



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/060759

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 30 Wellington Street, Richmond

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 18/06/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 18/06/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 18/06/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **Alterations & Extension**

Location: **30 Wellington Street, Richmond**

Personal Information Removed



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Single residential dwelling**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 10685	FOLIO 2
EDITION 2	DATE OF ISSUE 11-Dec-2023

SEARCH DATE : 24-Feb-2026

SEARCH TIME : 05.59 am

DESCRIPTION OF LAND

Town of RICHMOND
 Lot 2 on Sealed Plan 10685
 Derivation : Part of 1A-0R-13Ps. (Section H.) Gtd. to C.
 Shelverton & B. Warton.
 Prior CT 3678/81

SCHEDULE 1

N167808 TRANSFER to GILES FRAZER HARVEY and STEPHANIE
 DOMENICA CESILE HARVEY Registered 11-Dec-2023 at
 noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP 10685 FENCING PROVISION in Schedule of Easements
E370453 MORTGAGE to Macquarie Bank Limited Registered
 11-Dec-2023 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



SCHEDULE OF EASEMENTS

Plan No. S.P. 10685

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

FENCING PROVISION

In respect of the lots shown on the plan the Vendor the Public Trustee of Tasmania shall not be required to fence.

No other easements or covenants or profits a prender are created to benefit or burden the land in the plan.

SIGNED by the Public Trustee of Tasmania the Beneficial Owner of the land described in Certificate of Title Volume 3185 Folio 36 in the presence of

[Handwritten signature]

[Handwritten signatures: Mahesh Patel, ...]

Certified correct for the purposes of the Real Property Act 1862, as amended.

[Handwritten signature] Solicitor for the Public Trustee.

10685

Certified correct for the purposes of the Real Property Act 1862, as amended.

Subdivider/Solicitor for the Subdivider

This is the schedule of easements attached to the plan of LEWIS PHILIP WOODFORD (Insert Subdivider's Full Name)

affecting land in

CT Vol 318.5 Fol 36 (Insert Title Reference)

Sealed by

RICHMOND COUNCIL

on

14-2-1978

Council Clerk/Treasurer

10364

10685

APPROVAL BY LOCAL AUTHORITY

The subdivision shown in this Plan
is approved

Seal

Insert here any qualification to the approval under section 468 (12), section 472 or section 477B of the Local Government Act 1962. Rule through any blank space.

In witness whereof the common seal of *THE WARDEN, COUNCILLORS AND ELECTORS OF THE MUNICIPALITY OF RICHMOND* has been hereunto affixed, pursuant to a resolution of the Council of the said municipality passed the day of *FEBRUARY, 14TH, 1978*, in the presence of us

[Signature] } Members
[Signature] }
[Signature] Council Clerk

LOT AREA	VOL.	FOL.
1	3678	80
2	"	81
3	"	82
4	"	83
5	"	84

TO BE COMPLETED AND SIGNED BY COUNCIL CLERK OR OWNER

For the purposes of section 464 of the Local Government Act 1962, the owner has nominated/I nominate
As his/my solicitor Public Trustee

As his/my surveyor T.N. Woolford

[Signature] Council Clerk/Owner

TO BE FILLED IN BY SURVEYOR

Survey commenced 19-12-77

Survey finished 19-12-77

Error of Close 1 in. 214,000

OFFICE EXAMINATION

Plot Checked *27* 1.3.78

Mathematically Checked *27* 1.3.78

Examined as to boundaries *27* 3/3/78

Entered on Card

05379

Surveyor's Certificate

I, Tony Neville Woolford of Mt. Rumney in Tasmania, registered surveyor, hereby certify that this plan:

1. Has been made from surveys executed by me or a registered pupil under my personal supervision, inspection, and field-check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors By-Laws 1966;
2. Complies with all statutory provisions relating to anything appearing thereon; and
3. Requires the approval of the local authority, which has been obtained (or, does not require the approval of any local authority)

Dated this Seventh day of February 1978.

[Signature]
Registered Surveyor

PLANNING DOCUMENTATION
FOR

30 WELLINGTON STREET, RICHMOND

LOT 2 / VOL 10685

PID 5889056

WIND SPEED: **N3**

SOIL CLASSIFICATION: -

CLIMATE ZONE: **7**

BAL: **NONE**

COUNCIL: CLARENCE CITY COUNCIL

ZONE: 8.0 GENERAL RESIDENTIAL

OVERLAY/S:

SAFE GUARDING AIRPORTS CODE

LOCAL HERITAGE PRECINCT

TASMANIAN HERITAGE LIST #1140 'COTTAGE'

001 CONTENTS

100 SITE PLANS EXISTING / DEMOLITION

101 FLOOR PLAN EXISTING / DEMOLITION

102 ROOF PLAN EXISTING / DEMOLITION

103 ELEVATIONS EXISTING / DEMOLITION

200 SITE PLAN PROPOSED

201 FLOOR PLAN PROPOSED

202 ROOF PLAN PROPOSED

203 FLOOR PLAN DIMENSIONED

300 ELEVATIONS PROPOSED

400 SECTIONS AA, BB, CC, DD

900 3D PERSPECTIVE / PHOTOGRAPH

901 3D PERSPECTIVE / PHOTOGRAPH

902 3D PERSPECTIVE / PHOTOGRAPH

DRAWINGS TO BE READ IN CONJUNCTION WITH:

LAND SURVEYING	ROGERSON & BIRCH	12-06-2024
STRUCTURAL ASSESSMENT	PETER SPRATT	14-08-2025
PLANNING RESPONSE	NEXT 50 ARCHITECTS	03-03-2026
HERITAGE RESPONSE	NEXT 50 ARCHITECTS	03-03-2026








EXISTING		PROPOSED	
AREA ANALYSIS GROSS FLOOR AREA (GFA)		AREA ANALYSIS GROSS FLOOR AREA (GFA)	
SITE:	681m2	SITE:	681m2
EXISTING HOUSE (ORIGINAL):	84m2	EXISTING HOUSE (ORIGINAL):	84m2
EXISTING HOUSE (EXTENSION):	32m2	EXISTING HOUSE (EXTENSION):	32m2
TOTAL EXISTING HOUSE:	116m2	NEW EXTENSION & GARAGE:	92m2
		TOTAL PROPOSED HOUSE:	208m2
TOTAL GFA (ROOF AREA):	138m2	TOTAL GFA (ROOF AREA):	228m2
SITE COVERAGE:	20%	SITE COVERAGE:	30%

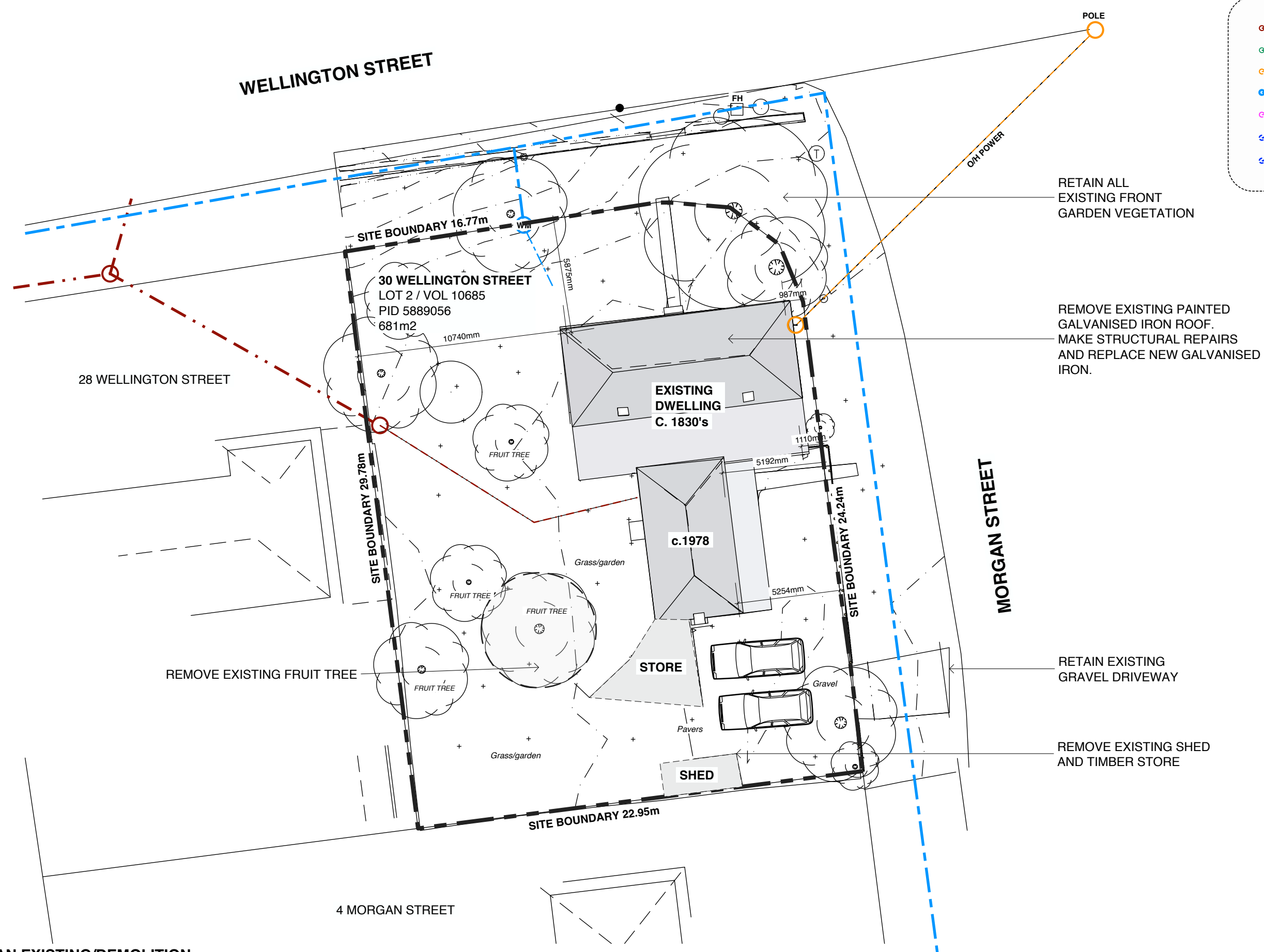
PROJECT	SCALE	NTS @A3
HARVEY ALTS	DATE	21/03/2026
GILES AND STEPH HARVEY	DRAWN	BAH
30 WELLINGTON STREET, RICHMOND, TASMANIA, 7025	ISSUE	DA
<i>country of the muwinina people of the nuennone nation, lutruwita</i>	REV	-

DRAWING
CONTENTS

DRAWING NO.
39424_001

KEY

-  SEWER
-  GAS N/A
-  POWER
-  WATER MAIN
-  PHONE LINE
-  STORMWATER
-  S/W SLOTTED DRAIN



30 WELLINGTON STREET
 LOT 2 / VOL 10685
 PID 5889056
 681m²

EXISTING DWELLING
 C. 1830's

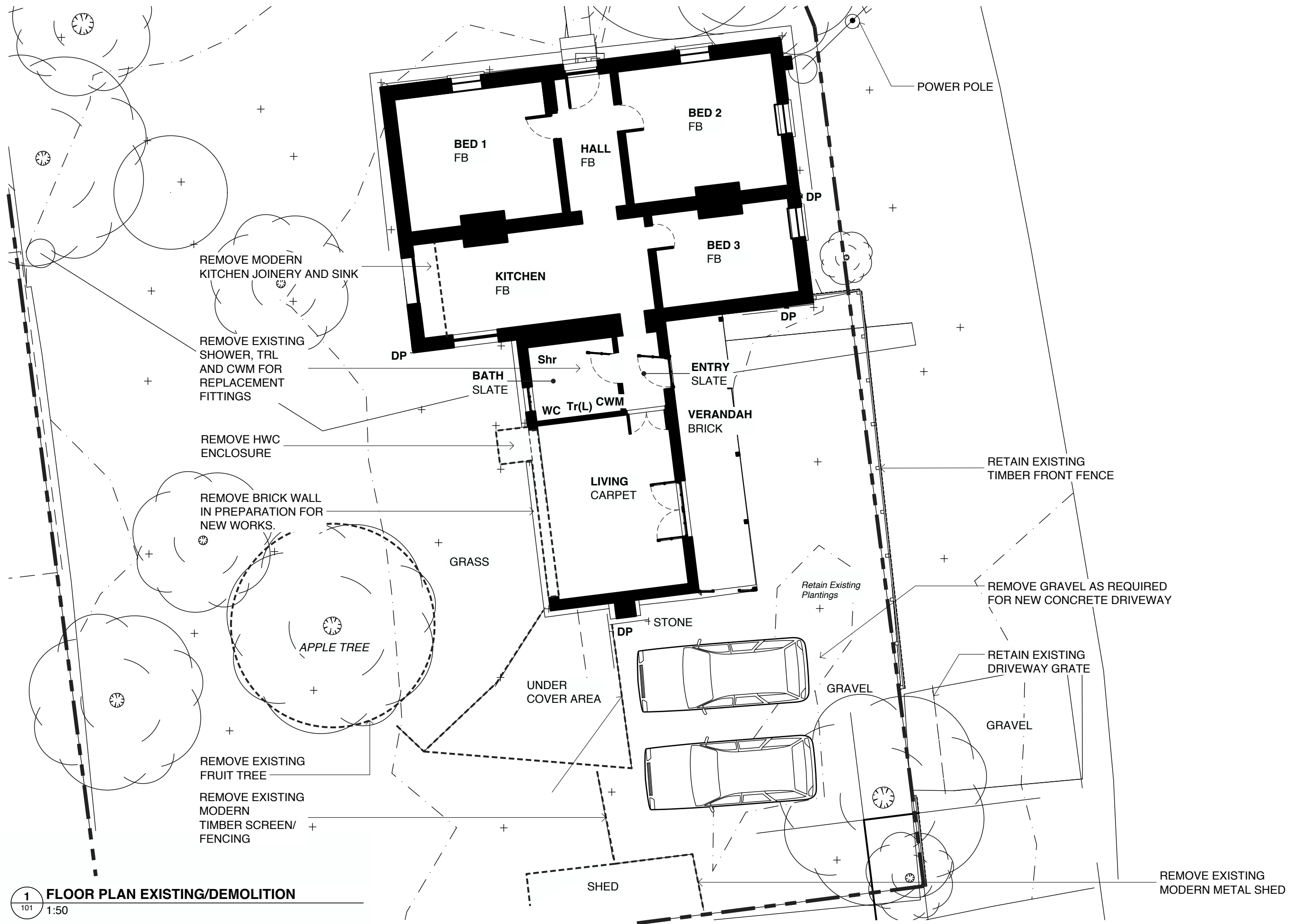
c.1978

STORE

SHED

1 SITE PLAN EXISTING/DEMOLITION
 100 1:200

EXISTING	
AREA ANALYSIS GROSS FLOOR AREA (GFA)	
SITE:	681m ²
EXISTING HOUSE (ORIGINAL):	84m ²
EXISTING HOUSE (EXTENSION):	32m ²
TOTAL EXISTING HOUSE:	116m²
TOTAL GFA (ROOF AREA):	138m ²
SITE COVERAGE:	20%



1 FLOOR PLAN EXISTING/DEMOLITION
101 1:50

PROJECT
HARVEY ALTS
 GILES AND STEPH HARVEY
 30 WELLINGTON STREET, RICHMOND, TASMANIA, 7025
country of the muwina people of the nuennone nation, lutruwita

SCALE 1:50 @A3
 DATE 21/03/2026
 DRAWN BAH
 ISSUE DA
 REV -

DRAWING
FLOOR PLAN EXISTING/DEMOLITION
 DRAWING NO. 39424_101
 TRUE NORTH 15.09°

KEY

R1 EXISTING - PAINTED GREY GALVANISED IRON ROOF (CUSTOM ORB)

CAREFULLY REMOVE AND STORE ON SITE EXISTING SHINGLE ROOF BATTENS FROM EDGE OF ROOF TO ALLOW FOR NEW STRUCTURAL WORKS. REINSTATE AFTER STRUCTURAL WORKS COMPLETE.

REMOVE EXISTING PAINTED GALVANISED ROOF SHEET AND FLASHINGS.

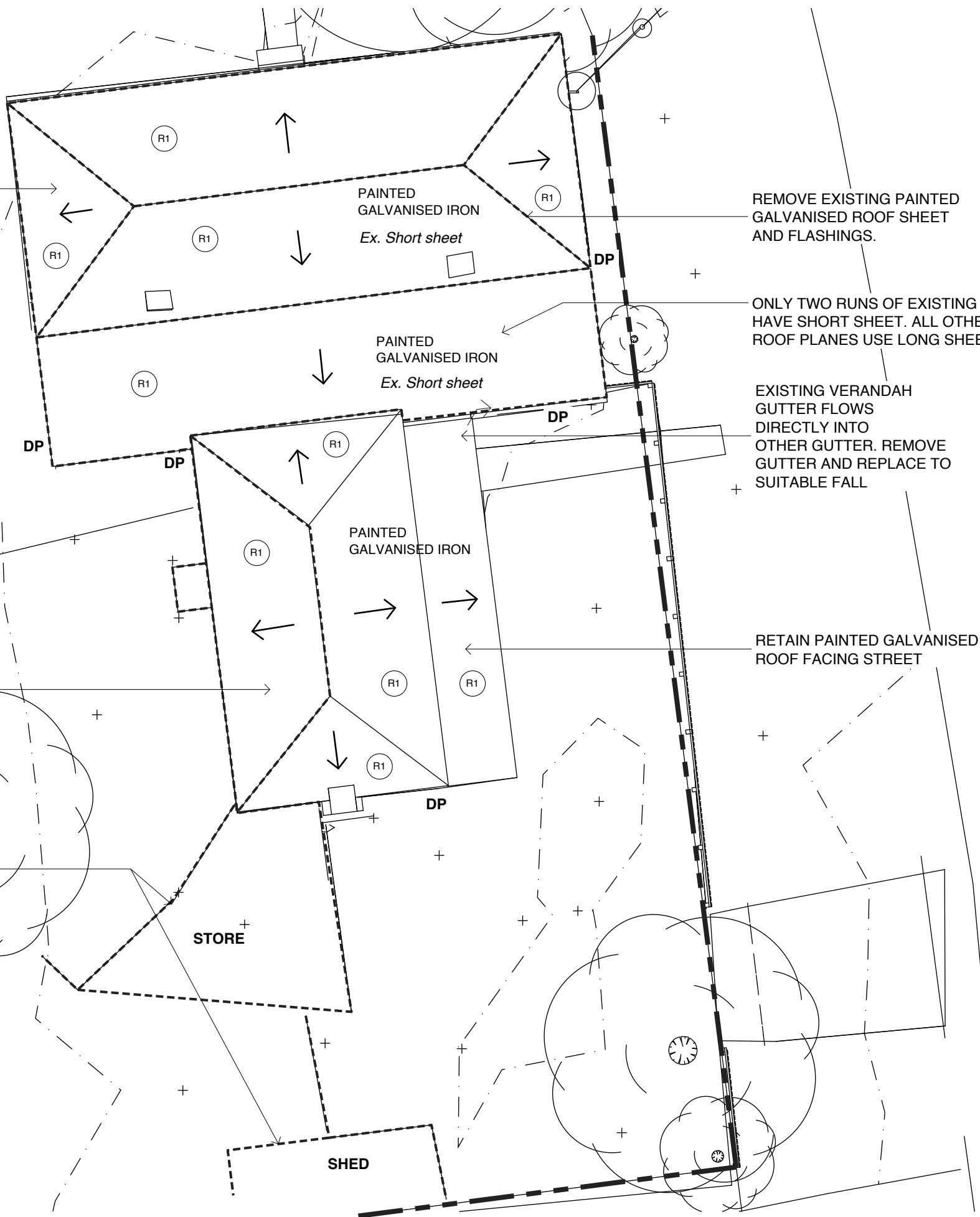
ONLY TWO RUNS OF EXISTING ROOF AS NOTED HAVE SHORT SHEET. ALL OTHER ROOF PLANES USE LONG SHEET.

EXISTING VERANDAH GUTTER FLOWS DIRECTLY INTO OTHER GUTTER. REMOVE GUTTER AND REPLACE TO SUITABLE FALL

RETAIN PAINTED GALVANISED ROOF FACING STREET

REMOVE PAINTED GALVANISED ROOF AS REQUIRED FOR NEW WORKS

REMOVE EXISTING SHED AND TIMBER STORE



1 ROOF PLAN EXISTING/DEMOLITION
102 1:100

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GILES AND STEPH HARVEY
30 WELLINGTON STREET, RICHMOND, TASMANIA, 7025
country of the muwina people of the nuennone nation, lutruwita

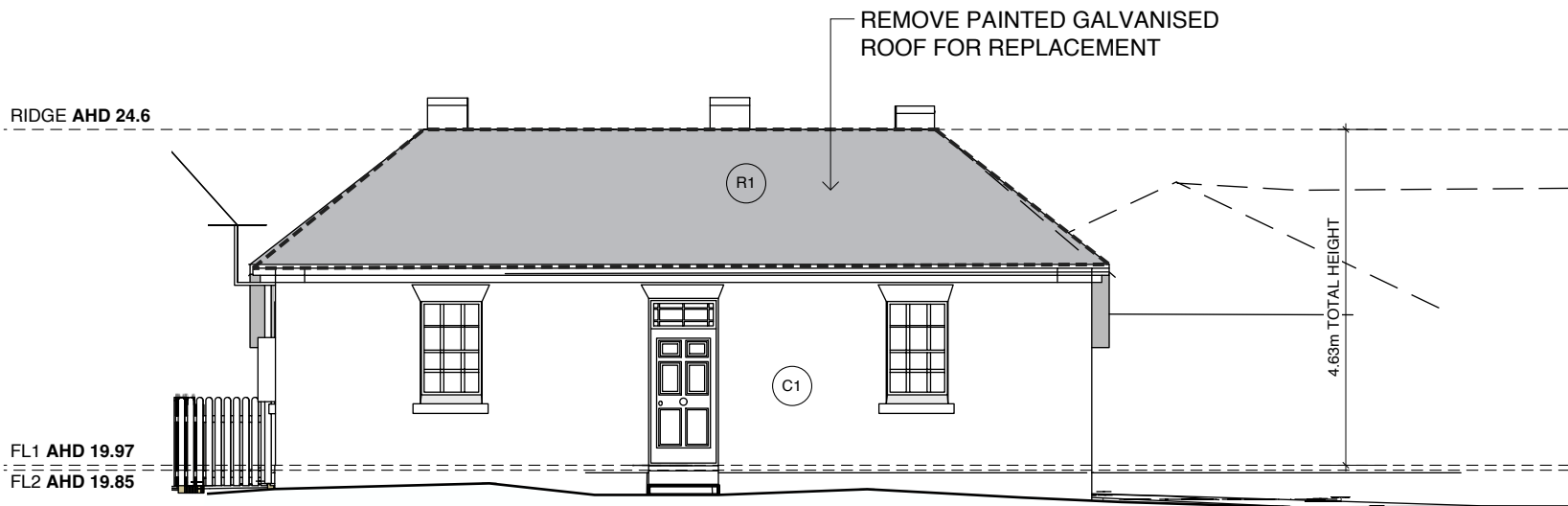
SCALE
DATE
DRAWN
ISSUE
REV

1:100 @A3
21/03/2026
BAH
DA
-

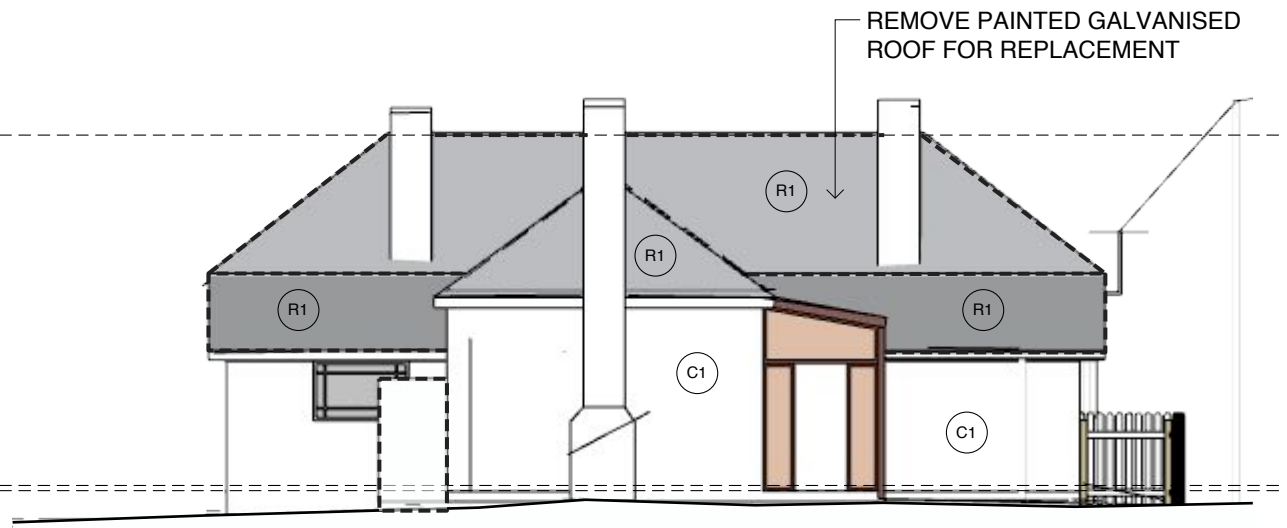
DRAWING
**ROOF PLAN
EXISTING/DEMOLITION**
DRAWING NO.
39424_102



TRUE
15.09°



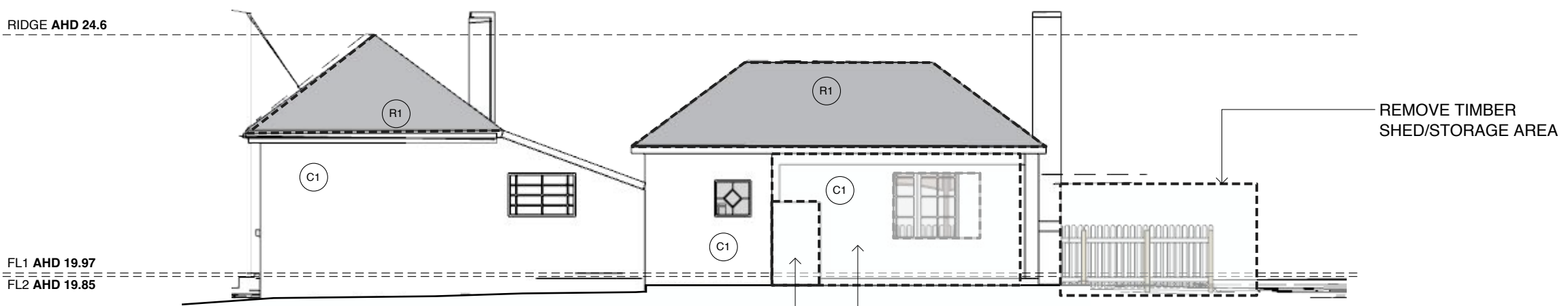
1 EXISTING NORTH ELEVATION (FACING WELLINGTON STREET)
103 1:100



2 EXISTING SOUTH ELEVATION
103 1:100



3 EXISTING EAST ELEVATION (FACING MORGAN STREET)
103 1:100










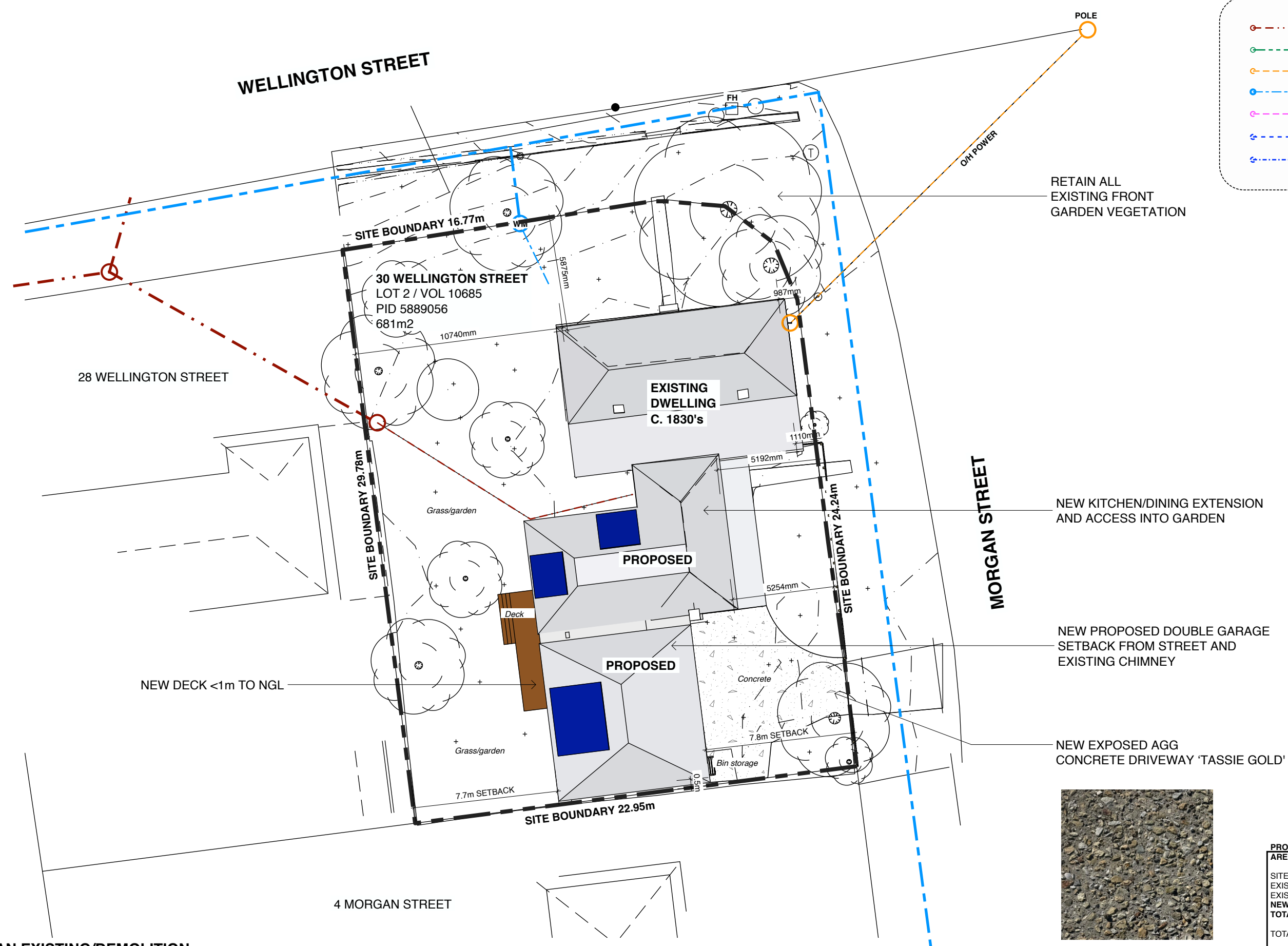
4 EXISTING WEST ELEVATION
103 1:100

KEY

R1	EXISTING - PAINTED GREY GALVANISED IRON ROOF
C1	EXISTING - PAINTED CREAM BRICKS
C2	EXISTING - HORIZONTAL TIMBER CLADDING

KEY

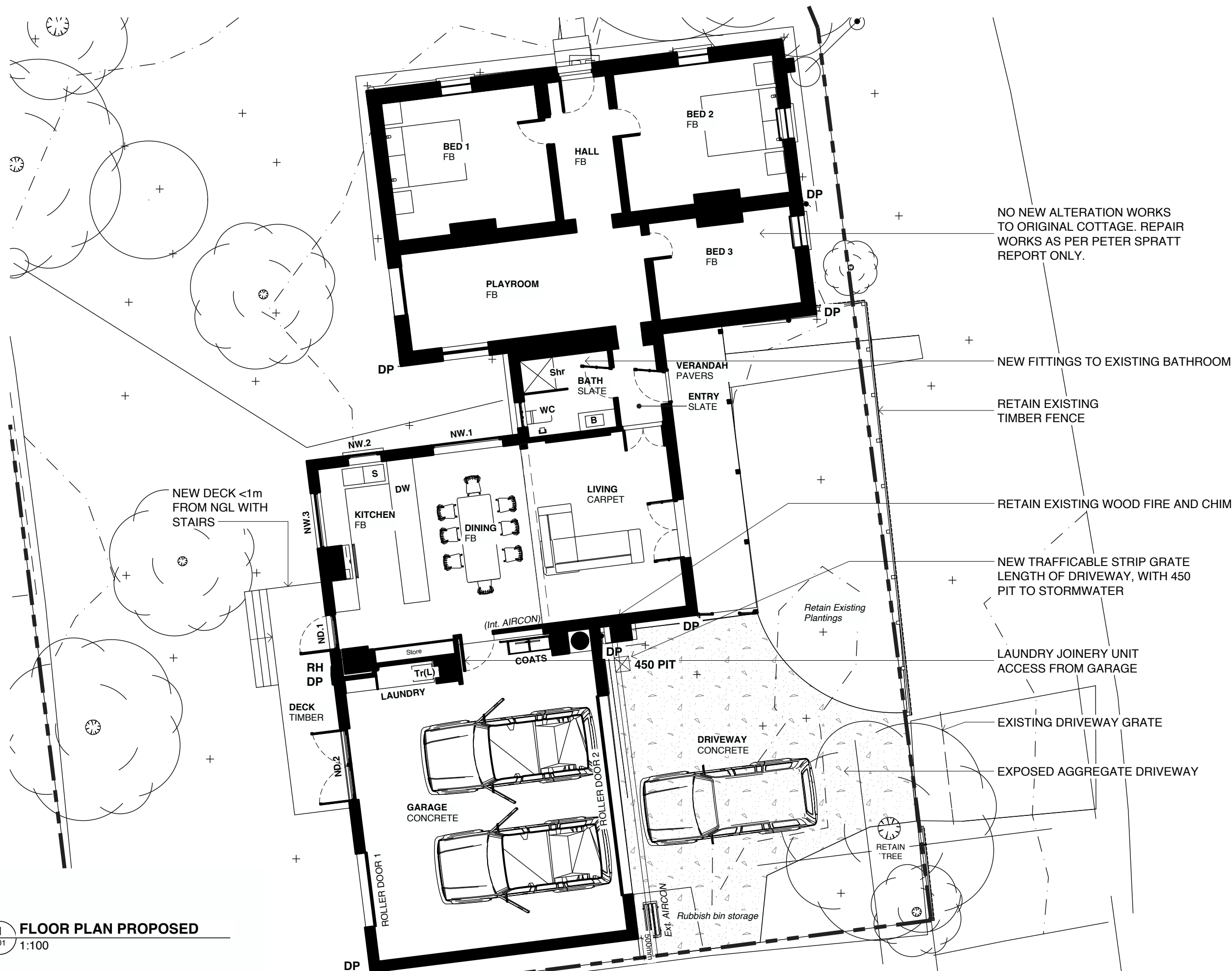
-  SEWER
-  GAS N/A
-  POWER
-  WATER MAIN
-  PHONE LINE
-  STORMWATER
-  S/W SLOTTED DRAIN



PROPOSED

AREA ANALYSIS GROSS FLOOR AREA (GFA)	
SITE:	681m ²
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EXISTING HOUSE (EXTENSION):	32m ²
NEW EXTENSION & GARAGE:	92m²
TOTAL PROPOSED HOUSE:	208m²
TOTAL GFA (ROOF AREA):	228m ²
SITE COVERAGE:	30%

1 SITE PLAN EXISTING/DEMOLITION
100 1:200



NO NEW ALTERATION WORKS TO ORIGINAL COTTAGE. REPAIR WORKS AS PER PETER SPRATT REPORT ONLY.

NEW FITTINGS TO EXISTING BATHROOM

RETAIN EXISTING TIMBER FENCE

RETAIN EXISTING WOOD FIRE AND CHIMNEY

NEW TRAFFICABLE STRIP GRATE LENGTH OF DRIVEWAY, WITH 450 PIT TO STORMWATER

LAUNDRY JOINERY UNIT ACCESS FROM GARAGE

EXISTING DRIVEWAY GRATE

EXPOSED AGGREGATE DRIVEWAY

NEW DECK <1m FROM NGL WITH STAIRS

1 FLOOR PLAN PROPOSED
201 1:100

REFER TO PAGE 203 FOR FLOOR PLAN DIMENSIONS

PROJECT
HARVEY ALTS
GILES AND STEPH HARVEY
30 WELLINGTON STREET, RICHMOND, TASMANIA, 7025
country of the muwina people of the nuenonne nation, lutruwita

SCALE 1:100 @A3
DATE 21/03/2026
DRAWN BAH
ISSUE DA
REV -

DRAWING
FLOOR PLAN PROPOSED
DRAWING NO. **39424_201**
TRUE NORTH 15.09°

KEY

R1 EXISTING - PAINTED GREY GALVANISED IRON ROOF (CUSTOM ORB)

R2 PROPOSED - GALVANISED IRON ROOF (CUSTOM ORB)

REPLACE ROOF SHEETING THROUGHOUT WITH GALVANISED IRON SHORT SHEET (SS) TO MATCH THE EXISTING PROFILES / JOINS. WHERE REINSTATING SHORT SHEET USE EXISTING ROOF PLANE AS GUIDE. ROLLED TOP RIDGE PROFILES TO BE REINSTATED WITH SHORT SHEET OVERLAPS TO MATCH EXISTING.

LONG SHEET (LS) GALVANISED IRON REPLACEMENT TO SKILLION.

EXISTING VERANDAH GUTTER FLOWS DIRECTLY INTO OTHER GUTTER.

ALL NEW ROOF SHEETING TO EXTENSION TO BE LONG SHEETING GALVANISED IRON.

BOX GUTTER BETWEEN JUNCTION OF OLD AND NEW ROOF

1 ROOF PLAN PROPOSED

202 1:100

PROJECT

HARVEY ALTS

GILES AND STEPH HARVEY

30 WELLINGTON STREET, RICHMOND, TASMANIA, 7025
country of the muwina people of the nuenonne nation, lutruwita

SCALE
DATE
DRAWN
ISSUE
REV

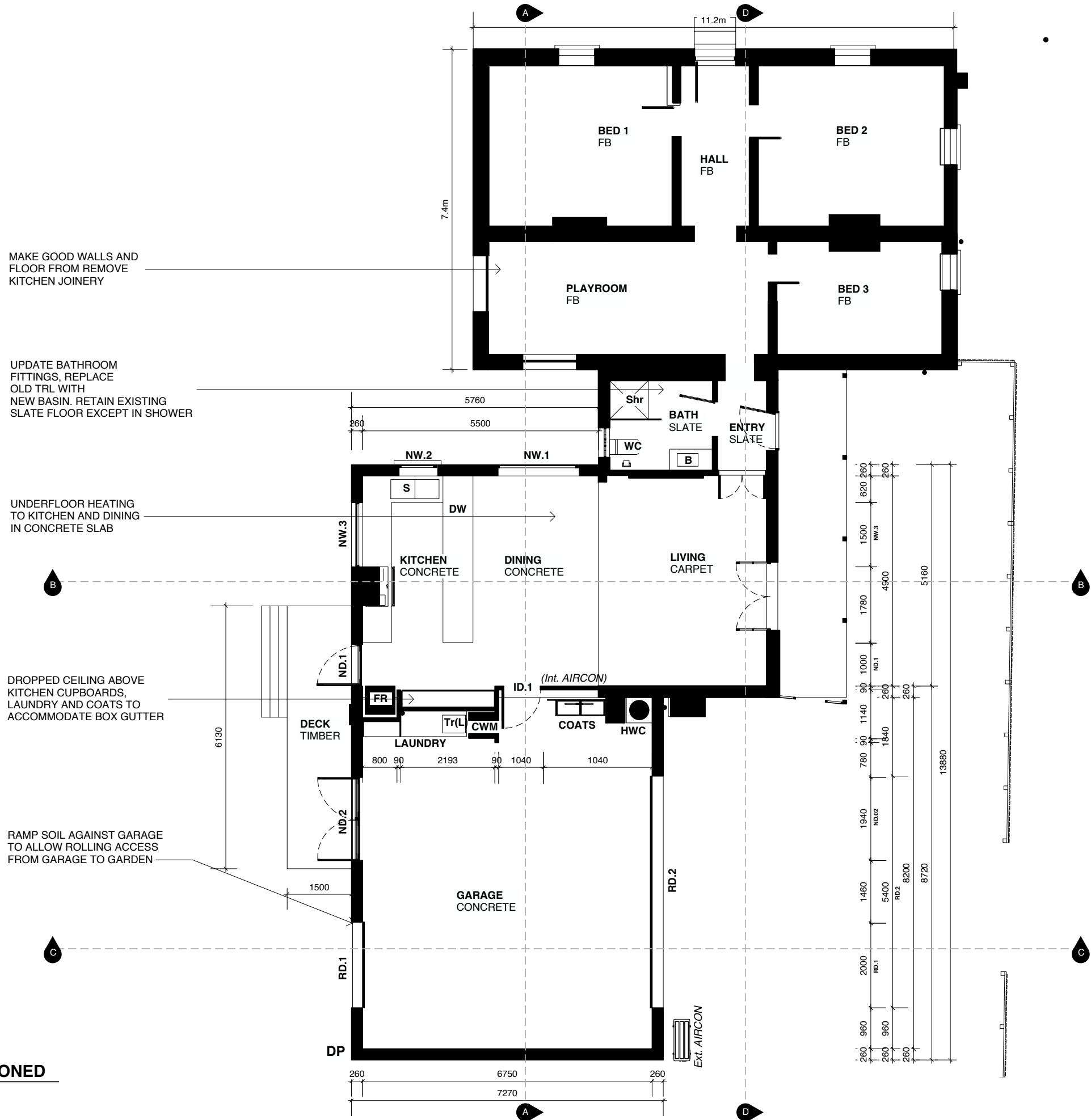
1:100 @A3
21/03/2026
BAH
DA
-

DRAWING

**ROOF PLAN
PROPOSED**

DRAWING NO. **39424_202**





MAKE GOOD WALLS AND FLOOR FROM REMOVE KITCHEN JOINERY

UPDATE BATHROOM FITTINGS, REPLACE OLD TRL WITH NEW BASIN. RETAIN EXISTING SLATE FLOOR EXCEPT IN SHOWER

UNDERFLOOR HEATING TO KITCHEN AND DINING IN CONCRETE SLAB

DROPPED CEILING ABOVE KITCHEN CUPBOARDS, LAUNDRY AND COATS TO ACCOMMODATE BOX GUTTER

RAMP SOIL AGAINST GARAGE TO ALLOW ROLLING ACCESS FROM GARAGE TO GARDEN

1 FLOOR PLAN DIMENSIONED
203 1:100

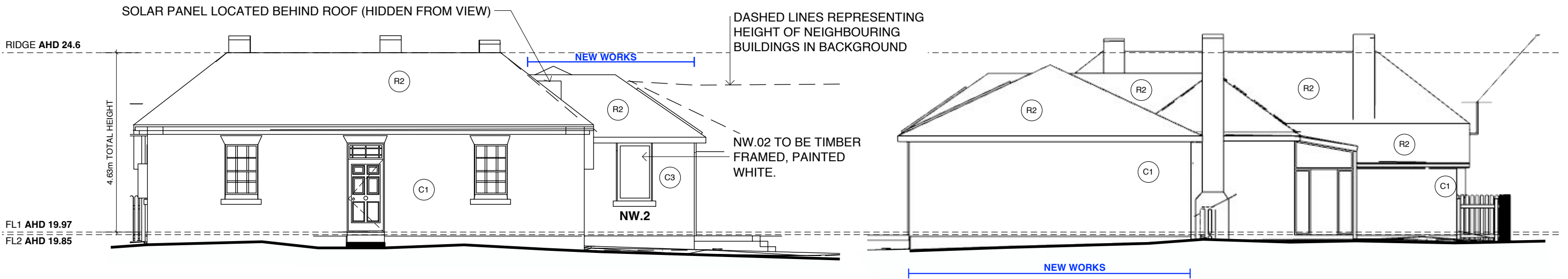
PROJECT
HARVEY ALTS
GILES AND STEPH HARVEY
30 WELLINGTON STREET, RICHMOND, TASMANIA, 7025
country of the muwinina people of the nuennone nation, lutruwita

SCALE
DATE
DRAWN
ISSUE
REV

1:100 @A3
21/03/2026
BAH
DA
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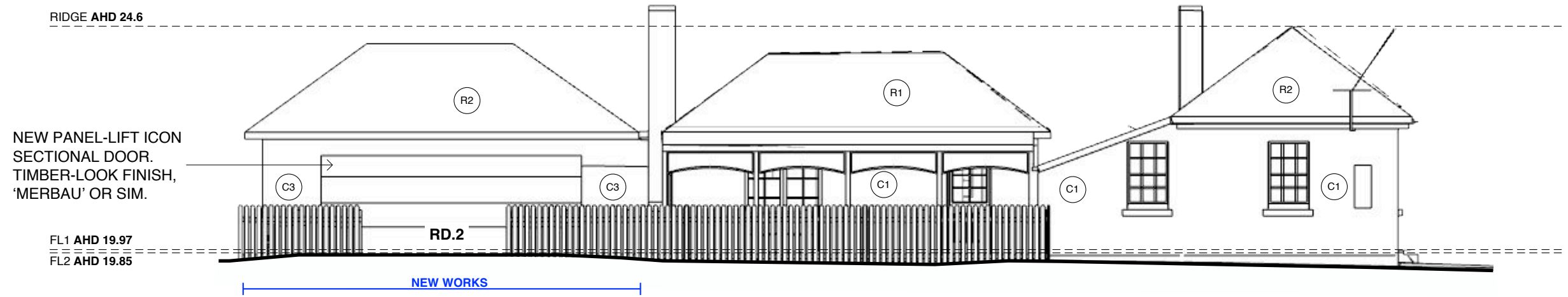
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**FLOOR PLAN
DIMENSIONED**

DRAWING NO.
39424_203

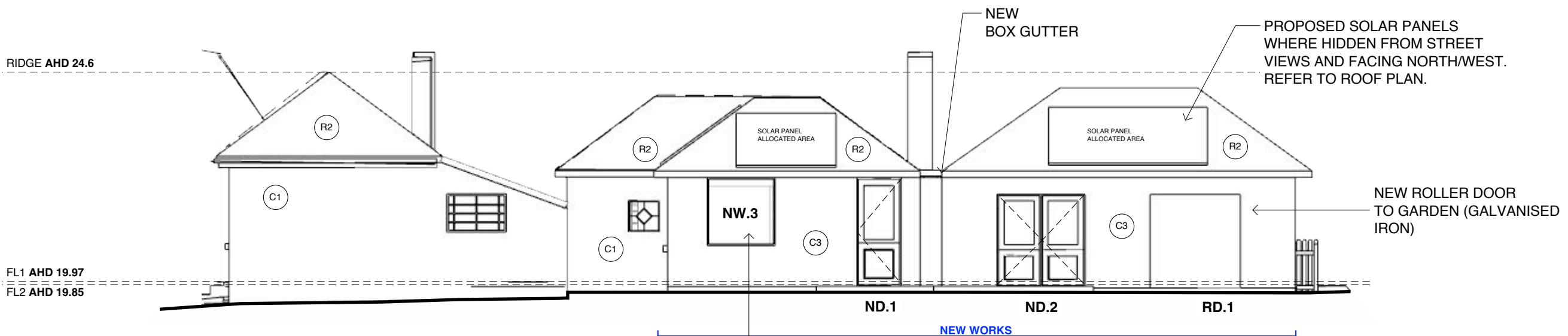


1 PROPOSED NORTH ELEVATION (FACING WELLINGTON STREET)
 300 1:100

2 PROPOSED SOUTH ELEVATION
 300 1:100



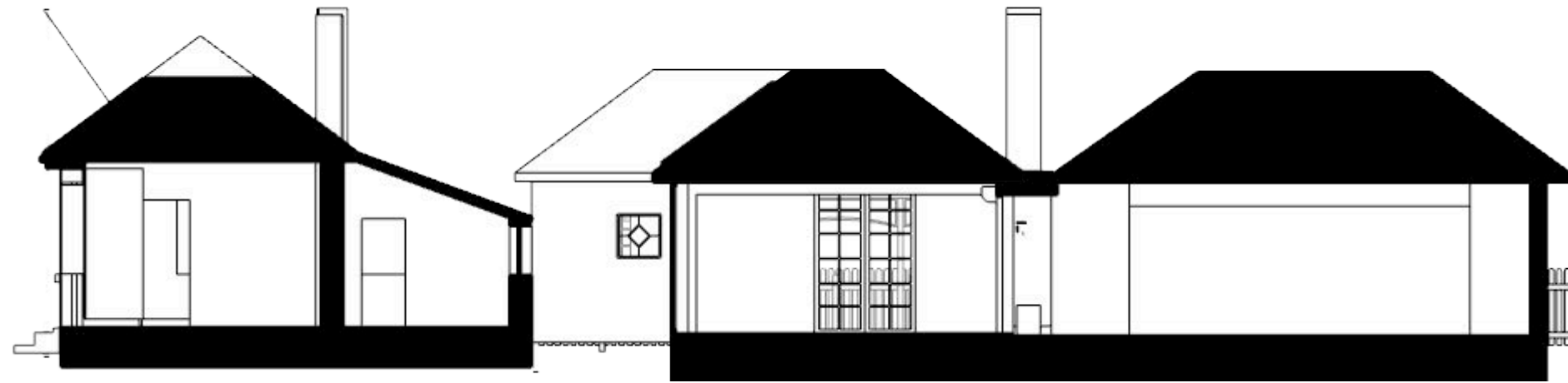
3 PROPOSED EAST ELEVATION (FACING MORGAN STREET)
 300 1:100



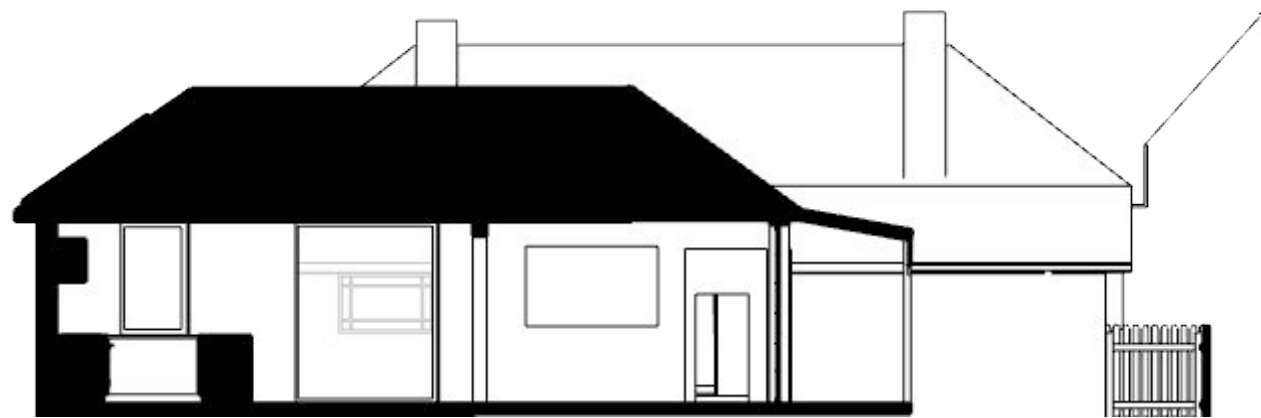
4 PROPOSED WEST ELEVATION
 300 1:100

KEY

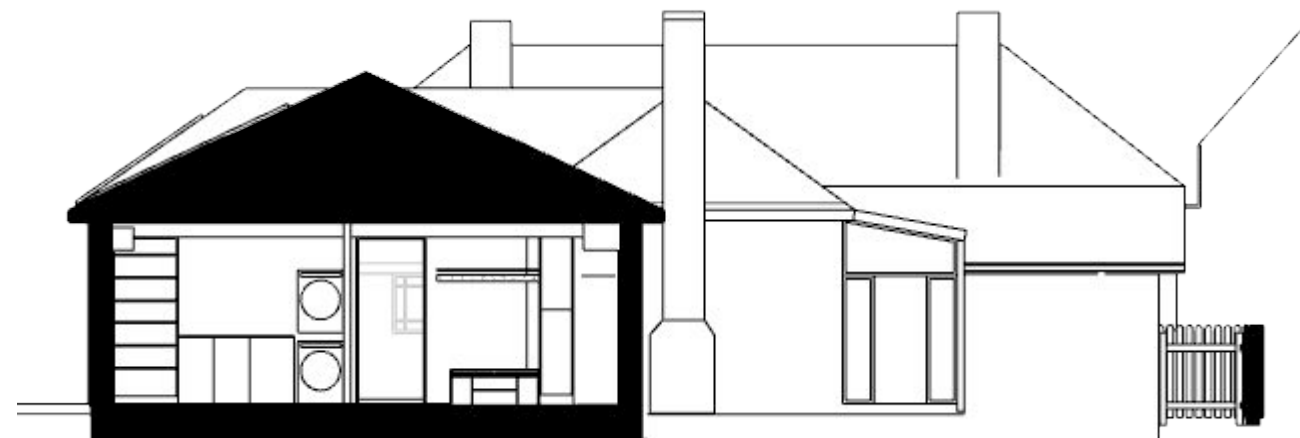
R1	EXISTING - PAINTED GREY GALVANISED IRON ROOF
R2	PROPOSED - GALVANISED IRON ROOF, FLASHINGS, GUTTERS
C1	EXISTING - PAINTED CREAM BRICKS
C2	EXISTING - HORIZONTAL TIMBER CLADDING
C3	PROPOSED - PAINTED BRICKS PAINTED CREAM



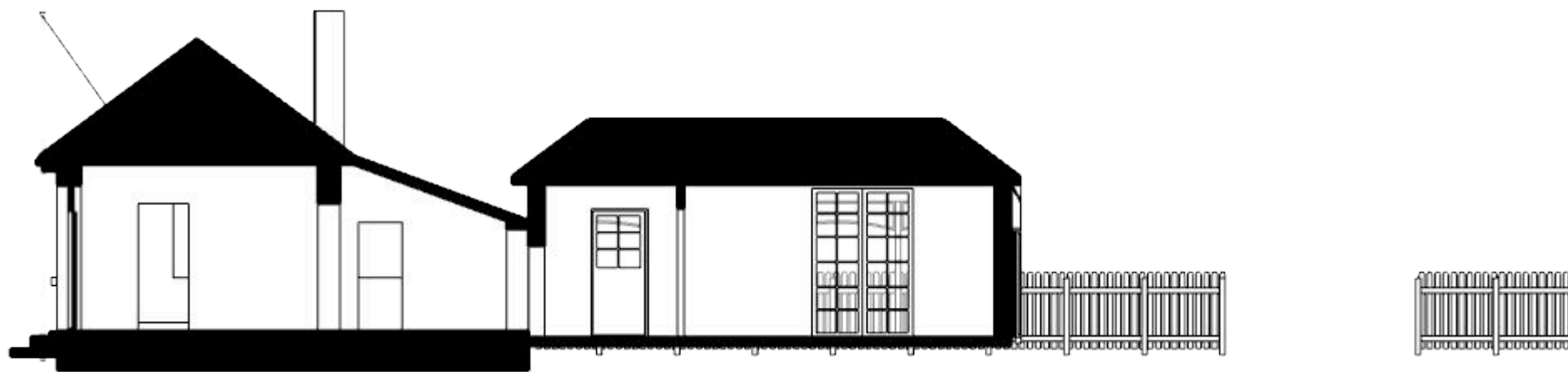
1 SECTION A-A
400 1:100



2 SECTION B-B
400 1:100



3 SECTION C-C
400 1:100



4 SECTION D-D
400 1:100

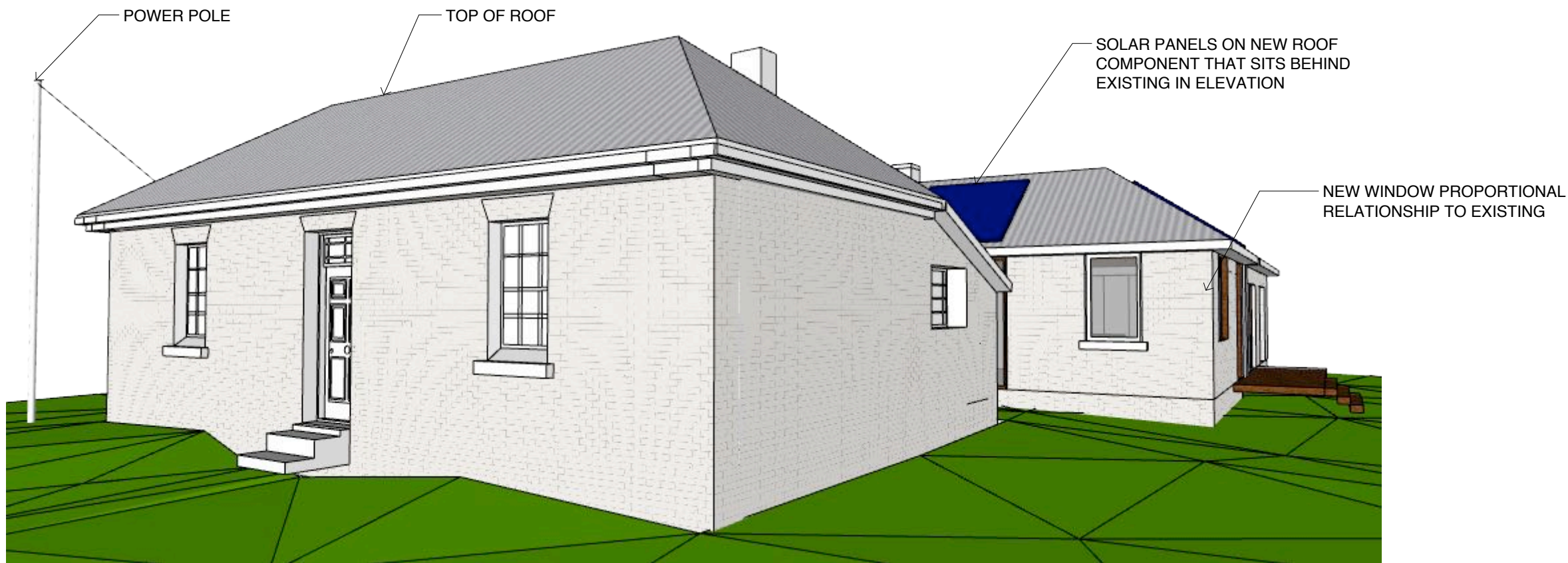
PROJECT
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GILES AND STEPH HARVEY
30 WELLINGTON STREET, RICHMOND, TASMANIA, 7025
country of the muwinina people of the nuennone nation, lutruwita

SCALE
DATE
DRAWN
ISSUE
REV

1:100 @A3
21/03/2026
BAH
DA
-

DRAWING
SECTIONS
AA, BB, CC, DD

DRAWING NO.
39424_400



1 3D PERSPECTIVE 1 - PRIMARY STREET VIEW
 900 NTS



PRIMARY STREET VIEW (GOOGLE MAPS FEB 2025)

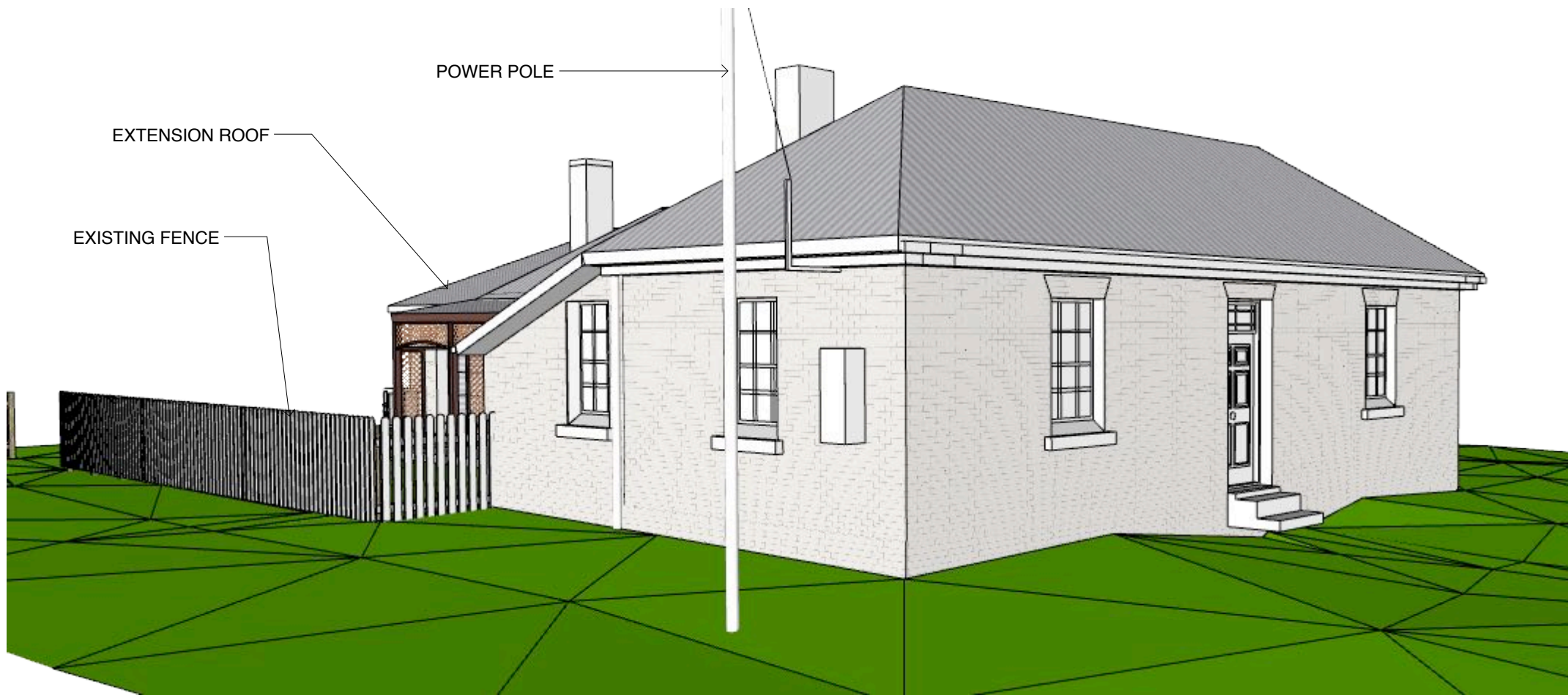
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SCALE
 DATE
 DRAWN
 ISSUE
 REV

NTS @A3
 21/03/2026
 BAH
 DA
 -

DRAWING
**3D PERSPECTIVE /
 PHOTOGRAPH**

DRAWING NO.
39424_900



1 3D PERSPECTIVE 2 - SECONDARY STREET VIEW
901 NTS



PRIMARY STREET VIEW (GOOGLE MAPS FEB 2025)

POWER POLE

TREE TO BE RETAINED

FENCE

TREE TO BE RETAINED

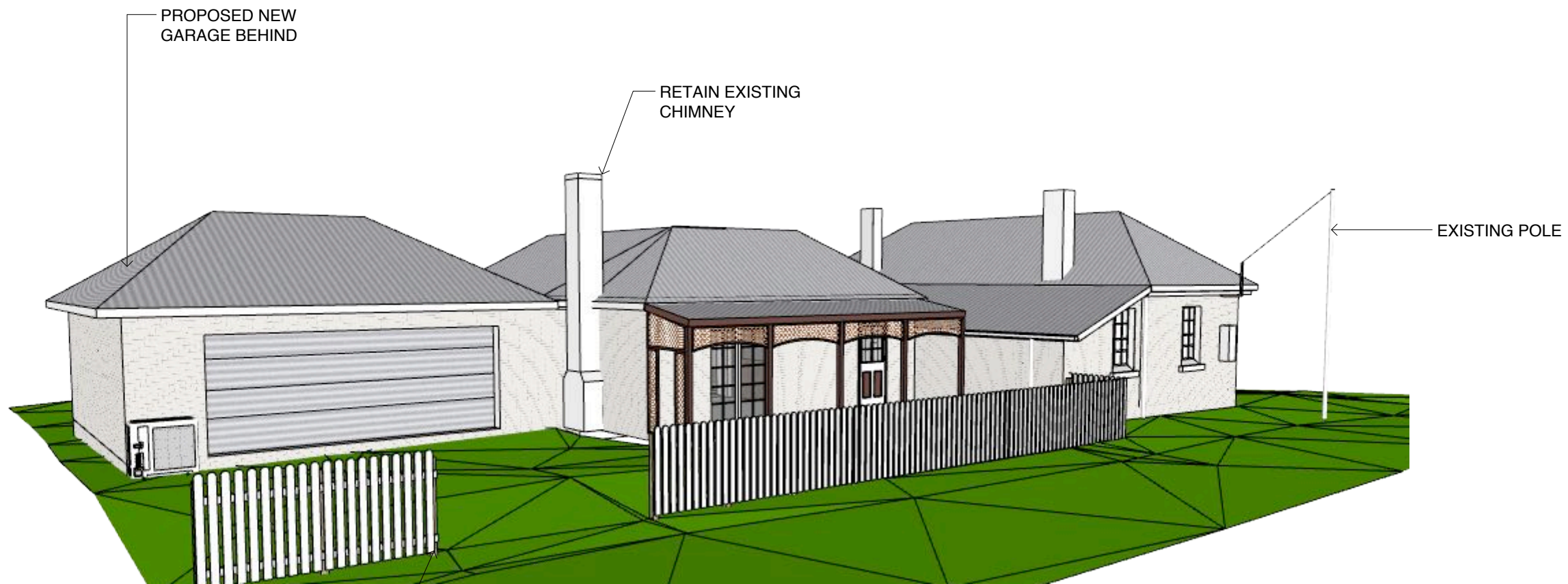
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country of the muwinina people of the nuennone nation, lutruwita

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REV

NTS @A3
21/03/2026
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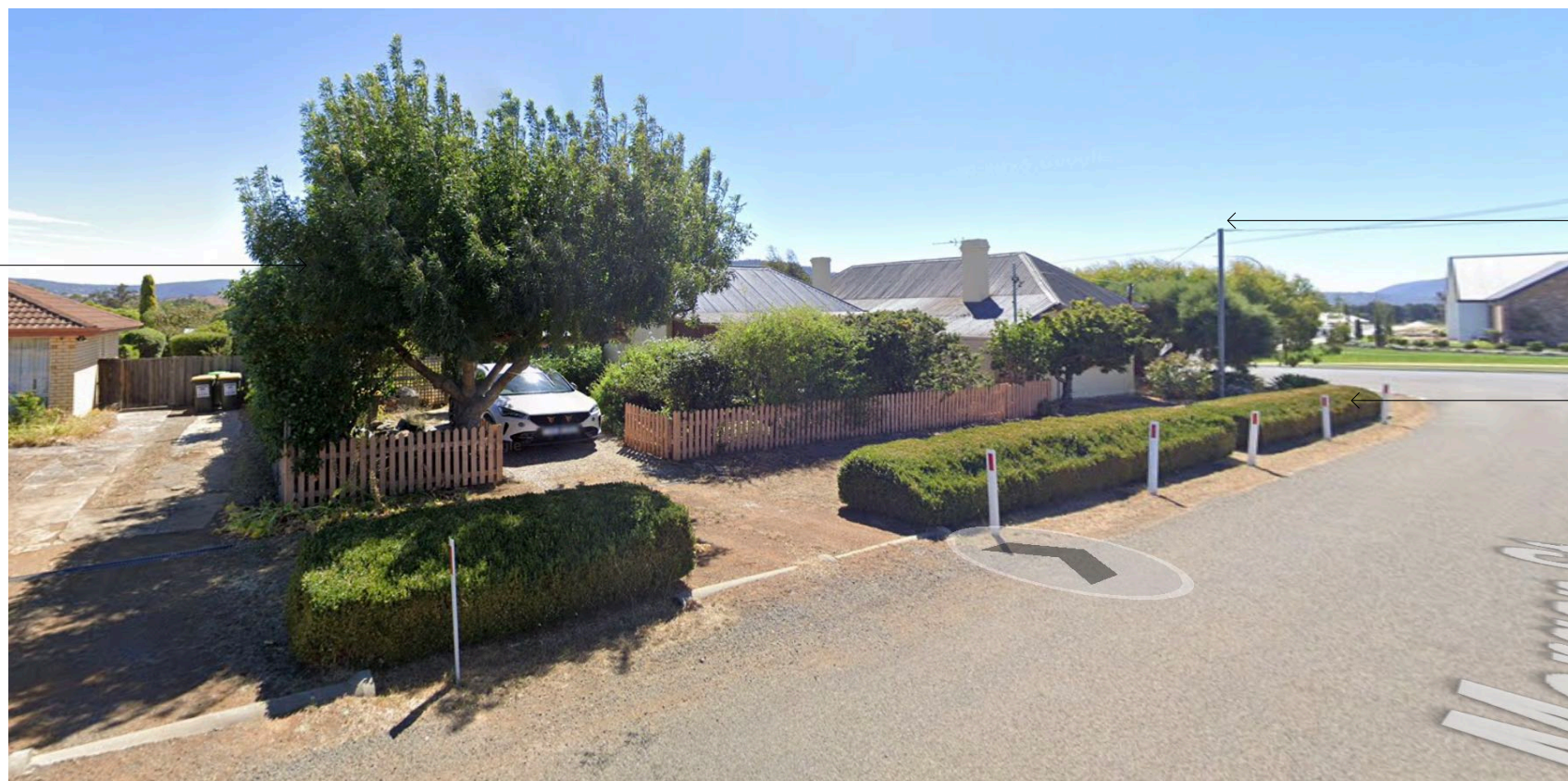
DRAWING
**3D PERSPECTIVE /
PHOTOGRAPH**

DRAWING NO.
39424_901



1 3D PERSPECTIVE 3
902 NTS

RETAIN EXISTING OPENING
IN FENCE



SECONDARY STREET VIEW (GOOGLE MAPS FEB 2025)

PROJECT
HARVEY ALTS
GILES AND STEPH HARVEY
30 WELLINGTON STREET, RICHMOND, TASMANIA, 7025
country of the muwinina people of the nuennone nation, lutruwita

SCALE
DATE
DRAWN
ISSUE
REV

NTS @A3
21/03/2026
BAH
DA
-

DRAWING
**3D PERSPECTIVE /
PHOTOGRAPH**

DRAWING NO.
39424_902



PHOTO 1



PHOTO 2



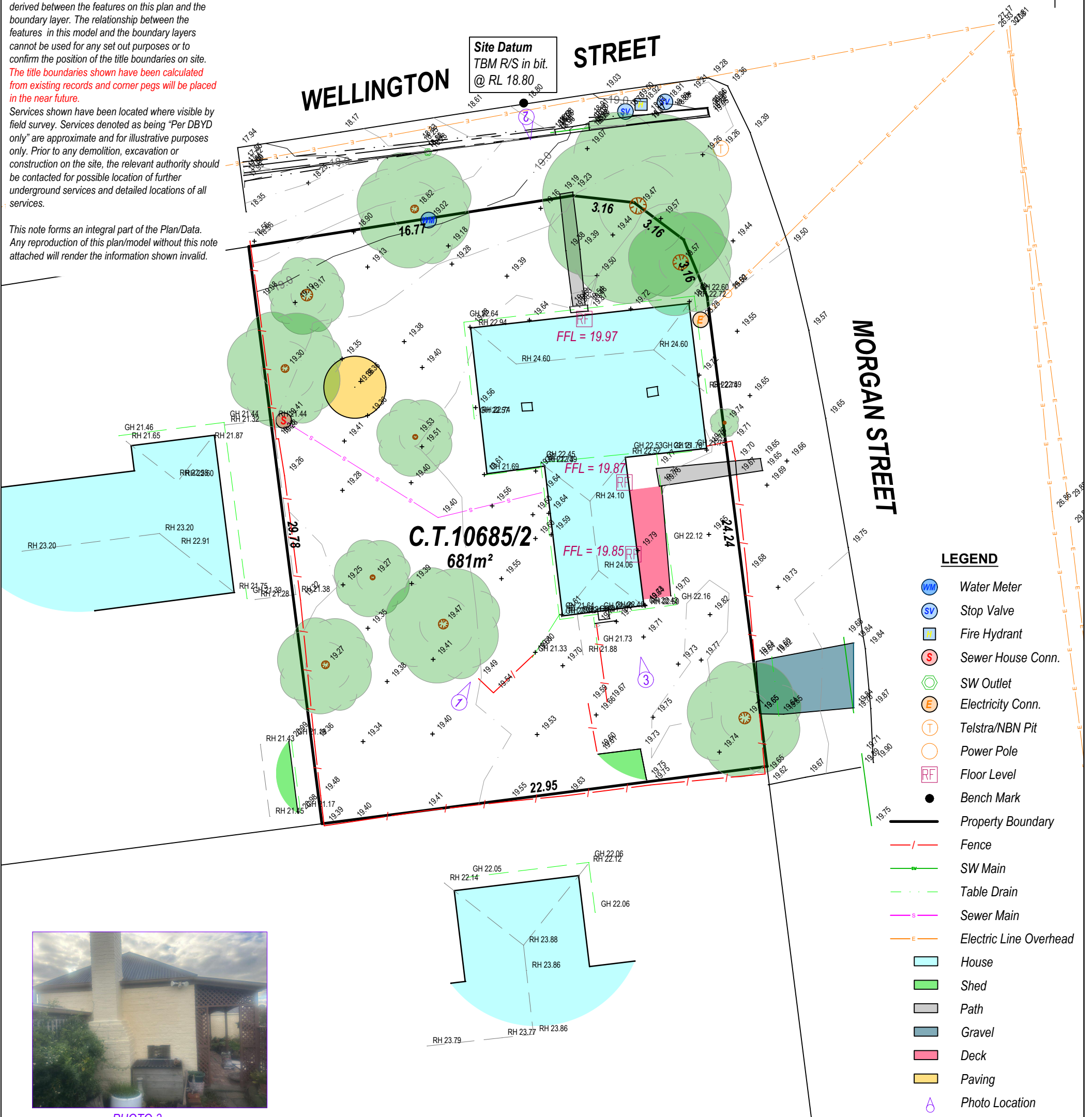
NOTES:

This plan and associated digital model is prepared for Bee Newman from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site. **The title boundaries shown have been calculated from existing records and corner pegs will be placed in the near future.**

Services shown have been located where visible by field survey. Services denoted as being "Per DBYD only" are approximate and for illustrative purposes only. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.



LEGEND

- Water Meter
- Stop Valve
- Fire Hydrant
- Sewer House Conn.
- SW Outlet
- Electricity Conn.
- Telstra/NBN Pit
- Power Pole
- Floor Level
- Bench Mark
- Property Boundary
- Fence
- SW Main
- Table Drain
- Sewer Main
- Electric Line Overhead
- House
- Shed
- Path
- Gravel
- Deck
- Paving
- Photo Location



PHOTO 3

HORIZONTAL DATUM is GDA2020, Coordinates are Plane
Coordinate Origin: SPM10149 (in model)
E 536430.384 N 5268642.668 PER SURCOM

E				
D				
C				
B				
A				
REV	AMENDMENTS	DRAWN	DATE	APPR.

Contour & Detail Plan
FOR: BEE NEWMAN
LOCATION: 30 WELLINGTON STREET,
RICHMOND

Date:	Contour interval:	Reference:
12/06/2024	0.250m	HARVG01 15562-01
Drawn:	Scale:	Bearing Datum: MGA2020 per
JR	1:200 (A3)	SP175465/SPM10149
Approved:	C.T. Reference:	Vertical Datum:
JR	10685/2	AHD83 per SPM10149

PETER SPRATT

CONSULTING CHARTERED ENGINEER

P. Spratt AM M.Env.St . Dip.CE FIEAust . LFAIB MASCE A.I.Arb.A

25 Gourlay Street
Blackmans Bay
TAS 7052

M 0418 124 363
Email p.spratt@bigpond.net.au
ABN 55 120 015 973

4th. August 2025

RefNo 8217

Stephanie Harvey
30 Wellington Street
Richmond TAS

House, 30 Wellington Street Structural Assessment

Dear Stephanie,

I have to your request, investigated the above.
I visited the site on the 30th. July last and carried out a visual inspection in your company and that of your partner.
I advise that –

1. The Building

The building is of single story undampcoursed solid brick hip roof construction.
It has a rear skillion and a later small brick hip roof conjoined cottage with verandah to the rear.
Floors are timber and roof cladding is corrugated iron.

Aerial view

Photograph 1.



2. Site Observations

The following comments are illustrated by photographs 1-11.

- There are no indications of foundation movements.
- There is shear tear cracking of the main cottage side walls with the front wall moving outwards with roof ridge drop and roof rafter spread under wind load.
The roof rafters are 70 x40 and taper towards their landing on the roof ridge. They will readily buckle in compression under wind load.
- The ceiling joists, 95 x45 spanning 3.9m, are parallel to the hip roof landing and the roof structure is not connected to the joists. The joists are inadequate for their span.
- The floor joists are parallel to the front wall and the wall is not connected to the floor structure allowing the wall to move outwards in the western side front room.
- There is shear tear cracking of the west side of the skillion wall and the hip rafter above is distorted.
- The skillion rafters have sagged but there is no ceiling or wall cracking other than for the west skillion wall junction with the main building.
- The observed cracks have fresh white extension indicating recent movements.
- The rear cottage is of recent construction. There are no structural problems.

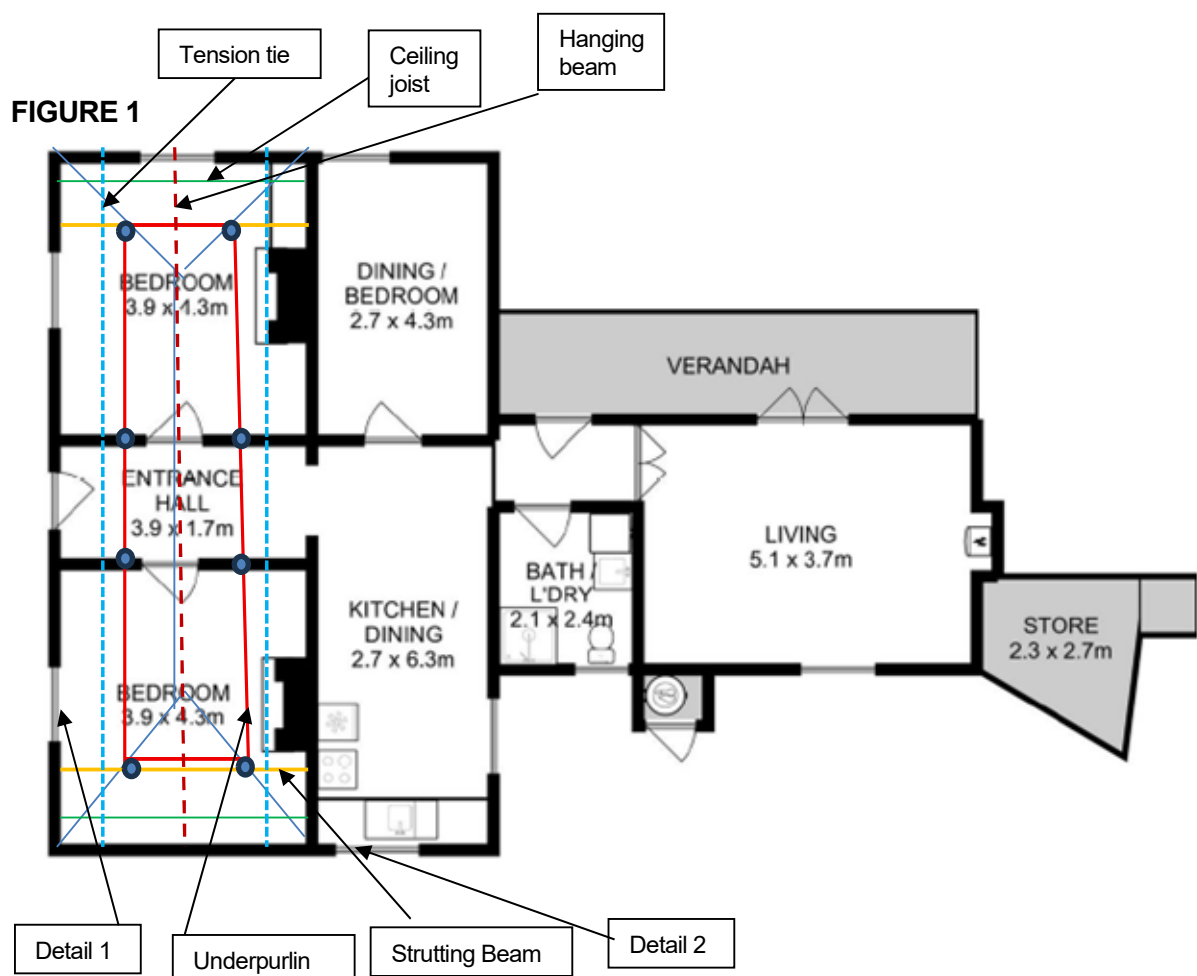
3. Assessment

I note that there has been a recent change in the wind regime whereby winds of around 100km/hr. are now common. This corresponds to the observed fresh cracking. All of the cracking is attributable to the wind causing movement of the roof structure which is not connected to the ceiling structure and which has undersized members. There is need to stiffen the roof members and to tie the moved section of the front wall to the floor structure.

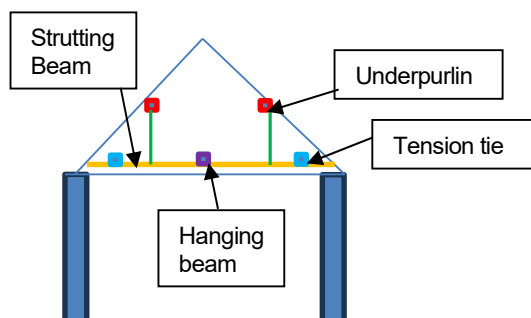
4. Recommended Works

The recommended works are shown in Figure 1 as-

1. Install strutting beams to support underpurlin ends.
2. Install underpurlins to stiffen the roof rafters.
3. Install underpurlin struts.
4. Install hanger beam to stiffen the ceiling joists.
5. Install tension ties to tie the end walls together across the building.
6. Connect west side front wall to floor.
7. Make good the hip rafter connection on the main house/ skillion roof.
8. Spike roof landing plates to walls. Repair wall cracks.



Detail 1 Fix steel angle to wall and floorboards. **Detail 2** To be determined on uncover.



View of front façade. Note
roof ridge sags.

Photograph 2.



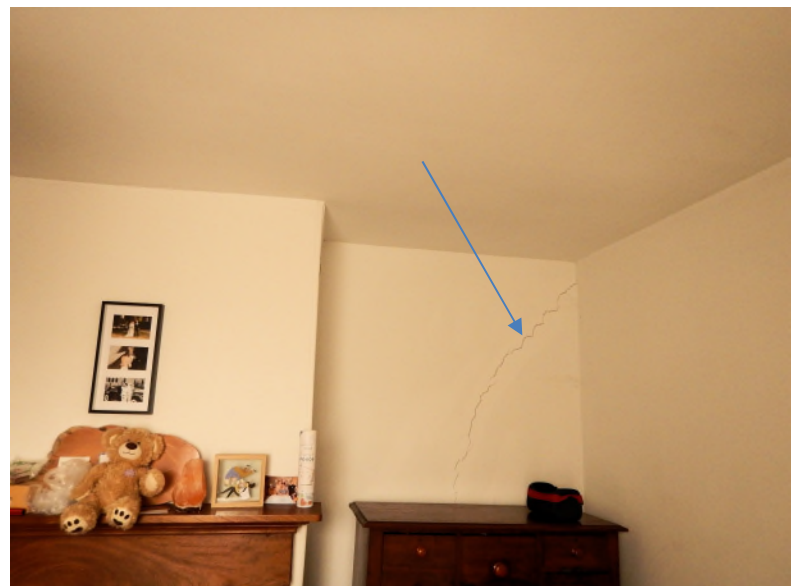
East side view.

Photograph 3.



Shear tear cracking of sidewall.

Photograph 4.



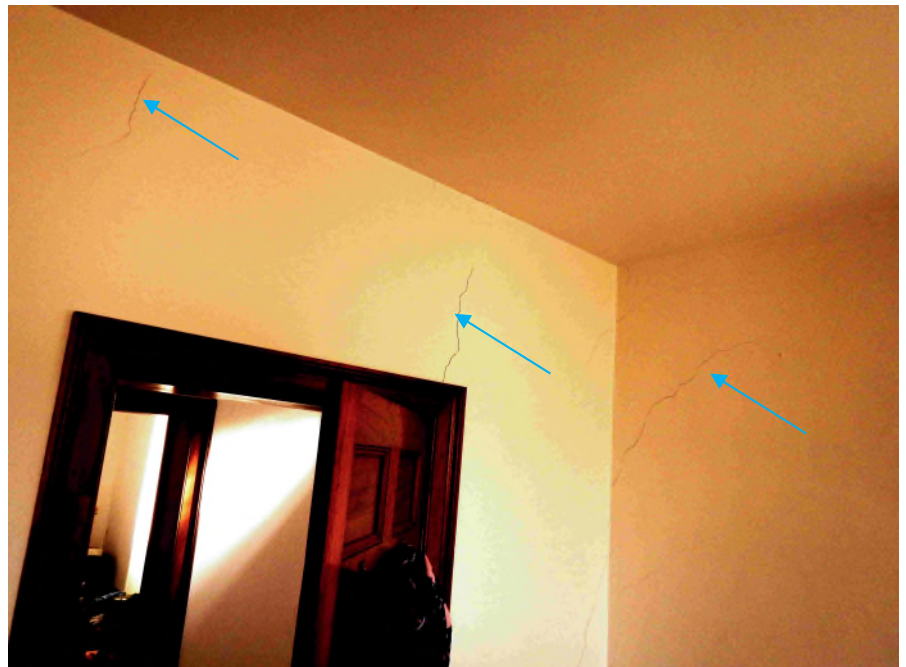
Gap between front wall and floor. West side front wall.

Photograph 5.



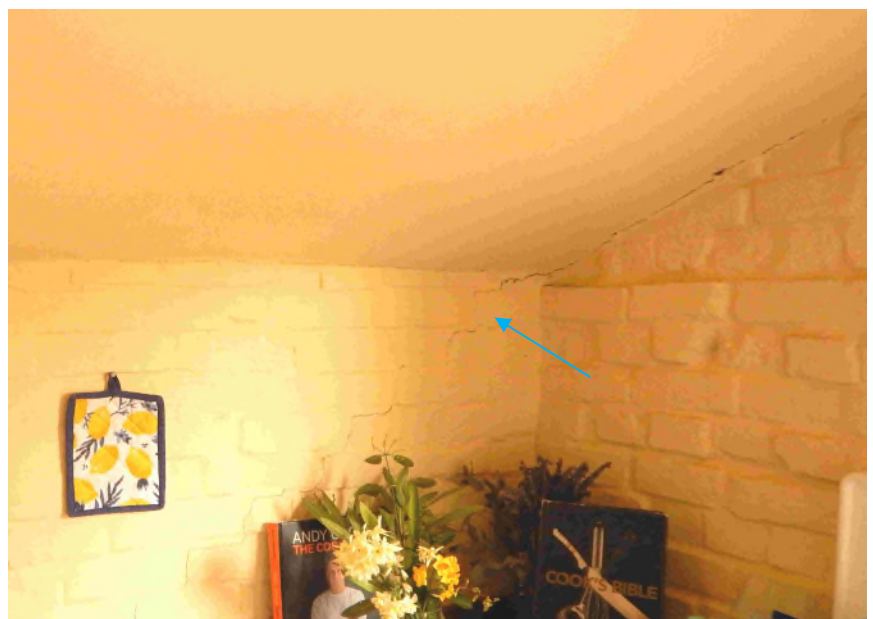
Internal crosswall and side wall cracking.

Photograph 6.



Cracking at intersection of main rear wall and skillion.

Photograph 7.



View of roof structure with long thin tapered rafters.

Photograph 8.



View of skillion roof connection to main roof .

Photograph 9.



Cracking at main roof/skillion roof junction.

Photograph 10.



Hip rafter distortion.

Photograph 11.



Yours faithfully,

A handwritten signature in black ink that reads "Peter Spratt". The signature is written in a cursive, slightly slanted style.

PETER SPRATT AM