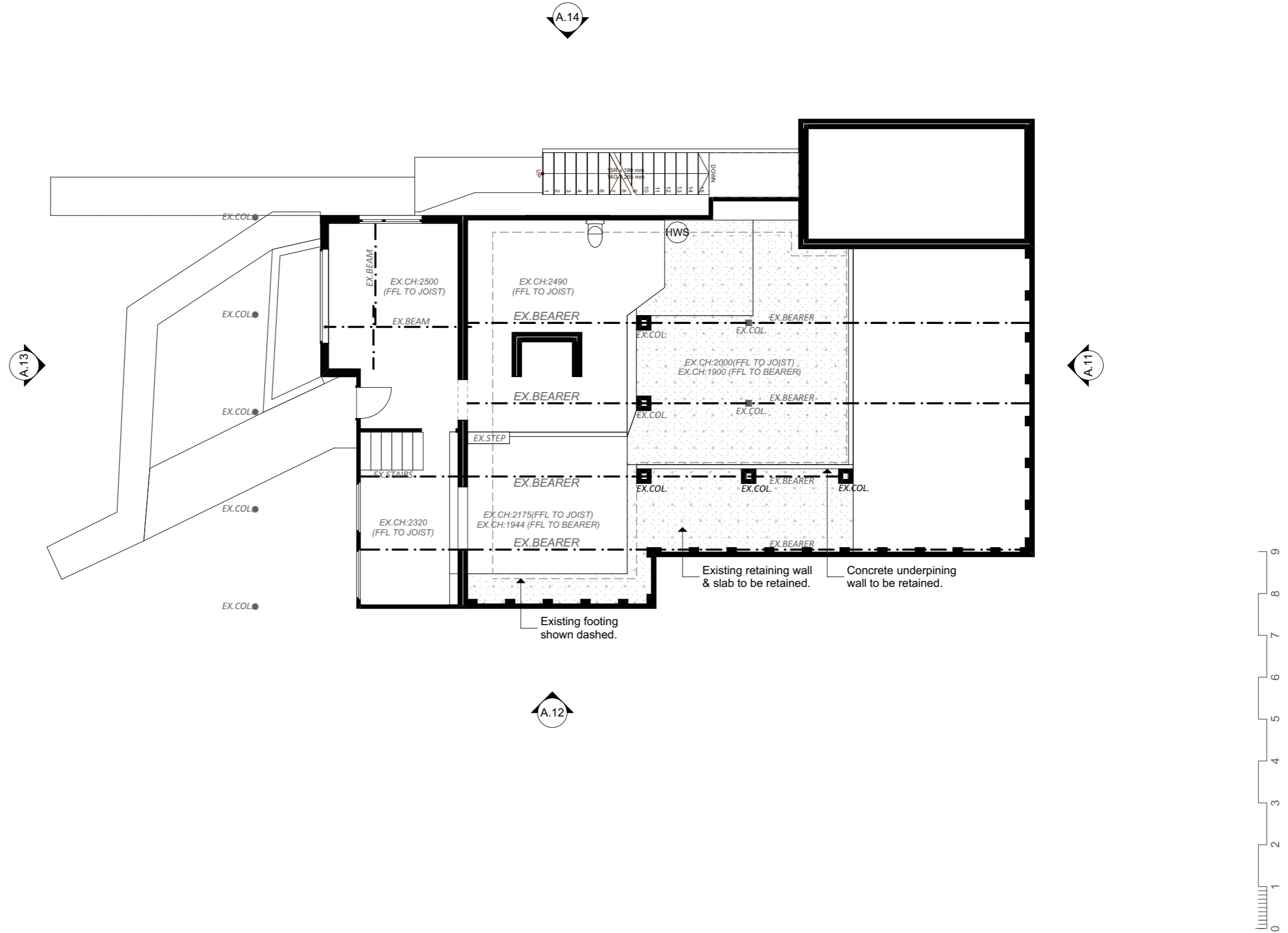
REV	AMENDMENT	DATES

A.05
 UPPER GROUND FLOOR
 PLAN - PROPOSED

LEGEND

Existing	
Ex.	Existing
FFL.	Finish Floor Level
CH.	Ceiling Height
BAL.	Balustrade
COL.	Column
DP	Rainwater Pipe
DR	Dryer
WM	Washing Machine

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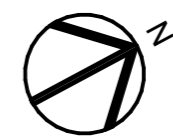
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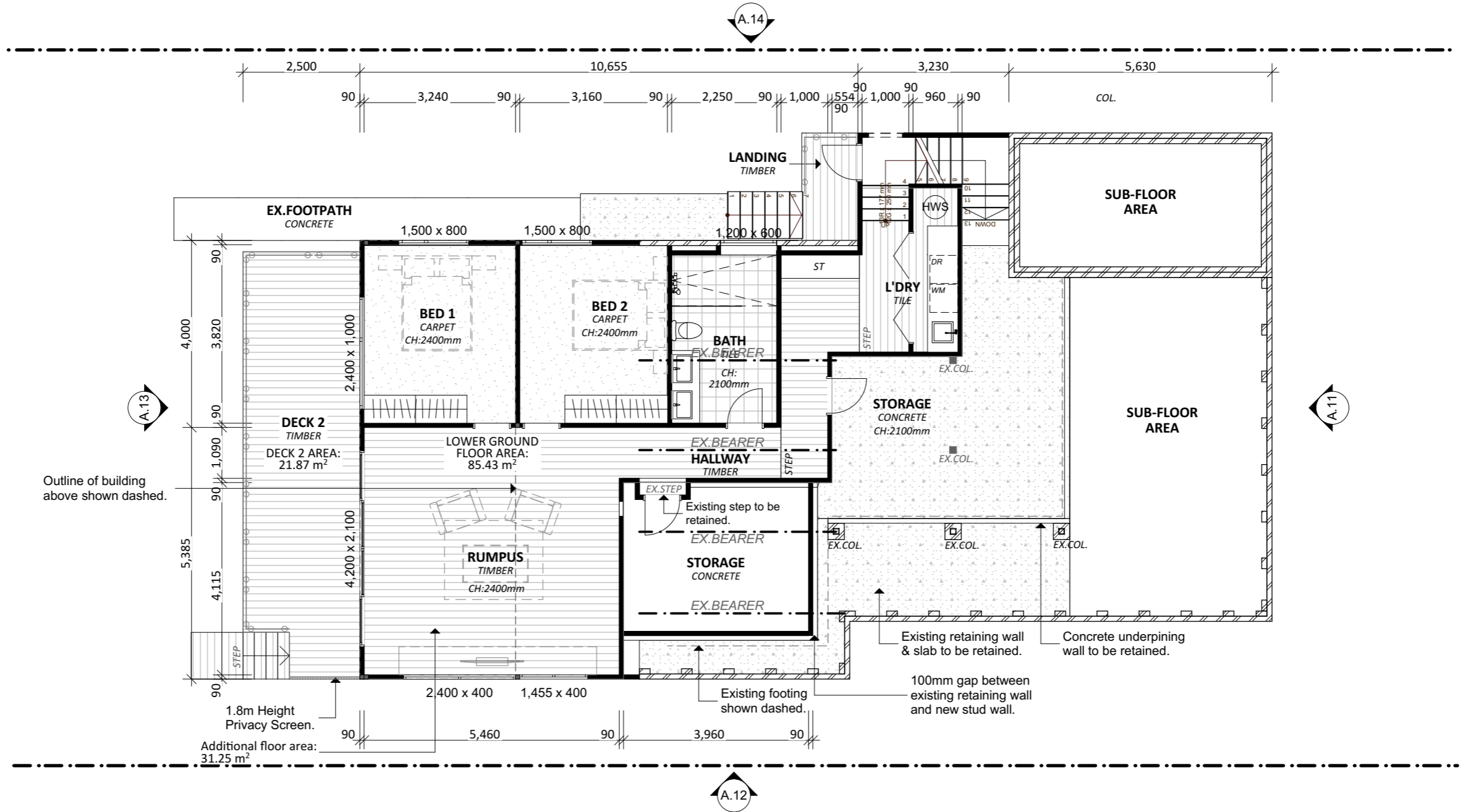
REV	AMENDMENT	DATES

A.06
 LOWER GROUND FLOOR
 PLAN - EXISTING

LEGEND

Proposed	
Existing	
Ex.	Existing
FFL.	Finish Floor Level
CH.	Ceiling Height
BAL.	Balustrade
COL.	Column
DP.	Rainwater Pipe
DR.	Dryer
ST.	Storage
WM.	Washing Machine

NOTES
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Outline of building
 above shown dashed.

1.8m Height
 Privacy Screen.
 Additional floor area:
 31.25 m²



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REV	AMENDMENT	DATES

A.08
 LOWER GROUND FLOOR
 PLAN - PROPOSED

LEGEND

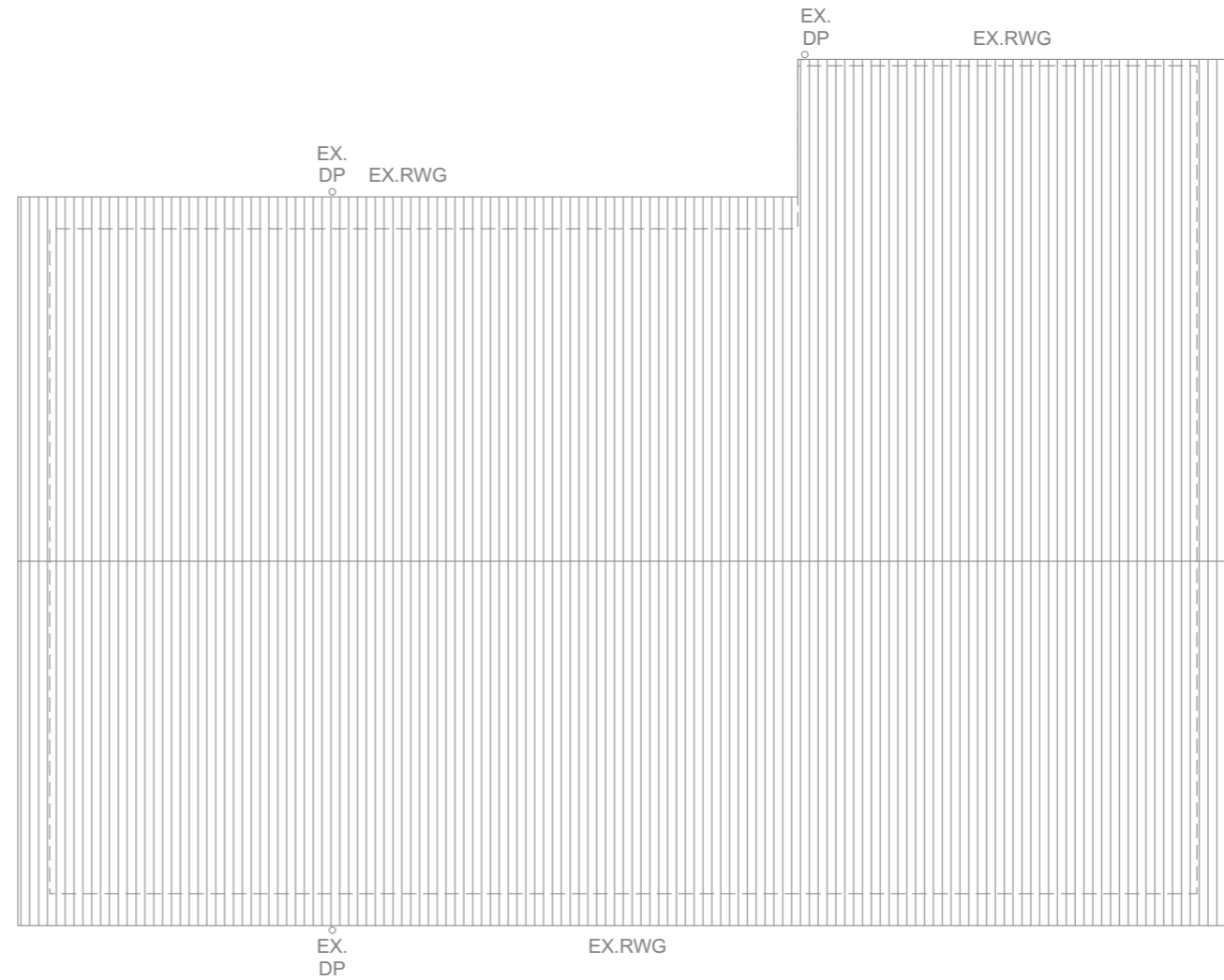
DP Downpipe, Colour to match roof sheeting & flashing.

MRS Metal Roof Sheetting.

RWG Rainwater Gutter. Colour to match roof sheeting & flashing.

Roof drainage must comply with plumbing code of australia part 1 AS 3500.3, NCC vol.2 part 3.1.2 and 3.5.2.

SL Skylight - Velux Fixed Skylight (FS) Colour: Colorbond 'tbc'



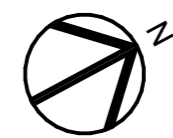
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REV	AMENDMENT	DATES

A.09

ROOF PLAN - EX./DEMO

LEGEND

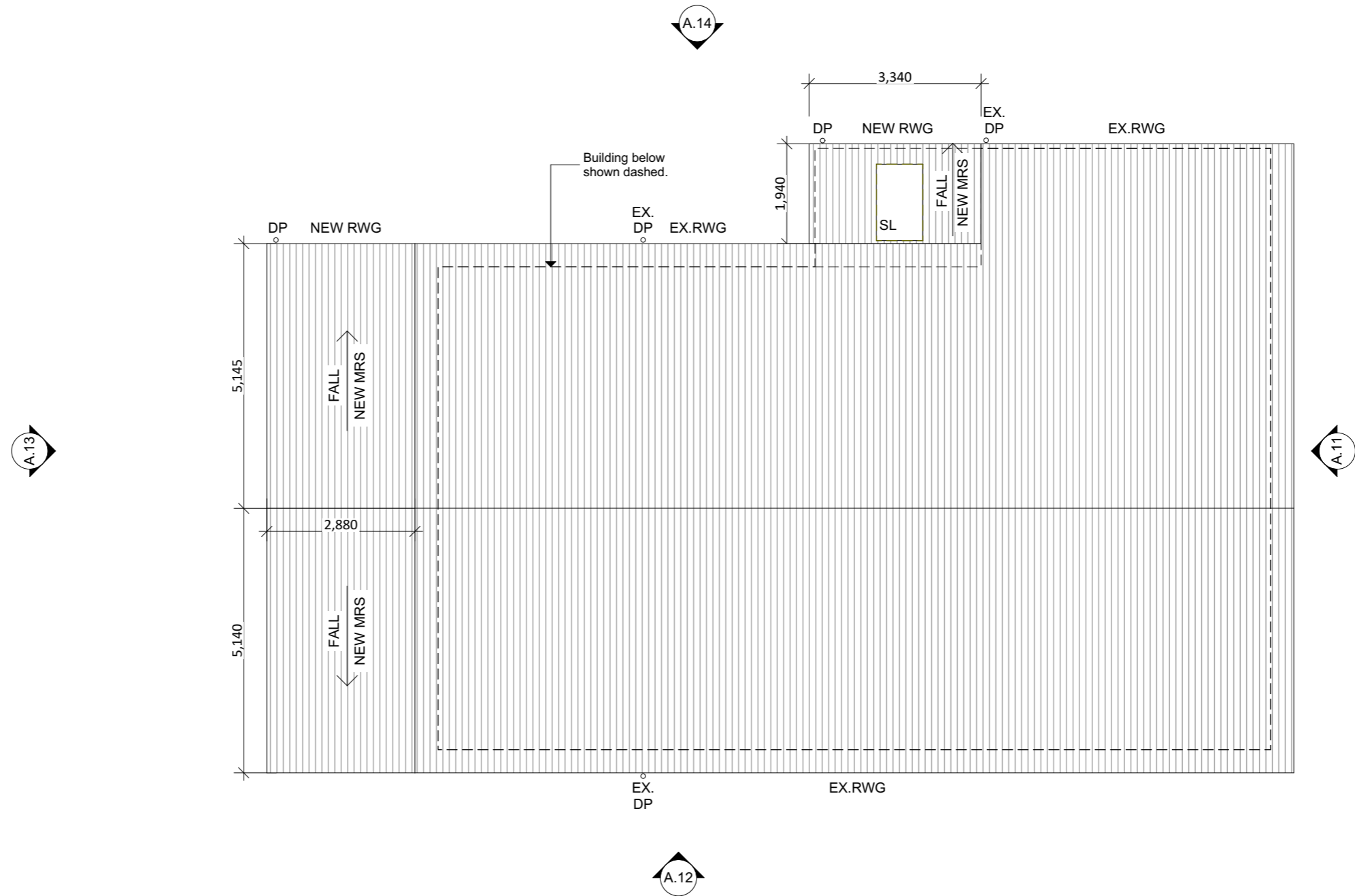
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Roof drainage must comply with plumbing code of australia part 1 AS 3500.3, NCC vol.2 part 3.1.2 and 3.5.2.

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Colour: Colorbond 'tbc'



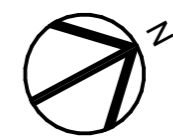
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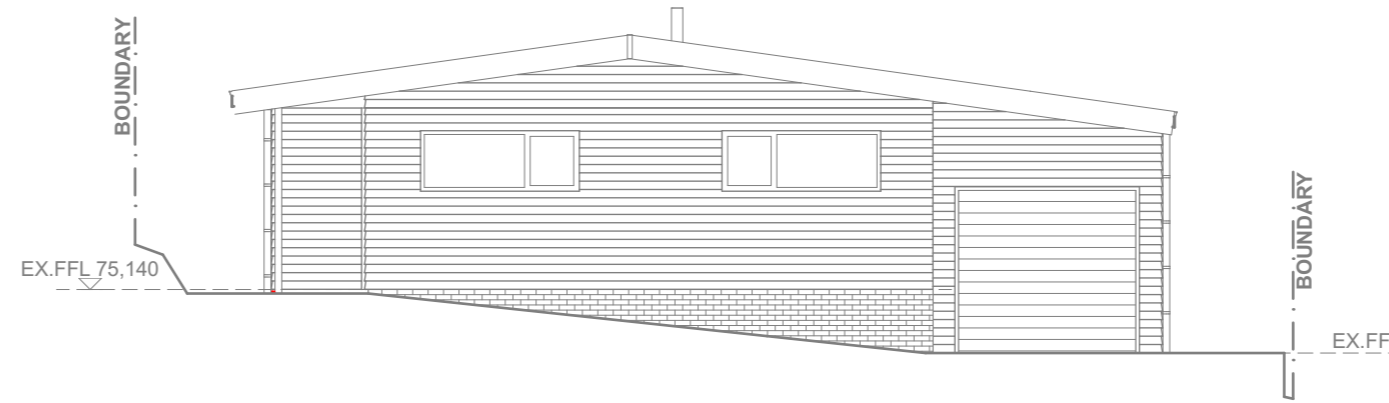
A.10

ROOF PLAN-PROPOSED

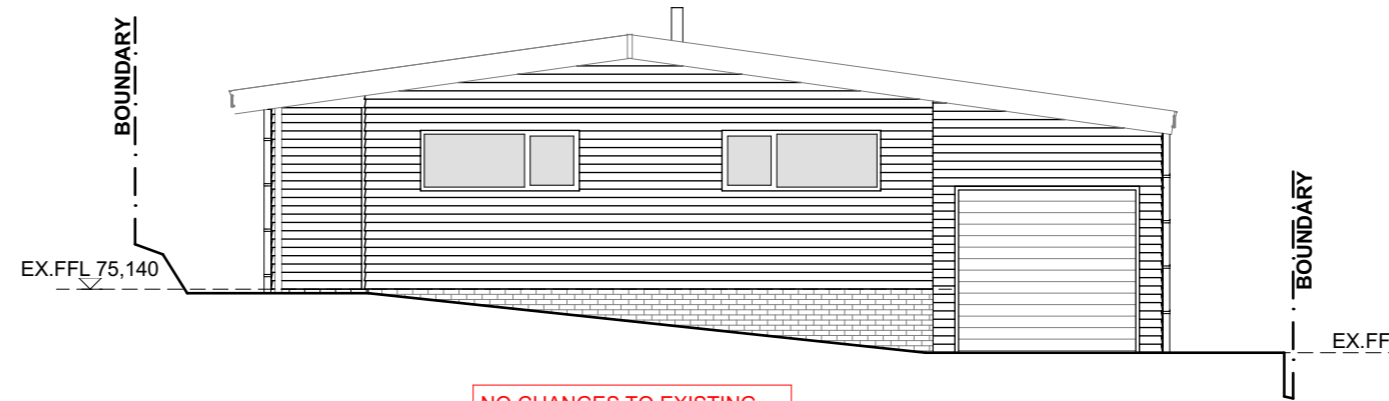
LEGEND

- Demolish [- - - -]
- Existing
- Ex. Existing
- FFL. Finish Floor Level
- CH. Ceiling Height
- BAL. Balustrade
- COL. Column
- DP Rainwater Pipe
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NOTES
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1 North Elevation - Existing



2 North Elevation - Proposed



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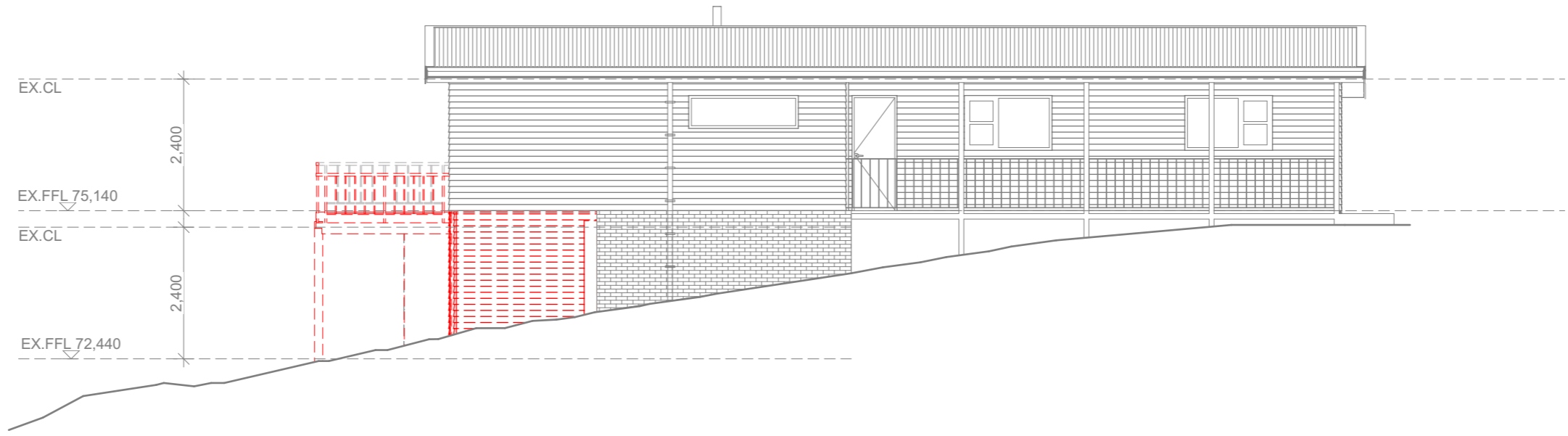
A.11
 NORTH ELEVATIONS

LEGEND

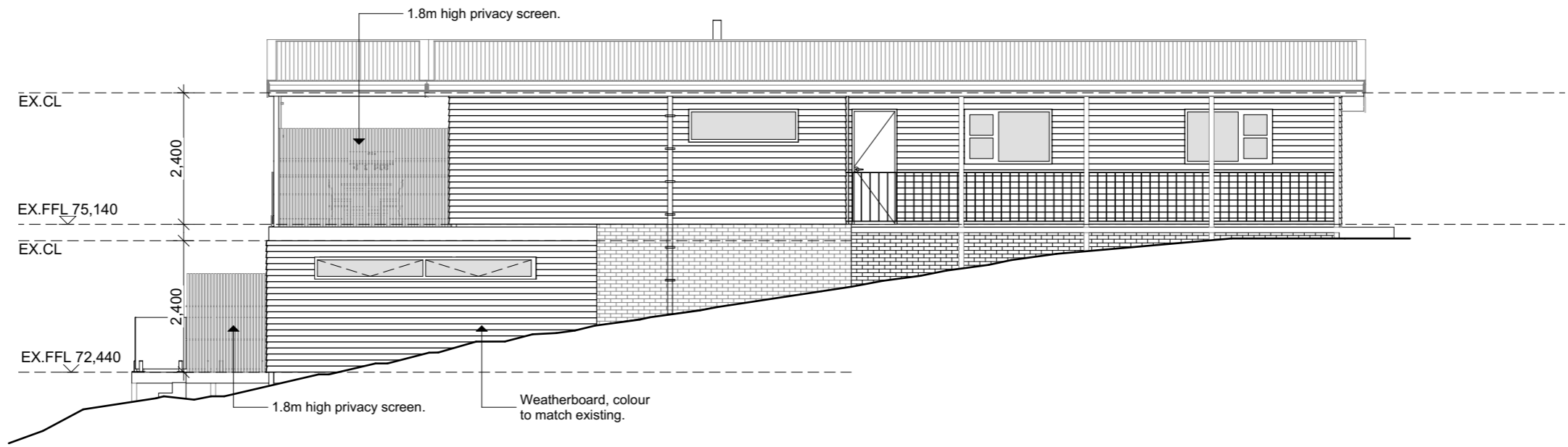
Demolish [-----]

Ex. Existing
 FFL. Finish Floor Level
 CL. Ceiling Level

NOTES
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1 East Elevation - Existing



2 East Elevation - Proposed



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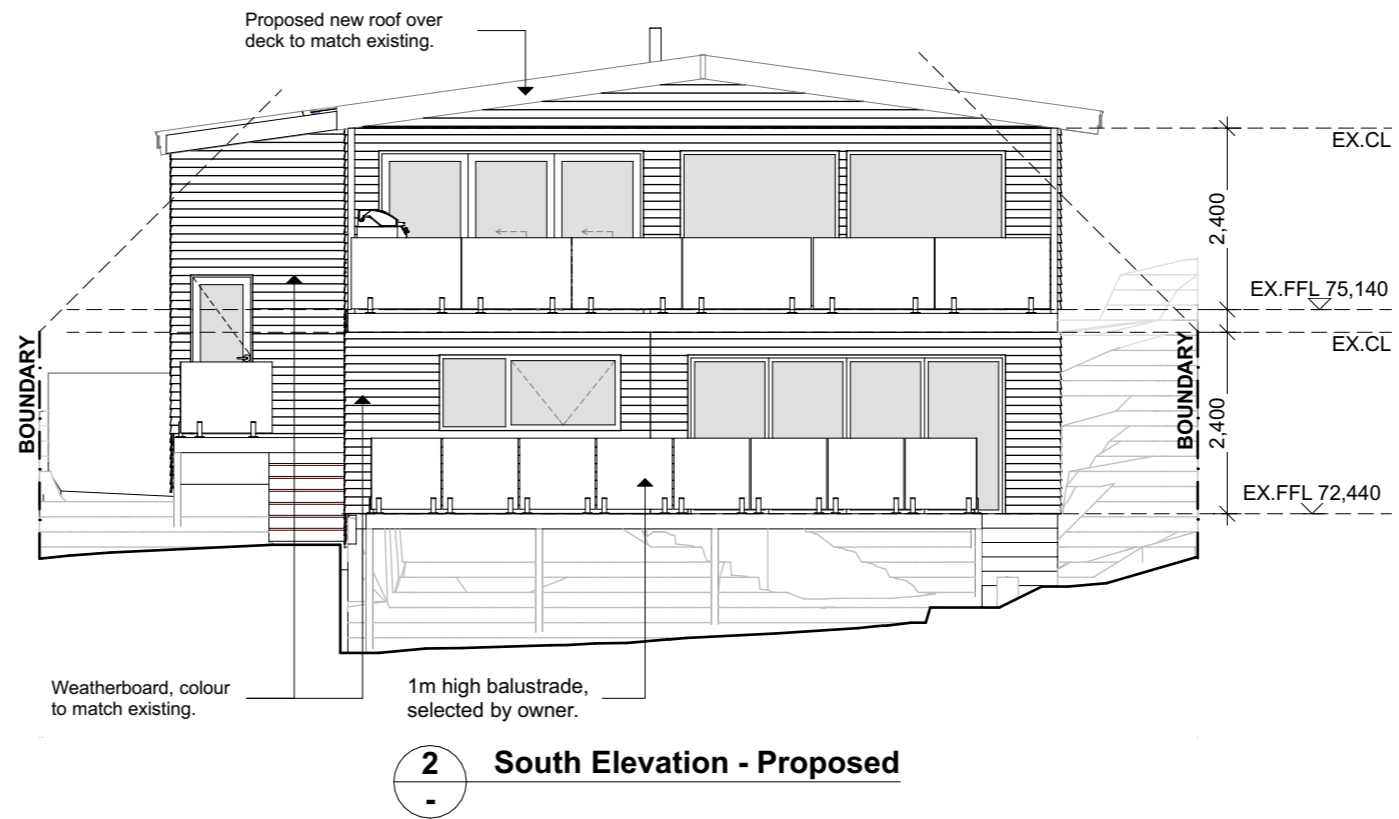
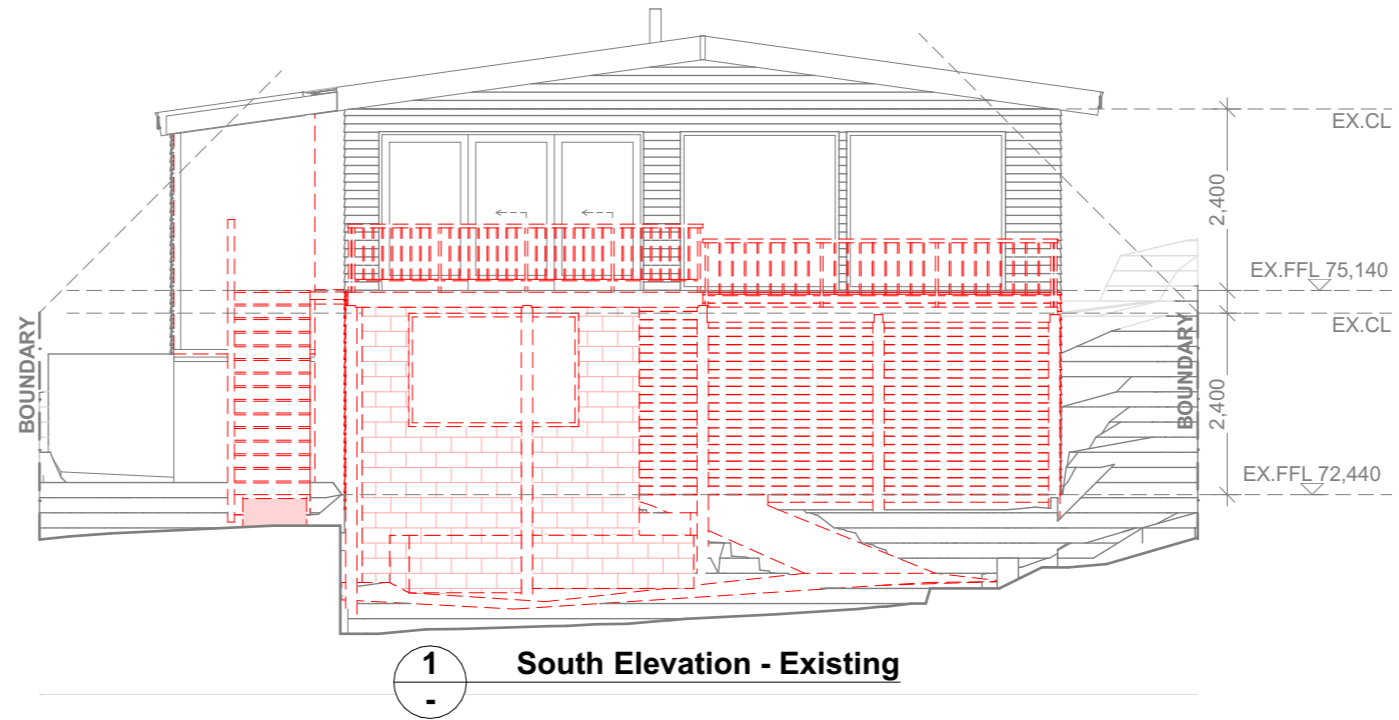
A.12
 EAST ELEVATIONS

LEGEND

Demolish [---]

Ex. Existing
 FFL. Finish Floor Level
 CL. Ceiling Level

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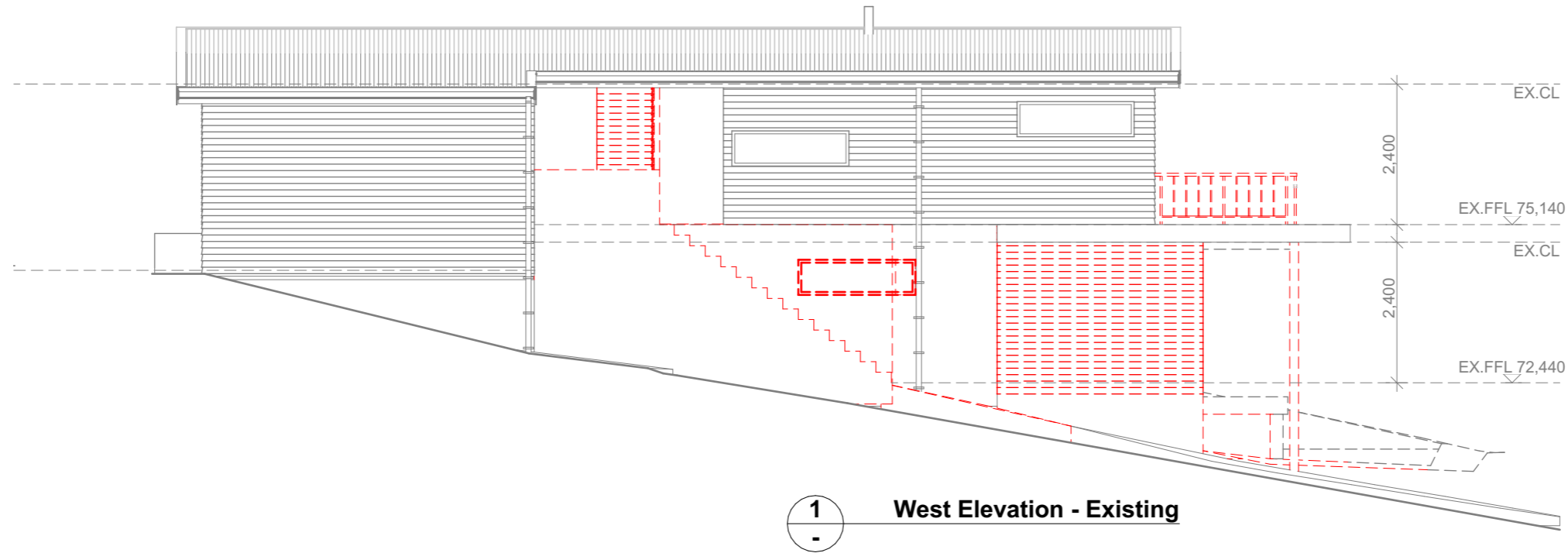
A.13
 SOUTH ELEVATIONS

LEGEND

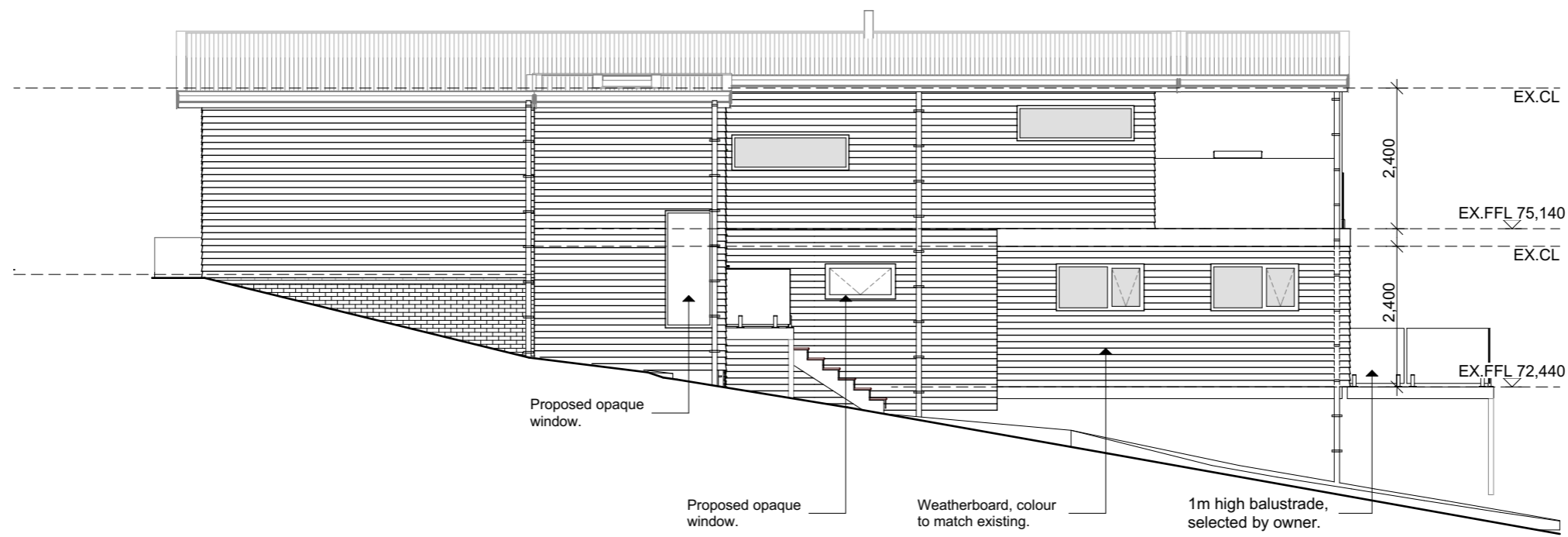
Demolish [---]

Ex. Existing
FFL. Finish Floor Level
CL. Ceiling Level

NOTES
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1 West Elevation - Existing



2 West Elevation - Proposed



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CLIENT: **Marcus & Emma Johnson**
JOB NO: **2306**
ADDRESS: **21 Karoola Road, Lindisfarne**

PROPOSAL: **ALTERNATION & ADDITION**
PROJECT STAGE: **DA**

DATE: **5/06/2026**
SCALE: **1:100@A3**

REV	AMENDMENT	DATES

A.14
WEST ELEVATIONS



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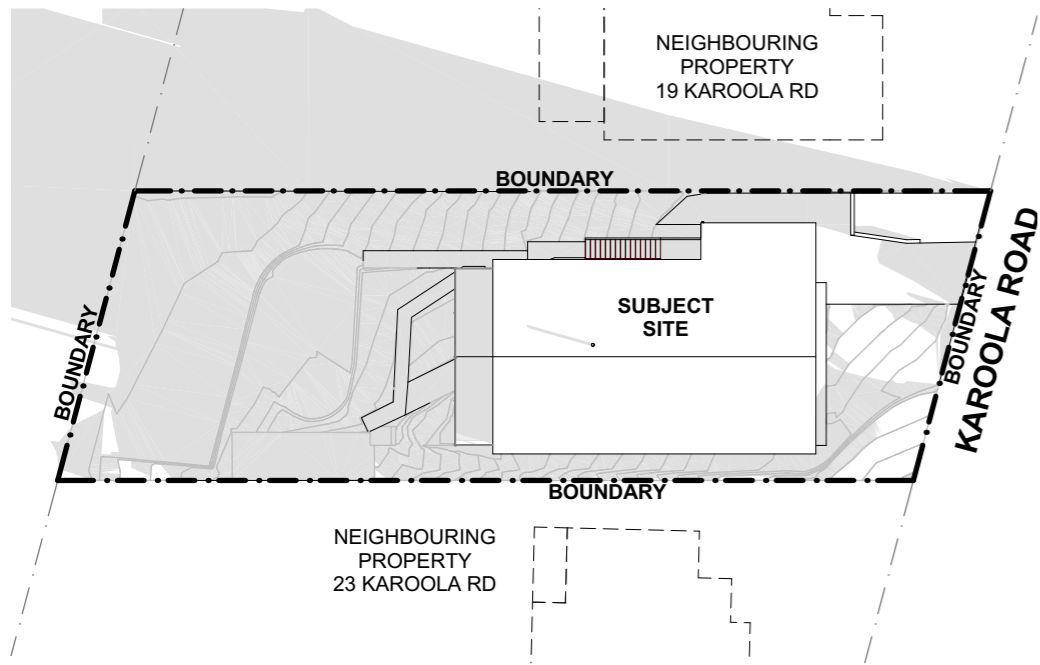


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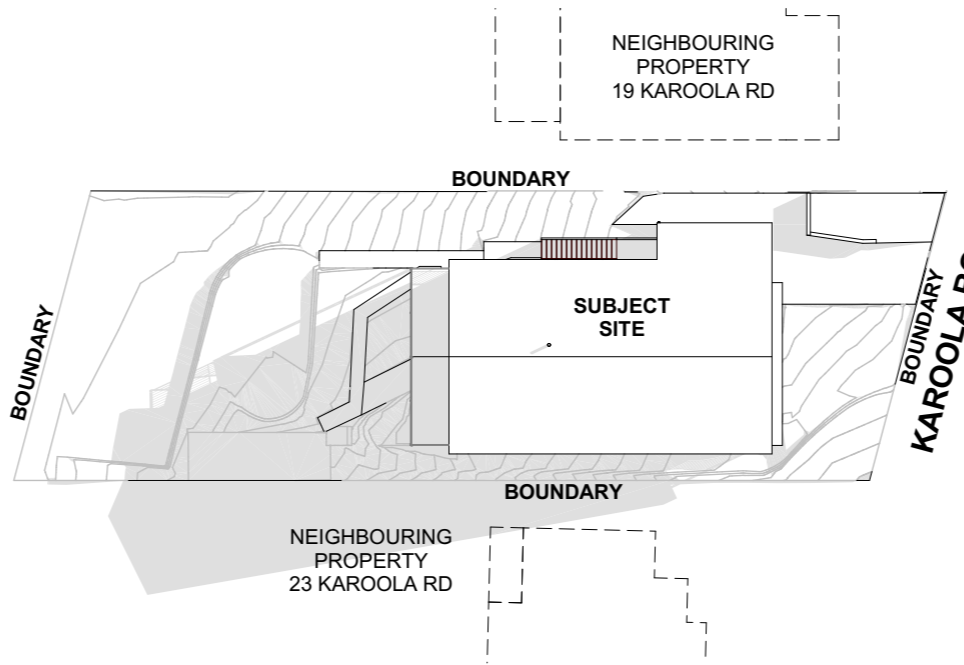
PROPOSAL: **ALTERNATION & ADDITION** DATE: **5/06/2026**
 PROJECT STAGE: **DA** SCALE:

REV	AMENDMENT	DATES

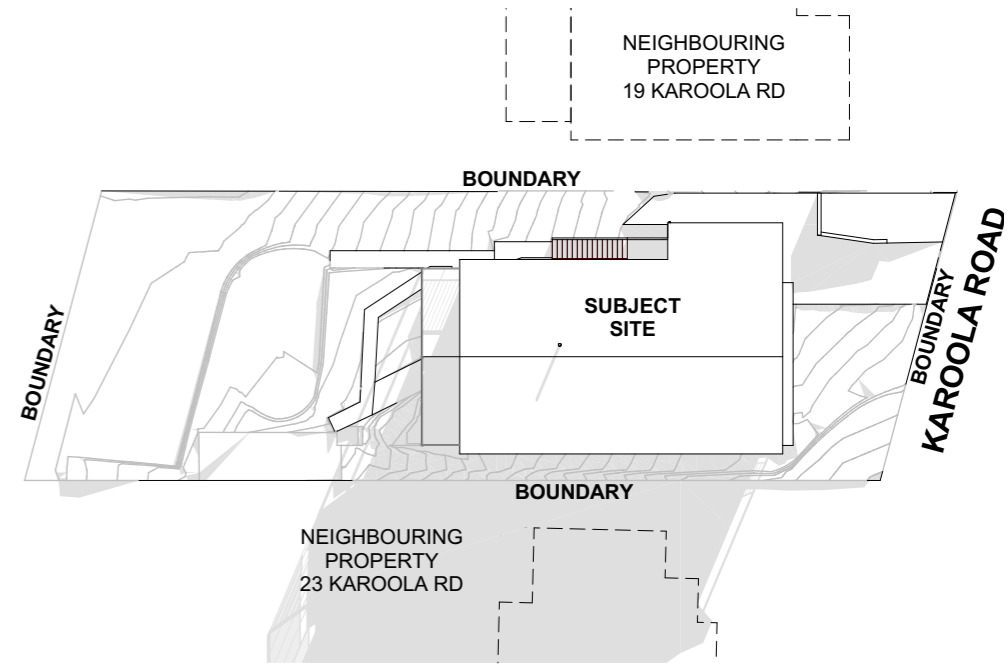
A.15
 3D VISUALISATION



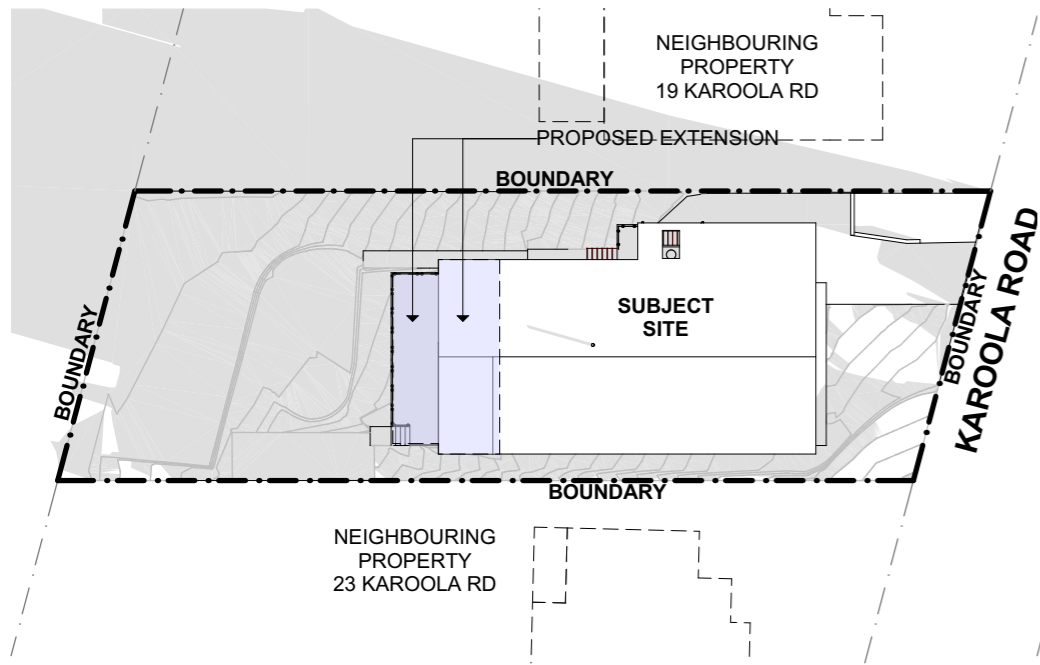
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- 21ST JUNE - 9AM - EXISTING



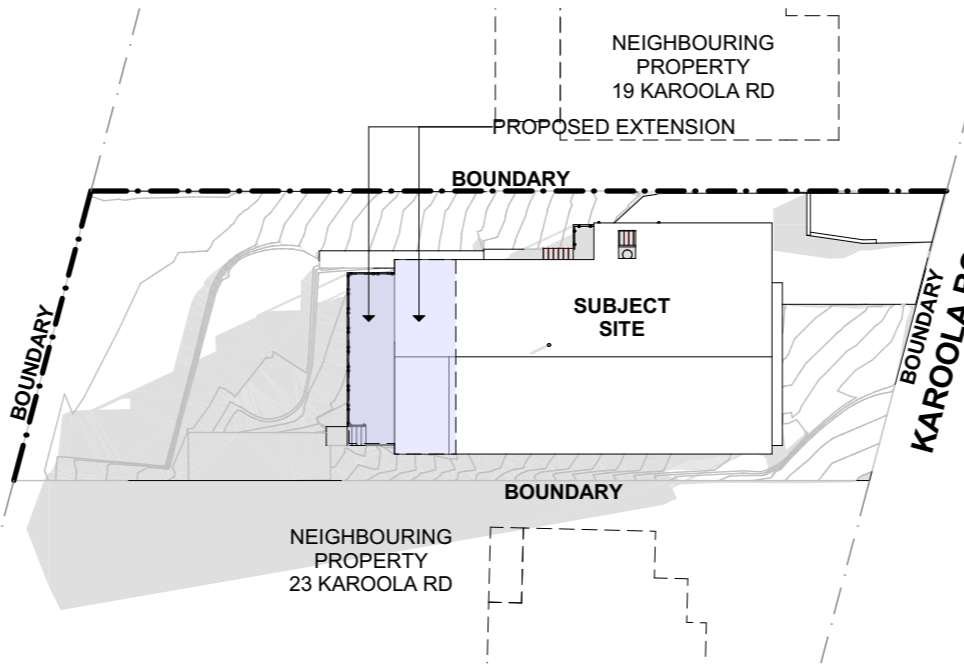
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- 21ST JUNE - 12PM - EXISTING



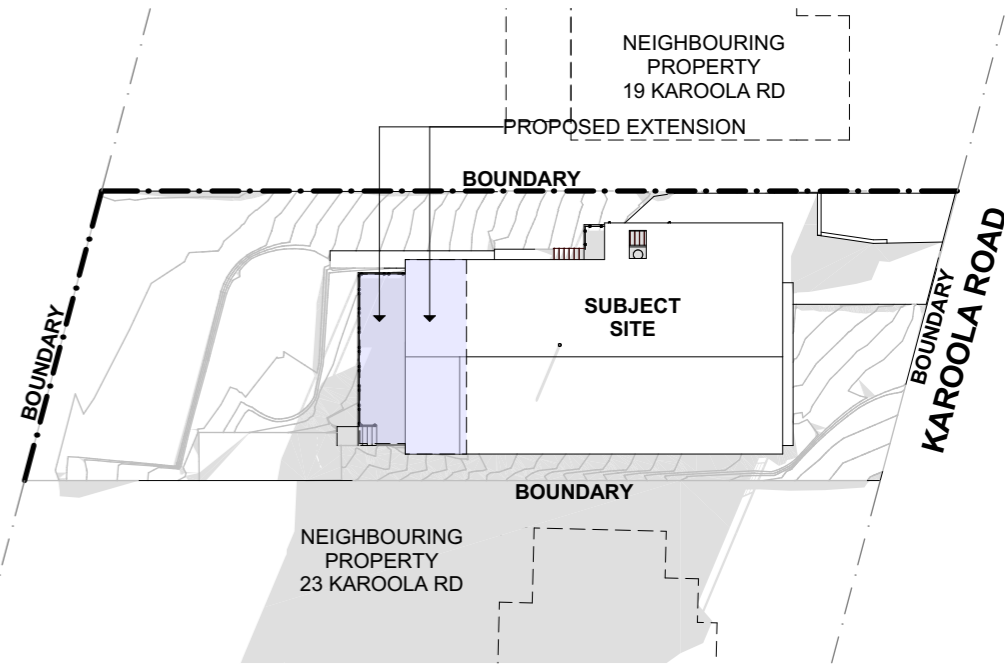
3
- 21ST JUNE - 3PM - EXISTING



4
- 21ST JUNE - 9AM - PROPOSED



5
- 21ST JUNE - 12PM - PROPOSED



6
- 21ST JUNE - 3PM - PROPOSED



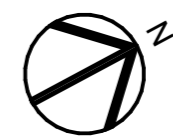
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SCALE: **1:400@A3**



REV	AMENDMENT	DATES

A.16

SHADOW DIAGRAMS