



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2026/060516**

- PROPOSAL:** Two Multiple Dwellings (One Existing & One New)
- LOCATION:** 21 Montagu Bay Road, Montagu Bay
- RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence
- ADVERTISING EXPIRY DATE:** 23/06/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 23/06/2026. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 23/06/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

## Planning Application

---

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **New dwelling**

---

Location: **21 Montagu Bay Road, Rosny**

**Personal Information Removed**

Is the property on the Tasmanian Heritage Register?

Yes  No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Residential dwelling**

Does the proposal involve land administered or owned by the Crown or Council? Yes  No

#### Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

#### Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

**Personal Information Removed**



## Planning Application checklist

---

### Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

---

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

---

### Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

---

- Site analysis and site plan, including where relevant:
    - Existing and proposed use(s) on site.
    - Boundaries and dimensions of the site.
    - Topography, including contours showing AHD levels and major site features.
    - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
    - Soil type.
    - Vegetation types and distribution, and trees and vegetation to be removed.
    - Location and capacity of any existing services or easements on/to the site.
    - Existing pedestrian and vehicle access to the site.
    - Location of existing and proposed buildings on the site.
    - Location of existing adjoining properties, adjacent buildings and their uses.
    - Any natural hazards that may affect use or development on the site.
    - Proposed roads, driveways, car parking areas and footpaths within the site.
    - Any proposed open space, communal space, or facilities on the site.
- 



- Main utility service connection points and easements.
  - Proposed subdivision lot boundaries.
  
  - ☒ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
    - Internal layout of each building on the site.
    - Private open space for each dwelling.
    - External storage spaces.
    - Car parking space location and layout.
    - Major elevations of every building to be erected.
    - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
    - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
    - Materials and colours to be used on rooves and external walls.
  
  - ☒ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
    - Planting concepts.
    - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
    - Plantings proposed for screening from adjacent sites or public places.
  
  - ☒ Any additional reports, plans or other information required by the relevant zone or code.
- 

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 54507	FOLIO 24
EDITION 3	DATE OF ISSUE 17-Jan-2024

SEARCH DATE : 31-Mar-2026

SEARCH TIME : 09.12 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 24 on Plan 54507 (formerly being P1134(39))

Derivation : Part of 217 Acres Gtd to A Montagu

Prior CT 3817/57

SCHEDULE 1

N170226 TRANSFER to ELISABETH DAVIS and JONATHAN JAMES SEAWALD DAVIS Registered 17-Jan-2024 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

E370974 MORTGAGE to Commonwealth Bank of Australia

Registered 17-Jan-2024 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

B509386 ASSENT to MARY MARGARET HODGE Lodged by LTO on 09-Apr-1992 BP: B509386



UNREGISTERED DEALINGS REPORT

SEARCH DATE : 31-Mar-2026

SEARCH TIME : 09:12 am

CT: 54507/24





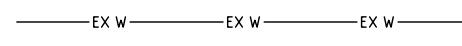
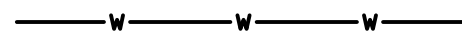
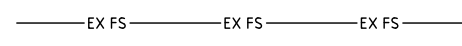
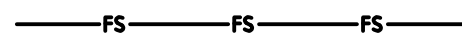
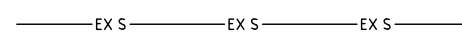
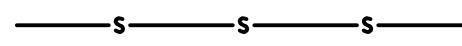


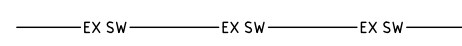
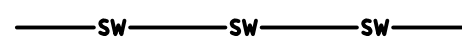

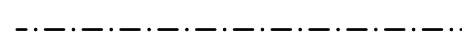
B509386 ASSENT to MARY MARGARET HODGE Lodged by LTO on  
09-Apr-1992 BP: B509386

# NEW DWELLING 21 MONTAGU BAY ROAD MONTAGU BAY

## DRAWING INDEX

- C001 DRAWING INDEX
- C002 GENERAL NOTES 1
- C003 GENERAL NOTES 2
- C004 SAFETY IN DESIGN
  
- C101 LEVELS & GRADES
- C102 SITEWORKS DETAILS & NOTES
- C103 STORMWATER PLAN
- C103A SEWER & WATER PLAN
  
- C104 LONGITUDINAL SECTION CL1
- C105 CROSS SECTIONS PLAN 1
- C106 CROSS SECTIONS PLAN 2
- C107 CROSS SECTIONS PLAN 3
- C108 CROSS SECTIONS PLAN 4
  
- C109 DETAILS PLAN 1
- C110 DETAILS PLAN 2
  
- C111 VEHICLE TURNING PLAN 1
- C112 VEHICLE TURNING PLAN 2

## LEGEND

-  Existing surface level (surveyed)
-  Existing surface level (interpolated)
-  Proposed bulk earthworks level
-  Proposed finished surface level
  
-  Existing water supply external to building
-  Proposed water supply external to building
  
-  Existing fire supply
-  Proposed fire supply
  
-  Existing sewer drain
-  Proposed sewer drain
-  Proposed sewer drain (greasy waste)
-  Proposed sewer drain (trade waste)
  
-  Existing stormwater drain
-  Proposed stormwater drain
-  Proposed stormwater (larger)
-  Proposed DN100 ag. drain and geofabric sock

REV	DESCRIPTION	DATE		CLIENT:	SHEET:	DRAWN:	DESIGNED:	VERIFIED:	DATE:
0	PLANNING APPROVAL	30/01/26	Saltmarsh & Escobar Consulting Engineers <b>S &amp; E</b>	DAVIS	DRAWING INDEX	NE	NE	-	30/03/26
1	REVISED FOR PLANNING APPROVAL	19/05/26		Leigh 0400 024 463 Noe 0416 074 935 info@lsandne.com	ADDRESS: 21 MONTAGU BAY ROAD MONTAGU BAY	PROJECT NAME: NEW DWELLING	SCALE: N.T.S.		SIZE: A3
					ISSUE: PLANNING APPROVAL	S&E REF: <b>26071</b>		DRAWING: <b>C001</b>	REVISION: <b>1</b>

**GENERAL**

1. These drawings shall be read in conjunction with all other contract drawings and specifications. Any discrepancies shall be referred to S&E for clarification.
2. Setting out dimensions and levels shown on the drawings shall be verified by the Contractor prior to commencement.
3. Dimensions shall not be obtained by scaling these drawings.
4. During construction the Contractor shall maintain excavations and structures in a stable condition and ensure that no part is overstressed under construction activities.
5. The contractor is responsible for the creation and maintenance of temporary site accesses. Strengthening of design pavements to carry construction vehicles (in excess of the design allowance) shall be at the contractor's expense.
6. Location and verification of existing services is the contractor's responsibility. Refer any services discovered onsite which are not shown on the drawings, or are in a different location to that shown to S&E. Seek confirmation from S&E that redundant services are able to be sealed and abandoned prior to doing so.
7. Protect all existing services and other infrastructure from damage during construction. Should damage occur, advise S&E immediately along with details of proposed remedial action. The cost of remedial work (including redesign if required) shall be borne by the contractor.
8. The contractor is responsible for undertaking whatever dilapidation surveys of existing buildings/infrastructure they consider necessary prior to construction commencing, and consultation with adjoining land owners to minimise disruption to services/access etc. during construction.
9. All surplus construction materials (including excess cut and fill material) shall be removed from the site (unless instructed otherwise) at completion.
10. Survey information has been supplied by Leary & Cox Surveyors for the purposes of preparing the design drawings. All other survey required to setout and construct the works shall be provided by the contractor.
11. All works are to be undertaken by the contractor and his subcontractors unless noted otherwise on the drawings.
12. Proposed changes to the design of any part of the works shall be submitted to S&E for review. The contractor shall bear all costs associated with the design change.
13. On completion, the contractor is to supply as-constructed drawings (prepared by a licensed surveyor in accordance with AS1100.401) and full service manual in both hard copy (3 sets) and electronic (.pdf and .dwg) formats.
14. The contractor is to allow for all testing of raw materials and constructed works that is required to demonstrate compliance with the nominated Australian Standards, specifications, and standard drawings.

**EARTHWORKS**

- E1. All earthworks shall be in accordance with AS3798 "Guidelines on earthworks for commercial and residential developments" with testing methods in accordance with AS1289 "Methods of testing soils for engineering purposes".
- E2. All existing topsoil, vegetation and debris under the building and paved areas shall be stripped to a minimum of 300mm unless noted otherwise. Top soil to be stockpiled as directed, and vegetation and debris removed from site unless noted otherwise. Tree stumps shall be grubbed and holes filled with approved compacted fill.
- E3. For excavation purposes, rock is defined as hard or strongly cemented beds or masses which cannot be ripped at a production rate exceeding 3 m<sup>3</sup> per hour using a standard 20 tonne excavator attached with a rock breaker.
- E4. Any interface between cut and fill shall be no steeper than 1V:3H. Cut horizontal benches for any fill placed on ground steeper than 1V:3H.
- E5. All excavations shall be inspected by the Engineer and/or the Local Authority before proceeding any further. Inspection and testing shall occur after each lift during filling. Testing (in accordance with Table 8.1 of AS3798.1) shall be arranged by the contractor such that results are available at time of inspection.
- E6. Subgrade shall be compacted to achieve 98% standard density ratio for cohesive soil, and 75% density index for cohesionless soil. Prior to filling, subgrade is to be proof roll tested. All proof roll testing is to be witnessed by the Engineer. The test shall consist of witnessing soil deflection from the tyre of a single rear axle truck driven at walking speed with a minimum 8 tonne rear axle load and a tyre pressure of 550 kPa. The allowable deflection of subgrade shall not be more than is just visible to an observer standing still as the test vehicle passes, and no visible movement is allowed for sub-base and base tests. Other vehicles that may be allowed by the Engineer are a 12 tonne static roller with 6 tonne/m load, or 20 tonne plant with 450 kPa tyres and greater than 0.035 m<sup>2</sup> contact area per tyre.
- E7. Fill shall be placed in horizontal layers of 200 to 300 mm deep loose measurement, unless testing can demonstrate to the Engineer that compaction is adequate within larger lifts. Compact each layer of fill within 1% of its optimum moisture content. Maximum particle size is two thirds depth of each lift. Each layer is to be proof roll tested, using nuclear density testing as directed to achieve 98% standard density ratio. For material 60 mm and courser, in-lieu of density testing a test by deflection to done using spot level difference at representative locations before and after rolling three times with 12 tonne roller, with acceptable differences being less than 2 mm.
- E8. Cohesionless (granular) fill to be used unless otherwise approved by the Engineer. Cohesionless (granular) fill to have less than 15% passing the 75 micron sieve, with grading curves submitted for approval. Cohesionless fill shall be compacted to the requirements of Table 5.1 of AS3798. Cohesive fill shall have a minimum 4 day soaked CBR of 5% and a maximum CBR swell of 1%. Minimum standard density ratios for cohesive material shall be as per Table 5.1 of AS3798. Reactive clay shall have a maximum standard density ratio of 100%. Landscaping zones should be compacted to standard density ratio of 85% unless noted otherwise.

**ROADWORKS**

- R1. All works to be in accordance with Local Government Association Tasmania - IPWEA standard drawings.
- R2. It is assumed roads accessing the development site are adequate to take the design traffic load during the design life of 40 years.
- R3. Pavement depth shall be as shown on the typical cross section but shall be subject to CBR testing of subgrade or proof rolling, with final depth shall be confirmed by the Engineer.
- R4. Kerb and channel shall be formed on a minimum of 100mm sub-base (see note R7) which shall extend a minimum 150 mm beyond the back of the kerb.
- R5. Subsoil drains shall be formed as shown on the drawings and in accordance with AS/NZS3500.
- R7. All radii are to the back of kerb.
- R8. The road profile and cross-fall shall be finished to the satisfaction of the Engineer and shall be to line and level indicated on the drawings, free of any local high or low areas which may hold water.
- R9. All gravel to comply with the following DIER specifications:  
 Base course: R40 class A - 19 mm Fine Crushed Rock (FCR)  
 Sub-base course: Sub-base 1 - 40 mm FCR
- R10. Sub-base shall have a minimum modified density ratio of 95% and base to have a minimum modified density ratio of 98%, with nuclear density test results available at proof roll inspection. Tests to be taken at a frequency based on AS3798 (typically the greater of four tests per inspection or one test per 1000 m<sup>3</sup>).
- R11. Proof roll shall be with a Truck using a single rear axle, tyres at 550 kPa, and the load over rear axle shall be 8 tonnes.
- R12. All landscaped areas affected by the works are to be reinstated to match existing. Refer Landscape Architect for specific requirements.
- R13. Concrete footpaths and driveways are to be constructed to the Municipal Standard drawings unless noted otherwise.

**APPROVALS**

1. Prior to construction commencing, the Contractor is responsible for ensuring that a valid building and engineering permit is in place for the work & that the relevant authorities are notified and allowed to inspect at the nominated hold points.
2. Unless nominated otherwise, the following inspection regime is to be adopted:
  - Road formations:  
Inspection of subgrade, subbase and base lifts, kerbing and seal undertaken by S&E;
  - Stormwater:  
Inspection of stormwater infrastructure to be owned by the local council undertaken by the local council;
  - Sewer and water:  
Sewer and water infrastructure to be owned by TasWater inspected and self certified by civil contractor or their subcontractor;
  - As-built services surveys  
Water, sewer, stormwater surveys undertaken by contractor's licensed surveyor (depth of water reticulation recorded prior to backfilling);
  - Installation of other in-ground services  
Power, communications, gas etc. undertaken by the relevant managing authority.
3. A minimum of 24 hours notice is required for S&E to attend the site. Do not rely upon facsimile or email to communicate requests - make contact with our office to confirm attendance.
4. Inspection of road formations may involve proof rolling with a test vehicle. Confirm with S&E and ensure a suitable vehicle is available at the time of inspection.
5. Photographic documentation is not an adequate basis to proceed beyond a hold point unless approved by S&E.

REV	DESCRIPTION	DATE	S & E		CLIENT:	SHEET:	DRAWN:	DESIGNED:	VERIFIED:	DATE:	
0	PLANNING APPROVAL	30/01/26	Saltmarsh & Escobar Consulting Engineers Leigh 0400 024 463 Noe 0416 074 935 info@lsandne.com	S & E	DAVIS	GENERAL NOTES 1	NE	NE	-	30/03/26	
1	REVISED FOR PLANNING APPROVAL	19/05/26			ADDRESS:	PROJECT NAME:	N.T.S		SIZE:	A3	
					21 MONTAGU BAY ROAD MONTAGU BAY	ISSUE:	NEW DWELLING	S&E REF:		DRAWING:	REVISION:
						PLANNING APPROVAL	26071		C002	1	

**STORMWATER**

- SW1. All works to be in accordance with Local Government Association Tasmania - IPWEA standard drawings.
- SW2. All materials and workmanship shall be in accordance with the local authority's specifications, standard drawings, by-laws and AS/NZS3500.
- SW3. Pipe and channel infrastructure has been designed to convey 20 year average recurrence interval (ARI) storms, with overland flow paths provided for 100 year ARI storms. It is assumed that water flowing onto the development site is contained within Local Authority infrastructure for 20 year ARI storms and the road reserve for 100 year ARI storms. For storms up to 24 hours duration, an allowance of 25% extra rainfall intensity has been made due to protected future climate change in Tasmania (above the 30-years-to-1983 intensities compared to projected ones in approximately 2080).
- SW4. Stormwater trenches, pipe bedding and back filling to comply with the Concrete Pipe Association of Australia installation requirements for type HS2 support.
- SW5. Below ground pipework and fittings to be PVC-U SWHD, joints shall be of solvent cement type or flexible joints made with approved rubber rings.
- SW6. Minimum grade of paved areas and pipework shall be 1 in 100. Paved areas ideally shaped to drain to grated pits and trenches without ponding (acceptable limit is 3 mm under a 2 m straight edge).
- SW7. Surface water drains, catchpits/grated pits, and junction boxes shall be constructed as detailed or as specified by the manufacturer. Grated pits to have 150 mm sumps. Pits and lids to be Class A in non-trafficked areas, and pre-cast concrete Class C elsewhere. Convey trench water into pits/manholes through weep holes on upstream side using 2 m of DN100 ag-drain with filter sock.
- SW8. Install all agricultural drains to the requirements of AS/NZS3500 and part 3.1.2. of the BCA.
- SW9. All hydraulic connections and tapings to be clear of driveways and trafficked areas.
- SW10. Where both stormwater and sewer lines are along rear and side boundaries they shall be located to fit inside a 3.0 m easement unless noted otherwise. A single line shall fit within a 2.0 m easement.
- SW11. All manholes to be located clear of future fencelines.
- SW12. Property connections to be clear of driveways and clear of future fencelines.

**SEWER**

- S1. All works in accordance with the Sewerage Code of Australia W.S.A. 02-2002-2.3 M.R.W.A. Edition - Version 1 and TasWater's Supplement (Draft 05 issued May 2013).
- S2. Property connections to be DN100 PVC-U with a minimum grade of 1 in 60. (Refer above code WSAA SEW-1106). To be located clear of trafficked areas, driveways and fences.
- S3. Where both stormwater and sewer lines are along a rear or side boundary they shall be located in an easement that wholly contains both services. Refer TasWaters Supplement Clause 4.2.5. and Clause 4.4.5.2 for clearances to other services.
- S4. All manholes to be located clear of future fence lines with end of lines to be 1.2 m past the boundary for any future extension. Refer Clause 4.3.6.

**WATER**

- W1. All works in accordance with the Water Supply Code of Australia W.S.A. 03-2011-3.1 M.R.W.A. Edition - Version 2 and TasWater's Supplement (Draft 03 issued May 2013)
- W2. Single house connections to be DN25 HDPE class 16 to TasWater's standard drawing TW-SD-W-20 series with meter, backflow device and box to each lot. Located 500 mm inside boundary and 500 mm from edge of driveway on middle side of lot.
- W3. All water mains to be tested and witnessed by the relevant water corporation inspector to static pressure plus 50% prior to backfilling.
- W4. All hydraulic connections and taping to be clear of driveways and trafficked areas.
- W5. For minimum cover over pipes refer to Clause 7.4.2 of the above Supplement.
- W6. All trenches under trafficked areas to be back filled with approved compacted FCR including future driveway extensions.
- W7. Flushing of mains to be carried out in accordance with the manufacturer's recommendations.
- W8. Electromagnetic tracker tape to be placed in all water main trenches above the pipe.
- W9. Taping and takeoffs to be separated by at least 1000 mm.
- W10. Water mains to be bedded on 80 mm approved 7 mm clean metal.
- W11. Concrete anchor blocks to be provided at all sudden changes of direction, both vertically and horizontally at tees and end of lines. Refer to above code drawings MRWA-W-205B and MRWA-W-205C.
- W12. Road crossings:  
DN100 PVC-U conduits for all HDPE.  
DICL with PE wrapping sleeve as per City West Water approved products catalogue.
- W13. For valve and hydrant surface box markings refer to Clause 8.10.3 of the above Supplement. Hydrant road markings to comply with the Institute of Municipal Engineering Australia Tasmania Division document titled Fire Hydrant Guidelines - refer section 8. All valves and hydrants to be resilient seated powder coated class 16 and all components to be DN100.

**RETAINING WALLS**

- RW1. Retaining walls shall be constructed in accordance with AS4678-2002.
- RW2. Backfill to walls shall be an approved granular material (clay shall not be used). A 300mm wide free draining drainage layer shall be provided behind the wall.
- RW3. Provide a suitable waterproofing system to the rear of the wall, unless confirmed otherwise.
- RW4. The wall shall be drained with 100mm slotted PVC pipe installed at 1% fall (minimum) and be connected to the stormwater disposal system (or weepholes installed at the base where appropriate).
- RW5. The Contractor shall maintain excavated batters at a stable slope and provide shoring to steeper excavations until construction and backfilling of the wall is complete.
- RW6. Retaining walls that rely on other structural elements for stability shall be provided with temporary support until after these elements have been constructed.
- RW7. The Contractor shall allow a suitable curing period prior to backfilling. Backfilling shall be performed in a controlled manner which will not impose excessive stress on the wall.

**CONCRETE**

- C1. All workmanship and materials shall be in accordance with AS3600.
- C2. Concrete grades (UNO on drawings) :
 

ELEMENT	Grade
General	N25
Footings	N20
Blinding	N15
Pavement	N25
- C3. Concrete shall not be poured when the site temperatures are below 5°C.
- C4. Concrete shall be cured by continuous wetting (water spray, ponding or irrigated hessian) or application of an impermeable membrane (secured plastic or curing compound) for an appropriate period of time (not less than 3 days). In hot dry and windy weather spray the surface with aliphatic alcohol while concrete is plastic, water cure for at least 24 hours then cover with impermeable membrane (or continue to water cure) for a further 2 days.
- C5. Construction joints shall be properly formed and used only where shown or specifically approved by the Engineer. Sawn joints shall be cut one third of the way through a slab, through the top mesh for 100 mm slabs and in thicker slabs the mesh shall be placed to avoid being cut. Unless noted elsewhere, sawn joints shall be at 6 m centres at points of changes in geometry and construction joints at 24 m, with jointed areas to have a plan aspect ratio no slenderer than 1:2.
- C6. Cover to reinforcement shall be 40 mm for slabs and 50 mm for footings.
- C7. Reinforcement shall be deformed, 500 MPa yield strength, normal (N) ductility in accordance with AS/NZS4671 for bars and low (L) ductility for mesh.
- C8. Formwork shall be designed and constructed in accordance with AS3610, and is the responsibility of the contractor.
- C9. All steel items to be cast into the concrete surface shall be hot dip galvanised.

REV	DESCRIPTION	DATE		CLIENT:	SHEET:	DRAWN:	DESIGNED:	VERIFIED:	DATE:
0	PLANNING APPROVAL	30/01/26	Saltmarsh & Escobar Consulting Engineers Leigh 0400 024 463 Noe 0416 074 935 info@lsandne.com	DAVIS	GENERAL NOTES 2	NE	NE	-	30/03/26
1	REVISED FOR PLANNING APPROVAL	19/05/26		ADDRESS:	PROJECT NAME:	N.T.S		SIZE: A3	
				21 MONTAGU BAY ROAD MONTAGU BAY	NEW DWELLING	S&E REF:	DRAWING:		REVISION:
					ISSUE:	26071		C003	1

CONSTRUCTION RISK ASSESSMENT

THIS CONSTRUCTION RISK ASSESSMENT IS TO HIGHLIGHT TO THE BUILDER, SUB CONTRACTORS AND SUB CONSULTANTS THE MAIN RICK FACTORS IN UNDERTAKING THE CONSTRUCTION OF THE WORKS TO WHICH THESE NOTES FORM PART OF THE WORKING DRAWINGS.

THIS ASSESSMENT IN NOT EXHAUSTIVE AND THE BUILDER IS TO UNDERTAKE THEIR OWN SIMILAR ASSESSMENT AND MAINTAIN APPROPRIATE RISK MANAGEMENT ACTIVITIES FOR THE DURATION OF THE CONSTRUCTION PERIOD.

IT IS THE BUILDER RESPONSIBILITY TO ENSURE ALL PERSONNEL THAT ENTER THE CONSTRUCTION SITE ARE BRIEFED ON THE SPECIFIC SAFETY HAZARDS AND RISKS ASSOCIATED WITH THE DAILY ACTIVITIES.

WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT WORK AND WORK AND HEALTH SAFETY REQUIREMENTS.

THIS SITE SPECIFIC RISK ASSESSMENT ASSIGNS A RISK RATING ACCORDING TO THE FOLLOWING MATRIX. THIS ASSIGNS THE MAIN CONSTRUCTION TASK A LIKELIHOOD (L), SEVERITY (S) AND RESULTING RISK RATING (R).

S&E HAS TO THE BEST OF THEIR ABILITY, UNDERTAKEN TO IDENTIFY POTENTIAL CONSTRUCTION HAZARDS AND MINIMIZE THE RISK POTENTIAL TO THOSE INVOLVED WITH THE CONSTRUCTION OF THESE WORKS.

		Severity (S)				
		H	Fatality, major injury causing long term disability	M	Injury or illness causing short term disability	L
Likelihood (L)	H	Certain or near certain	3	3	2	1
	M	Reasonably likely	3	2	1	1
	L	Very seldom	2	1	1	1

Risk Rating (R)

- 3 High risk Action required by contractor to mitigate or eliminate risk.
- 2 Medium risk Action required by contractor to reduce risk.
- 1 Low risk No direct action required by the contractor.

Hazard risk register and design safety response						Before control		After control		Drawing	
Category	Hazard (factor/event)	Consequence Description	Likelihood	Consequence	Uncontrolled Risk Rating	Control Measure	Control type	Likelihood	Consequence	Controlled Risk Rating	Number(s)
<b>DEMOLITION (prior to construction)</b>											
General	Working at heights	Fall leading to serious injury and/or fatality	Possible	Extreme	H	Work in accordance with Safe Work Australia Codes of Practice: Preventing Falls in Housing Construction, Managing the Risk of Falls in the Workplace	Administration	Rare	Extreme	M	
	Plant & equipment	Serious injury and/or fatality to workers, public	Possible	Extreme	H	Work in accordance with Safe Work Australia Code of Practice: Managing Risks of Plant in the Workplace	Engineering	Rare	Extreme	M	
	Contamination / Hazardous substances	Serious injury and/or fatality to workers, public	Unlikely	Extreme	H	Undertake contamination investigation/audit. Work in accordance with Safe Work Australia Code of Practice: Demolition Work	Isolation	Rare	Extreme	M	
	Erosion	Uncontrolled erosion pollutes stormwater systems and/or watercourses downstream	Likely	Minor	M	Install erosion protection and follow Stormwater Management Plan (SWMP)	Engineering	Rare	Minor	L	
Existing Services	Stormwater services	Damage to existing service	Possible	Minor	L	Dial before you dig (1100) & locate existing services on site prior to commencing work. Work in accordance with local authority guidelines & Safe Work Australia Code of Practice: Demolition Work	Isolation	Rare	Minor	L	
	Sewer services	Damage to existing service	Possible	Minor	L	Dial before you dig (1100) & locate existing services on site prior to commencing work. Work in accordance with local authority guidelines & Safe Work Australia Code of Practice: Demolition Work	Isolation	Rare	Minor	L	
	Water supply	Damage to existing service and injury to worker and/or undermining of adjacent structure	Possible	Extreme	H	Dial before you dig (1100) & locate existing services on site prior to commencing work. Work in accordance with local authority guidelines & Safe Work Australia Code of Practice: Demolition Work	Isolation	Extremely Rare	Extreme	L	
	Electrical services	Electrocution and serious injury/fatality	Possible	Extreme	H	Dial before you dig (1100) & locate existing services on site prior to commencing work. Work in accordance with local authority guidelines & Safe Work Australia Code of Practice: Demolition Work	Isolation	Extremely Rare	Extreme	L	
<b>CONSTRUCTION</b>											
General	Working at heights	Fall leading to serious injury and/or fatality	Possible	Extreme	H	Work in accordance with Safe Work Australia Codes of Practice: Preventing Falls in Housing Construction, Managing the Risk of Falls in the Workplace	Administration	Rare	Extreme	M	
	Plant & equipment	Serious injury and/or fatality to workers, public	Possible	Extreme	H	Work in accordance with Safe Work Australia Code of Practice: Managing Risks of Plant in the Workplace	Engineering	Rare	Extreme	M	
	Contamination/hazardous substances	Serious injury and/or fatality to workers, public	Unlikely	Extreme	H	Undertake contamination investigation/audit. Work in accordance with Safe Work Australia Code of Practice: Demolition Work	Isolation	Rare	Extreme	M	
	Construction loading	Construction loads (due to traffic, back propping etc.) on structures exceed design load allowances, collapse, serious injury and/or fatality	Unlikely	Extreme	H	Limit construction loads to the documented design loads. Develop and implement site specific traffic management plan and direct traffic on site	Administration	Rare	Extreme	M	
	Manual handling of heavy materials & equipment	Major injury	Possible	Major	H	Make sure to use proper lifting techniques, Use appropriate lifting equipment and adhere to recognised safe work procedures.	Administration	Rare	Major	L	
	Use of vibrating equipment (jack breaker, vibrating roller etc.) adjacent to existing building/infrastructure	Damage to neighbouring property, possible minor injury	Possible	Major	H	Dilapidation survey prior to work starting, use appropriate sized plant and monitor neighbouring property	Administration	Rare	Major	L	
	Construction in confined spaces	Entrapment, suffocation leading to serious injury and/or fatality	Possible	Extreme	H	Entry to confined spaces by permit only and by trained personnel. Work in accordance with Safe Work Australia Code of Practice: Confined Spaces	Administration	Extremely Rare	Extreme	L	
	Construction traffic	Uncontrolled site traffic entering and leaving site causes serious injury/fatality	Unlikely	Extreme	H	Develop and implement site specific traffic management plan and direct traffic on site	Administration	Rare	Extreme	M	
	Working in remote or extreme environment	Unreliable or infrequent access to essential services and supplies in the event of an emergency	Unlikely	Extreme	H	Develop and implement site specific disaster plan, including communication and transport plans	Administration	Extremely Rare	Extreme	L	
Excavation	Extreme weather/natural disaster	High winds, earthquakes, bushfire etc. makes site unsafe. Serious injury/fatality	Unlikely	Extreme	H	Prepare site and monitor weather, and secure site and evacuate in a timely manner as required.	Administration	Extremely Rare	Extreme	L	
	Deep excavations (>1.5m deep)	Collapse of excavation leading to serious injury and/or fatality	Possible	Extreme	H	Work in accordance with Safe Work Australia Code of Practice: Excavation Work. Engage a Temporary Works Engineer to provide specific shoring advice.	Engineering	Extremely Rare	Extreme	L	
	Shallow excavations (<1.5m deep)	Collapse of excavation, serious injury	Possible	Moderate	M	Work in accordance with Safe Work Australia Code of Practice: Excavation Work.	Administration	Extremely Rare	Moderate	L	
	Steep slopes	Collapse of excavation leading to serious injury and/or fatality	Possible	Extreme	H	Work in accordance with Safe Work Australia Code of Practice: Excavation Work. Engage Geotechnical Engineer /or Temporary Works Engineer to provide specific advice	Administration	Extremely Rare	Extreme	L	
In-ground concrete	High level spread footings	Fall, injury	Possible	Moderate	M	Work in accordance with Safe Work Australia Code of Practice: Excavation Work. Provide reinforcement caps to all starter bars	Administration	Rare	Moderate	L	
	Bored, cast in situ piles/piers	Fall leading to serious injury and/or fatality	Possible	Extreme	H	Work in accordance with Safe Work Australia Code of Practice: Excavation Work. Pour concrete as soon as practical after excavation	Administration	Extremely Rare	Extreme	L	
	Lift overrun shafts	Fall leading to serious injury and/or fatality	Possible	Major	H	Work in accordance with Safe Work Australia Code of Practice: Excavation Work. Provide reinforcement caps to all starter bars or other potential impalement hazards.	Administration	Extremely Rare	Major	L	
Retaining walls	Temporary support until slabs are poured	Collapse leading to serious injury and/or fatality	Almost Certain	Extreme	E	Do not backfill wall prior to completion of supporting structure and adequate curing time. Engage Temporary Works Engineer to provide specific advice if early backfilling is required.	Engineering	Extremely Rare	Extreme	L	
	Temporary support whilst backfilling	Collapse leading to serious injury and/or fatality	Possible	Extreme	H	Do not backfill until concrete footing and grout fill to wall have reached 28 day strength. Alternatively engage a Temporary Works Engineer to provide specific advice.	Engineering	Extremely Rare	Extreme	L	
	Installation of tanking, drainage etc. behind wall	Collapse leading to serious injury and/or fatality	Possible	Extreme	H	Install without accessing rear of wall. Alternatively engage a Temporary Works Engineer to provide specific advice.	Administration	Extremely Rare	Extreme	L	
Precast concrete	Transport, handling and erection of precast elements	Collapse leading to serious injury and/or fatality	Likely	Catastrophic	E	Work in accordance with the National Code of Practice for Precast, Tilt-up and Concrete Elements in Buildings. Engage a Temporary Works Engineer to provide specific advice.	Engineering	Extremely Rare	Catastrophic	M	
	Temporary support of precast elements	Collapse leading to serious injury and/or fatality	Likely	Catastrophic	E	Work in accordance with the National Code of Practice for Precast, Tilt-up and Concrete Elements in Buildings. Engage a Temporary Works Engineer to provide specific advice.	Administration	Extremely Rare	Catastrophic	M	
Suspended concrete	Formwork support	Collapse leading to serious injury and/or fatality	Possible	Catastrophic	E	Engage a Temporary Works Engineer to provide specific advice.	Engineering	Extremely Rare	Catastrophic	M	
	Back propping	Collapse leading to serious injury and/or fatality	Unlikely	Catastrophic	E	Engage a Temporary Works Engineer to provide specific advice.	Engineering	Extremely Rare	Catastrophic	M	
	Live edges	Fall leading to serious injury and/or fatality	Possible	Extreme	H	Prevent live edges and/or install temporary floors. Work in accordance with Safe Work Australia Codes of Practice: Preventing Falls in Housing Construction, Managing the Risk of Falls in the Workplace	Isolation	Extremely Rare	Extreme	L	
	Openings in formwork	Fall leading to serious injury and/or fatality	Likely	Extreme	E	Prevent live edges and/or install temporary floors Work in accordance with Safe Work Australia Codes of Practice: Preventing Falls in Housing Construction, Managing the Risk of Falls in the Workplace	Isolation	Extremely Rare	Extreme	L	
Framing	Transport, handling and erection of steel/timber framing	Collapse of structure or fall from height, leading to serious injury and/or fatality	Possible	Extreme	H	Engage a Temporary Works Engineer to provide specific advice. Work in accordance with Safe Work Australia Codes of Practice: Preventing Falls in Housing Construction, Managing the Risk of Falls in the Workplace	Engineering	Extremely Rare	Extreme	L	
<b>OPERATION (in service)</b>											
Performance	Services/infrastructure is fit for purpose and safe to use	Loss of amenity	Unlikely	Major	M	Services/infrastructure designed by a competent person in accordance with relevant Australian Standards, NCC and recognised engineering principles	Engineering	Extremely Rare	Extreme	L	
	Structure is fit for purpose and safe to use	Collapse leading to serious injury and/or fatality	Unlikely	Catastrophic	E	Structure designed by a competent person in accordance with relevant Australian Standards, NCC and recognised engineering principles	Engineering	Extremely Rare	Catastrophic	M	
Modifications	Alterations and additions affecting structure	Collapse leading to serious injury and/or fatality	Possible	Extreme	H	Engage a Structural Engineer to provide specific advice. All work to be undertaken in accordance with relevant building regulations.	Engineering	Extremely Rare	Extreme	L	
	Alterations affecting civil or hydraulic services	Impaired functionality, reduced safety leading to serious injury and/or fatality	Possible	Extreme	H	Engage a specialist (civil, hydraulic, traffic) engineer to provide specific advice. All work to be undertaken in accordance with relevant building regulations.	Engineering	Extremely Rare	Extreme	L	
Post disaster functions	Natural disaster (earthquake, flood, bushfire etc.)	Building is not operational during or after a natural disaster and cannot deliver essential services	Possible	Catastrophic	E	Design building to relevant Australian Standards, NCC and consult with building operator for specific requirements which exceed these standards.	Engineering	Extremely Rare	Catastrophic	M	

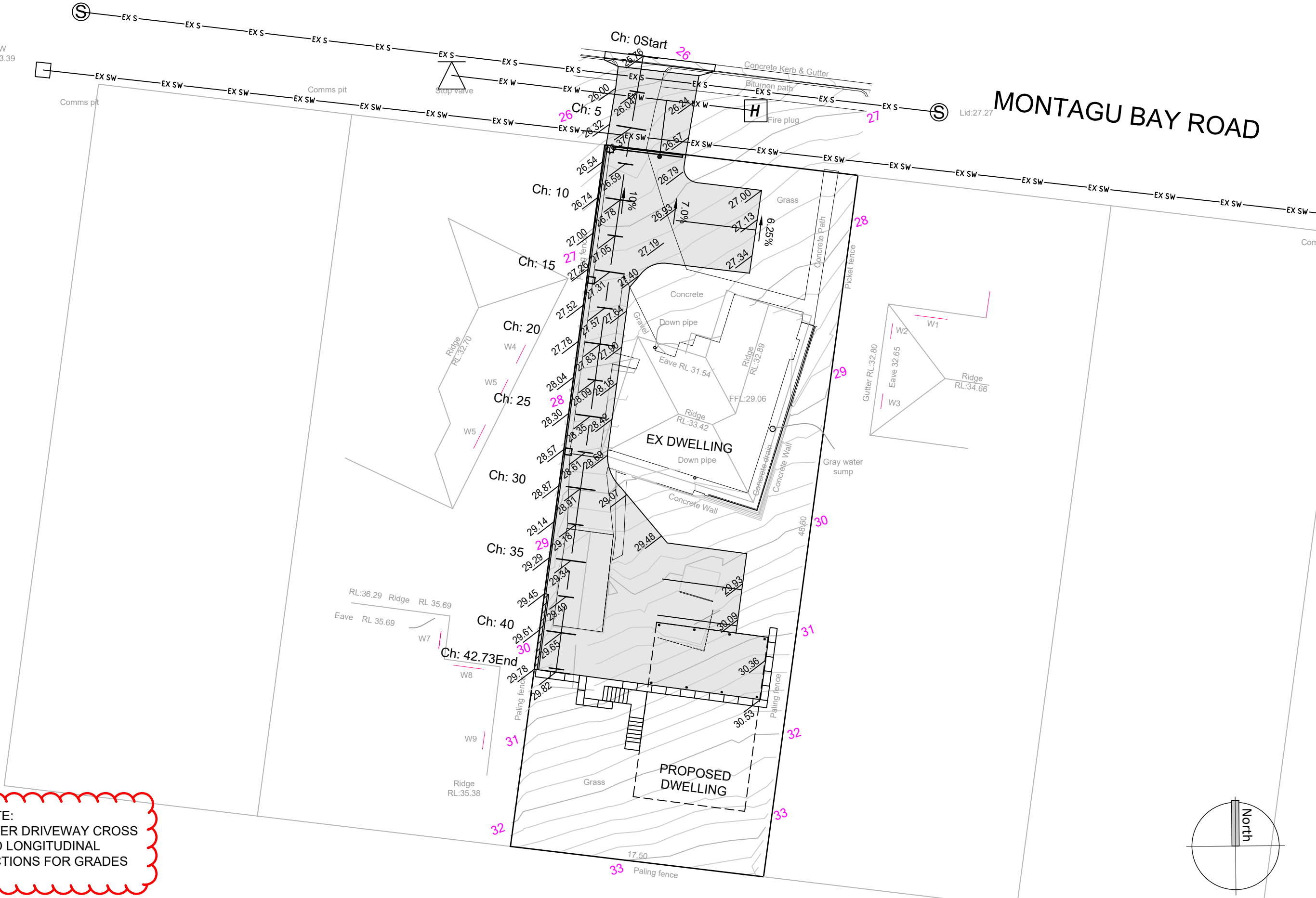
REV	DESCRIPTION	DATE
0	PLANNING APPROVAL	30/01/26
1	REVISED FOR PLANNING APPROVAL	19/05/26

Saltmarsh & Escobar Consulting Engineers  
 Leigh 0400 024 463  
 Noe 0416 074 935  
 info@lsandne.com

CLIENT:	DAVIS	SHEET:	SAFETY IN DESIGN	DRAWN:	NE	DESIGNED:	NE	VERIFIED:	-	DATE:	30/03/26
ADDRESS:	21 MONTAGU BAY ROAD MONTAGU BAY	PROJECT NAME:	NEW DWELLING	SCALE:	N.T.S		SIZE:	A3			
		ISSUE:	PLANNING APPROVAL	S&E REF:	26071		DRAWING:	C004		REVISION:	1

S/W  
Lid:23.39

# MONTAGU BAY ROAD



**NOTE:**  
REFER DRIVEWAY CROSS  
AND LONGITUDINAL  
SECTIONS FOR GRADES

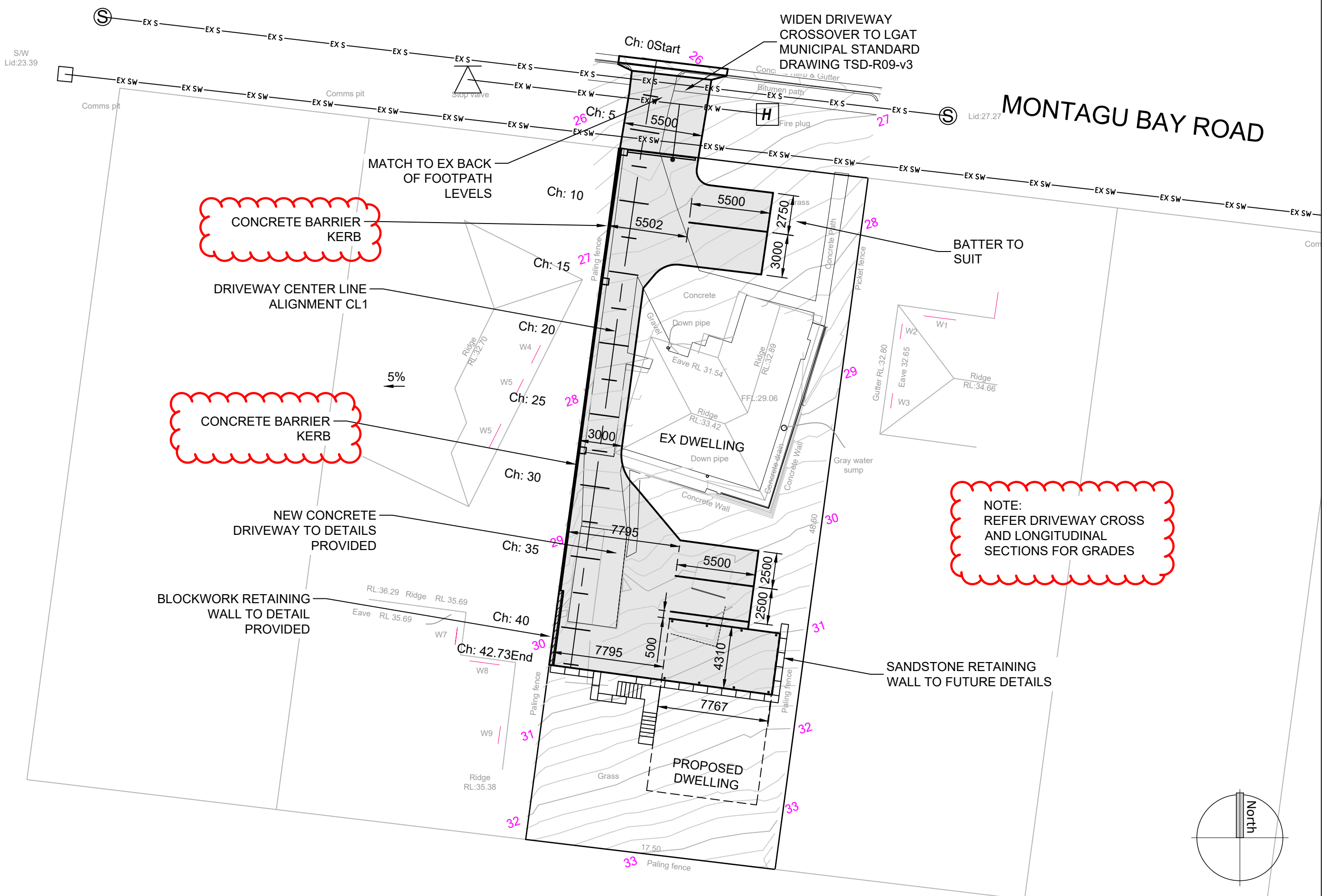
REV	DESCRIPTION	DATE
0	PLANNING APPROVAL	30/01/26
1	REVISED FOR PLANNING APPROVAL	19/05/26

Saltmarsh & Escobar Consulting Engineers  
 Leigh 0400 024 463  
 Noe 0416 074 935  
 info@lsandne.com

CLIENT: DAVIS  
 ADDRESS: 21 MONTAGU BAY ROAD  
 MONTAGU BAY

SHEET: LEVELS & GRADES  
 PROJECT NAME: NEW DWELLING  
 ISSUE: PLANNING APPROVAL

DRAWN: NE	DESIGNED: NE	VERIFIED: -	DATE: 30/03/26
SCALE: 1:200		SIZE: A3	
S&E REF: 26071		DRAWING: C101	REVISION: 1



REV	DESCRIPTION	DATE
0	PLANNING APPROVAL	30/01/26
1	REVISED FOR PLANNING APPROVAL	19/05/26

Saltmarsh & Escobar Consulting Engineers

Leigh 0400 024 463  
Noe 0416 074 935  
info@lsandne.com

**S & E**

CLIENT: DAVIS

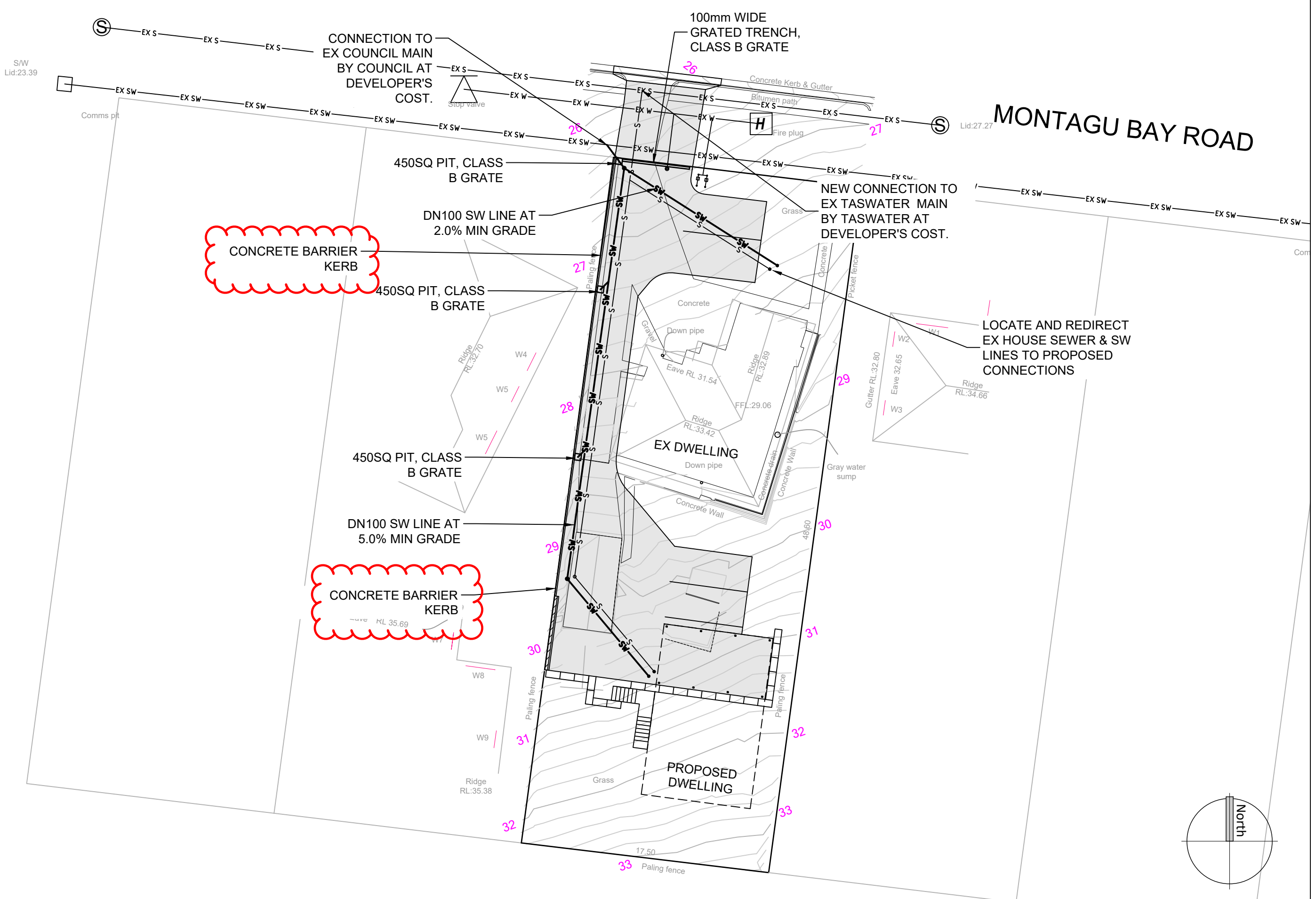
ADDRESS: 21 MONTAGU BAY ROAD  
MONTAGU BAY

SHEET: SITEWORKS DETAILS & NOTES

PROJECT NAME: NEW DWELLING

ISSUE: PLANNING APPROVAL

DRAWN: NE	DESIGNED: NE	VERIFIED: -	DATE: 30/03/26
SCALE: 1:200		SIZE: A3	
S&E REF: 26071	DRAWING: C102	REVISION: 1	



CONCRETE BARRIER KERB

CONCRETE BARRIER KERB

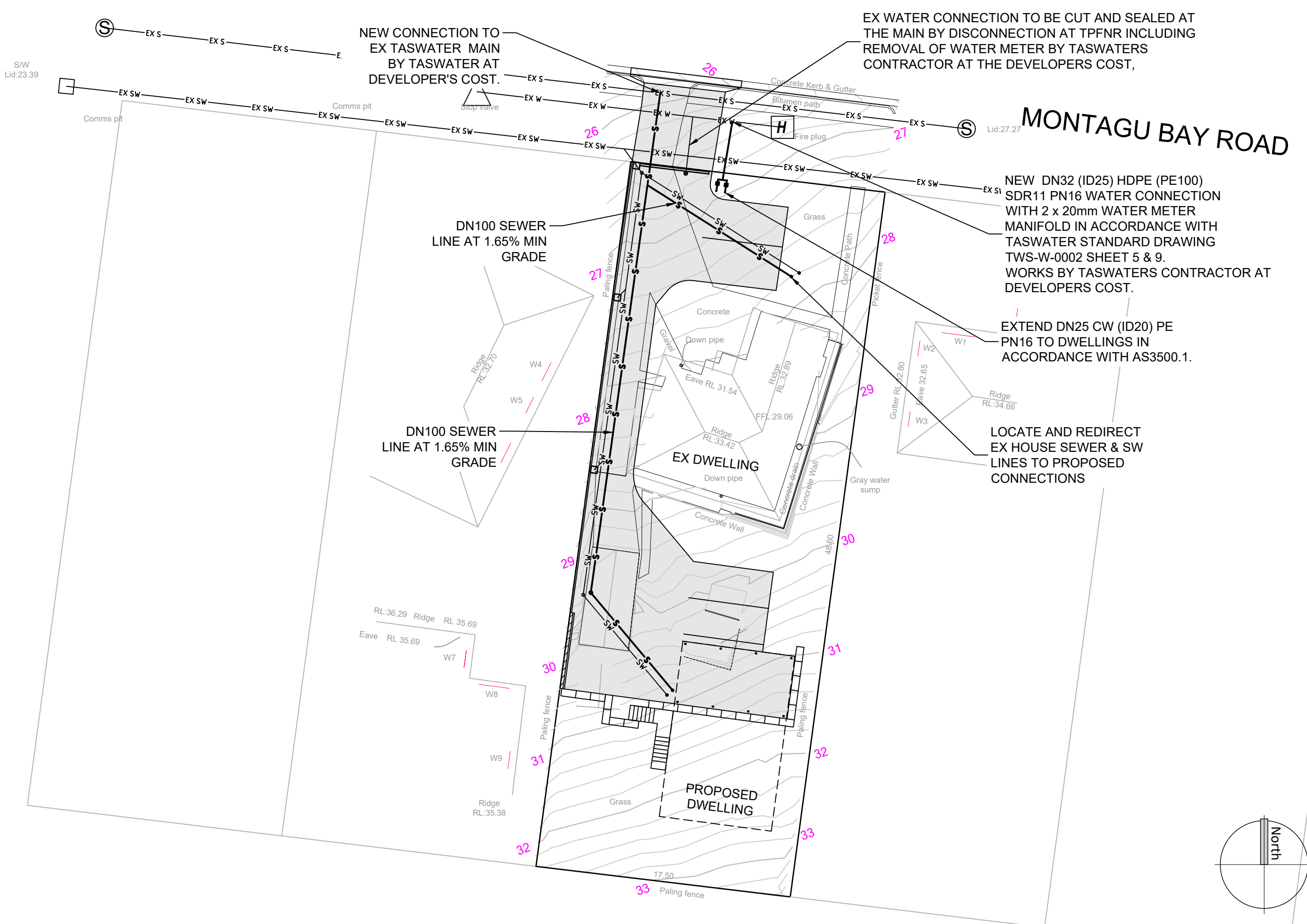
REV	DESCRIPTION	DATE
0	PLANNING APPROVAL	30/01/26
1	REVISED FOR PLANNING APPROVAL	19/05/26

Saltmarsh & Escobar Consulting Engineers  
 Leigh 0400 024 463  
 Noe 0416 074 935  
 info@lsandne.com

CLIENT: DAVIS  
 ADDRESS: 21 MONTAGU BAY ROAD  
 MONTAGU BAY

SHEET: STORMWATER PLAN  
 PROJECT NAME: NEW DWELLING  
 ISSUE: PLANNING APPROVAL

DRAWN: NE	DESIGNED: NE	VERIFIED: -	DATE: 30/03/26
SCALE: 1:200		SIZE: A3	
S&E REF: 26071	DRAWING: C103	REVISION: 1	



NEW CONNECTION TO EX TASWATER MAIN BY TASWATER AT DEVELOPER'S COST.

EX WATER CONNECTION TO BE CUT AND SEALED AT THE MAIN BY DISCONNECTION AT TPFNR INCLUDING REMOVAL OF WATER METER BY TASWATERS CONTRACTOR AT THE DEVELOPERS COST,

**MONTAGU BAY ROAD**

DN100 SEWER LINE AT 1.65% MIN GRADE

NEW DN32 (ID25) HDPE (PE100) SDR11 PN16 WATER CONNECTION WITH 2 x 20mm WATER METER MANIFOLD IN ACCORDANCE WITH TASWATER STANDARD DRAWING TWS-W-0002 SHEET 5 & 9. WORKS BY TASWATERS CONTRACTOR AT DEVELOPERS COST.

EXTEND DN25 CW (ID20) PE PN16 TO DWELLINGS IN ACCORDANCE WITH AS3500.1.

DN100 SEWER LINE AT 1.65% MIN GRADE

LOCATE AND REDIRECT EX HOUSE SEWER & SW LINES TO PROPOSED CONNECTIONS

REV	DESCRIPTION	DATE
0	PLANNING APPROVAL	30/01/26
1	REVISED FOR PLANNING APPROVAL	19/05/26

Saltmarsh & Escobar Consulting Engineers

Leigh 0400 024 463  
Noe 0416 074 935  
info@lsandne.com

**S & E**

CLIENT: DAVIS

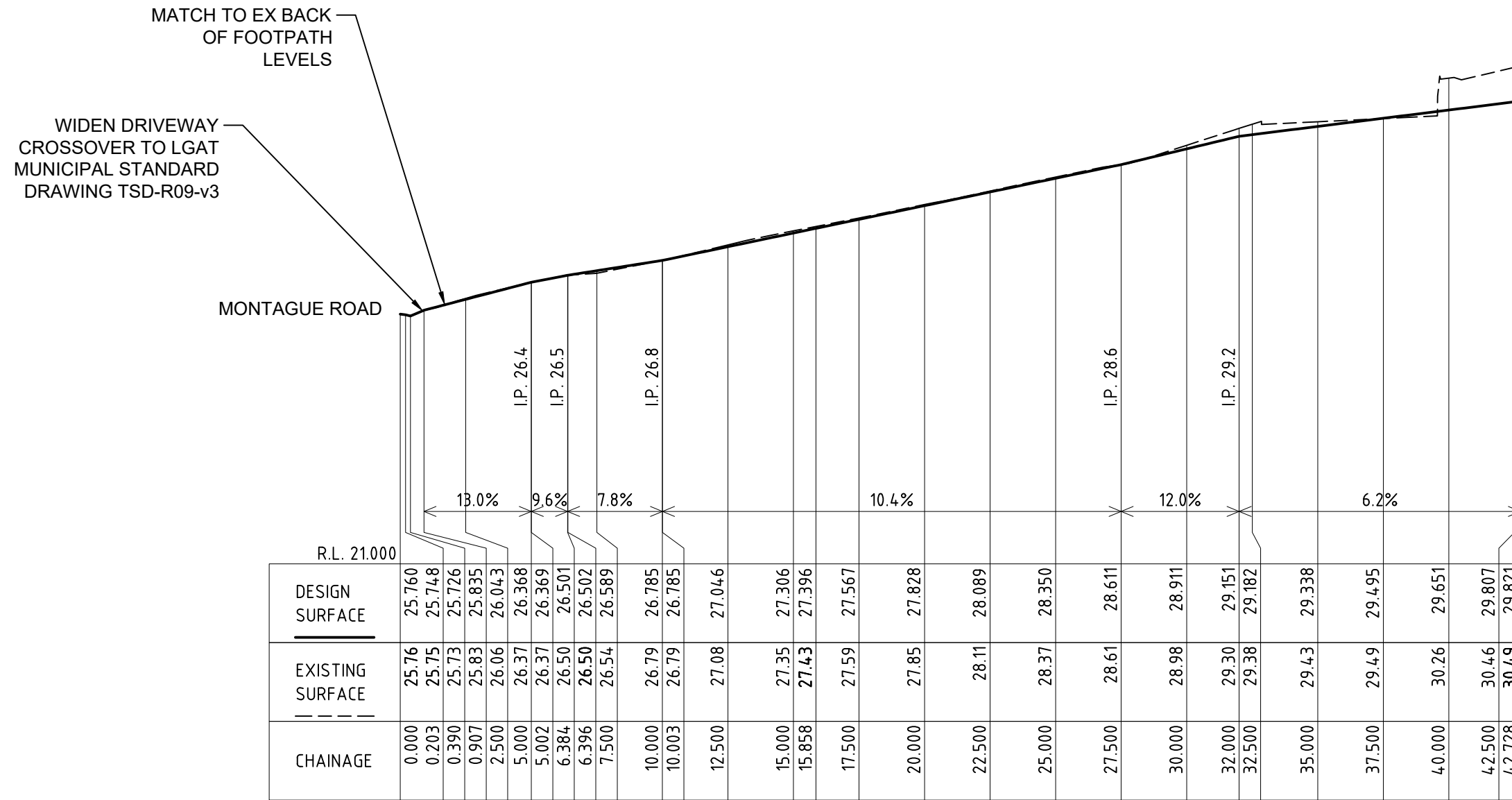
ADDRESS: 21 MONTAGU BAY ROAD  
MONTAGU BAY

SHEET: SEWER & WATER PLAN

PROJECT NAME: NEW DWELLING

ISSUE: PLANNING APPROVAL

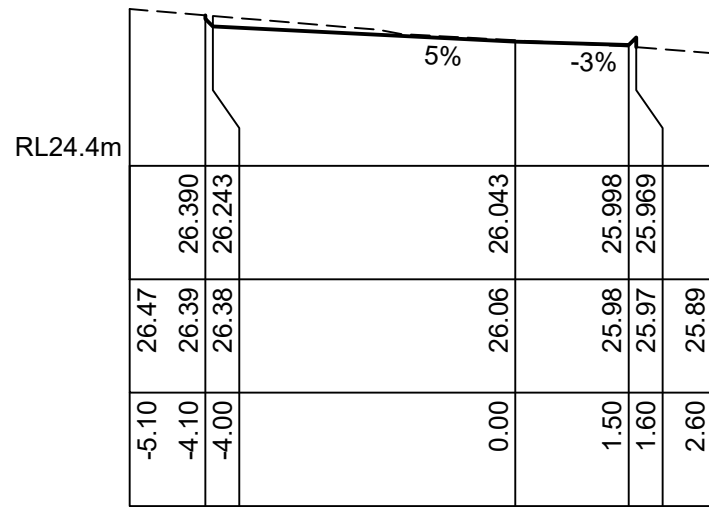
DRAWN: NE	DESIGNED: NE	VERIFIED: -	DATE: 30/03/26
SCALE: 1:200		SIZE: A3	
S&E REF: 26071	DRAWING: C103A	REVISION: 1	



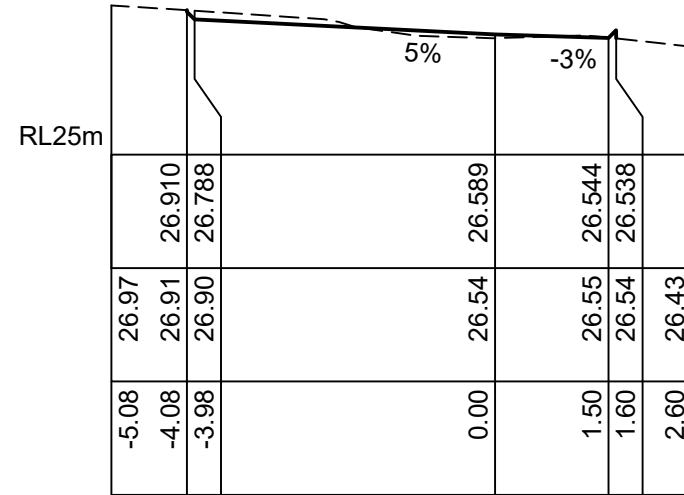
## LONGITUDINAL SECTION - CL1

SCALES: HORIZONTAL 1:200 VERTICAL 1:100

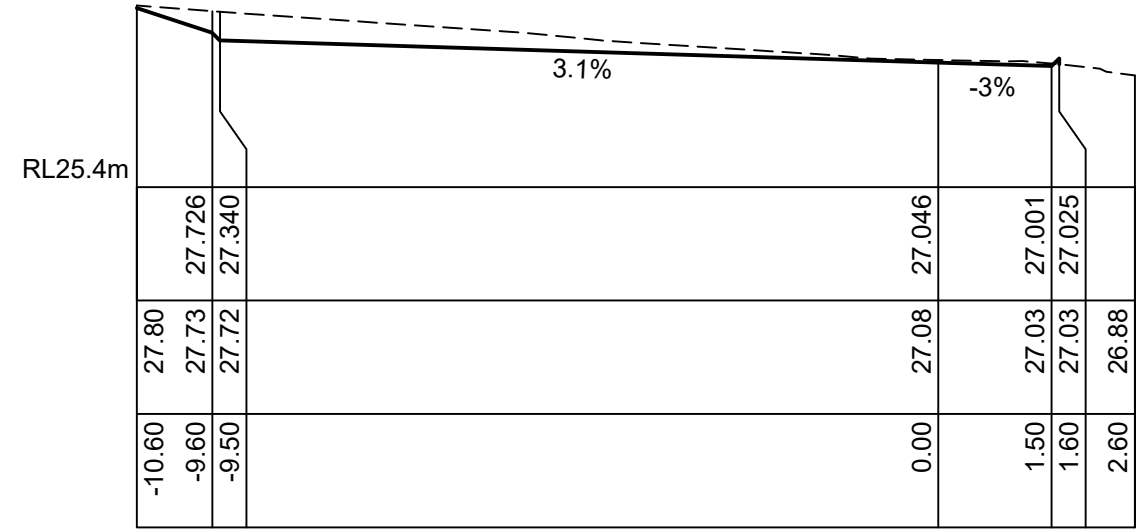
REV	DESCRIPTION	DATE		CLIENT:	SHEET:	DRAWN:	DESIGNED:	VERIFIED:	DATE:
0	PLANNING APPROVAL	30/01/26	Saltmarsh & Escobar Consulting Engineers Leigh 0400 024 463 Noe 0416 074 935 info@lsandne.com	DAVIS	LONGITUDINAL SECTION CL1	NE	NE	-	30/03/26
1	REVISED FOR PLANNING APPROVAL	19/05/26		ADDRESS:	PROJECT NAME:	AS SHOWN		SCALE:	SIZE:
				21 MONTAGU BAY ROAD MONTAGU BAY	NEW DWELLING			S&E REF:	A3
					ISSUE:	26071		DRAWING:	REVISION:
					PLANNING APPROVAL	C104			1



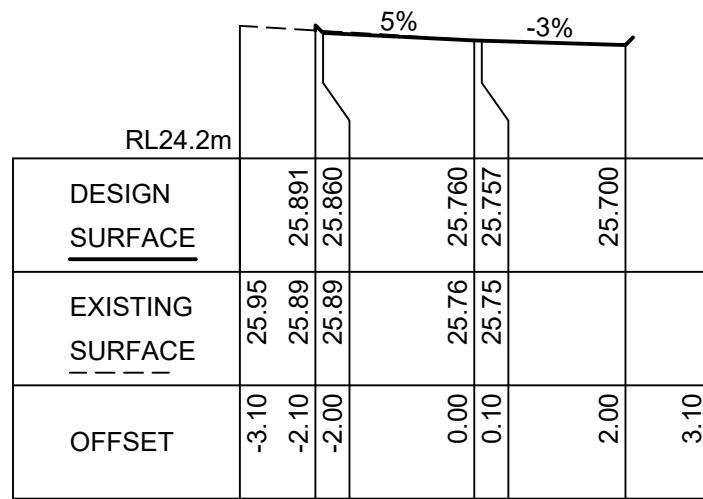
Ch 2.50 m



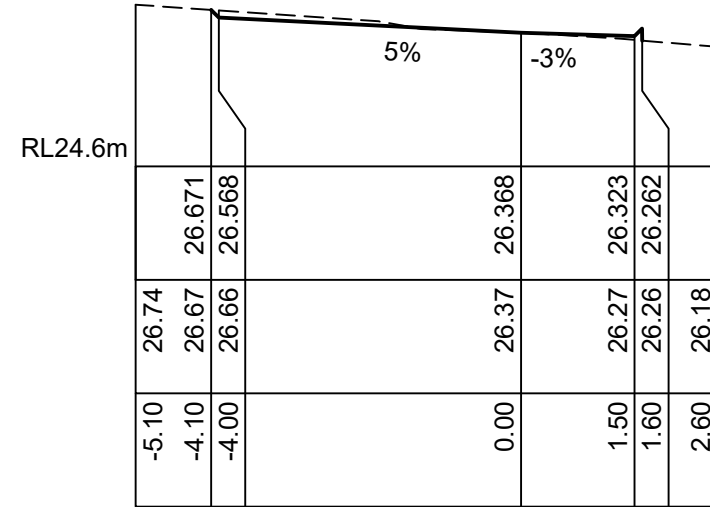
Ch 7.50 m



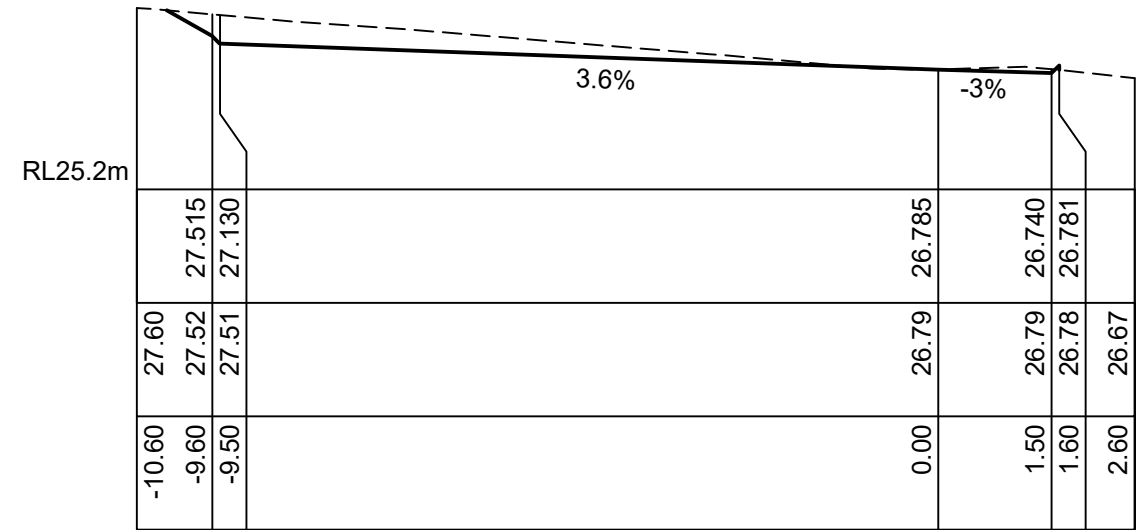
Ch 12.50 m



Ch 0.00 m



Ch 5.00 m



Ch 10.00 m

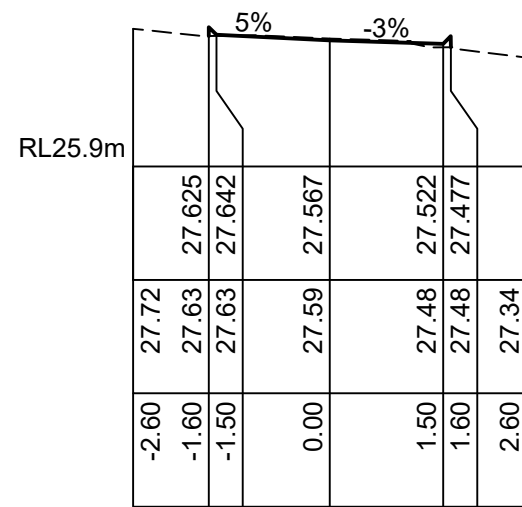
REV	DESCRIPTION	DATE
0	PLANNING APPROVAL	30/01/26
1	REVISED FOR PLANNING APPROVAL	19/05/26

Saltmarsh & Escobar Consulting Engineers  
 Leigh 0400 024 463  
 Noe 0416 074 935  
 info@lsandne.com

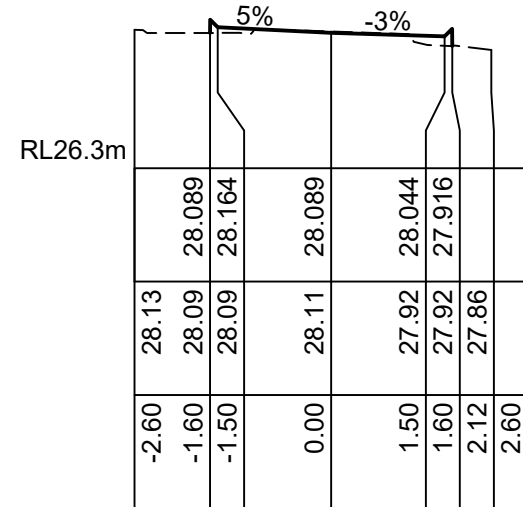
CLIENT:	DAVIS
ADDRESS:	21 MONTAGU BAY ROAD MONTAGU BAY

SHEET:	CROSS SECTIONS PLAN 1
PROJECT NAME:	NEW DWELLING
ISSUE:	PLANNING APPROVAL

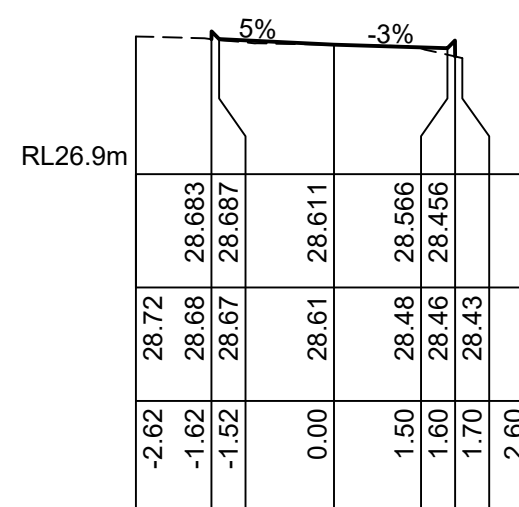
DRAWN:	DESIGNED:	VERIFIED:	DATE:
NE	NE	-	30/03/26
SCALE:	1:100	SIZE:	A3
S&E REF:	26071	DRAWING:	C105
		REVISION:	1



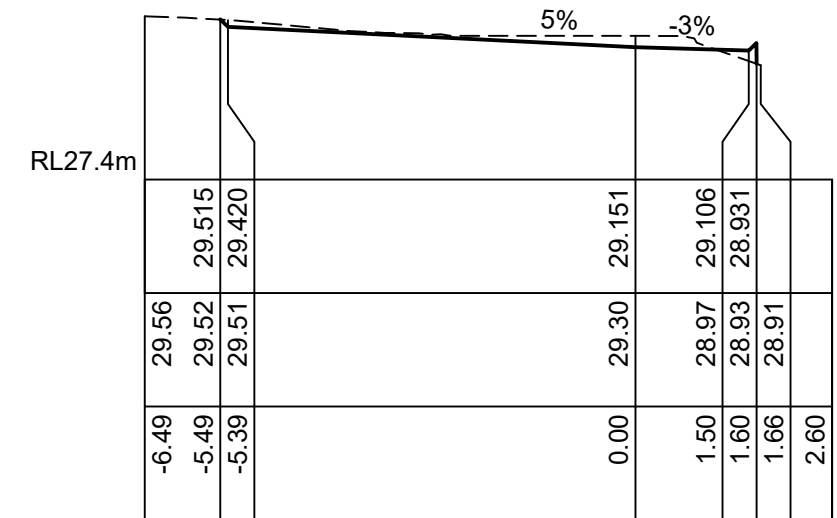
Ch 17.50 m



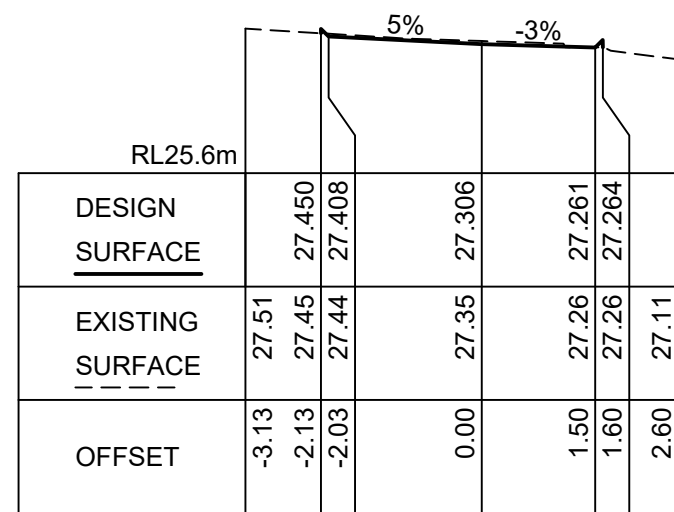
Ch 22.50 m



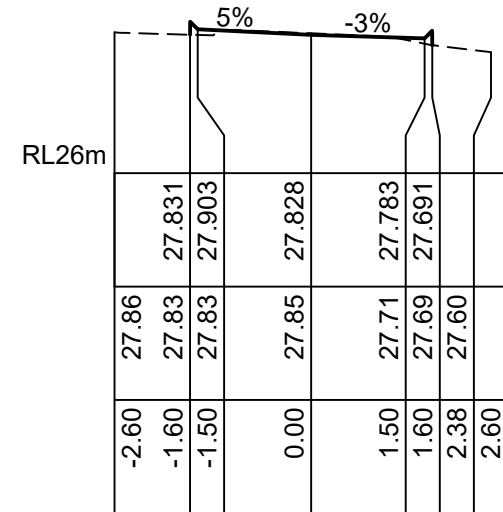
Ch 27.50 m



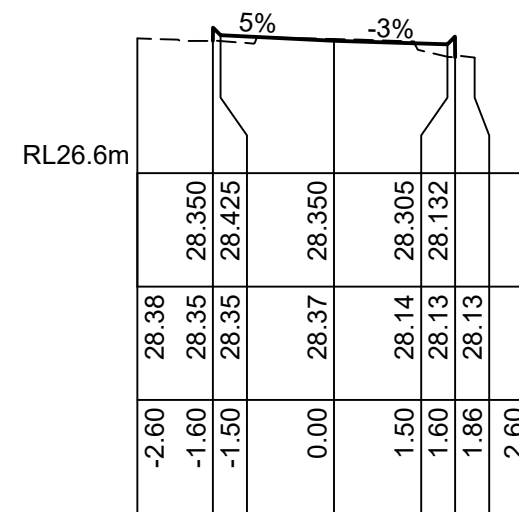
Ch 32.00 m



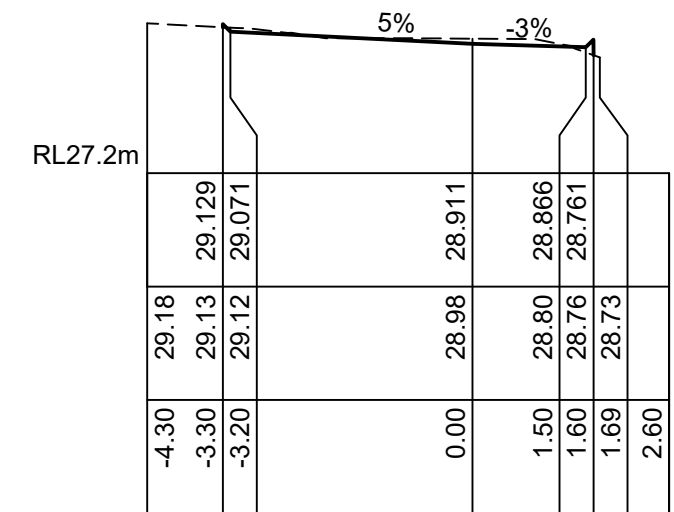
Ch 15.00 m



Ch 20.00 m



Ch 25.00 m



Ch 30.00 m

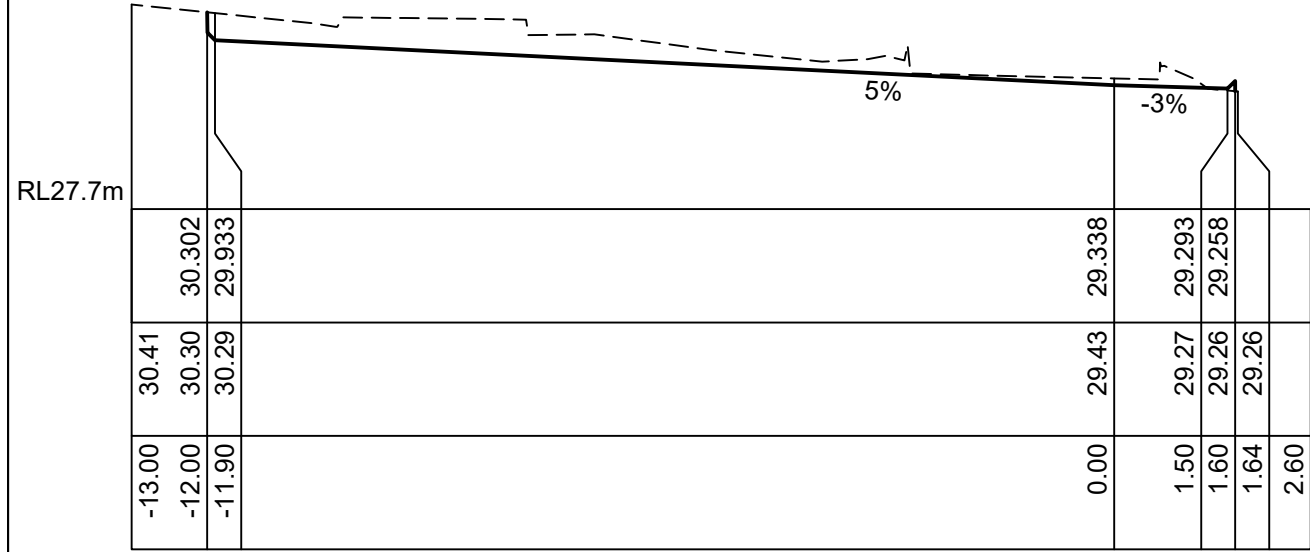
REV	DESCRIPTION	DATE
0	PLANNING APPROVAL	30/01/26
1	REVISED FOR PLANNING APPROVAL	19/05/26

Saltmarsh & Escobar Consulting Engineers  
 Leigh 0400 024 463  
 Noe 0416 074 935  
 info@lsandne.com

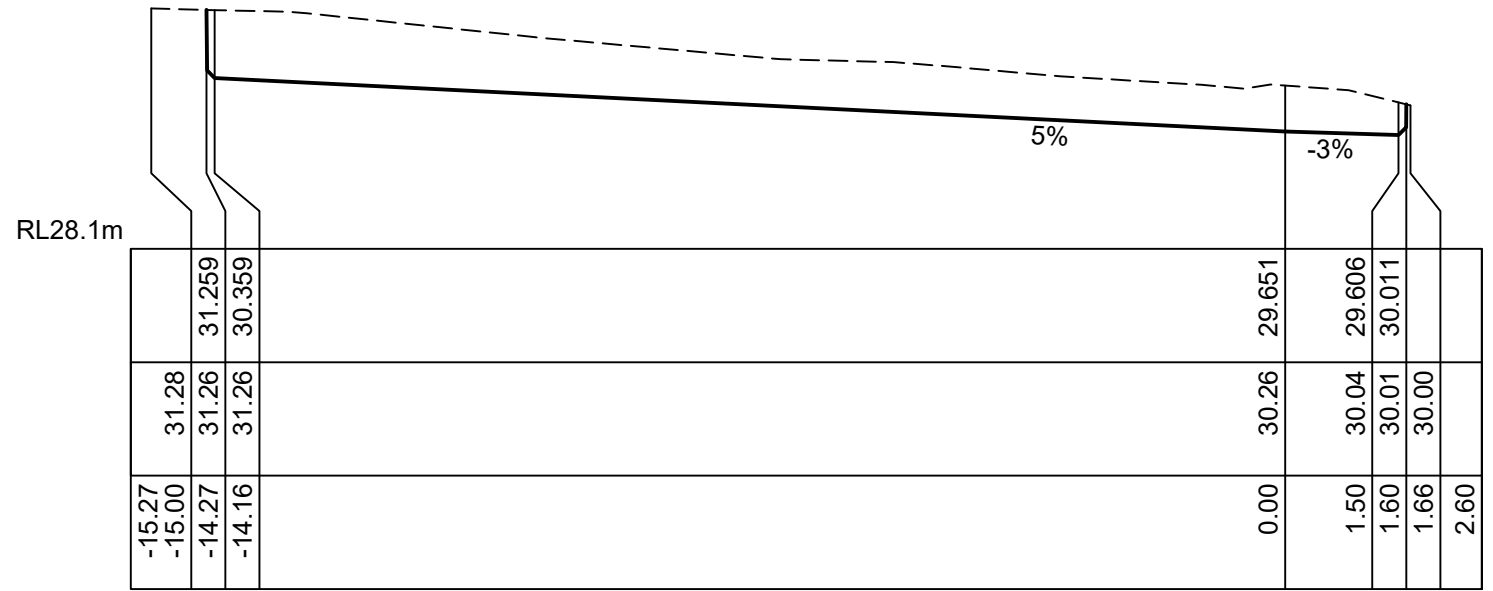
CLIENT:	DAVIS
ADDRESS:	21 MONTAGU BAY ROAD MONTAGU BAY

SHEET:	CROSS SECTIONS PLAN 2
PROJECT NAME:	NEW DWELLING
ISSUE:	PLANNING APPROVAL

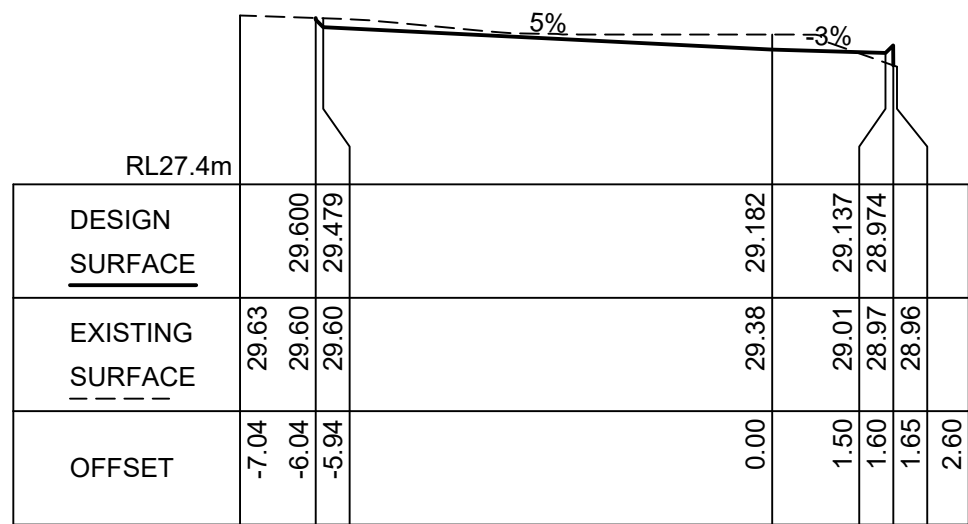
DRAWN:	DESIGNED:	VERIFIED:	DATE:
NE	NE	-	30/03/26
SCALE:	1:100	SIZE:	A3
S&E REF:	26071	DRAWING:	C106
		REVISION:	1



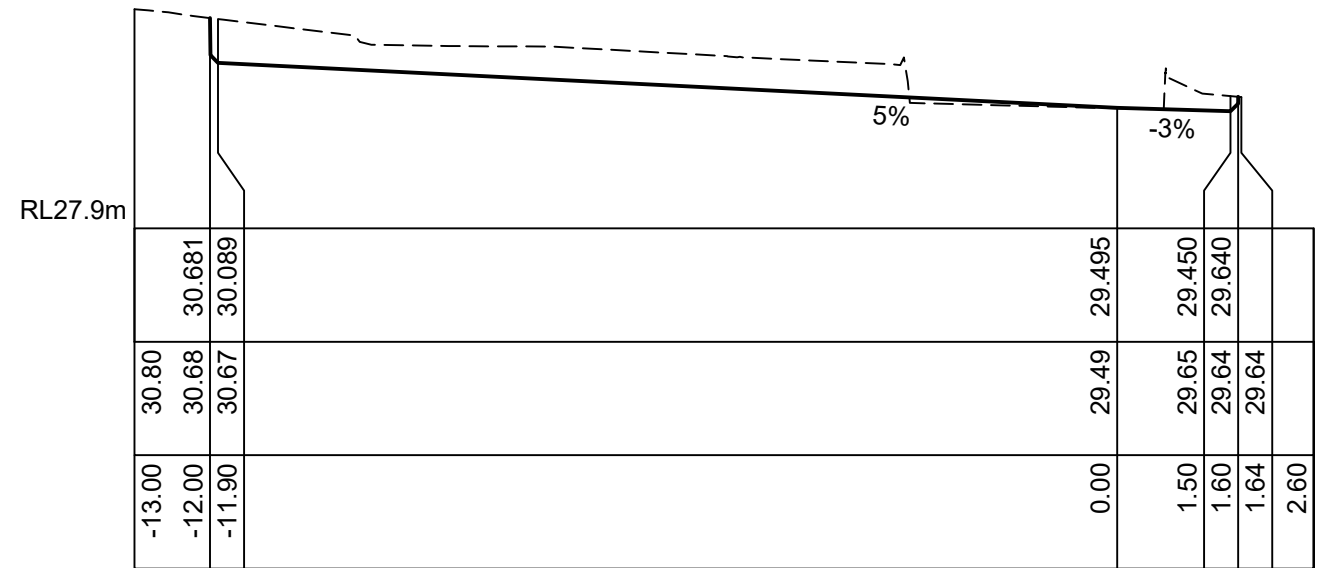
Ch 35.00 m



Ch 40.00 m



Ch 32.50 m



Ch 37.50 m

REV	DESCRIPTION	DATE
0	PLANNING APPROVAL	30/01/26
1	REVISED FOR PLANNING APPROVAL	19/05/26

Saltmarsh & Escobar Consulting Engineers

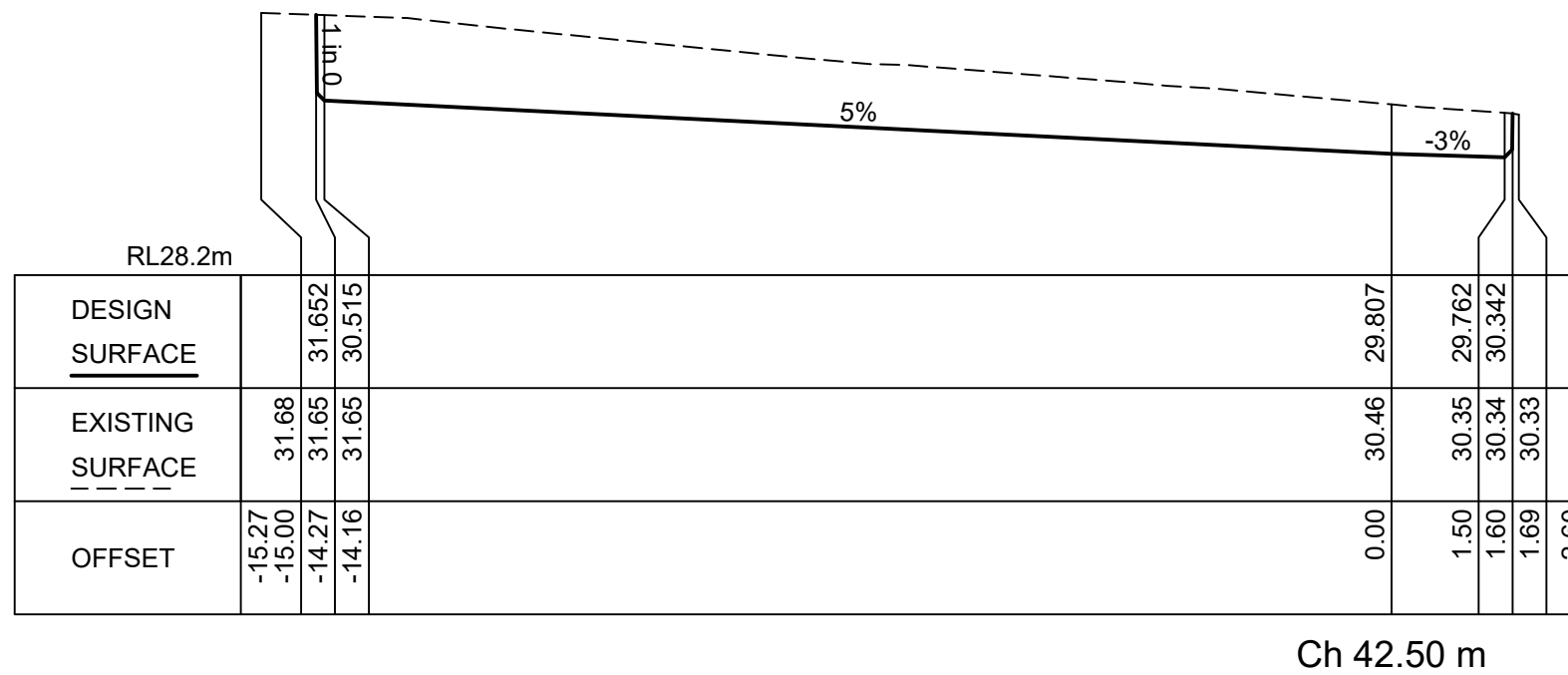
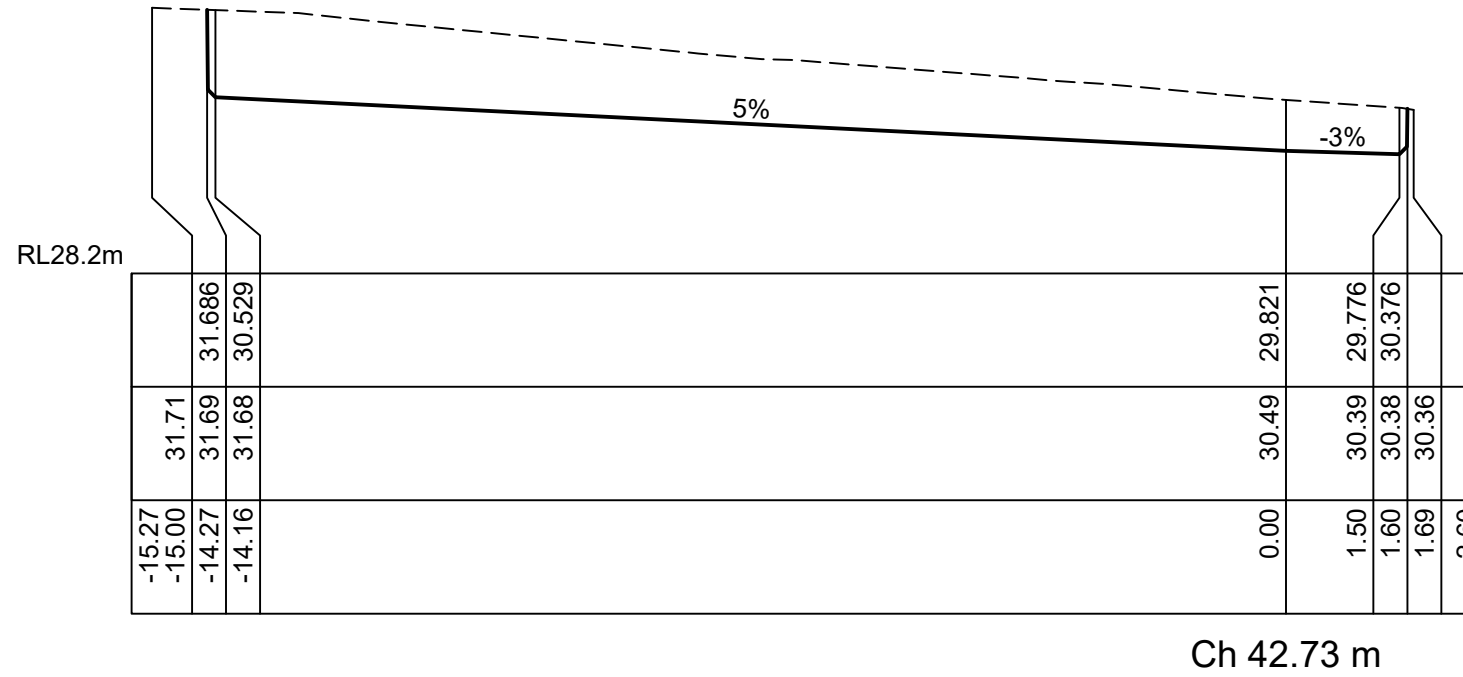
Leigh 0400 024 463  
Noe 0416 074 935  
info@lsandne.com

S  
&  
E

CLIENT:	DAVIS
ADDRESS:	21 MONTAGU BAY ROAD MONTAGU BAY

SHEET:	CROSS SECTIONS PLAN 3
PROJECT NAME:	NEW DWELLING
ISSUE:	PLANNING APPROVAL

DRAWN:	DESIGNED:	VERIFIED:	DATE:
NE	NE	-	30/03/26
SCALE:	1:100	SIZE:	A3
S&E REF:	26071	DRAWING:	C107
		REVISION:	1



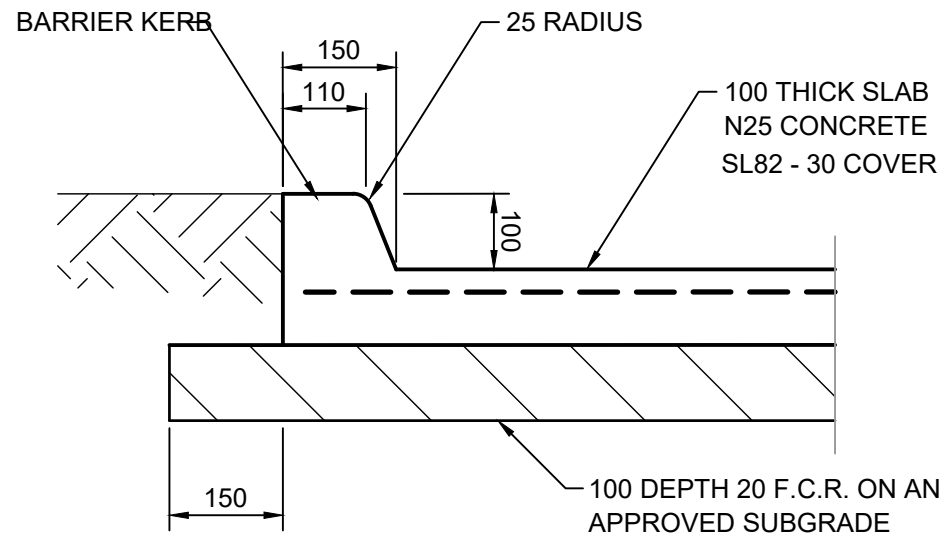
REV	DESCRIPTION	DATE
0	PLANNING APPROVAL	30/01/26
1	REVISED FOR PLANNING APPROVAL	19/05/26

Saltmarsh & Escobar Consulting Engineers  
 Leigh 0400 024 463  
 Noe 0416 074 935  
 info@lsandne.com

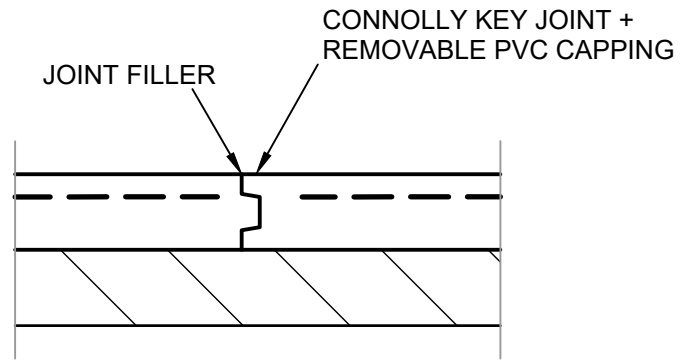
CLIENT:	DAVIS
ADDRESS:	21 MONTAGU BAY ROAD MONTAGU BAY

SHEET:	CROSS SECTIONS PLAN 4
PROJECT NAME:	NEW DWELLING
ISSUE:	PLANNING APPROVAL

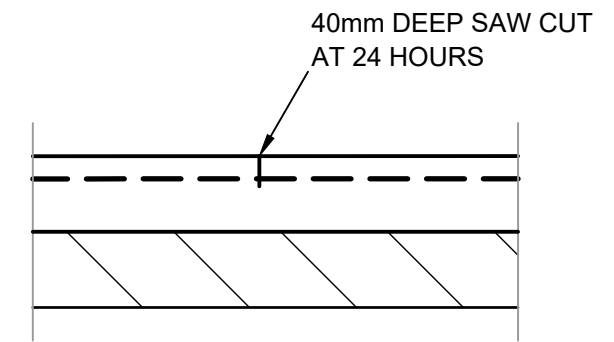
DRAWN:	DESIGNED:	VERIFIED:	DATE:
NE	NE	-	30/03/26
SCALE:	1:100	SIZE:	A3
S&E REF:	26071	DRAWING:	C108
		REVISION:	1



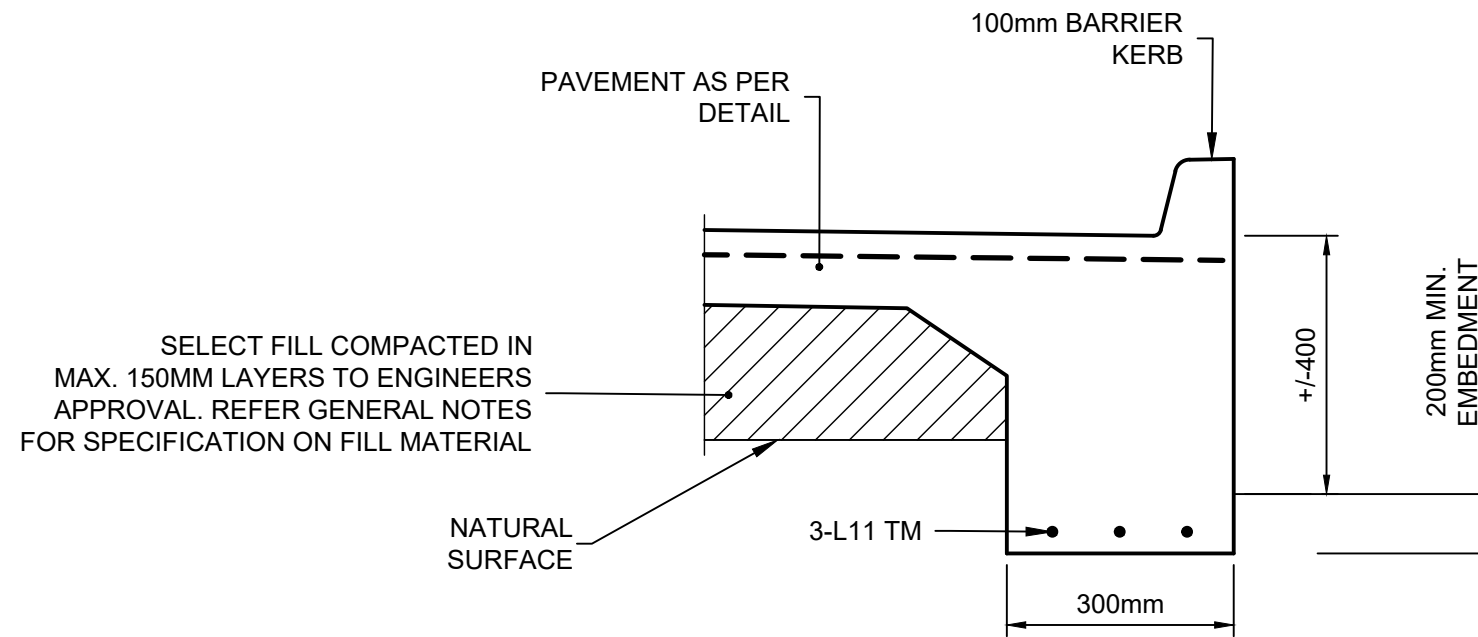
**TYPICAL CONCRETE PAVEMENT**  
NTS



**CONTROL JOINT 'c'**  
NTS  
NOTE: 24m CENTRES



**SAWN JOINT**  
NTS  
NOTE: 6m CENTRES  
GEOTEXTILE WRAPPING

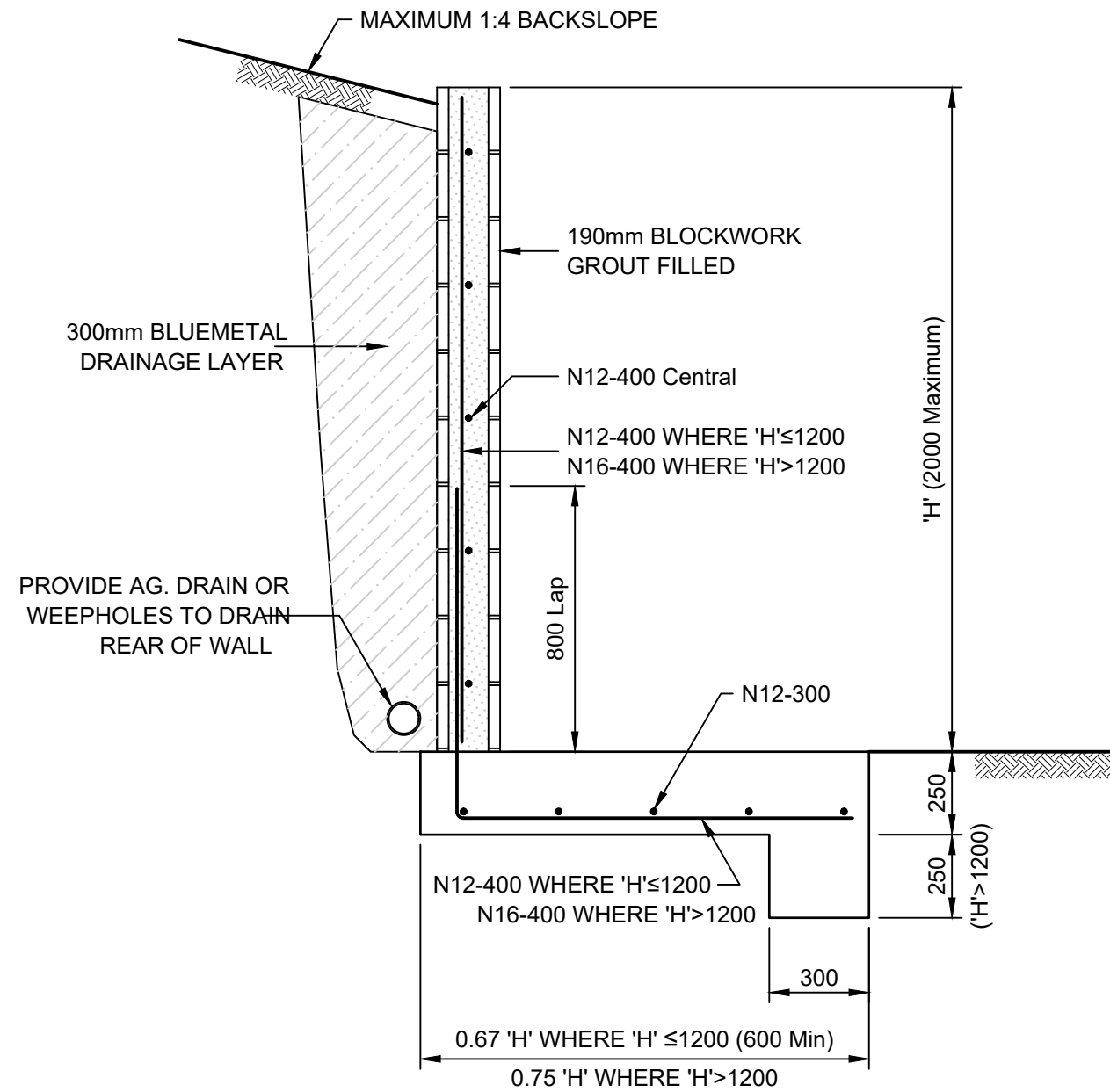


**TYPICAL CONCRETE PAVEMENT EDGE BEAM**  
SCALE 1:10

REV	DESCRIPTION	DATE	CLIENT:	SHEET:	DRAWN:	DESIGNED:	VERIFIED:	DATE:
0	PLANNING APPROVAL	30/01/26	DAVIS	DETAILS PLAN 1	NE	NE	-	30/03/26
1	REVISED FOR PLANNING APPROVAL	19/05/26	ADDRESS:	PROJECT NAME:	SCALE: AS SHOWN		SIZE:	A3
			21 MONTAGU BAY ROAD MONTAGU BAY	NEW DWELLING	S&E REF:	DRAWING:	REVISION:	
				ISSUE:	26071	C109	1	
				PLANNING APPROVAL				

Saltmarsh & Escobar Consulting Engineers  
Leigh 0400 024 463  
Noe 0416 074 935  
info@sandne.com

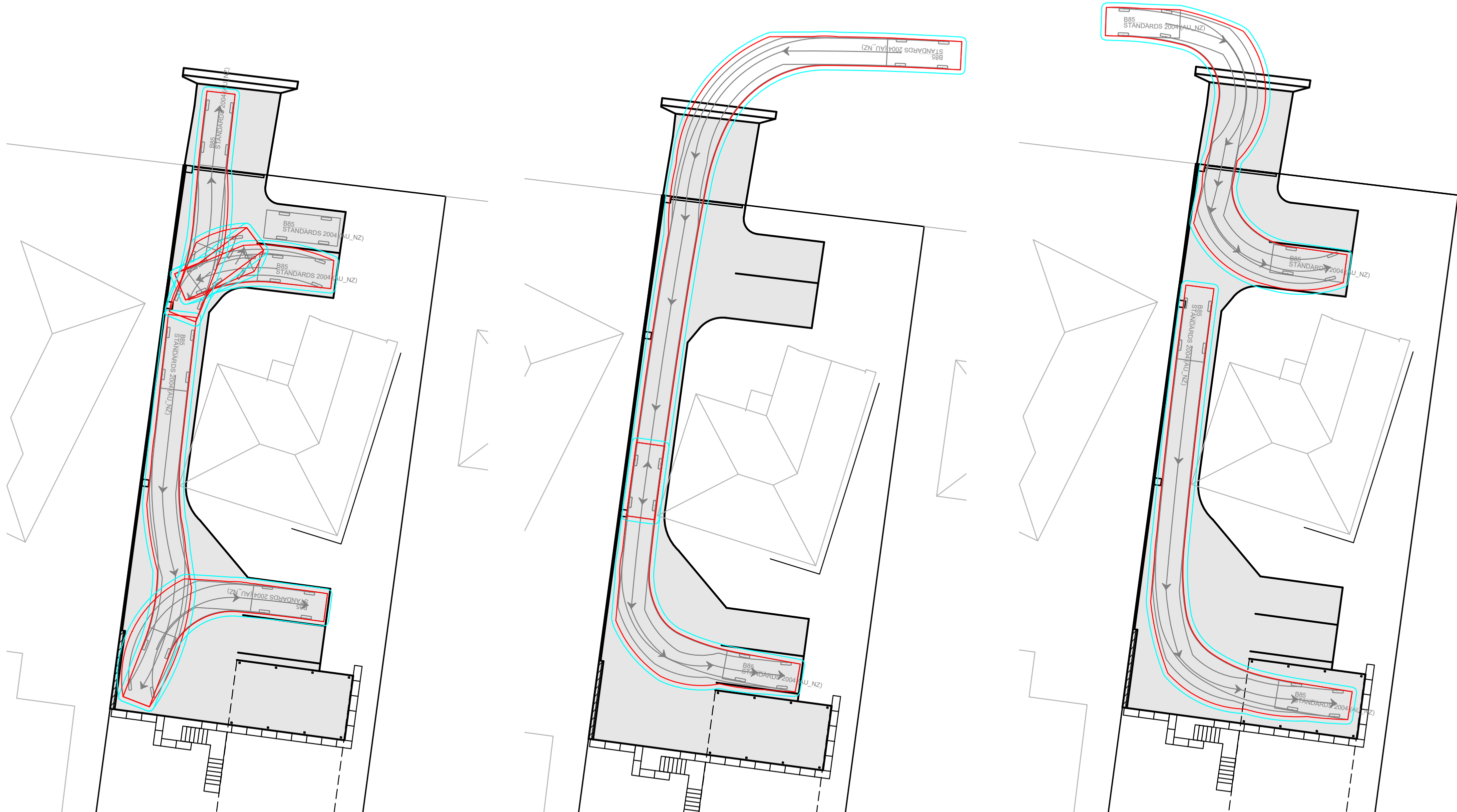




**RETAINING WALL (Up to 2 metres)**  
**(Footing in front of Retained Fill)**

1:20

REV	DESCRIPTION	DATE	S&E		CLIENT:	SHEET:	DRAWN:	DESIGNED:	VERIFIED:	DATE:
0	PLANNING APPROVAL	30/01/26	Saltmarsh & Escobar Consulting Engineers Leigh 0400 024 463 Noe 0416 074 935 info@lsandne.com		DAVIS	DETAILS PLAN 2	NE	NE	-	30/03/26
1	REVISED FOR PLANNING APPROVAL	19/05/26			ADDRESS:	PROJECT NAME:	AS SHOWN	SIZE:		A3
					21 MONTAGU BAY ROAD MONTAGU BAY	NEW DWELLING	S&E REF:	DRAWING:	REVISION:	
					ISSUE:	PLANNING APPROVAL	26071	C110	1	



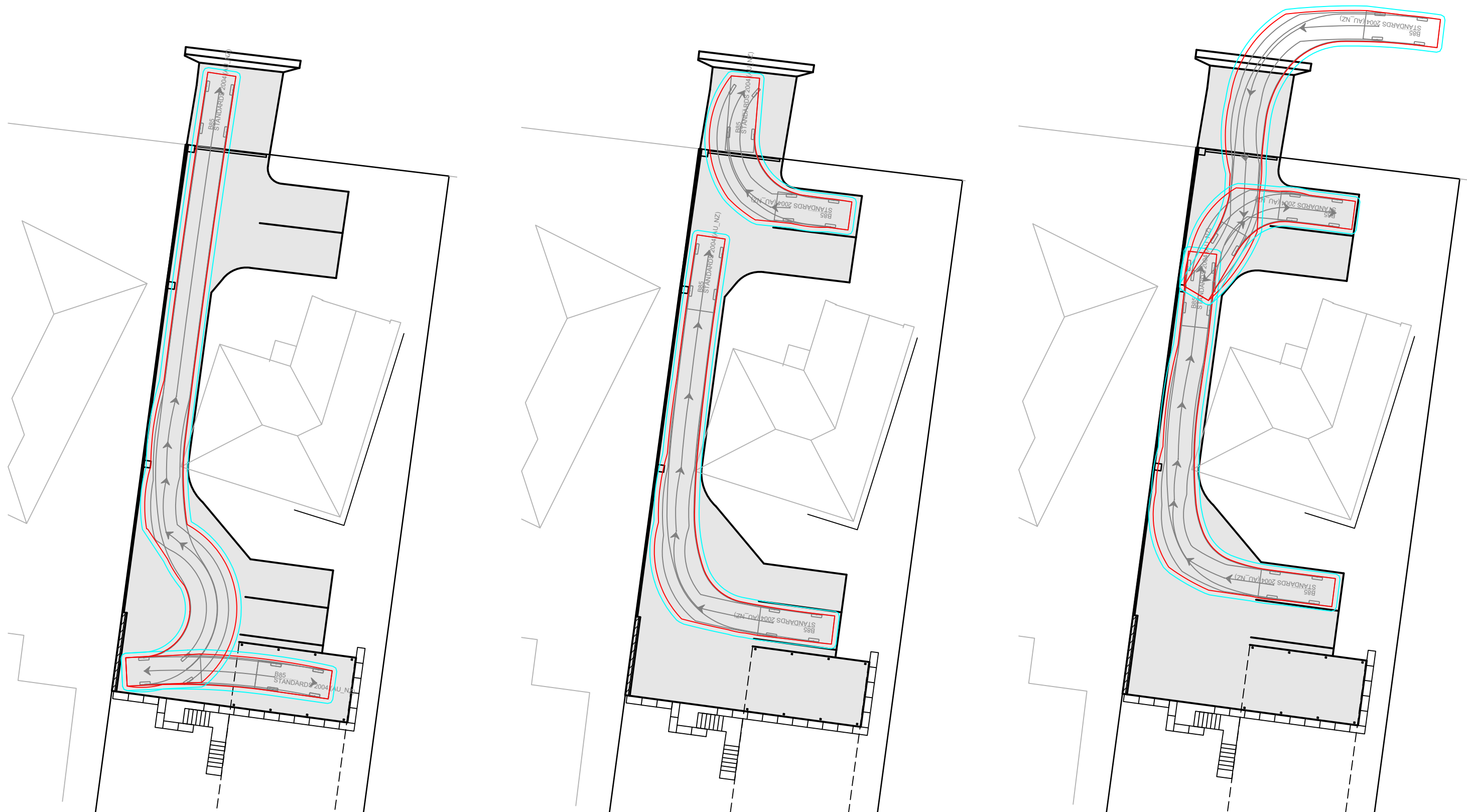
REV	DESCRIPTION	DATE
0	PLANNING APPROVAL	30/01/26
1	REVISED FOR PLANNING APPROVAL	19/05/26

Saltmarsh & Escobar Consulting Engineers  
**S & E**  
 Leigh 0400 024 463  
 Noe 0416 074 935  
 info@lsandne.com

CLIENT:	DAVIS
ADDRESS:	21 MONTAGU BAY ROAD MONTAGU BAY

SHEET:	VEHICLE TURNING PLAN 1
PROJECT NAME:	NEW DWELLING
ISSUE:	PLANNING APPROVAL

DRAWN:	DESIGNED:	VERIFIED:	DATE:
NE	NE	-	30/03/26
SCALE:	1:250	SIZE:	A3
S&E REF:	26071	DRAWING:	C111
		REVISION:	1



REV	DESCRIPTION	DATE
0	PLANNING APPROVAL	30/01/26
1	REVISED FOR PLANNING APPROVAL	19/05/26

Saltmarsh & Escobar Consulting Engineers  
 Leigh 0400 024 463  
 Noe 0416 074 935  
 info@lsandne.com

CLIENT: DAVIS  
 ADDRESS: 21 MONTAGU BAY ROAD  
 MONTAGU BAY

SHEET: VEHICLE TURNING PLAN 2  
 PROJECT NAME: NEW DWELLING  
 ISSUE: PLANNING APPROVAL

DRAWN: NE	DESIGNED: NE	VERIFIED: -	DATE: 30/03/26
SCALE: 1:250		SIZE: A3	
S&E REF: 26071		DRAWING: C112	REVISION: 1

**21 MONTAGU BAY RD**

**LOT 24 / VOL 54507**  
**PID 5086704**  
 WIND SPEED: N2  
 SOIL CLASSIFICATION: P  
 CLIMATE ZONE: 7  
 BAL: 19

**COUNCIL:** CLARENCE COUNCIL  
**ZONE:** TPS 8.0 GENERAL RESIDENTIAL  
**OVERLAYS:** BUSHFIRE PRONE AREAS CODE  
 SAFEGUARDING OF AIRPORTS CODE



- A 001 CONTENTS
- 100 SITE CONTEXT
- 101 SITE PLAN EXISTING / DEMOLITION
- 102 EXISTING / PROPOSED EXISTING HOUSE PLAN
- 103 ELEVATIONS HOUSE EXISTING
- A 200 SITE PLAN PROPOSED
- 201 FLOOR PLAN PROPOSED
- 202 FLOOR PLANS PROPOSED
- 300 ELEVATIONS PROPOSED
- A 301 ELEVATIONS PROPOSED
- 302 ELEVATIONS PROPOSED (EX. HOUSE)
- 800 SHADOW STUDY 21st MARCH
- 801 SHADOW STUDY 21st JUNE
- 802 SHADOW 21st SEPTEMBER
- 803 SHADOW 21st DECEMBER

**DRAWINGS TO BE READ IN CONJUNCTION WITH:**

LAND SURVEY	LARK & CREESE	27/06/2025
SOIL REPORT	ENVIRO-TECH	18/06/2025
BUSHFIRE REPORT	LARK & CREESE	10/11/2025
CIVIL ENGINEERING	ESCOBAR & SALTMARSH	19/05/2026
PLANNING REPORT	NEXT 50 ARCHITECTS	31/03/2026

EXISTING	
AREA ANALYSIS GROSS FLOOR AREA (GFA)	
SITE:	850m2
EXISTING HOUSE (HABITABLE):	107m2
EXISTING SHED (NON-HABITABLE):	40m2
<b>TOTAL EXISTING GFA:</b>	<b>147m2</b>
<b>TOTAL EXISTING ROOF GFA:</b>	<b>107m2</b>
SITE COVERAGE:	17%

PROPOSED	
AREA ANALYSIS GROSS FLOOR AREA (GFA)	
SITE:	850m2
EXISTING HOUSE (HABITABLE):	107m2
PROPOSED HOUSE (HABITABLE):	156m2
<b>TOTAL PROPOSED GFA:</b>	<b>263m2</b>
<b>TOTAL PROPOSED ROOF GFA:</b>	<b>200m2</b>
SITE COVERAGE:	30%

REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-
-	-	-

PROJECT  
**21 MONTAGU BAY RD**  
 JONATHAN AND ELISABETH DAVIS  
 21 MONTAGU BAY RD, ROSNY, TASMANIA, 7052

SCALE  
 DATE  
 DRAWN  
 ISSUE  
 REV

NTS @A3  
 21/05/2026  
 BAH  
 DA  
 A

DRAWING  
**CONTENTS**

DRAWING NO.  
**36425\_001**










**1** SITE CONTEXT  
100 1:500



**2** OVERLAY: BUSHFIRE PRONE AREA  
100 NTS

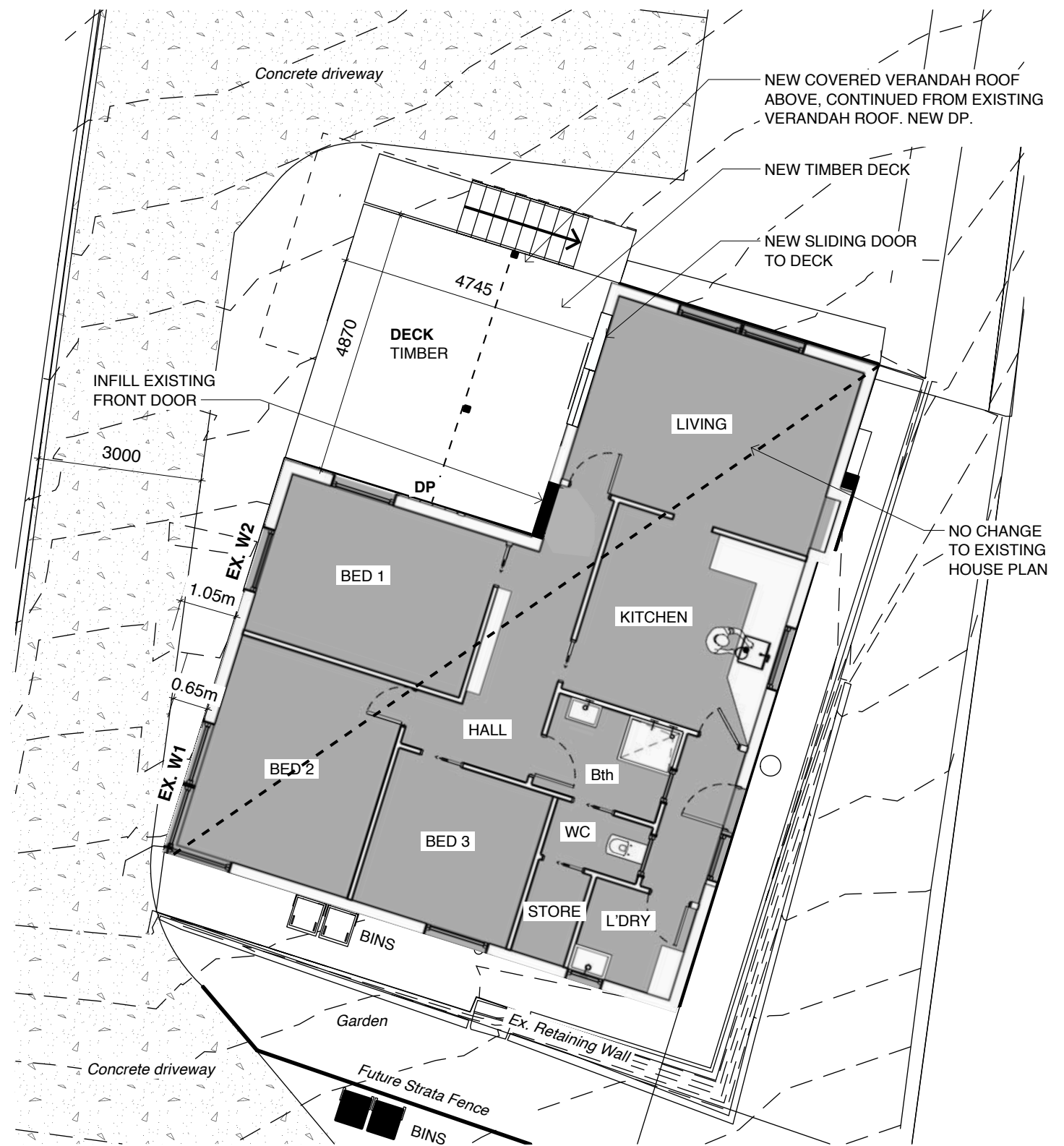
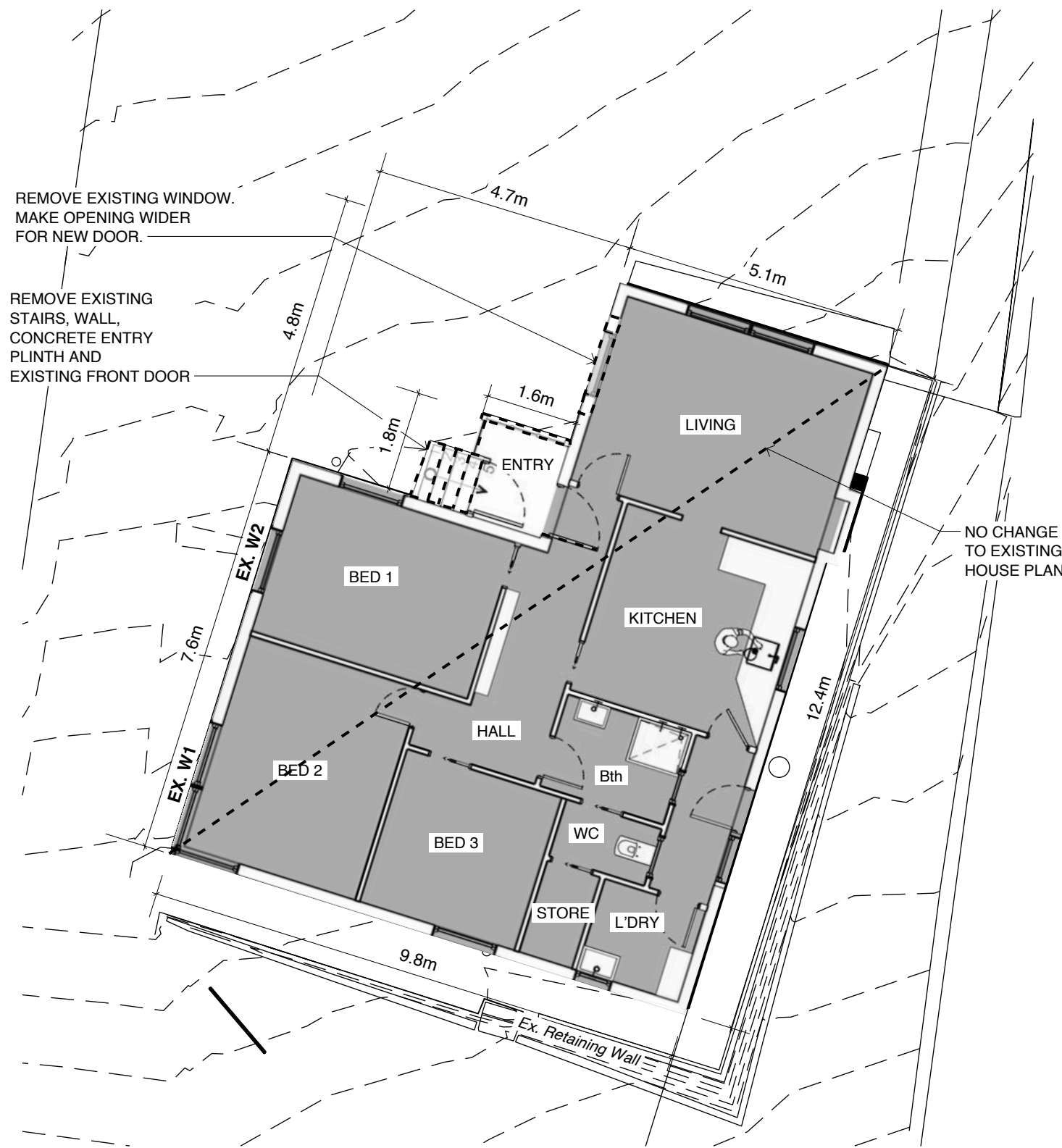
**KEY**

-  SEWER
-  GAS
-  POWER
-  WATER MAIN
-  PHONE LINE
-  STORMWATER
-  S/W SLOTTED DRAIN

BUSHFIRE PRONE AREA OVERLAY

REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-





**1** FLOOR PLAN GROUND (EX. HOUSE) EXISTING  
102 1:100 BAL NONE

**2** FLOOR PLAN GROUND (EX. HOUSE) PROPOSED  
102 1:100 BAL NONE

REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-

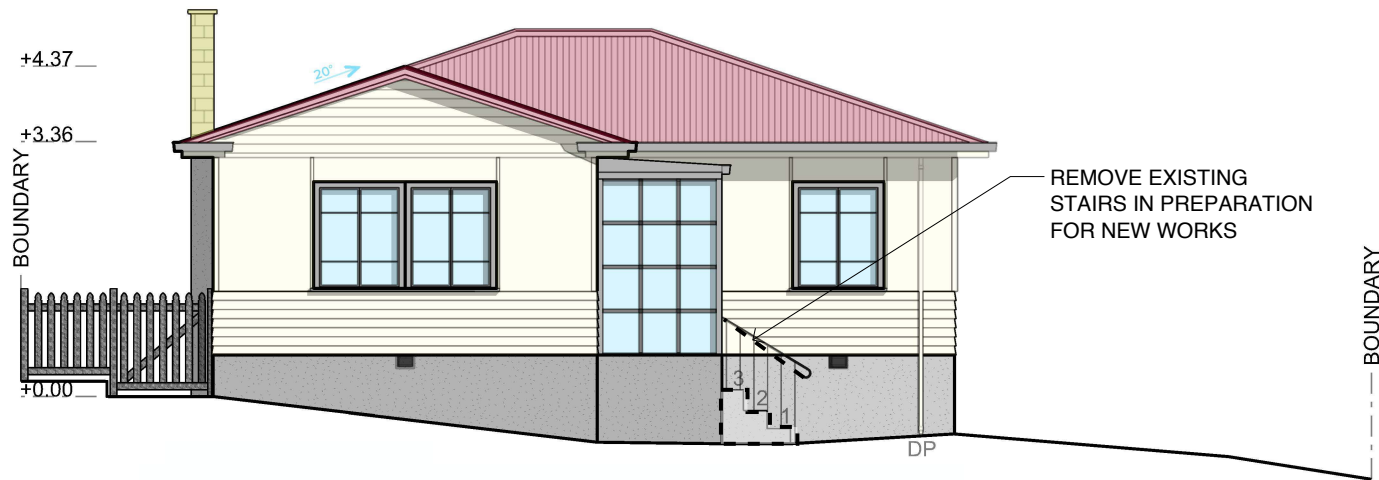
PROJECT  
**21 MONTAGU BAY RD**  
JONATHAN AND ELISABETH DAVIS  
21 MONTAGU BAY RD, ROSNY, TASMANIA, 7052

SCALE  
DATE  
DRAWN  
ISSUE  
REV

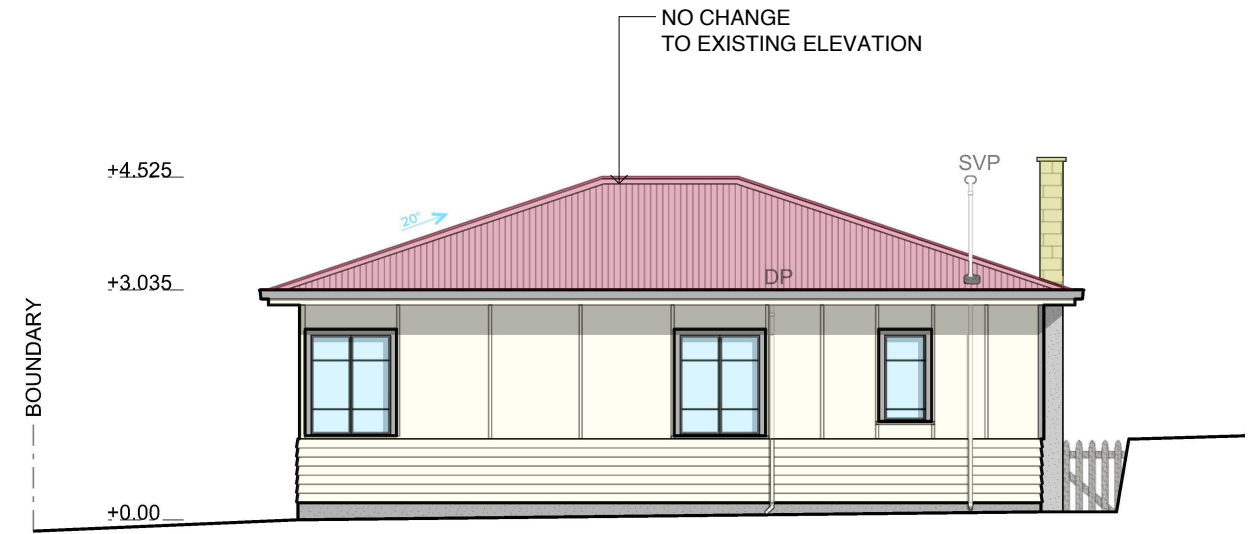
1:100 @A3  
31/03/2026  
BAH  
DA  
-

DRAWING  
**EXISTING/PROPOSED  
EXISTING HOUSE PLAN**  
DRAWING NO.  
**36425\_101**

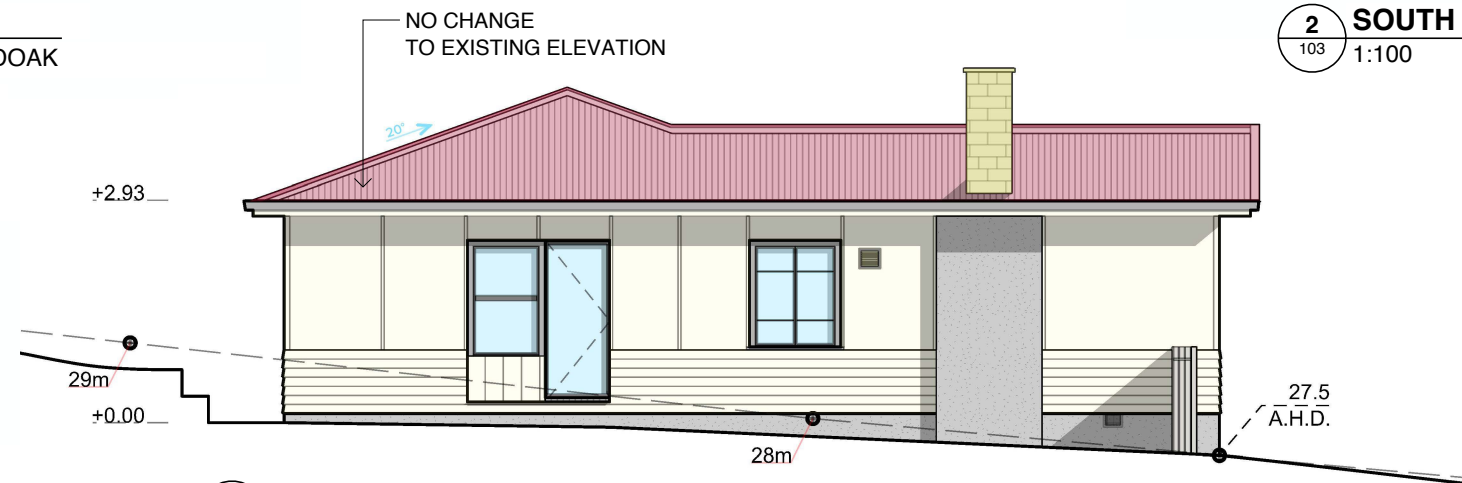
TRUE  
15.09°



**1 NORTH ELEVATION EXISTING**  
103 1:100 PREPARED BY ADAM DOAK



**2 SOUTH ELEVATION EXISTING**  
103 1:100 PREPARED BY ADAM DOAK



**3 EAST ELEVATION EXISTING**  
103 1:100 PREPARED BY ADAM DOAK



**4 WEST ELEVATION EXISTING**  
103 1:100 PREPARED BY ADAM DOAK

REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-

REFER TO CIVIL ENGINEER FOR DETAILS ON SEWER AND STORMWATER

SEE DRAWING BELOW FOR ROAD & SERVICES

**GENERAL NOTES:**

STORMWATER: ALL STORMWATER PIPES FROM HOUSE DRAINAGE TO STORMWATER PITS TO BE DN100 SN6. ALL OTHER PIPES TO BE DN150 SN4 MIN (EXCEPT WHERE SHOWN). PROVIDE 300MM MINIMUM COVER UNDER VEGETATED AREA (NON TRAFFIC) AND 150MM MIN. UNDER REINFORCED CONCRETE. ALL GRATED PITS TO BE CLASS C. ALL STORM WATER PIPES TO BE GRADED AND INSTALLED TO AS3500.3 MIN. 1%.








SEWER: ALL SEWER LINES SHOWN TO BE DN100 SN6 UPVC @ 1.65% MINIMUM GRADE AND INSTALLED TO AS3500.2.

GENERAL SOIL AND WATER MANAGEMENT CONTROL MEASURES: (APPLY AS APPLICABLE TO THE CONDITIONS OF THIS SITE AT THE VARIOUS PHASES OF CONSTRUCTION)

- 1.) MINIMISE SOIL DISTURBANCE (PHASE LARGE EXCAVATIONS INTO SUB PHASES)
- 2.) DIVERSION DRAINS TO PREVENT EROSION AND COLLECTION OF EXCESSIVE STORM WATER IN EXCAVATION CUTS ETC
- 3.) SEDIMENT FENCES - INSTALL WHERE DOWNSLOPE EROSION MEASURES ARE REQUIRED AND TO PROTECT STOCKPILES
- 4.) PROTECT STOCKPILES, HAY BAILS OR EROSION FENCES.
- 5.) UNDERTAKE SEDIMENT GENERATING ACTIVITIES IN A DESIGNATED AREA (AWAY FROM SLOPED SURFACES THAT COULD RUN-OFF IN AN UNCONTROLLED MANNER.
- 6.) INSTALL ROOF DRAINAGE EARLY. ASAP AFTER INSTALLATION OF ROOFING IRON, OR PREFERABLY BEFORE.
- 7.) STABILISE THE SITE ACCESS, PROVIDE VEHICLE WASH-OFF AREAS IF REQUIRED, AND DIVERSION DRAINAGE, STABLE SURFACE MATERIAL ETC

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02-2014-3.1 MRWA VERSION 2 AND TAS WATER'S SUPPLEMENTS TO THESE CODES.

**KEY**

-  SEWER
-  GAS
-  POWER
-  WATER MAIN
-  PHONE LINE
-  STORMWATER
-  S/W SLOTTED DRAIN

**PROPOSED**

AREA ANALYSIS GROSS FLOOR AREA (GFA)	
SITE:	850m <sup>2</sup>
EXISTING HOUSE (HABITABLE):	107m <sup>2</sup>
PROPOSED HOUSE (HABITABLE):	156m <sup>2</sup>
<b>TOTAL PROPOSED GFA:</b>	<b>263m<sup>2</sup></b>
<b>TOTAL PROPOSED ROOF GFA:</b>	<b>200m<sup>2</sup></b>
SITE COVERAGE:	30%

1/19 MONTAGU BAY RD

3140mm SETBACK

5510mm SETBACK

SITE BOUNDARY 17.36m

21 MONTAGU BAY RD

P.O.S.

2540mm SETBACK

P.O.S.

EXISTING HOUSE

LOT 24 / VOL 54507  
PID 5086704  
850m<sup>2</sup>

BINS

4600mm SETBACK

P.O.S.

23 MONTAGU BAY RD

PROPOSED LOCATION FOR STRATA FENCE

DEDICATED VISITOR PARK FOR DEVELOPMENT

CAR PARKING SPACE BELOW DECK

2/19 MONTAGU BAY RD

P.O.S.

PROPOSED HOUSE

7.8m SETBACK

4.4m SETBACK

SITE BOUNDARY 17.36m

1.9m SETBACK

4.3m SETBACK

AHD 33

AHD 32

AHD 31

AHD 30

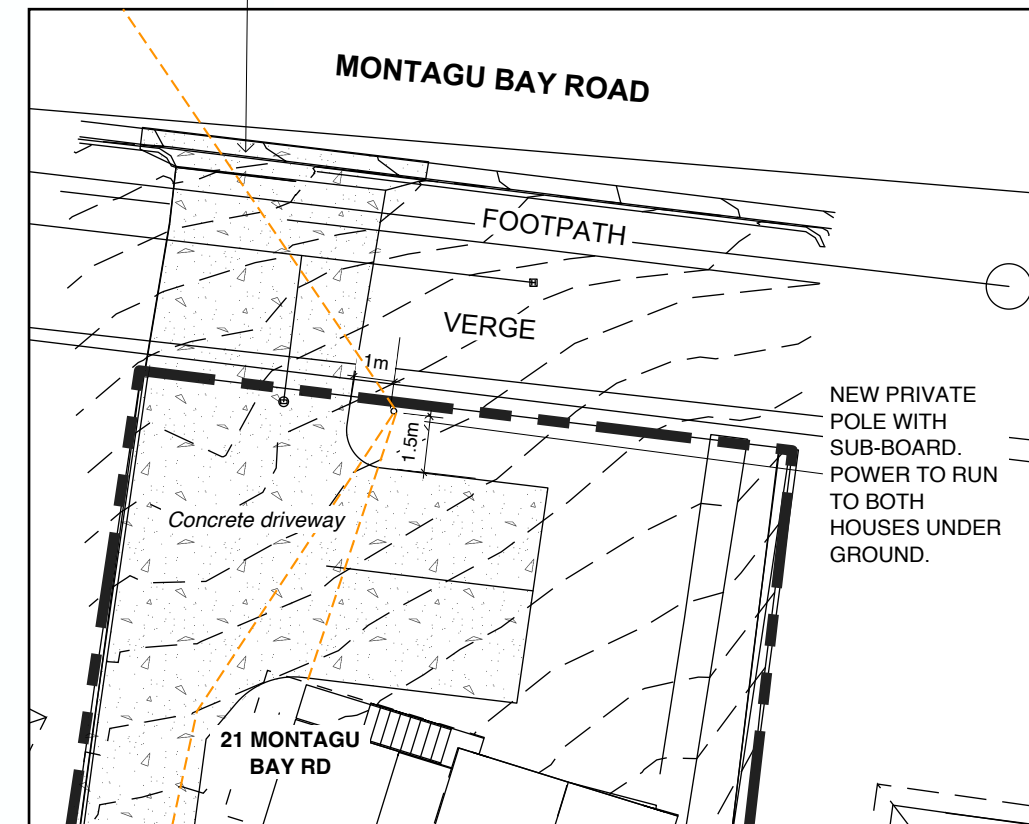
AHD 29

AHD 28

AHD 27

**1 SITE PLAN PROPOSED**  
200 1:200

UPGRADE CROSSOVER TO BE COMPLIANT WITH TSD R09. REFER TO CIVIL DOCUMENTATION FOR DETAILS.



NEW PRIVATE POLE WITH SUB-BOARD. POWER TO RUN TO BOTH HOUSES UNDER GROUND.

**2 SITE PLAN PROPOSED**  
200 1:200

REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-

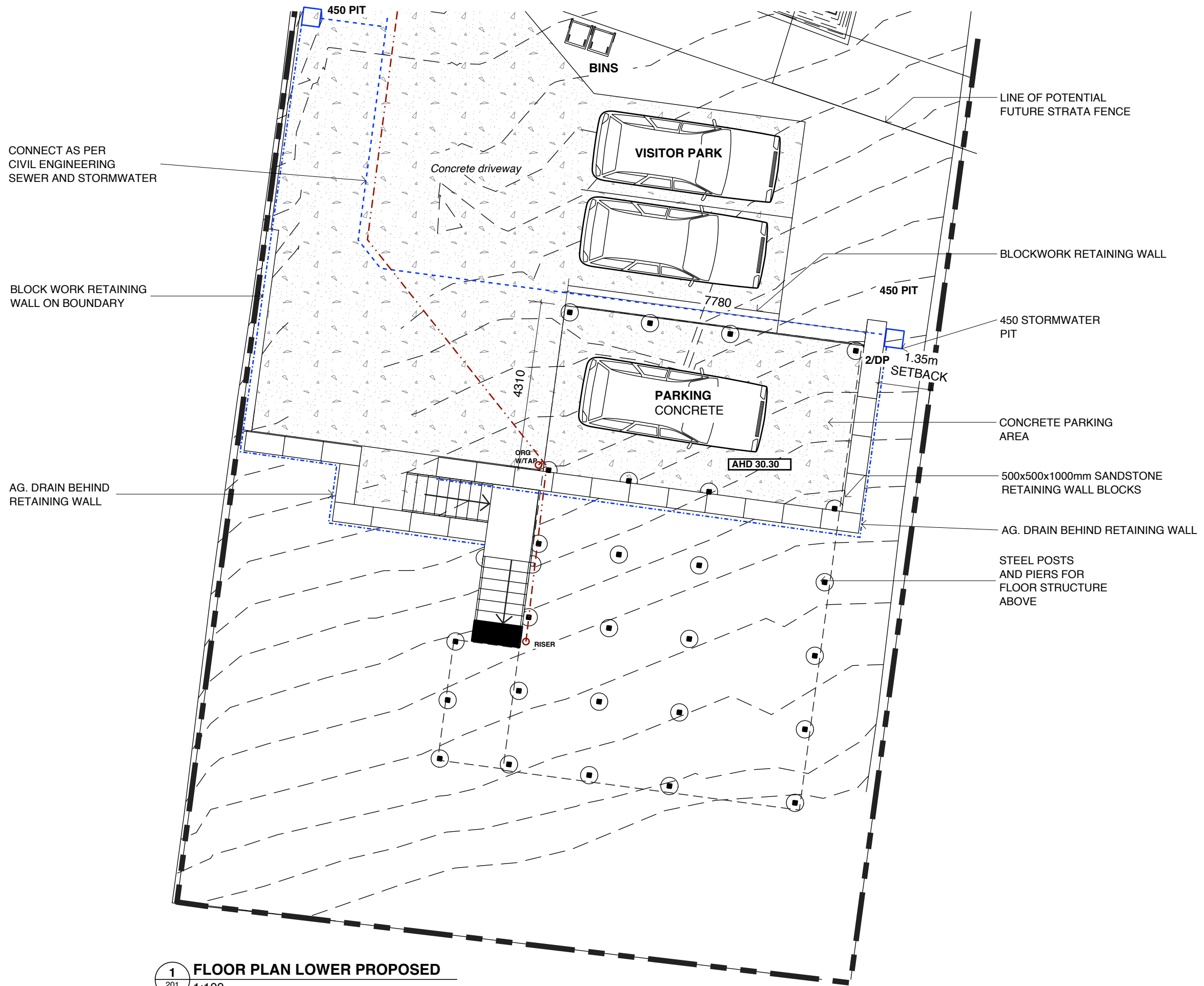
PROJECT  
**21 MONTAGU BAY RD**  
JONATHAN AND ELISABETH DAVIS  
21 MONTAGU BAY RD, ROSNY, TASMANIA, 7052

SCALE  
DATE  
DRAWN  
ISSUE  
REV

1:200 @ A3  
21/05/2026  
BAH  
DA  
A

DRAWING  
**SITE PLAN PROPOSED**

TRUE NORTH  
DRAWING NO. **36425\_200**



**1 FLOOR PLAN LOWER PROPOSED**  
201 1:100

REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-
-	-	-

PROJECT  
**21 MONTAGU BAY RD**  
JONATHAN AND ELISABETH DAVIS  
21 MONTAGU BAY RD, ROSNY, TASMANIA, 7052

SCALE 1:100 @A3  
DATE 31/03/2026  
DRAWN BAH  
ISSUE DA  
REV -

DRAWING  
**FLOOR PLANS  
PROPOSED**

TRUE NORTH  
DRAWING NO.  
**36425\_201**

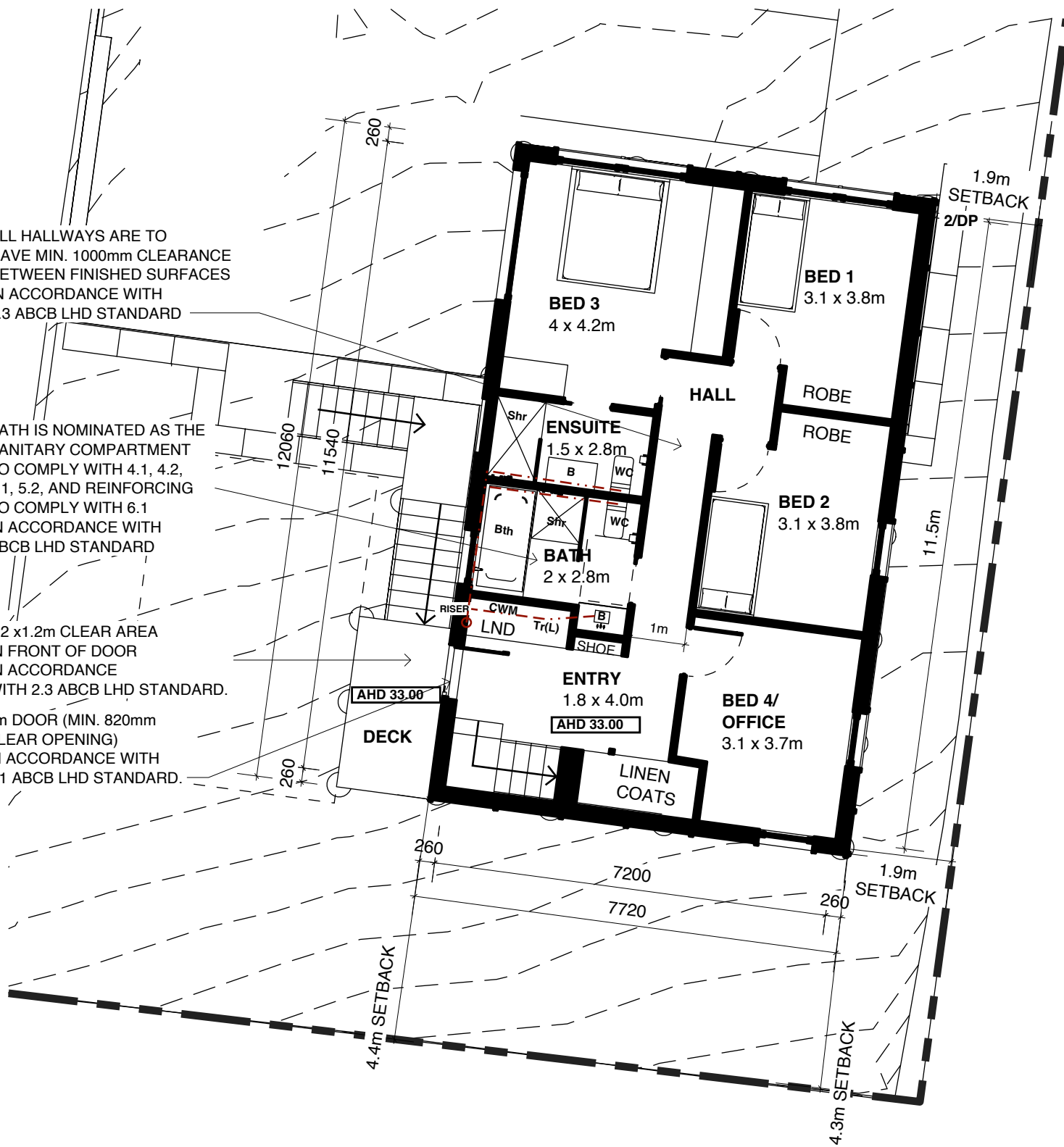
1.7m HIGH  
SCREEN TO  
SIDE BOUNDARY  
25% TRANSPARENCY

ALL HALLWAYS ARE TO  
HAVE MIN. 1000mm CLEARANCE  
BETWEEN FINISHED SURFACES  
IN ACCORDANCE WITH  
3.3 ABCB LHD STANDARD

BATH IS NOMINATED AS THE  
SANITARY COMPARTMENT  
TO COMPLY WITH 4.1, 4.2,  
5.1, 5.2, AND REINFORCING  
TO COMPLY WITH 6.1  
IN ACCORDANCE WITH  
ABCB LHD STANDARD

1.2 x 1.2m CLEAR AREA  
IN FRONT OF DOOR  
IN ACCORDANCE  
WITH 2.3 ABCB LHD STANDARD.

1m DOOR (MIN. 820mm  
CLEAR OPENING)  
IN ACCORDANCE WITH  
2.1 ABCB LHD STANDARD.

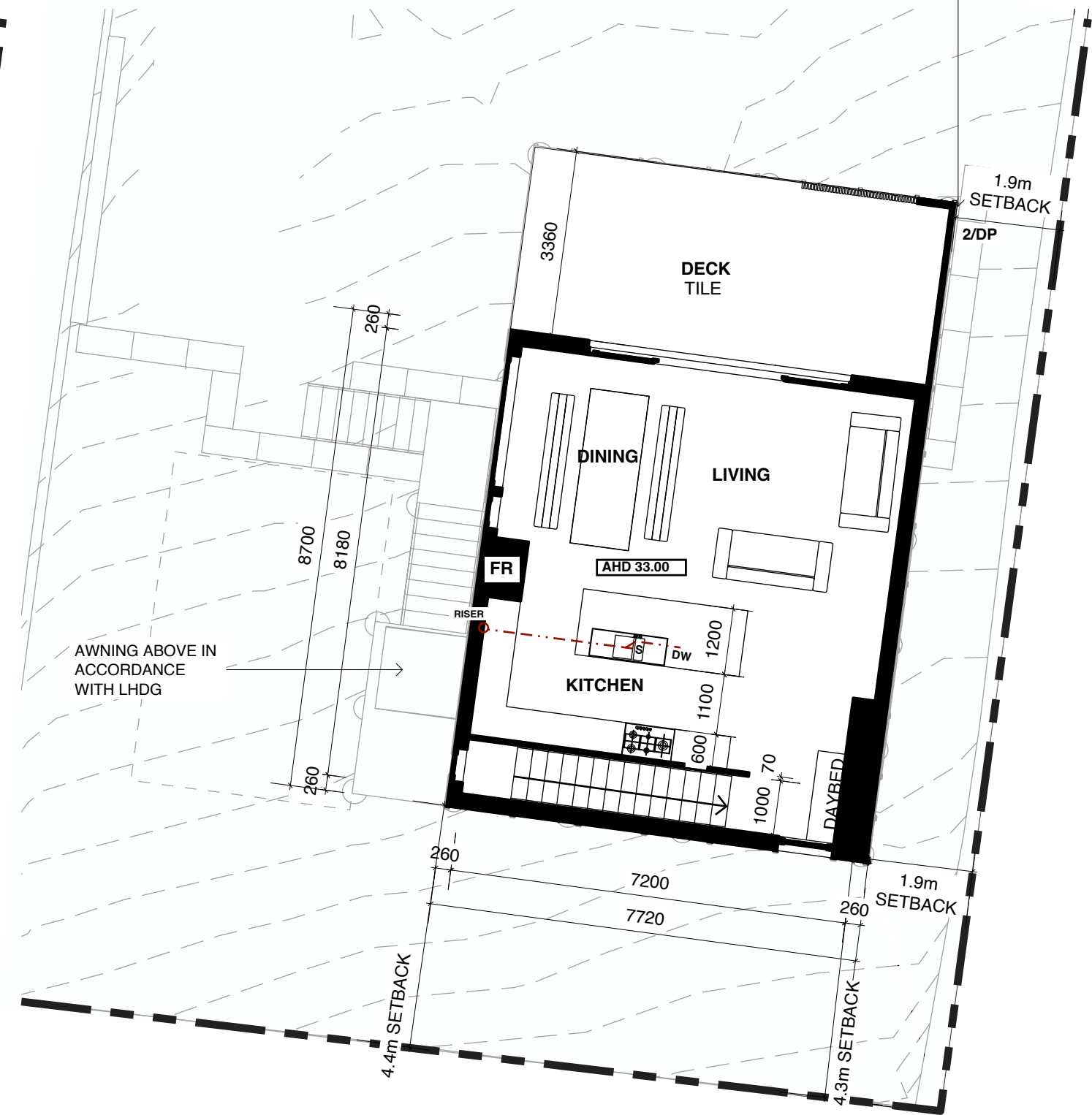


**PROPOSED**  
**AREA ANALYSIS GROSS FLOOR AREA (GFA)**

GROUND FLOOR (HABITABLE):	93m <sup>2</sup>
FIRST FLOOR (HABITABLE):	63m <sup>2</sup>
FIRST FLOOR DECK:	26m <sup>2</sup>

**1 FLOOR PLAN GROUND PROPOSED**  
202 1:100

BAL 19



**2 FLOOR PLAN FIRST PROPOSED**  
202 1:100

BAL 19

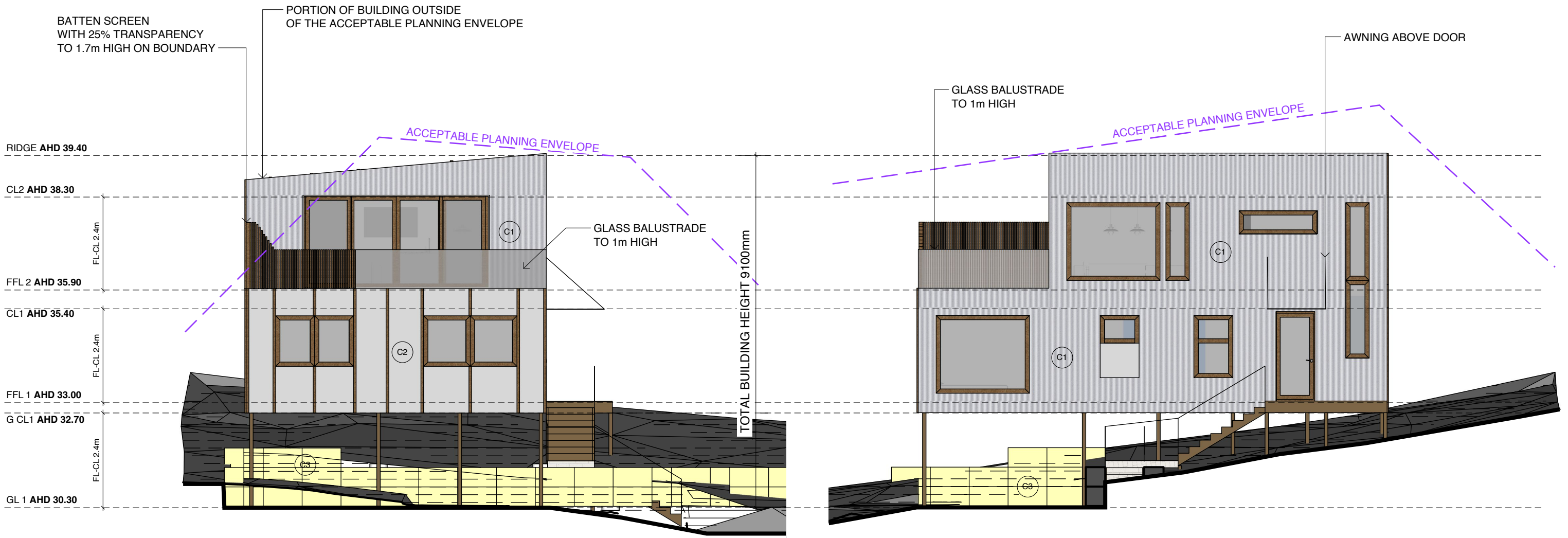
REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-

PROJECT  
**21 MONTAGU BAY RD**  
JONATHAN AND ELISABETH DAVIS  
21 MONTAGU BAY RD, ROSNY, TASMANIA, 7052

SCALE	DATE	1:100 @ A3
DATE	31/03/2026	BAH
DRAWN	-	DA
ISSUE	-	-
REV	-	-

DRAWING  
**FLOOR PLANS  
PROPOSED**

TRUE 15.09° NORTH  
DRAWING NO. **36425\_202**



**1 NORTH ELEVATION PROPOSED**  
 300 1:100 BAL 19

**2 WEST ELEVATION PROPOSED**  
 300 1:100 BAL 19

- KEY**
- C1 PROPOSED - GALVANISED IRON ROOF CUSTOM ORB
  - C2 PROPOSED - CEMENT SHEET (GREY) WITH TIMBER BATTENS (BAL12.5 COMPLIANT TIMBER)
  - C3 PROPOSED - SANDSTONE RETAINING WALL BLOCKS

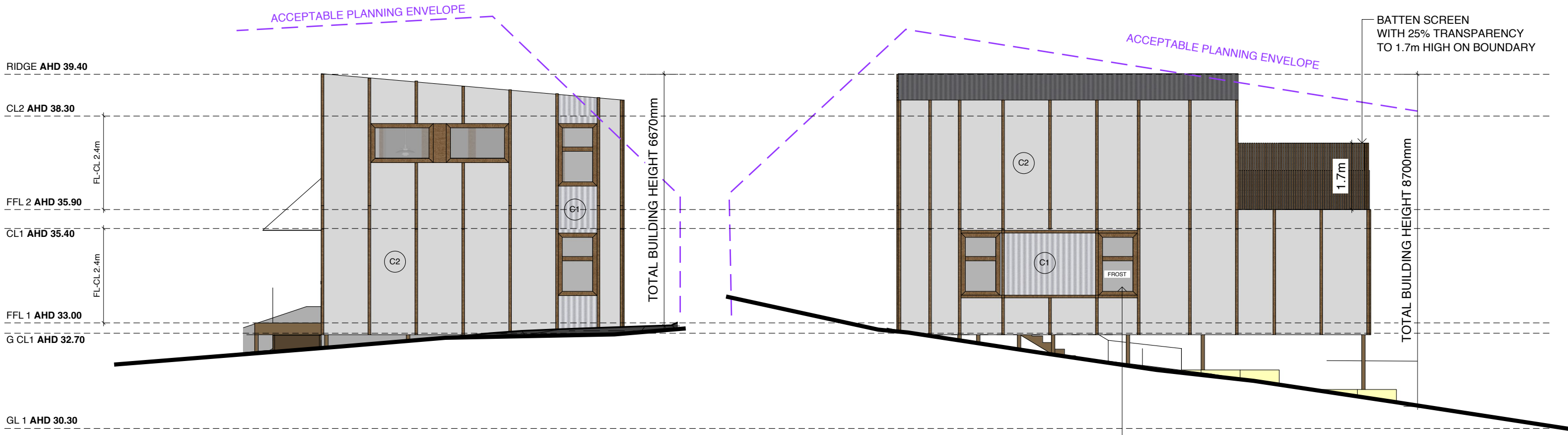
REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-

PROJECT  
**21 MONTAGU BAY RD**  
 JONATHAN AND ELISABETH DAVIS  
 21 MONTAGU BAY RD, ROSNY, TASMANIA, 7052

SCALE 1:100 @A3  
 DATE 31/03/2026  
 DRAWN BAH  
 ISSUE DA  
 REV -

DRAWING  
**ELEVATIONS PROPOSED**

DRAWING NO.  
**36425\_300**

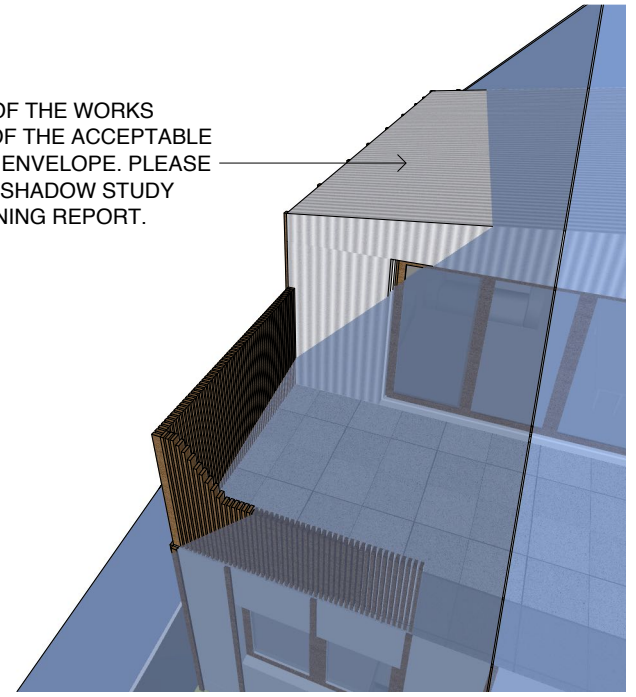


**1 SOUTH ELEVATION PROPOSED**  
301 1:100 BAL 19

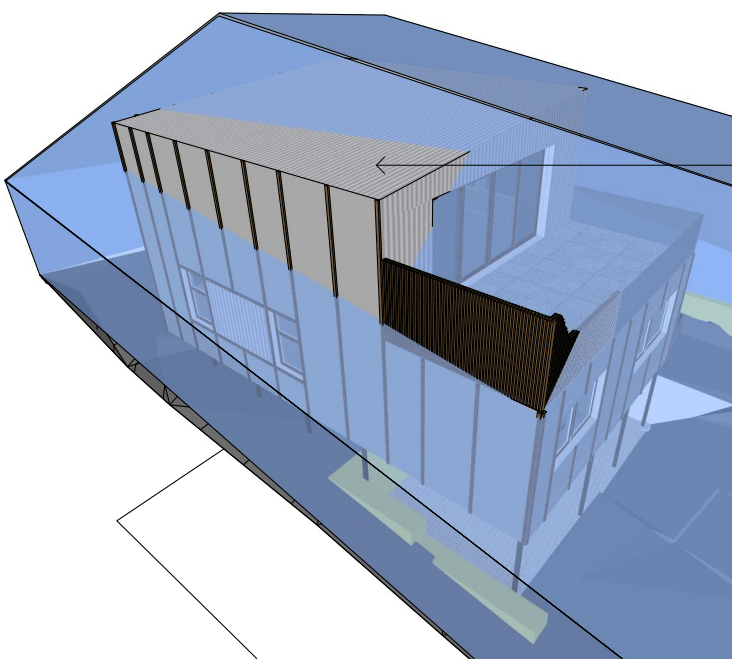
**2 EAST ELEVATION PROPOSED**  
301 1:100 BAL 19

PORTION OF WINDOW BELOW 1.7m TO BE FROSTED

PORTION OF THE WORKS OUTSIDE OF THE ACCEPTABLE PLANNING ENVELOPE. PLEASE REFER TO SHADOW STUDY AND PLANNING REPORT.



PORTION OF THE WORKS OUTSIDE OF THE ACCEPTABLE PLANNING ENVELOPE. PLEASE REFER TO SHADOW STUDY AND PLANNING REPORT.



**3 ACCEPTABLE PLANNING ENVELOPE**  
301 NTS

**KEY**

C1	PROPOSED - GALVANISED IRON ROOF CUSTOM ORB
C2	PROPOSED - CEMENT SHEET (GREY) WITH TIMBER BATTENS (BAL12.5 COMPLIANT TIMBER)
C3	PROPOSED - SANDSTONE RETAINING WALL BLOCKS

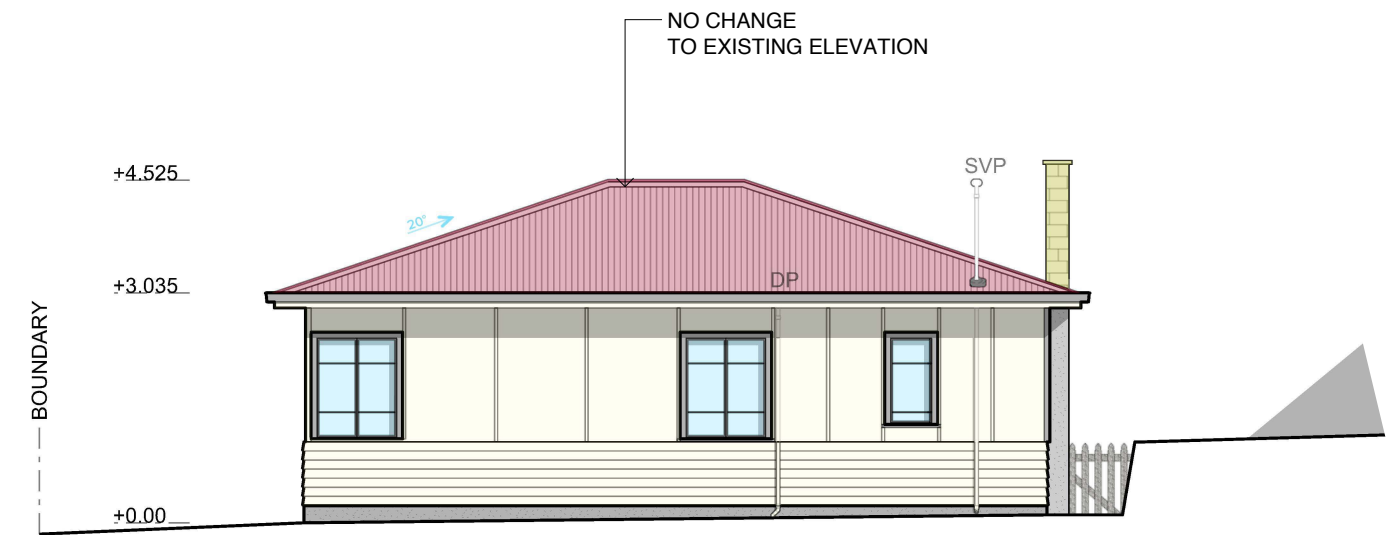
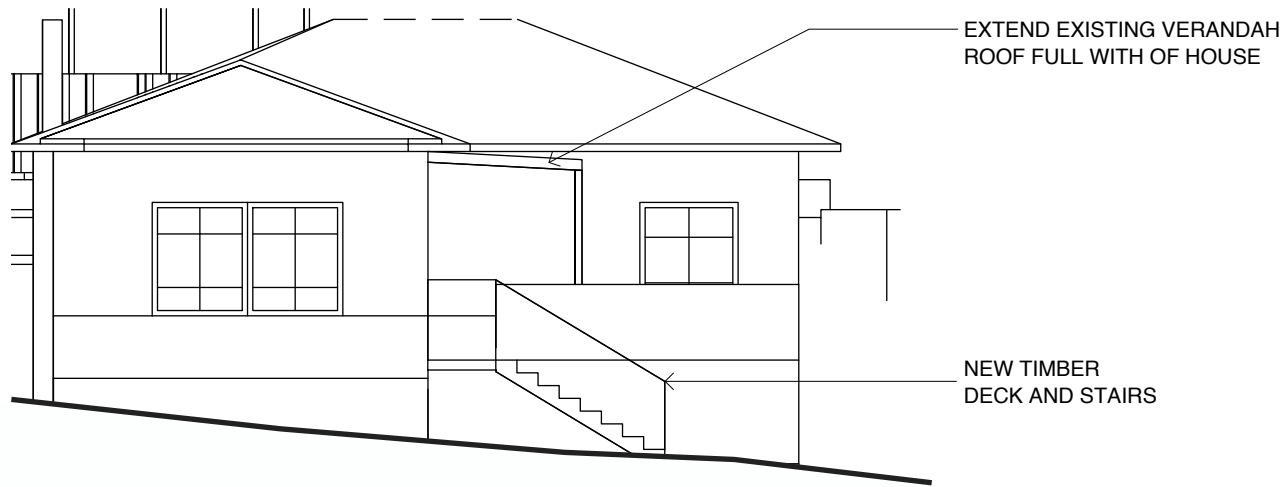
REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-

PROJECT  
**21 MONTAGU BAY RD**  
JONATHAN AND ELISABETH DAVIS  
21 MONTAGU BAY RD, ROSNY, TASMANIA, 7052

SCALE 1:100 @A3  
DATE 21/05/2026  
DRAWN BAH  
ISSUE DA  
REV A

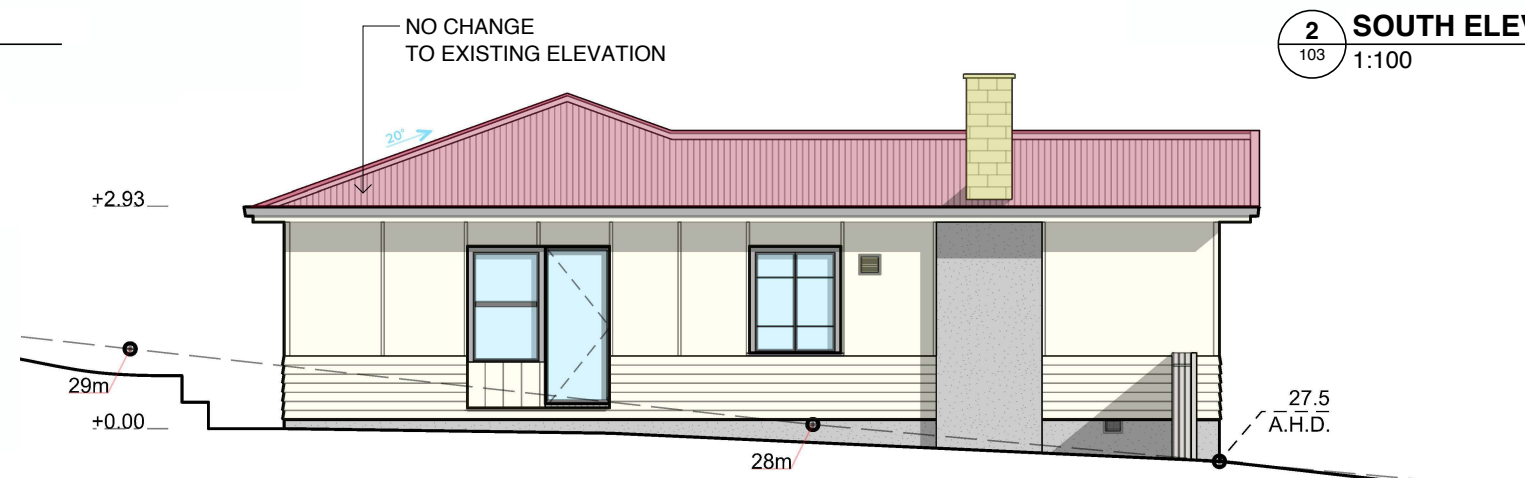
DRAWING  
**ELEVATIONS PROPOSED**

DRAWING NO.  
**36425\_301**

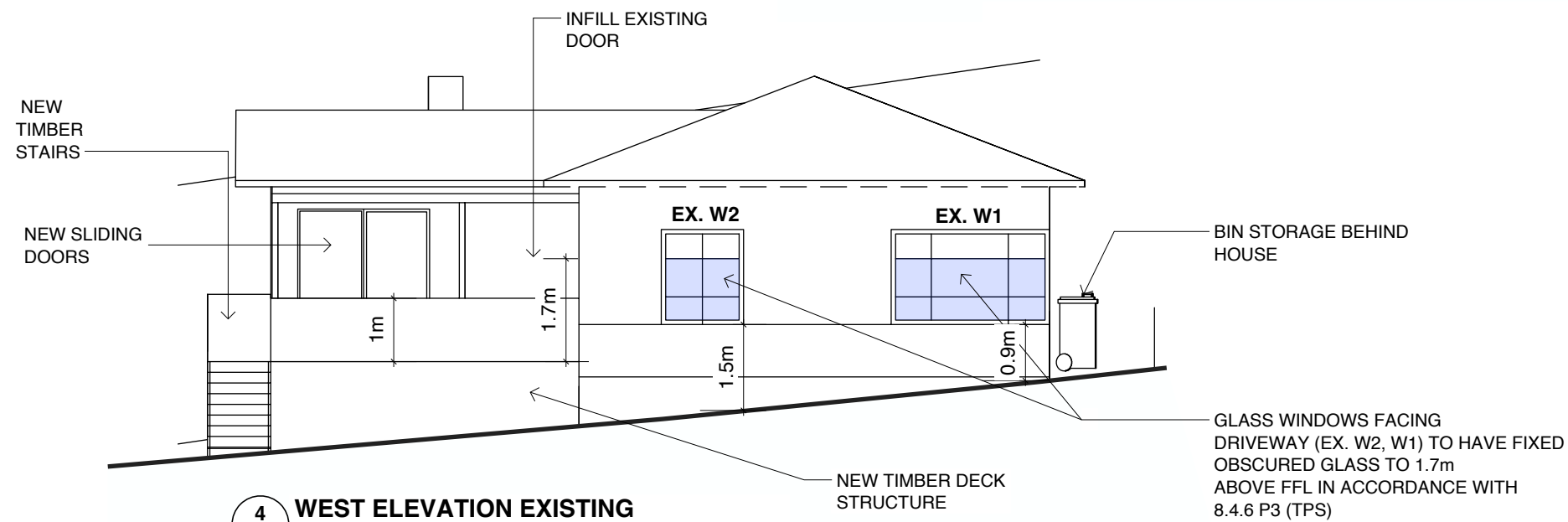


**1 NORTH ELEVATION EXISTING**  
103 1:100

**2 SOUTH ELEVATION EXISTING**  
103 1:100  
PREPARED BY ADAM DOAK



**3 EAST ELEVATION EXISTING**  
103 1:100  
PREPARED BY ADAM DOAK



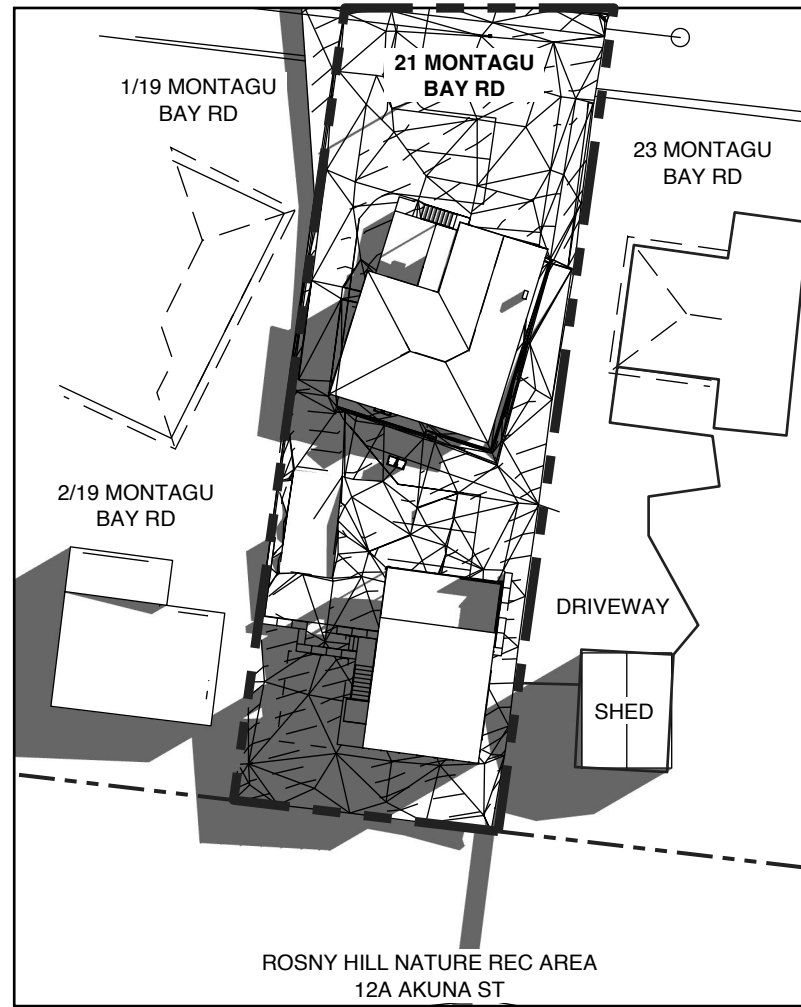
**4 WEST ELEVATION EXISTING**  
103 1:100

REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-

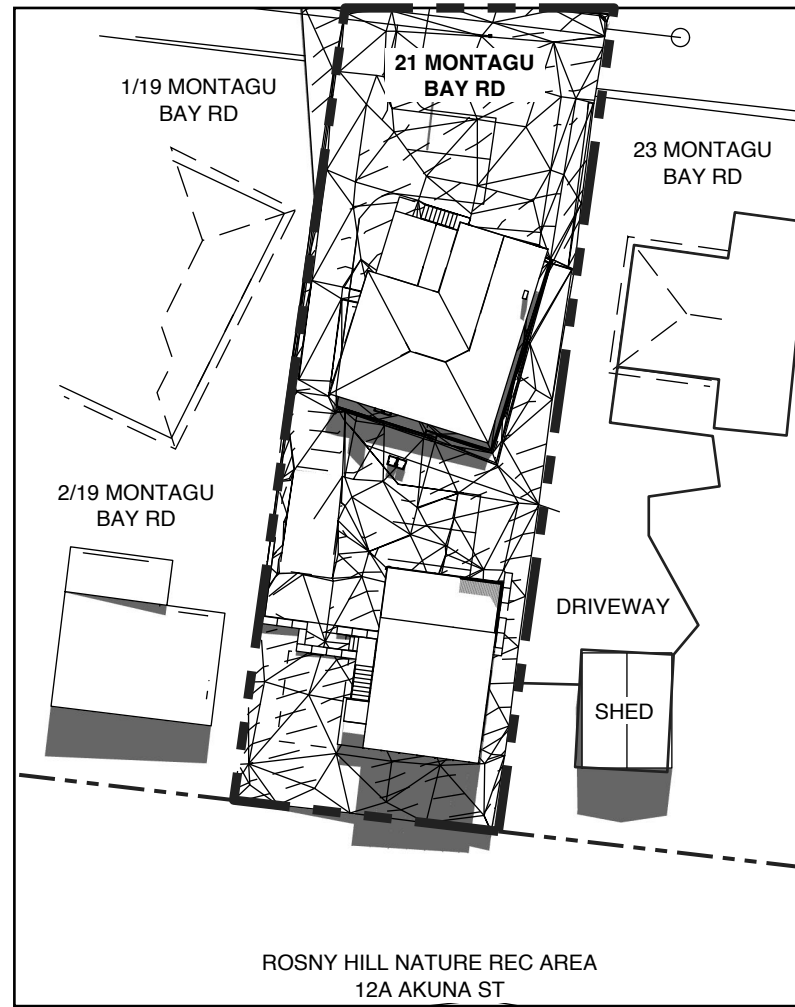
PROJECT  
**21 MONTAGU BAY RD**  
JONATHAN AND ELISABETH DAVIS  
21 MONTAGU BAY RD, ROSNY, TASMANIA, 7052

SCALE	DATE	SCALE
1:100 @A3 <td>31/03/2026 <td>1:100 @A3</td> </td>	31/03/2026 <td>1:100 @A3</td>	1:100 @A3
DRAWN	BAH	DRAWN
ISSUE	DA	ISSUE
REV	-	REV

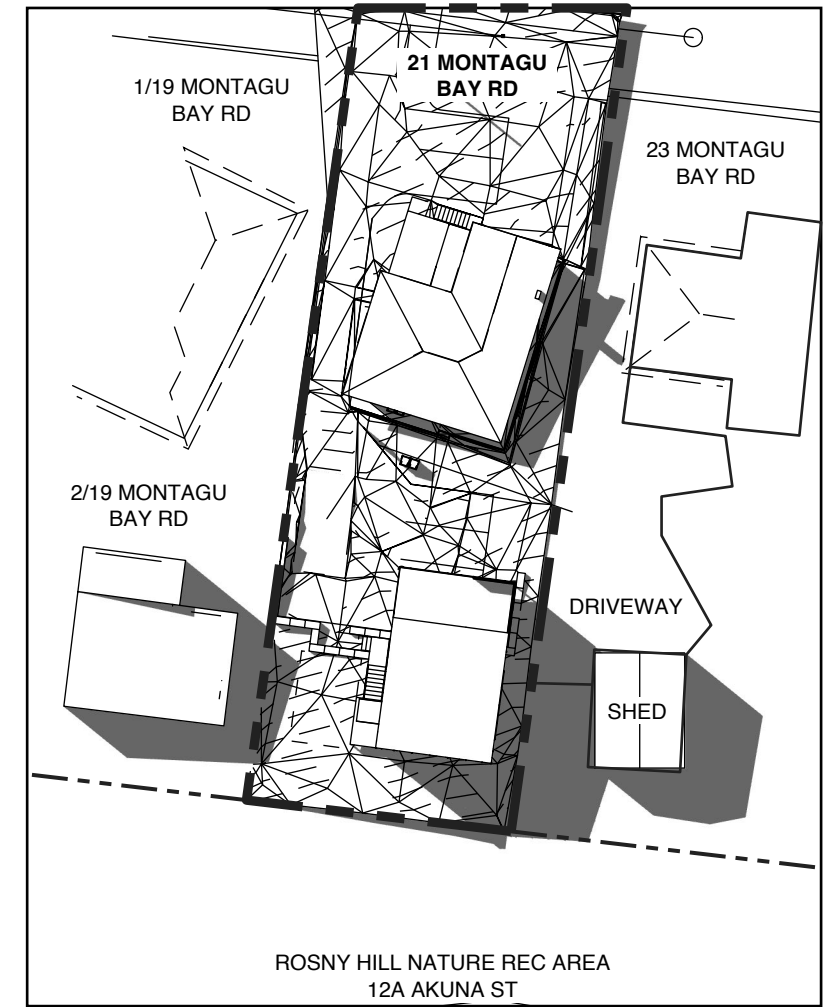
DRAWING  
**ELEVATIONS**  
**PROPOSED (EX. HOUSE)**  
DRAWING NO.  
**36425\_302**



**1 9am (21/03) (PROP)**  
800 1:500



**2 12pm (21/03) (PROP)**  
800 1:500



**3 3pm (21/03) (PROP)**  
800 1:500

FOR THE PURPOSE OF CLARITY, TREES AND VEGETATION HAVE NOT BEEN INCLUDED IN THE MODELLING

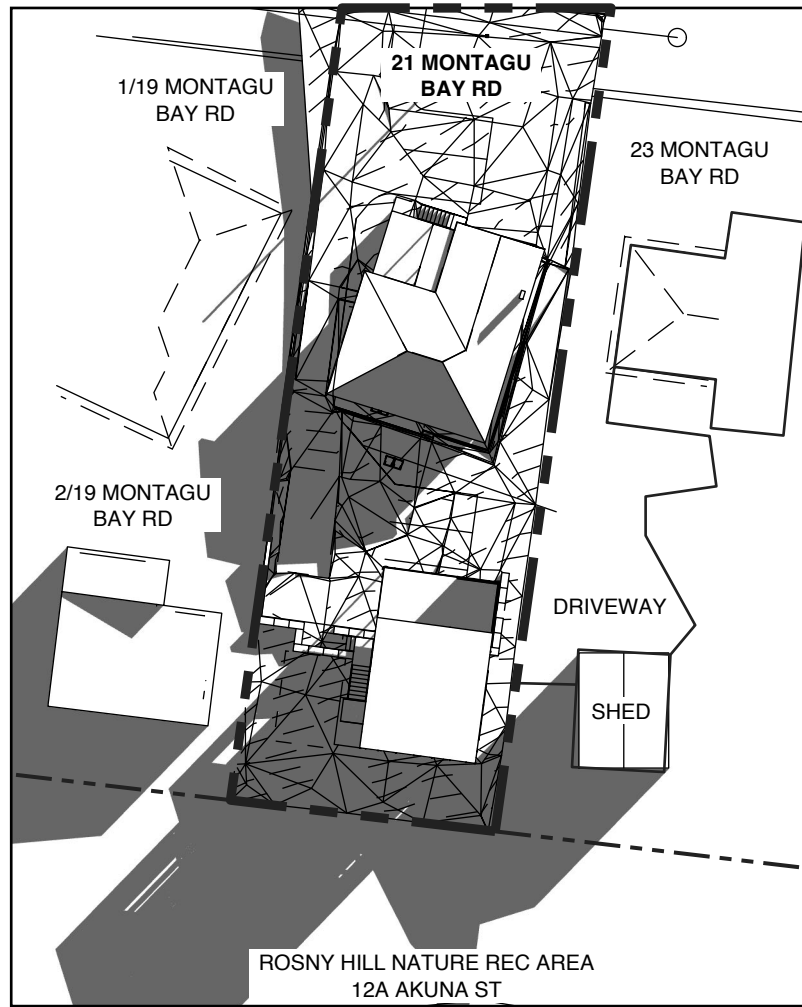
REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-
-	-	-

PROJECT  
**21 MONTAGU BAY RD**  
JONATHAN AND ELISABETH DAVIS  
21 MONTAGU BAY RD, ROSNY, TASMANIA, 7052

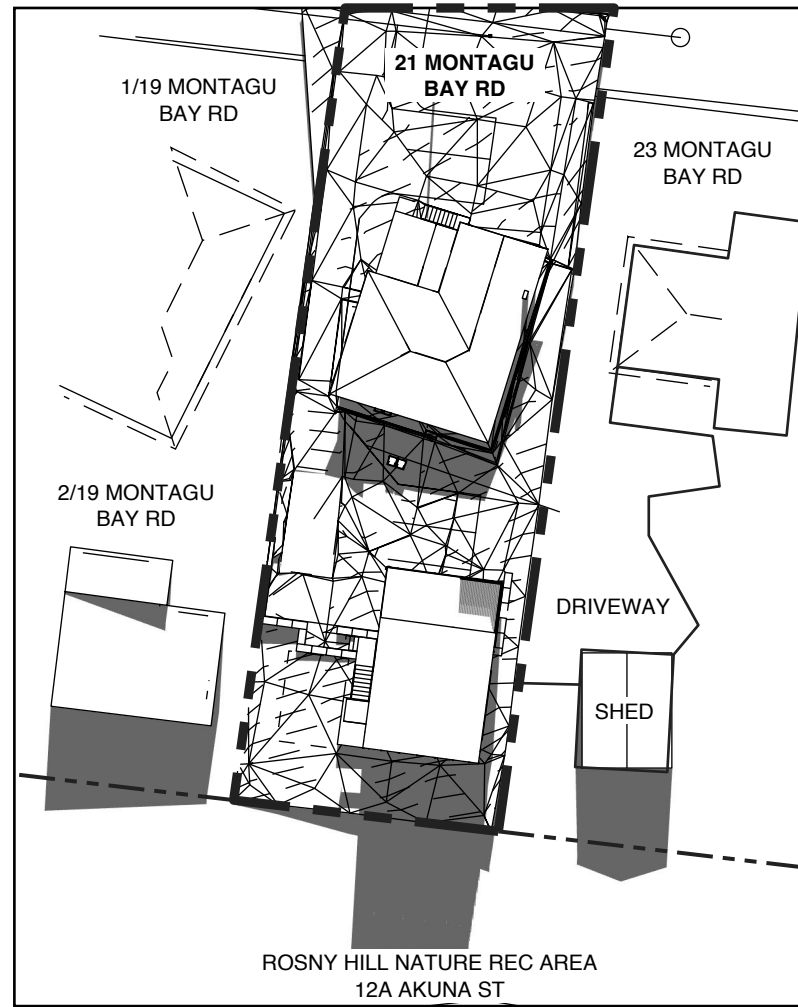
SCALE 1:500 @ A3  
DATE 31/03/2026  
DRAWN BAH  
ISSUE DA  
REV -

DRAWING  
**SHADOW STUDY**  
**21st MARCH**

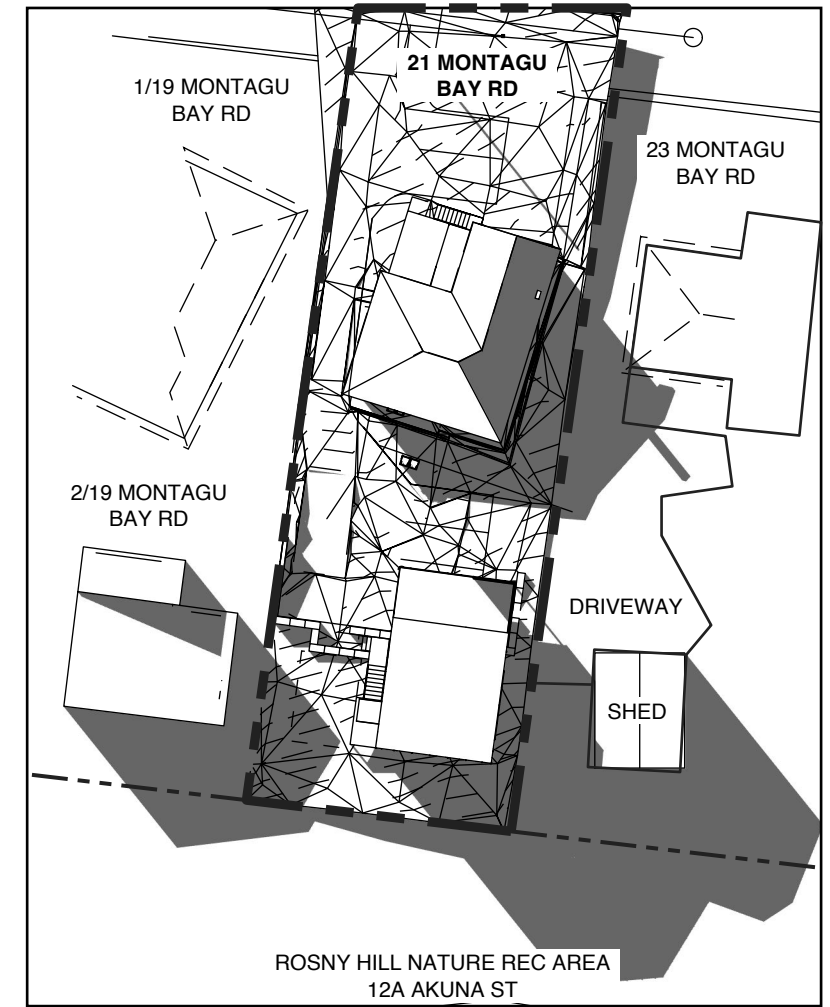
TRUE NORTH  
DRAWING NO. **36425\_800**



**1** 9am (21/06) (PROP)  
801 1:500



**2** 12pm (21/06) (PROP)  
801 1:500



**3** 3pm (21/06) (PROP)  
801 1:500

FOR THE PURPOSE OF CLARITY, TREES AND VEGETATION HAVE NOT BEEN INCLUDED IN THE MODELLING

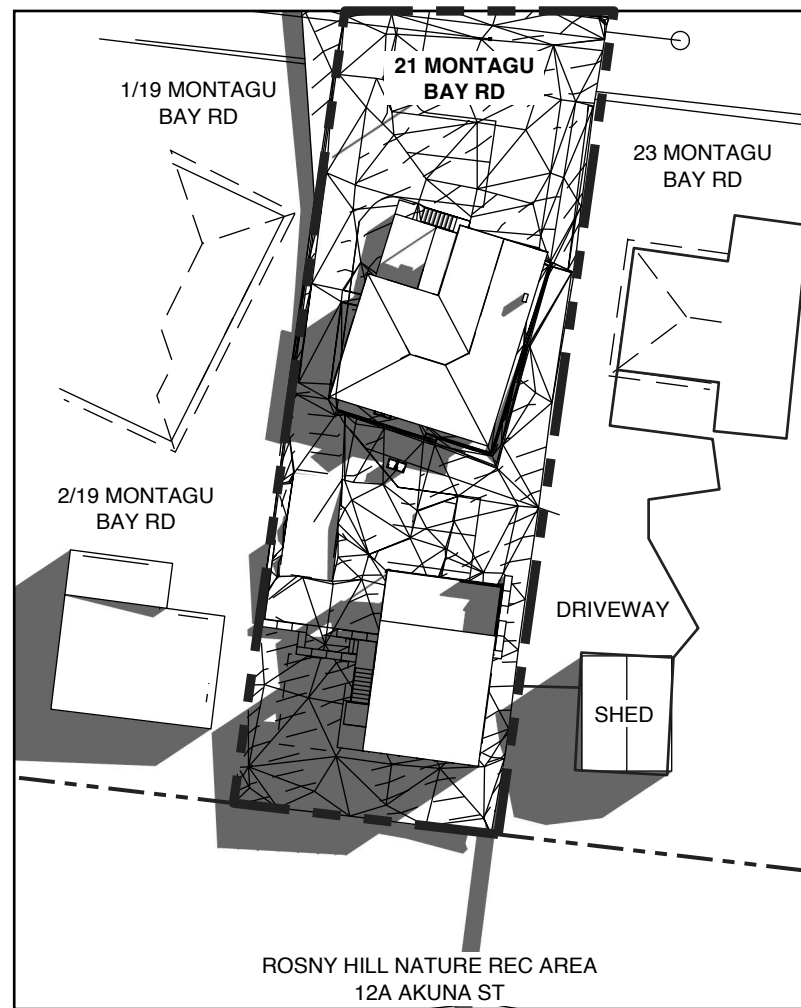
REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-
-	-	-

PROJECT  
**21 MONTAGU BAY RD**  
JONATHAN AND ELISABETH DAVIS  
21 MONTAGU BAY RD, ROSNY, TASMANIA, 7052

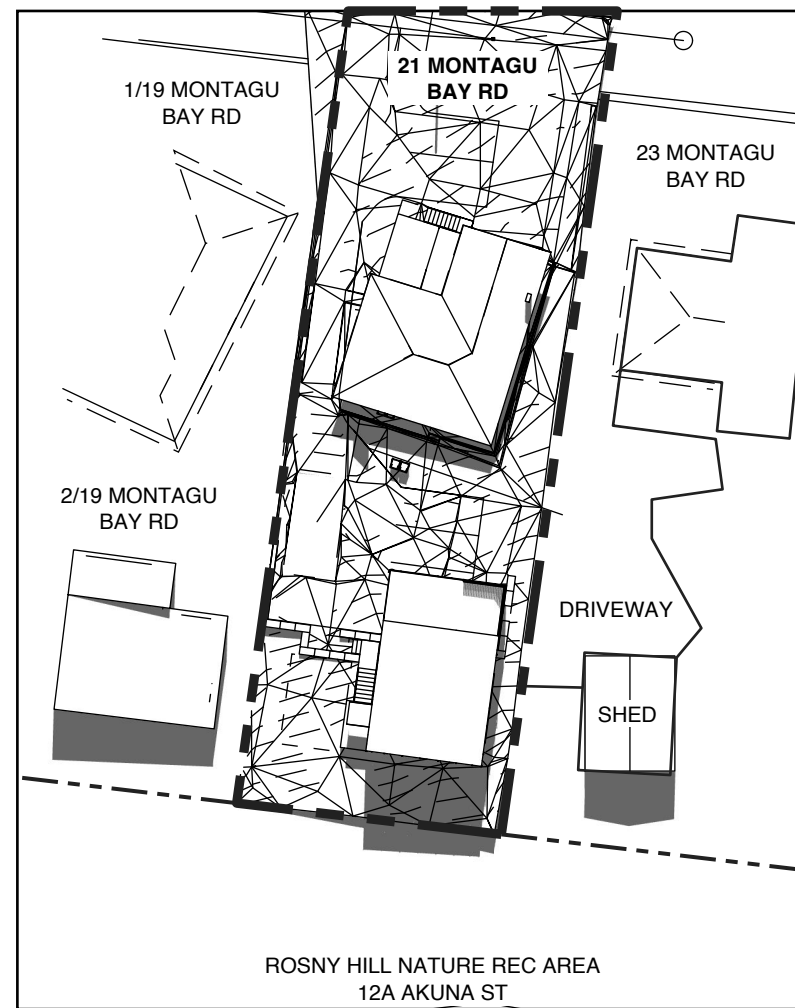
SCALE 1:500 @A3  
DATE 31/03/2026  
DRAWN BAH  
ISSUE DA  
REV -

DRAWING  
**SHADOW STUDY**  
21st JUNE

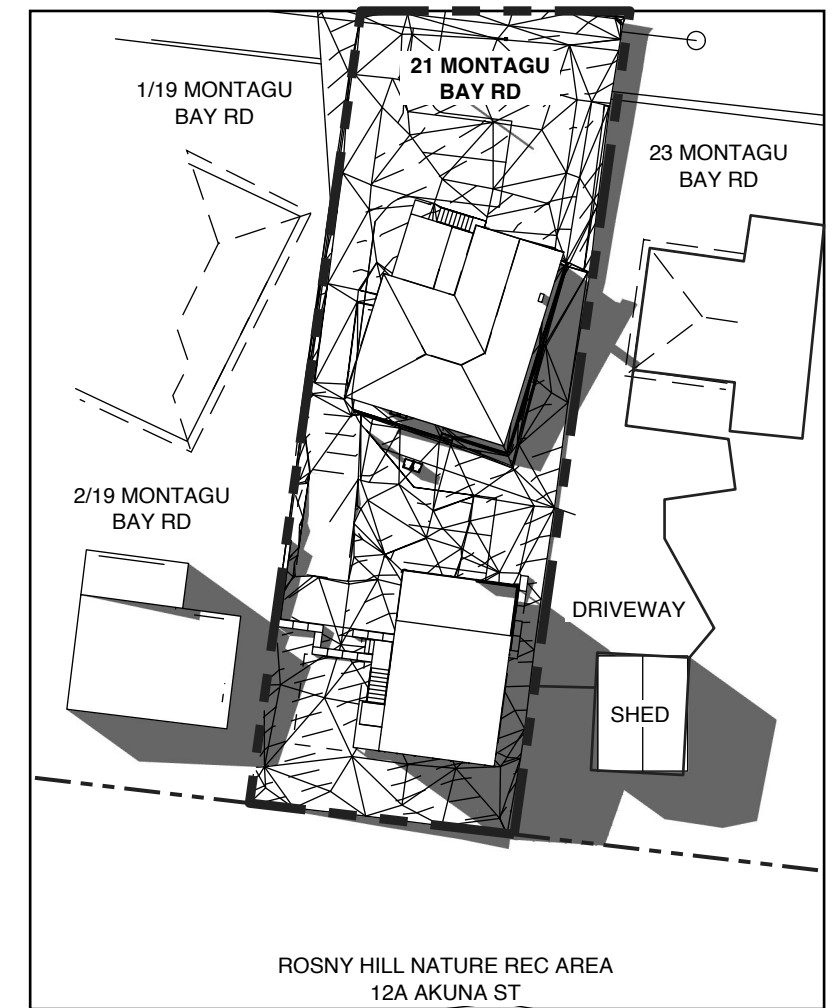
TRUE NORTH  
DRAWING NO. 36425\_801



**1** 9am (21/09) (PROP)  
802 1:500



**2** 12pm (21/09) (PROP)  
802 1:500



**3** 3pm (21/09) (PROP)  
802 1:500

FOR THE PURPOSE OF CLARITY, TREES AND VEGETATION HAVE NOT BEEN INCLUDED IN THE MODELLING

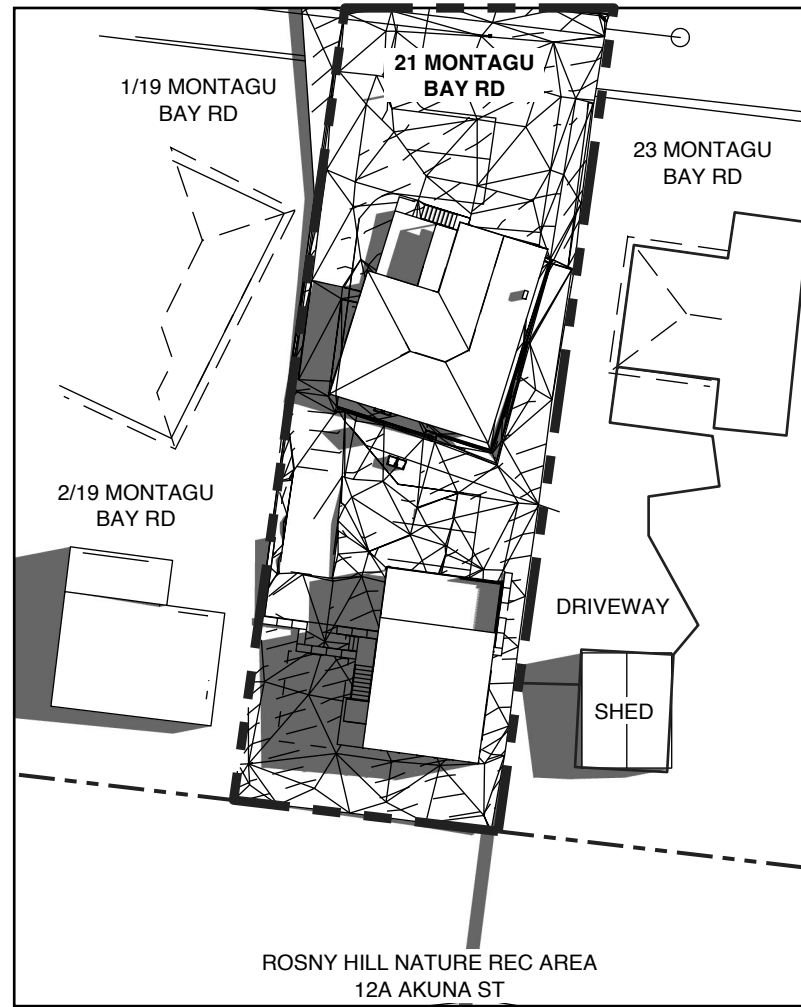
REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-
-	-	-

PROJECT  
**21 MONTAGU BAY RD**  
JONATHAN AND ELISABETH DAVIS  
21 MONTAGU BAY RD, ROSNY, TASMANIA, 7052

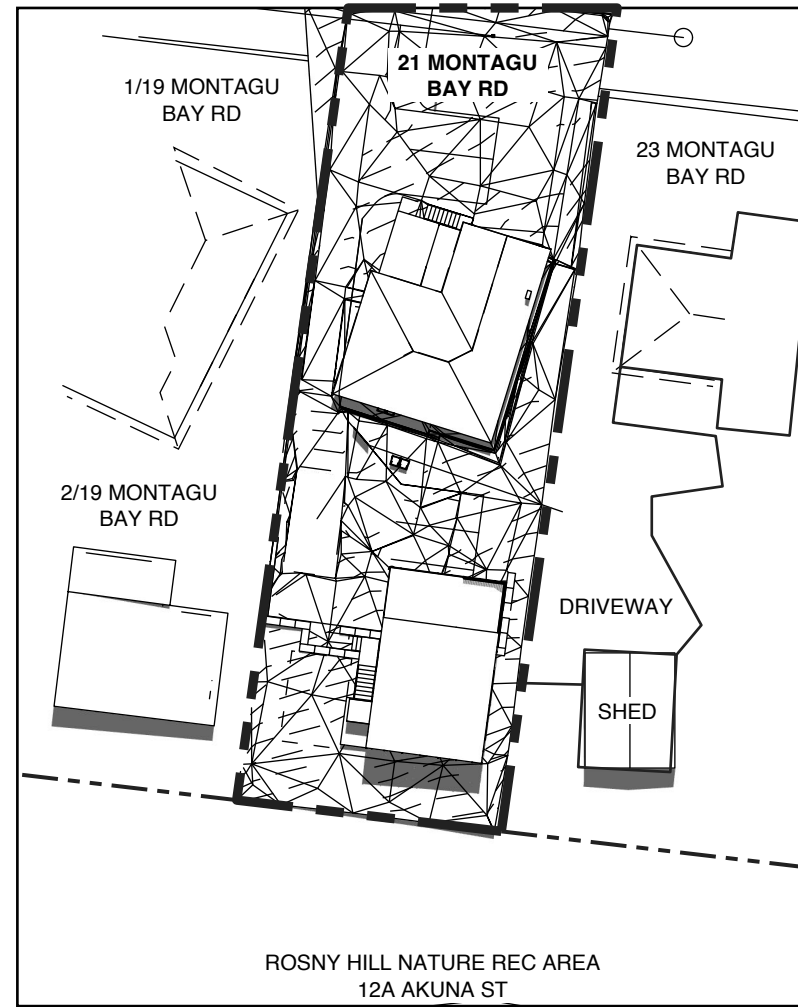
SCALE 1:500 @A3  
DATE 31/03/2026  
DRAWN BAH  
ISSUE DA  
REV -

DRAWING  
**SHADOW STUDY**  
**21st SEPTEMBER**

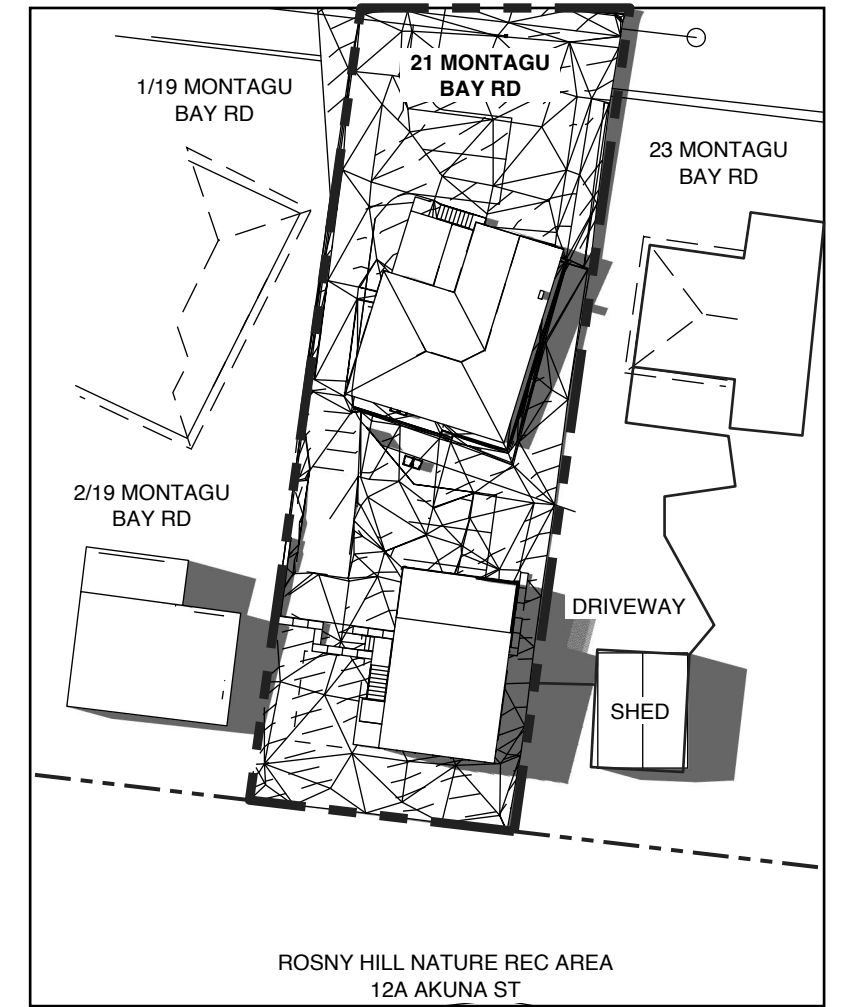
TRUE NORTH  
DRAWING NO. **36425\_802**



**1** 9am (21/12) (PROP)  
803 1:500



**2** 12pm (21/12) (PROP)  
803 1:500



**3** 3pm (21/12) (PROP)  
803 1:500

FOR THE PURPOSE OF CLARITY, TREES AND VEGETATION HAVE NOT BEEN INCLUDED IN THE MODELLING

REV	DATE	DESCRIPTION
-	31/03/2026	Submission
-	21/05/2026	Planning RFI
-	-	-
-	-	-
-	-	-

**PROJECT**  
**21 MONTAGU BAY RD**  
JONATHAN AND ELISABETH DAVIS  
21 MONTAGU BAY RD, ROSNY, TASMANIA, 7052

SCALE 1:500 @A3  
DATE 31/03/2026  
DRAWN BAH  
ISSUE DA  
REV -

**DRAWING**  
**SHADOW STUDY**  
**21st DECEMBER**

TRUE NORTH  
DRAWING NO. 36425\_803



## Planning Report – 21 Montagu Bay Rd

To: Clarence Council  
Date: 31<sup>st</sup> March 2026

Dear Clarence Council,

### Planning Report

This document is to accompany the application for the development for 21 Montagu Bay Road, Rosny which sits within the 8.0 General residential zone with the Safeguarding of Airports code and Bushfire Prone Areas code overlays. The property is not listed on the Tasmanian Heritage Register.

The proposal seeks to add a new dwelling to the south of the existing dwelling, which is considered a Permitted use under Table 8.2.

The proposed new dwelling will provide a modern home for a growing family, situated to take advantage of the views and sun. Due to the combined factors of the 17% slope and the dispersive soils, the building has been located on piers to avoid retaining walls to habitable areas. The existing dwelling will be kept by the owners to provide accommodation for a grandparent. There are a total of 5 car parks proposed (2 for each dwelling, plus 1 visitor park).

The proposed works have been tested against the applicable General Residential code within the Statewide Planning Scheme. Please find the following summary and detailed assessment.

Kind regards,



Bee Newman  
Director, Next 50 Architects

### SUMMARY ASSESSMENT

#### 8.0 GENERAL RESIDENTIAL ZONE

CLAUSE	ACCEPTABLE SOLUTIONS	PERFORMANCE CRITERIA
8.4.1 Residential Density for Multiple Dwellings	A1	
8.4.2 Setbacks and building envelope for all dwellings	A1 A2	P3
8.3.3 Site coverage and private open space for all dwellings	A1 A2	
8.3.4 Sunlight to private open space of multiple dwellings	A1	
8.3.5 Width of openings for garages and carports for all dwellings	A1	
8.3.6 Privacy for all dwellings	A1 A2	P3
8.3.7 Frontage fences for all dwellings	A1	
8.3.8 Waste storage for multiple dwellings	A1	

## **DETAILED ASSESSMENT – 8. GENERAL RESIDENTIAL ZONE**

### **8.4.1 Residential Density for Multiple Dwellings**

To provide for suburban densities for multiple dwellings that:  
(a) make efficient use of suburban land for housing; and  
(b) optimises the use of infrastructure and community services.

Development Standard	Assessment
<b>A1</b>  Multiple dwellings must have a site area per dwelling of not less than 325m <sup>2</sup>	 The proposed multiple dwellings will each have a site area per dwelling of not less than 325m <sup>2</sup> , as there are two proposed dwellings with a site area of 850m <sup>2</sup> .  The works are compliant with 8.4.1 A1.

### **8.4.2 Setbacks and building envelope for all dwellings**

The siting and scale of dwellings:  
(a) provides reasonably consistent separation between dwellings and their frontage within a street;  
(b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;  
(c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and  
(d) provides reasonable access to sunlight for existing solar energy installations.

Development Standard	Assessment
<b>A1</b>  Unless within a building area, a dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6 m into the frontage setback, must have a setback from a frontage that is:  (a) if the frontage is a primary frontage, at least 4.5 m, or, if the setback from the primary frontage is less than 4.5 m, not less than the setback, from the primary frontage, of any existing dwelling on the site; or  (b) if the frontage is not a primary frontage, at least 3 m, or, if the setback from the frontage is less than 3 m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; or  (c) if for a vacant site with existing dwellings on adjoining sites on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or  (d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.	 The proposed dwelling is setback greater than (a) 4.5m from the primary frontage. The proposed works are therefore compliant with 8.4.2 A1.

<p><b>A2</b></p> <p>A garage or carport must have a setback from a frontage of at least:</p> <p>(a) 5.5 m, or alternatively 1m behind the façade of the dwelling; or</p> <p>(b) the same as the dwelling façade, if a portion of the dwelling gross floor area is located above the garage or carport; or</p> <p>(c) 1m, if the natural ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10 m from the frontage.</p>	<p>There is no proposed garage. The proposed carport is located under the second dwelling which is greater than 5.5m from the frontage (a). The works are therefore compliant with 8.4.2 A2.</p>
<p><b>P3</b></p> <p>The siting and scale of a dwelling must:</p> <p>(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:</p> <ul style="list-style-type: none"> <li>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;</li> <li>(ii) overshadowing the private open space of a dwelling on an adjoining property;</li> <li>(iii) overshadowing of an adjoining vacant property; and</li> <li>(v) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;</li> </ul> <p>(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and</p> <p>(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:</p> <ul style="list-style-type: none"> <li>(i) an adjoining property; or</li> <li>(ii) another dwelling on the same site.</li> </ul>	<p>The proposed second dwelling has been sited to the north-east of the property, responding to the existing driveway alignment and required vehicle manoeuvring areas. Its location toward the eastern portion of the site minimises potential overshadowing and maintains a development pattern consistent with established properties in the street, where secondary dwellings are commonly located to the rear and east of the lot. Accordingly, the proposal provides separation consistent with the prevailing spatial pattern of development in accordance with clause (b).</p> <p>(a) (i) and (ii): The siting and scale of the dwelling do not result in an unreasonable reduction in sunlight to habitable rooms or private open space of adjoining properties, as demonstrated in the submitted shadow diagrams.</p> <p>(a)(iii): There are no adjoining vacant properties affected by overshadowing.</p> <p>(a)(v): The dwelling is elevated on piers in response to the site's 17% slope and dispersive soil conditions. The building has been carefully designed to reduce visual bulk, including stepping of the form and articulation of built elements. This ensures the apparent scale is moderated when viewed from adjoining properties. T</p> <p>(c) There are no existing solar energy installations on adjoining properties or elsewhere on the site that would be affected by the proposal.</p> <p>Overall, the siting and scale of the development do not result in unreasonable amenity impacts and are consistent with the established character and built form pattern of the area.</p> <p>The proposed works are consistent with 8.4.2. P3.</p>

### 8.4.3 Site Coverage and Private Open Space for All Dwellings

That dwellings are compatible with the amenity and character of the area and provide:

- (a) for outdoor recreation and the operational needs of the residents;
- (b) opportunities for the planting of gardens and landscaping; and
- (c) private open space that is conveniently located and has access to sunlight.

Development Standard	Assessment
<p><b>A1</b></p> <p>Dwellings must have:</p> <p>(a) a site coverage of not more than 50% (excluding eaves up to 0.6m); and</p> <p>(b) for multiple dwellings, a total area of private open space of not less than 60m<sup>2</sup> associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).</p>	<p>The proposed development will have a total site coverage which is not more than 50% (a). Each dwelling will have a private open space associated of not less than 60m<sup>2</sup>. The works are therefore compliant with 8.4.3 A1.</p>
<p><b>A2</b></p> <p>A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at least:</p> <p style="padding-left: 40px;">(i) 24 m<sup>2</sup>; or</p> <p style="padding-left: 40px;">(ii) 12 m<sup>2</sup>, if the dwelling has a finished floor level that is entirely more than 1.8 m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(b) has a minimum horizontal dimension of:</p> <p style="padding-left: 40px;">(i) 4 m; or</p> <p style="padding-left: 40px;">(ii) 2 m, if the dwelling has a finished floor level that is entirely more than 1.8 m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and</p> <p>(d) has a gradient not steeper than 1 in 10</p>	<p>The proposed dwelling provides multiple private open spaces, that are greater than 24m<sup>2</sup> in area (a), with a minimum horizontal dimension of (b)(i) 4m, and being located on the north, receive at least 3 hours of sunlight to 50% of the area between 9:00am and 3:00pm on the 21st June (d), is located to the northern street orientation which is between 30deg west of north and 30deg east of north, (e), is flat with minimum falls for drainage (f), and is not used for vehicle parking (g). The private open space is therefore compliant with 8.4.3 A2.</p>

#### 8.4.4 Sunlight to private open space of multiple dwellings

That the separation between multiple dwellings provides reasonable opportunity for sunlight to private open space for dwellings on the same site.

Development Standard	Assessment
<p><b>A1</b></p> <p><i>Details not shown.</i></p>	<p>The proposed multiple dwelling is located to the south of the existing dwelling.</p>

	<p>The existing dwelling will not cause 50% of the private open space of the proposed dwelling to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June;</p> <p>The proposed works are compliant with 8.4.4 A1.</p>
--	--

#### 8.4.5 Width of Openings for Garages and Carports for all dwellings

To reduce the potential for garage or carport openings to dominate the primary frontage.

Development Standard	Assessment
<p><b>A1</b></p> <p>A garage or carport within 12m of a primary frontage (whether the garage or carport is free-standing or part of the dwelling) must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).</p>	<p>There is no proposed garage within 12m of the primary frontage.</p> <p>The proposed works are therefore compliant with 8.4.5 A1.</p>

#### 8.4.6 Privacy for all dwellings

To provide a reasonable opportunity for privacy for dwellings.

Development Standard	Assessment
<p><b>A1</b></p> <p>A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:</p> <p>(a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;</p> <p>(b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and</p> <p>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m:</p> <p>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.</p>	<p>The proposed dwelling has an upper floor deck with a floor height greater than 1m above natural ground level. The proposed deck has a fixed screen of 1.7m with a uniform transparency of 25% along the side facing the (a) side boundary, which has a distance of less than 3m.</p> <p>The proposed works are compliant with 8.4.6 A1.</p>
<p><b>A2</b></p> <p>A window or glazed door, to a habitable room, of a dwelling, that has a floor level more than 1 m above the natural ground level, must be in accordance with (a), unless it is in accordance with (b):</p> <p>(a) The window or glazed door:</p>	<p>The proposed dwelling has an upper floor with a floor height greater than 1m above natural ground level. There are no glazed windows or doors within (a)(i) 3m of a side boundary. The proposed works are compliant with 8.4.6 A2.</p>

<p>(i) is to have a setback of at least 3 m from a side boundary;</p> <p>(ii) is to have a setback of at least 4 m from a rear boundary;</p> <p>(iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and</p> <p>(iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.</p> <p>(b) The window or glazed door:</p> <p>(i) is to be offset, in the horizontal plane, at least 1.5 m from the edge of a window or glazed door, to a habitable room of another dwelling; or</p> <p>(ii) is to have a sill height of at least 1.7 m above the floor level or has fixed obscure glazing extending to a height of at least 1.7 m above the floor level; or</p> <p>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of at least 1.7 m above floor level, with a uniform transparency of not more than 25%.</p>	
<p><b>P3</b></p> <p>A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise unreasonable impact of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling</p>	<p>The existing dwelling has glazing (windows) that border the proposed shared driveway. Due to the siting of the original house, the driveway is narrow at the corner of the house, and it is not possible to setback the second window (EX.W1) more than 1m from the driveway.</p> <p>The existing windows (noted as EX.W1 and EX.W2 on the existing floor plan) have ranging sill heights between 1.5m and 0.9m from natural ground.</p> <p>The proposed windows will have the glass panes replaced with fixed obscured glazing to a height of not less than 1.7m above floor level. Both rooms have additional windows that can remain clear, and operable.</p> <p>The proposed works are consistent with 8.4.6 P3.</p>

#### 8.4.7 Frontage Fences

*The height and transparency of frontage fences:*

- (a) provides adequate privacy and security for residents;*
- (b) allows the potential for mutual passive surveillance between the road and the dwelling; and*
- (c) is reasonably consistent with that on adjoining properties.*

Development Standard	Assessment
----------------------	------------

<b>A1</b> No acceptable solution.	No proposed frontage fence.
--------------------------------------	-----------------------------

### 8.4.8 Waste Storage for Multiple Dwellings

To provide for the storage of garbage and recycling bins for multiple dwellings.

Development Standard	Assessment
<p><b>A1</b></p> <p>A multiple dwelling must have a storage area, for waste and recycling bins, that is not less than 1.5m<sup>2</sup> per dwelling and is within one of the following locations:</p> <p>(a) an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or</p> <p>(b) a common storage area with an impervious surface that:</p> <ul style="list-style-type: none"> <li>(i) has a setback of not less than 4.5m from a frontage;</li> <li>(ii) is not less than 5.5m from any dwelling; and</li> <li>(iii) is screened from the frontage and any dwelling by a wall to a height not less than 1.2m above the finished surface level of the storage area.</li> </ul>	<p>The proposed multiple dwellings have areas dedicated to bin storage that is not less than 1.5m<sup>2</sup> and are located in an area for exclusive use of each dwelling (a).</p> <p>The proposed works are compliant with 8.4.8 A1.</p>